

DATE 07/09/2008

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027152

APPLICANT RHONDA INGRAM PHONE 466-1866  
ADDRESS 3104 SW OLD WIRE RD FT. WHITE FL 32038  
OWNER SHALED A GAINER MIRRA PHONE 623-3611  
ADDRESS 793 SW NATILUS RD LAKE CITY FL 32024  
CONTRACTOR TIM EVANS PHONE 352 474-0483  
LOCATION OF PROPERTY 41S, TR ON CR 131, TR ON NAUTILUS, 7/10 OF MILE  
ON RIGHT  
TYPE DEVELOPMENT MODULAR ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT                      STORIES                       
FOUNDATION CONC WALLS FRAMED ROOF PITCH                      FLOOR SLAB  
LAND USE & ZONING A-3 MAX. HEIGHT                       
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.                     

PARCEL ID 19-5S-17-09284-009 SUBDIVISION                       
LOT                      BLOCK                      PHASE                      UNIT                      TOTAL ACRES                     

CSC1512656 Rhonda Ingram  
Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                       
EXISTING 08-479 BK HD Y  
Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 373

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                     date/app. by                      date/app. by                      date/app. by                       
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                     date/app. by                      date/app. by                      date/app. by                       
Framing                      Rough-in plumbing above slab and below wood floor                       
                     date/app. by                      date/app. by                       
Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
                     date/app. by                      date/app. by                      date/app. by                       
Permanent power                      C.O. Final                      Culvert                       
                     date/app. by                      date/app. by                      date/app. by                       
M/H tie downs, blocking, electricity and plumbing                      Pool                       
                     date/app. by                      date/app. by                       
Reconnection                      Pump pole                      Utility Pole                       
                     date/app. by                      date/app. by                      date/app. by                       
M/H Pole                      Travel Trailer                      Re-roof                       
                     date/app. by                      date/app. by                      date/app. by                     

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$                       
FLOOD DEVELOPMENT FEE \$                      FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$                      TOTAL FEE 425.00  
INSPECTORS OFFICE Shale Edok CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

## Columbia County Building Permit Application

ek 373

For Office Use Only Application # 0807-09 Date Received 7/2/08 By LH Permit # 27152  
Zoning Official LH Date 7-2-08 Flood Zone X FEMA Map # \_\_\_\_\_ Zoning Ag-3  
Land Use Ag-3 Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner LH Date 7/2/08  
Comments Impact fee 1046.00 / 29.88 / 78.63 / 409.16 / 1500.00 = 3063.67  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☒ Letter of Authorization from Contractor  
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. 68-0479-N Rhoda Ingram Fax 386-466-1866  
Name Authorized Person Signing Permit Wendy Grennell Phone 386-288-2428  
Address 3104 SW Old Wire Rd Fort White FL 32038  
Owners Name Shaleda Griner Mirra Phone 386-623-3611  
911 Address 793 SW Nautilus Rd Lake City FL 32024  
Contractors Name Tim Evans Phone 352-474-0483  
Address 23808 SW 30<sup>th</sup> Ave Newberry FL 32669  
Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address NA  
Architect/Engineer Name & Address NA  
Mortgage Lenders Name & Address First Federal 4705 Hwy 90 West Lake City  
Circle the correct power company - FL Power & Light Clay Elec. Suwannee Valley Elec. - Progress Energy

Property ID Number 19-55-17-09284-009 Estimated Cost of Construction \$220,000  
Subdivision Name NA Lot NA Block NA Unit NA Phase \_\_\_\_\_  
Driving Directions 41 South to CR 131 (Tuskenage) turn (R)  
to SW Nautilus turn (R) 7/10 of mile on (R)  
Number of Existing Dwellings on Property 0

Construction of modular Total Acreage 5 Lot Size 220x640  
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_  
Actual Distance of Structure from Property Lines - Front 165 Side 40 Side 104 Rear 415  
Number of Stories 1 Heated Floor Area 2913 Total Floor Area 2913 Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**Columbia County Building Permit Application**

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

*Saleida A. Sauer Mura*

Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

*John Smith*  
Contractor's Signature (Permitee)

Contractor's License Number CSC 1512656  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 01 day of July 2008.  
Personally known X or Produced Identification \_\_\_\_\_

*Jeannette A. Martin*  
State of Florida Notary Signature (For the Contractor)

SEAL:





**STATE OF FLORIDA  
DEPARTMENT OF HEALTH**

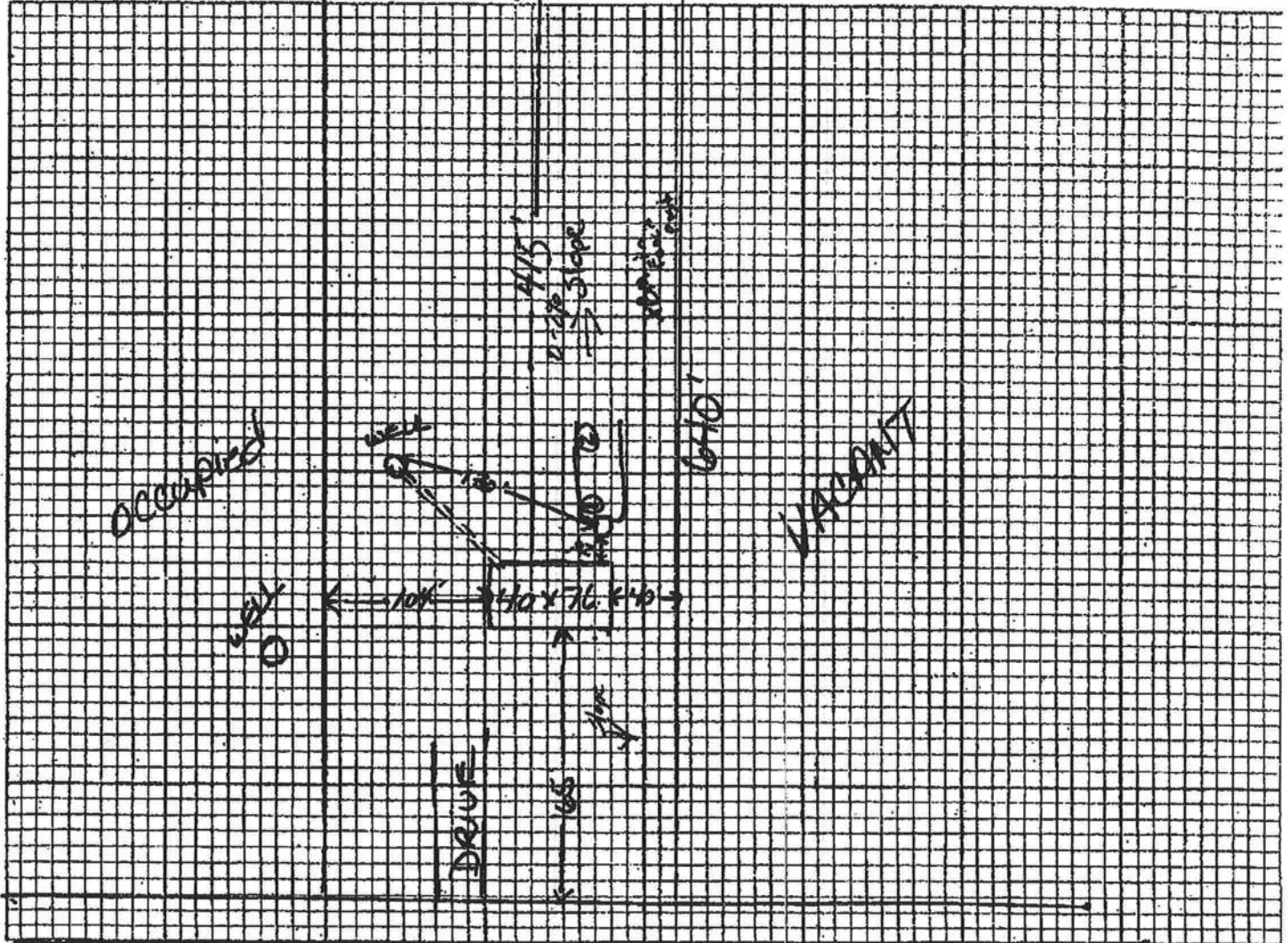
08-0479

# APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

**Permit Application Number**

**PART II - SITE PLAN -**

**Scale:** Each block represents 5 feet and 1 inch = 50 feet.



**Notes:**

**Site Plan submitted by:**

**Signature**

Plan Approved ☒

**Not Approved**

Agent  
Title

## Toko

Date 7-9-08

By Mark S. Anderson County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

App# 0807-09  
Septic# 08-0479N

## COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 • FAX: (386) 758-1365 • Email: ron\_croft@columbiacountyfla.com

### Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 7/2/2008 DATE ISSUED: 7/3/2008

#### ENHANCED 9-1-1 ADDRESS:

793 SW NAUTILUS RD

LAKE CITY FL 32024

#### PROPERTY APPRAISER PARCEL NUMBER:

19-5S-17-09284-009

Remarks:

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

1236



09284-000

**A & B Well Drilling, Inc.**  
**5673 NW Lake Jeffery Road**  
**Lake City, FL, 32055**  
**386-758-3409**

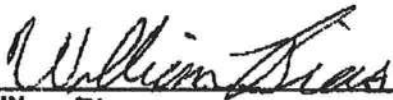
7/2/2008

**To: Columbia County Building Department**

**Description of well to be installed for Customer:**

**Located at Address:**

**1 hp 20 gpm- 1 1/4" drop over 82 gallon equivalent captive tank with cycle stop and back flow prevention. With SRWM permit.**

  
**William Bias**

**Complete Permit Services, LLC**

3104 S W Old Wire Rd

Ft White, FL 32038

Wendy Grennell Owner

386-288-2428 Cell

386-466-0840 Office

386-466-1866 Fax

**BLANKET POWER OF ATTORNEY**

I, Timothy Evans, license number C5C1512656 authorize Wendy Grennell, Shirley Bennett or Rhoda Ingram to be my representative and act on my behalf in all aspects of applying for permits in \_\_\_\_\_ County, State of Florida.

Signed: \_\_\_\_\_

General Contractor

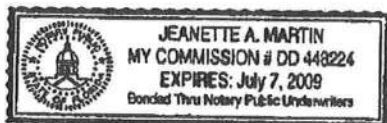
Sworn to and described before me this 01 day of July 2008

Jeanette A. Martin  
Notary public

Notary Name \_\_\_\_\_

Personally known X

DL ID \_\_\_\_\_





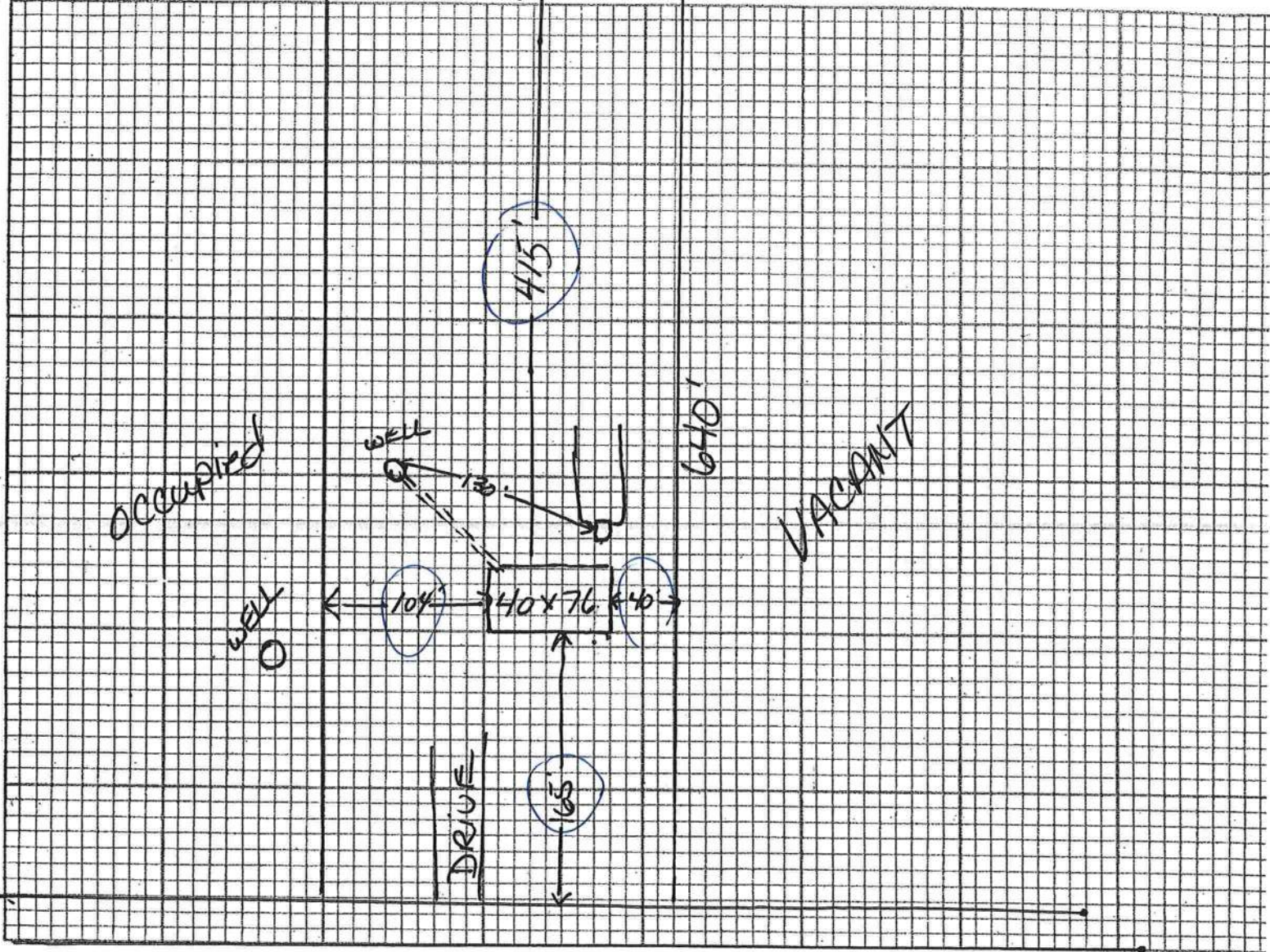
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = ~~50~~<sup>100</sup> feet.



Notes: \_\_\_\_\_

Site Plan submitted by: Wendy Shnell

Signature

Agent

Title

Plan Approved \_\_\_\_\_

Not Approved \_\_\_\_\_

Date \_\_\_\_\_

By \_\_\_\_\_ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

>> [Print as PDF](#) <<

EAST 220 FT OF WEST 640 FT OF  
S1/2 OF SE1/4 OF NW1/4 & EAST  
220 FT OF WEST 640 FT OF S1/2  
OF N1/2 OF SE1/4 OF NW1/4

MIRRA SHALEDA GAINER  
193 SW NEIGHORS GLN  
LAKE CITY, FL 32024

19-5S-17-09284-009

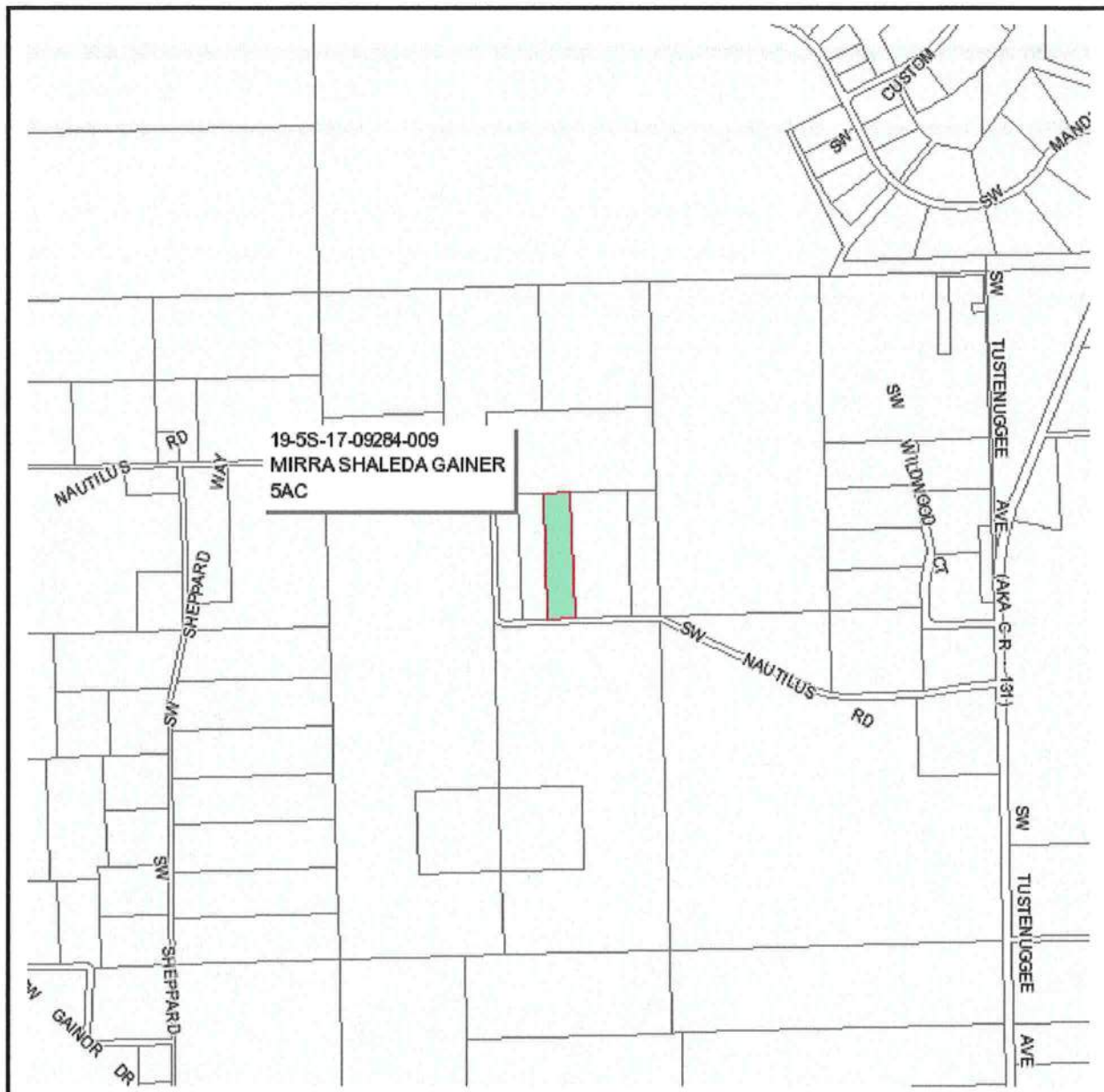
PRINTED 4/15/2008 15:21  
APPR 3/25/2005 LC

Columbia Cou

BUSE	AE?	HTD AREA	.000 INDEX	19517.00	DIST 3	PUSE 009
MOD	BATH	EFF AREA	35.309 E-RATE	.000	INDX	STR 19- 5S-17E
EXW	FIXT	RCN			AYB	MKT AREA 02
%	BDRM	%GOOD		BLDG VAL	EYB	(PUD1
RSTR	RMS					AC 5.000
RCVR	UNTS	3FIELD CK:			3	NTCD
%	C-W%	3LOC:			3	APPR CD
INTW	HGHT	3			3	CNDO
%	PMTR	3			3	SUBD
FLOR	STYS	3			3	BLK
%	ECON	3			3	LOT
HTTP	FUNC	3			3	MAP#
A/C	SPCD	3			3	
QUAL	DEPR	3			3	TXDT 003
FNDN	UD-1	3			3	
SIZE	UD-2	3			3	----- BLDG TRA
CEIL	UD-3	3			3	
ARCH	UD-4	3			3	
FRME	UD-5	3			3	
KTCH	UD-6	3			3	
WDO	UD-7	3			3	
CLAS	UD-8	3			3	
OCC	UD-9	3			3	
COND	%	3			3	----- PERMIT:
SUB	A-AREA % E-AREA	SUB VALUE	3		3	NUMBER DESC
			3		3	
			3		3	
			3		3	----- SALE
			3		3	BOOK PAGE DATE
			3		3	1039 1542 3/01/200
			3		3	GRANTOR GAINER
			3		3	GRANTEE MIRRA
			3		3	
			3		3	GRANTOR
			3		3	GRANTEE

TOTAL

-----EXTRA FEATURES-----										FIELD CK:							
AE BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%
LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:									
AE CODE		TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS				UNITS	UT	PRICE	ADJ	UT	PI
Y 009900	AC NON-AG							1.00	1.00	1.00	1.00	5.000	AC	10000.000		10000.0	
2008																	



### Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

#### PARCEL: 19-5S-17-09284-009 - NO AG ACRE (009900)

Name: MIRRA SHALEDA GAINER	LandVal	\$50,000.00
Site:	BldgVal	\$0.00
Mail: 193 SW NEIGHORS GLN	ApprVal	\$50,000.00
LAKE CITY, FL 32024	JustVal	\$50,000.00
Sales	Assd	\$50,000.00
Info 3/1/2005 \$100.00 V / U	Exmpt	\$0.00
	Taxable	\$50,000.00

0 0.1 0.2 0.3 mi



This information, GIS Map Updated: 4/15/2008, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

THIS INSTRUMENT PREPARED BY  
AND RETURN TO:  
TITLE OFFICES, LLC  
343 NW COLE TERRACE  
SUITE 101  
LAKE CITY, FLORIDA 32055

Parcel I.D. #: 09284-009

Inst. 200812011227 Date: 6/12/2008 Time: 3:37 PM  
JDC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1152 P: 927

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

## NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF COLUMBIA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement. This Notice shall be void and of no force and effect if construction is not commenced within ninety (90) days after recordation.

1. Description of property: (Legal description of property, and street address if available)

TBD SW NAUTH.US ROAD, LAKE CITY, FLORIDA 32024  
A PART OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 19, TOWNSHIP 5  
SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY  
DESCRIBED AS FOLLOWS: THE EAST 220 FEET OF THE WEST 640 FEET OF THE SOUTH  
¼ OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 19 AND THE EAST  
220 FEET OF THE WEST 640 FEET OF THE SOUTH ¼ OF THE NORTH ¼ OF THE  
SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 19.

2. General description of improvement: construction of single family dwelling

3. Owner information:

- a. Name and address:  
CHRISTOPHER B. MIRRA and SHALEDA GAINER  
MIRRA  
186 SW RUSSWOOD TERRACE, LAKE CITY,  
FLORIDA 32024  
b. Interest in property: Fee Simple  
c. Name and Address of Fee Simple Titleholder (if other than  
owner):

4. Contractor: (Name and Address)

IRONWOOD HOMES OF LAKE CITY, LLC  
4109 HWY. 90 WEST, LAKE CITY, FLORIDA 32055  
Telephone Number: (386) 754-8844

5. Surety (if any):

- a. Name and Address:  
Telephone Number: \_\_\_\_\_  
b. Amount of Bond \$ \_\_\_\_\_

6. Lender: (Name and Address)

FIRST FEDERAL BANK OF FLORIDA  
4705 WEST U.S. HWY 90, P.O. BOX 2029, LAKE CITY, FL 32056  
Telephone Number: 755-0600

7. Persons within the State of Florida designated by Owner upon whom notice or other documents may be served as provided by Section 713.13(1)(a)(7), Florida Statutes: (Name and Address)  
N/A

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes: (Name and Address) PAULA HACKER  
FIRST FEDERAL BANK OF FLORIDA  
4705 WEST U.S. HWY 90, P.O. BOX 2029, LAKE CITY, FL 32056  
Telephone Number: 755-0600

9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified) \_\_\_\_\_

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.


08Y-08040

Signature of Owner(s) or Owner's Authorized Officer/Director/Partner/Manager:

  
\_\_\_\_\_  
CHRISTOPHER B. MIRRA {SEAL}

  
\_\_\_\_\_  
SHALEDA GAINER MIRRA {SEAL}

The foregoing instrument was acknowledged before me this 10th day of June, 2008, by CHRISTOPHER B. MIRRA and SHALEDA GAINER MIRRA, who are personally known to me or who have produced *Driver's License* as identification.

  
\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

NOTARY PUBLIC-STATE OF FLORIDA  
Kim Watson  
Commission # DD685151  
Expires: AUG. 01, 2011  
BONDED THRU ATLANTIC BONDING CO., INC.

This Instrument Prepared by & return to:

Name: KIM WATSON, an employee of  
TITLE OFFICES, LLC  
Address: 343 NW COLE TERRACE, SUITE 101  
LAKE CITY, FLORIDA 32055  
File No. 08Y-05040KW

Parcel I.D. #: 09284-009

SPACE ABOVE THIS LINE FOR PROCESSING DATA

Inst: 200812011224 Date: 6/12/2008 Time: 3:37 PM  
Doc Stamp-Deed: 0.70

DC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1152 P: 907

**THIS WARRANTY DEED** Made the 10th day of June, A.D. 2008, by <sup>Mother</sup>SHALEDA GAINER MIRRA,  
JOINED BY HER HUSBAND <sup>Daughter</sup>CHRISTOPHER B. MIRRA, hereinafter called the grantor to **CHRISTOPHER B.**  
**MIRRA and SHALEDA GAINER MIRRA, HIS WIFE,** whose post office address is 186 SW RUSSWOOD  
**TERRACE, LAKE CITY, FLORIDA 32024,** hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of Florida, viz:

A PART OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE EAST 220 FEET OF THE WEST 640 FEET OF THE SOUTH ½ OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 19 AND THE EAST 220 FEET OF THE WEST 640 FEET OF THE SOUTH ½ OF THE NORTH ½ OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 19.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2008.

In Witness Whereof, the said grantor has caused these presents to be executed in its name and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

Regina Simpkins  
Witness Signature

Regina Simpkins  
Printed Name

Kim Watson  
Witness Signature

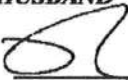
Kim Watson  
Printed Name

Shaleda Gainer Mirra  
SHALEDA GAINER MIRRA


Christopher B. Mirra  
CHRISTOPHER B. MIRRA

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10th day of June, 2008, by **SHALED A GAINER MIRRA AND CHRISTOPHER B. MIRRA, HER HUSBAND** who is known to me or who has produced driver's license as identification.

  
Notary Public

My commission expires \_\_\_\_\_

NOTARY PUBLIC-STATE OF FLORIDA  
KIM Watson  
Commission # DD685151  
Expires: AUG. 01, 2011  
  
BONDED THRU ATLANTIC BONDING CO., INC.

HFD/lss

2/24/05

REC. 27.00  
DOC. -0-  
INT.       

This instrument prepared by  
Herbert F. Darby  
Darby, Peele, Bowdoin & Payne  
Attorneys at Law  
Post Office Drawer 1707  
Lake City, Florida 32056-1707

Inst:2005004974 Date:03/03/2005 Time:09:53

Doc Stamp-Deed : 0.00

7MK DC, P. Dewitt Cason, Columbia County B:1039 P:1542

WARRANTY DEED

THIS WARRANTY DEED made this 1st day of March, 2005, by L.  
J. GAINER, a married person not residing on the property, whose mailing address is  
420 Southwest Presley Terrace, Lake City, Florida 32025-2479, hereinafter called the  
Grantor, to SHALEDA GAINER MIRRA, whose post office address is 193 Southwest  
Neighbors Glen, Lake City, Florida 32024, hereinafter called the Grantee:

WITNESSETH:

That the Grantor, for love and affection, hereby grants, bargains, sells, aliens,  
remises, releases, conveys and confirms unto the Grantee, all that certain land situate  
in Columbia County, Florida, viz:

A part of the Southeast 1/4 of the Northwest 1/4 of Section 19, Township  
5 South, Range 17 East, Columbia County, Florida, being more  
particularly described as follows: The East 220 feet of the West 640 feet  
of the South 1/2 of the Southeast 1/4 of the Northwest 1/4 of said Section  
19 and the East 220 feet of the West 640 feet of the South 1/2 of the  
North 1/2 of the Southeast 1/4 of the Northwest 1/4 of said Section 19.  
Containing 5.00 acres, more or less.

SUBJECT TO road rights-of-way, easements, restrictions, limitations and  
reservations of record, if any.

Grantor is the grandfather of Grantee.

Parcel Number: 19-55-17-09284-000

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto  
belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully  
seized of said land in fee simple; that the Grantor has good right and lawful authority to  
sell and convey said land; that the Grantor hereby fully warrants the title to said land  
and will defend the same against the lawful claims of all persons whomsoever, and that  
said land is free of all encumbrances, except taxes accruing subsequent to December  
31, 2004.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these  
presents the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Kelly Cason  
Witness  
Kelly Cason  
(Print/type name)

Loretta S. Steinmann  
Witness  
Loretta S. Steinmann  
(Print/type name)

L. J. Gainer (SEAL)  
L. J. GAINER

# Columbia County Property Appraiser

DB Last Updated: 4/15/2008

## 2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 19-5S-17-09284-009

Search Result: 1 of 2

Next &gt;&gt;

### Owner & Property Info

<b>Owner's Name</b>	MIRRA SHALEDA GAINER		
<b>Site Address</b>			
<b>Mailing Address</b>	193 SW NEIGHORS GLN LAKE CITY, FL 32024		
<b>Use Desc. (code)</b>	NO AG ACRE (009900)		
<b>Neighborhood</b>	19517.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	5.000 ACRES		
<b>Description</b>	EAST 220 FT OF WEST 640 FT OF S1/2 OF SE1/4 OF NW1/4 & EAST 220 FT OF WEST 640 FT OF S1/2 OF N1/2 OF SE1/4 OF NW1/4 ORB 1039-1542		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$50,000.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$50,000.00

<b>Just Value</b>	\$50,000.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$50,000.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$50,000.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
3/1/2005	1039/1542	WD	V	U	06	\$100.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	5.000 AC	1.00/1.00/1.00/1.00	\$10,000.00	\$50,000.00

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

1 of 2

Next &gt;&gt;

# COLUMBIA COUNTY FLORIDA

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 19-5S-17-09284-009

Building permit No. 000027152

Use Classification MODULAR

Fire: 6.42

Permit Holder TIM EVANS

Waste: 16.75

Owner of Building SHALEDA GAINER MIRRA

Total: 23.17

Location: 793 SW NATILUS RD, LAKE CITY, FL 32024

Date: 09/23/2008

*Fanny Dicks*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)



## SITE NAVIGATION



Home

Course  
AccreditationFlorida  
Building  
CodeManufact.  
BuildingsPrototype  
Building

Surcharges



Training

Product  
ApprovalLicense  
SearchMailing  
ListFBC  
Florida  
Building  
Commission

## MANUFACTURED BLDGS

Plan's Detail

[Overview](#) [Plans](#) [Insignias](#) [Organization Search](#)

Code Version:	2004
Plan Tracking #:	18692 -R2
Agency Plan #:	2R-2102-0246F
Status:	Submitted
Manufacturer:	Palm Harbor Homes, Inc. - PC
Building Type:	Manufactured Buildings
Construction Type:	VI
Occupancy:	Residential
Allowable # of Floors:	1
Wind Velocity:	150 mph
Fire Rating of Exterior Walls:	0 hrs
Maximum Floor Load:	Live: 40 psf Dead: 10 psf
Roof Load:	Live: 20 psf Dead: 12 psf
"U" Rating of Floor, Wall, and Roof:	.09,.09,.033
Modules per Building:	3
Square Footage:	3040
Approved for Hurricane Protection Usage:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Designed for use as a Hurricane Public Shelter:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Plan Comments:	R-3 W/ 2006 supplement 2R Plans approved by HWC Engineering on 12/27/06.
Agency To Review:	Hilborn Werner Carter And Assoc., Inc.
Date Entered:	01/03/2007
Original Plan Tracking #:	18692 -R1
Attached Files	

Date	File
01/03/2007	plan_18692_R2_2R-2102-0246F.pdf

[Review results](#)

New

New Modification

Cancel

Clear

Attach File

Update



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ENGINEERING • INSPECTIONS  
CERTIFICATIONS • TESTING

December 27, 2006

Palm Harbor  
605 South Frontage Road  
Plant City, FL 33566

RE: Manufacturer: Palm Harbor Homes  
S/N Size & Occupancy C6649-D (40 X 76) R-3  
HWC Plan#: 2R2102-0246F

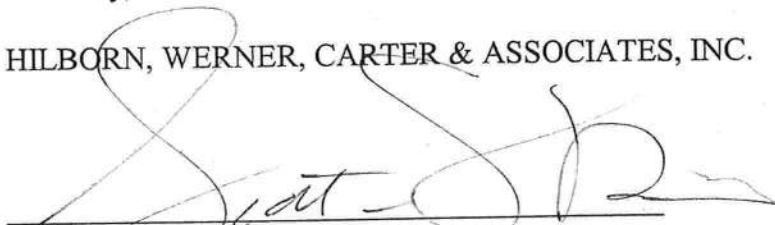
To Whom It May Concern:

This is to certify that the plans for the referenced manufactured building have been reviewed and approved as being in compliance with the 2004 Florida Codes and Standards, with 2006 supplement, as noted on the approved drawings, subject to the following limitations:

1. Approval covers factory-built structure only (Note: Any alterations to factory built structure on site voids state approval)
2. Items installed at the site are subject to review, approval, and inspection by the local authority having jurisdiction.
3. The Chapter 633 Plan Review and Inspection shall be conducted by the local fire safety inspector.
4. Signed and sealed plans shall be on file with HWC Engineering.
5. NOT approved for High Velocity Hurricane Zone (i.e., Broward and Dade Counties).

Sincerely,

HILBORN, WERNER, CARTER & ASSOCIATES, INC.



Plan Reviewer

HILBORN, WERNER, CARTER AND ASSOCIATES, INC.

1627 SOUTH MYRTLE AVENUE CLEARWATER, FLORIDA 33756

(727) 584-8151

FAX: (727) 586-3343 / (727) 585-2392 / (727) 587-0447  
Modular Design Inspection

## PRODUCT APPROVAL SPECIFICATION SHEET

**Manufacturer:** Palm Harbor Homes C6649-D **Plan #** 2R2102-0246F

As required by Florida Statute 553.8452 and Florida Administrative Code 9B-72, please provide the information and the product approval numbers(s) on the building components listed below if they will be utilized on the manufactured building for which you are applying for a DCA insignia. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category	Manufacturer	Product Description- Product Limitations	Approval #(s)
<b>EXTERIOR DOORS</b>			
Swinging	Dunbarton	Exterior Doors –Duradoor and Unidoor (+/- 47 psf ) Secur-A-Door ( +/- 66.0 psf ) Wind pressures should match stated wind pressures on cover sheet of approved drawings. Inspector to verify.	FL1766
Sliding	NuAir	Sliding Glass Door-See page 10 of FL approval for wind pressure configurations vs # of fasteners required. Wind pressures should match stated pressures on cover sheet of building plans. Inspector to verify.	FL5334 – See page 10 of approval
9' SGD			
Roll-up			
Automatic			
Other			

<b>WINDOWS</b>			
Single Hung	Kinro	Windows – Model 9750 46 ¼ x 60 max.- DP 50, R40 / 36 x 72 max – DP 66, R50. Inspector to verify DP listings against pressures on cover sheet of plans.	FL993
Horizontal Slider			
Casement			
Double Hung			
Fixed			
Awning			
Pass-through			
Projected			
Mullion			
Wind Breaker			
Dual Action			
Other			
<b>PANEL WALL</b>			
Siding opt 1	Stylecrest	Triple 3 Vinyle Siding – See FI Product Approval for Limits of Use, Design Pressures and number of fasteners.	FL 2246 R1
Siding opt 2			
Soffits			
Storefronts			
Curtain Walls			
Wall Louver			
Glass Block			
Membrane			
Greenhouse			
Other			

Category	Manufacturer	Product Description	Approval #(s)
<b>ROOFING PRODUCTS</b>			
Asphalt Shingles	GAF	Asphalt Shingles –Shall not be installed on roof mean heights in excess of 33ft	FL183.11
Underlayments	Tamko	Asphalt Felt	FL1481
Roofing Fasteners	Senco	Roofing and Shingle Nails	FL 6011
Non-structural Metal			
Built-up Roofing			
Modified Bitumen			
Single Ply Roofing Sys.			
Roofing Tiles			
Roofing Insulation			
Waterproofing			
Wood Shingles / Shakes			
Roofing Slate			
Liquid Applied Roof Sys.			
Cements – Adhesives – coatings			
Roof Tile Adhesives			
Spray Applied Polyurethane Roof			
Other			
<b>SHUTTERS</b>			
Accordion			
Bahama			
Storm Panels			
Colonial			
Roll-up			
Equipment			
Other			
<b>SKYLIGHTS</b>			
Skylight			
Other			

**FLORIDA ENERGY EFFICIENCY CODE  
FOR BUILDING CONSTRUCTION**Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	2R2102-0246F C6649-D	Builder:	PALM HARBOR
Address:		Permitting Office:	
City, State:	,	Permit Number:	
Owner:		Jurisdiction Number:	
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 54.1 kBtu/hr SEER: 13.00
3. Number of units, if multi-family	1	b. N/A	
4. Number of Bedrooms	4	c. N/A	
5. Is this a worst case?	Yes	13. Heating systems	
6. Conditioned floor area (ft²)	2912 ft²	a. Electric Heat Pump	Cap: 36.9 kBtu/hr HSPF: 7.70
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		b. N/A	
a. U-factor:	Description Area	c. N/A	
(or Single or Double DEFAULT) 7a. (Dble, U=0.4)	90.0 ft²	14. Hot water systems	
b. SHGC:		a. Electric Resistance	Cap: 50.0 gallons EF: 0.90
(or Clear or Tint DEFAULT) 7b. (Clear)	420.1 ft²	b. N/A	
8. Floor types		c. N/A	
a. Raised Wood, Stem Wall	R=11.0, 2912.0ft²	15. HVAC credits	PT, _____
b. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
c. N/A		HF-Whole house fan,	
9. Wall types		PT-Programmable Thermostat,	
a. Frame, Wood, Exterior	R=11.0, 1663.9 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
d. N/A			
e. N/A			
10. Ceiling types			
a. Under Attic	R=30.0, 2975.0 ft²		
b. N/A			
c. N/A			
11. Ducts(Leak Free)			
a. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 330.0 ft		
b. N/A			

Glass/Floor Area: 0.14

Total as-built points: 29210

Total base points: 35691

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: \_\_\_\_\_

DATE: \_\_\_\_\_ APPROVED DEC 27 2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_ Date \_\_\_\_\_ Plan No. \_\_\_\_\_  
Approved By SCOTT S. FRANCIS

DATE: \_\_\_\_\_

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.SEE MANUFACTURER'S CONTRACT  
WITH FLORIDA DCA.Modular Building Plans Examiner  
Florida License No. 01476402

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>2R2102-0246F C6649-D</b>	Builder: <b>PALM HARBOR</b>
Address:	Permitting Office:
City, State: ,	Permit Number:
Owner:	Jurisdiction Number:
Climate Zone: <b>Central</b>	

1. New construction or existing <span style="float: right;">New</span> <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family <span style="float: right;">Single family</span> <input type="checkbox"/>	a. Central Unit <span style="float: right;">Cap: 54.1 kBtu/hr</span>
3. Number of units, if multi-family <span style="float: right;">1</span> <input type="checkbox"/>	<span style="float: right;">SEER: 13.00</span> <input type="checkbox"/>
4. Number of Bedrooms <span style="float: right;">4</span> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? <span style="float: right;">Yes</span> <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) <span style="float: right;">2912 ft²</span> <input type="checkbox"/>	13. Heating systems
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump <span style="float: right;">Cap: 36.9 kBtu/hr</span>
a. U-factor: <span style="float: right;">Description Area</span>	<span style="float: right;">HSPF: 7.70</span> <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.4) 90.0 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 420.1 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance <span style="float: right;">Cap: 50.0 gallons</span>
a. Raised Wood, Stem Wall <span style="float: right;">R=11.0, 2912.0ft²</span> <input type="checkbox"/>	<span style="float: right;">EF: 0.90</span> <input type="checkbox"/>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior <span style="float: right;">R=11.0, 1663.9 ft²</span> <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits <span style="float: right;">PT, <input type="checkbox"/></span>
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic <span style="float: right;">R=30.0, 2975.0 ft²</span> <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Con. AH: Interior <span style="float: right;">Sup. R=6.0, 330.0 ft</span> <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.14

Total as-built points: 28489

Total base points: 32259

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: APPROVED DEC 27 2006DATE: APPROVED DEC 27 2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: \_\_\_\_\_

Date: \_\_\_\_\_

Plan No. \_\_\_\_\_

Approved By SCOTT S. FRANCIS

DATE: \_\_\_\_\_

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SEE MANUFACTURER'S CONTRACT  
WITH FLORIDA DCA.

Modular Building Plans Examiner  
Florida License No. 00000000

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: **2R2102-0246F C6649-D**  
Address:  
City, State: ,  
Owner:  
Climate Zone: **South**

Builder: **PALM HARBOR**  
Permitting Office:  
Permit Number:  
Jurisdiction Number:

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 4 ☐
5. Is this a worst case? Yes ☐
6. Conditioned floor area (ft<sup>2</sup>) 2912 ft<sup>2</sup> ☐
7. Glass type<sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)
  - a. U-factor: Description Area  
(or Single or Double DEFAULT) 7a. (Dble, U=0.4) 90.0 ft<sup>2</sup> ☐
  - b. SHGC:  
(or Clear or Tint DEFAULT) 7b. (Clear) 420.1 ft<sup>2</sup> ☐
8. Floor types
  - a. Raised Wood, Stem Wall R=11.0, 2912.0ft<sup>2</sup> ☐
  - b. N/A ☐
  - c. N/A ☐
9. Wall types
  - a. Frame, Wood, Exterior R=11.0, 1663.9 ft<sup>2</sup> ☐
  - b. N/A ☐
  - c. N/A ☐
  - d. N/A ☐
  - e. N/A ☐
10. Ceiling types
  - a. Under Attic R=30.0, 2975.0 ft<sup>2</sup> ☐
  - b. N/A ☐
  - c. N/A ☐
11. Ducts(Leak Free)
  - a. Sup: Unc. Ret: Con. AH: Interior Sup. R=6.0, 330.0 ft ☐
  - b. N/A ☐

12. Cooling systems
  - a. Central Unit Cap: 54.1 kBtu/hr ☐  
SEER: 13.00 ☐
  - b. N/A ☐
  - c. N/A ☐
13. Heating systems
  - a. Electric Heat Pump Cap: 36.9 kBtu/hr ☐  
HSPF: 7.70 ☐
  - b. N/A ☐
  - c. N/A ☐
14. Hot water systems
  - a. Electric Resistance Cap: 50.0 gallons ☐  
EF: 0.90 ☐
  - b. N/A ☐
  - c. Conservation credits  
(HR-Heat recovery, Solar  
DHP-Dedicated heat pump) ☐
15. HVAC credits PT, ☐

(CF-Ceiling fan, CV-Cross ventilation,  
HF-Whole house fan,  
PT-Programmable Thermostat,  
MZ-C-Multizone cooling,  
MZ-H-Multizone heating)

Glass/Floor Area: 0.14

Total as-built points: 31464

Total base points: 35482

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]

DATE: APPROVED DEC 27 2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Approved By SCOTT S. FRANCIS

DATE: [Signature]

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

GENERAL NOTES: 2004 FBC, RESIDENTIAL W/2006 SUPPL.

1. ALL GLAZING WITHIN 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
2. FLOOR DESIGN LIVE LOAD = 40 PSF
3. MAXIMUM WIND SPEED = 150 MPH, (3 SEC.) ( EXPOSURE C)
4. OPEN
5. OCCUPANCY IS RESIDENTIAL (R-3) ( PER 200 SQUARE FEET OF FLOOR AREA.
7. ALL STEEL STRAPS REFERENCED ON FLOOR PLAN SHALL BE 1.5 INCH x 26 GA. WITH EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.
8. CONSTRUCTION IS TYPE VB.
9. OPEN
10. MINIMUM CORRIDOR WIDTH IS 36 INCHES.
11. WINDOWS, GLASS, DOORS, SHALL COMPLY WITH AAMA / NWMA 101 / LS-2-97.
12. ALL MATERIALS COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 9B-72 RULES SHALL HAVE CURRENT FLORIDA PRODUCT APPROVALS.
13. LOCATION OF DATA PLATE, STATE LABEL IS ON THE COVER OF THE ELECTRIC PANEL OR NEAR IT.

MECHANICAL NOTES: 2004 FBC, RESIDENTIAL, W/2006 SUPPL.

1. ALL SUPPLY AIR REGISTERS ARE ADJUSTABLE, EXCEPT WHERE OTHERWISE SPECIFIED.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR
3. RESTROOM VENT FANS SHALL PROVIDE 50 CFM MINIMUM OF VENTILATION.
4. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
5. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 20 CFM FOR EACH OCCUPANT, OR 50 CFM.

CODE SUMMARY:

STATE	RESIDENTIAL	ELECTRICAL	MECHANICAL	PLUMBING	ENERGY
FLORIDA	2004 FBC RESIDENTIAL W/2006 SUPPL	2005 NEC RESIDENTIAL W/2006 SUPPL	2004 FBC RESIDENTIAL W/2006 SUPPL	2004 FBC RESIDENTIAL W/2006 SUPPL	FLA RES

INDEX:

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Exterior Elevations	FP-2.1
Exterior Elevations	FP-2.2
Opt. Exterior Elevations	FP-2.3
Floor Plan	FP-3
Floor Plan	FP-3.1
Opt. Entry Plan	FP-3.2
Opt. Bedroom	FP-3.3
Electrical Plan	FP-4
Drain/Waste/Vent Sys.(STD)	FP-5
Water Supply System	FP-6
Std. Roof Plan (w/ duct if applicable)	FP-7
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150 mph-See Modular Const. Pkg.	
GABLE FRAMING	D-7.2
ATTACHMENTS:	
HVAC Load Calculations	
Florida Energy Calculations	

PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE PERFORMED BY LOCAL FIRE SAFETY INSPECTOR.

ELECTRICAL NOTES: 2005 NEC

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM STORAGE AREA AS DEFINED BY NEC 410-8(g).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED BY THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER. THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND THE DISCONNECTS ALL UNGROUNDED CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DETERMINED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.

6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. ALL CIRCUITS CROSSING OVER MODULE MOUNTING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES, OR CABLE CONNECTORS.
8. ALL OUTLETS LOCATED WITHIN 6 FEET OF A SINK OR BASIN SHALL BE EQUIPPED WITH GFCI PROTECTION.
9. SMOKE DETECTORS SHALL BE WIRED SO THAT THE OPERATION OF ANY ONE SMOKE DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS.
10. ALL RECEPTACLES INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (WP) ENCLOSURES. THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN AN ATTACHMENT PLUG CAP IS INSERTED OR REMOVED.
11. ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMPERE OUTLETS IN BEDROOM ARE PROTECTED BY AN ARC- FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 210.12.2002 NEC.

Palm Harbor Homes  
MODEL APPROVAL PACKAGE  
MODEL: C6649-D  
APPROX: 3040 SQ. FT.

ATTENTION LOCAL INSPECTIONS DEPARTMENT

SET-UP INSTRUCTIONS FOR THIS MODULAR UNIT ARE INCLUDED BY ATTACHMENT TO THESE PLANS. ANY PLANS SET WHICH DOES NOT INCLUDE AN ATTACHMENT ENTITLED "INSTALLATION INSTRUCTIONS" ARE INCOMPLETE.

THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY THE MANUFACTURER, HAVE NOT BEEN INSPECTED BY THE LOCAL INSPECTIONS DEPARTMENT, AND ARE NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

SITE INSTALLED ITEMS:

NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM.
2. RAUP, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FIRE EXTINGUISHER(S).
4. BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE
8. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
9. EXTERIOR WALL TRIM AND SOFT MATERIAL
10. WINDOWS, STORM SHUTTERS.
11. BOTTOM OF FLOOR WIND PROTECTION ( IF APPLICABLE )
12. AT MATERIALS, PRESTRESSING PER NC 602.7
13. CROSS-OVER DUCT (HVAC)
14. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
15. HVAC DISCONNECT, EQUIPMENT.
16. PREPLACE CHIMNEY
17. GABLE WALL FRAMING, CHIMNEY
18. COMBUSTION GAS VENTING, COMBUSTION AIR SUPPLY.

STRUCTURAL LOAD LIMITATIONS:

- FLOOR LIVE LOAD:  
1. 40 PSF:  
ROOF LIVE LOAD:  
2. 20 PSF:  
WIND LOAD:  
1. 150 MPH  
2. W = 1.0  
WIND SPEED (3 SEC.)  
WIND IMPORTANCE FACTOR.  
BUILDING CAT. II (ASCE 7--02)  
3. C  
4. G<sub>z</sub> = 0.18  
WIND EXPOSURE CATEGORY.  
INTERNAL PRESSURE COEFFICIENT:  
5. D.W.P. FOR C/C PSF  
Pr = ROOF COMPONENT & CLADDING LOAD.

ZONE 1 = - 43.5 PSF (EA=20)  
ZONE 2,3 = - 86.0 PSF EA=20

ROOF OVERHANG

ZONE 2 = - 94.4PSF

ZONE 3 = - 153.7 PSF

Pw = WALL COMPONENT & CLADDING LOAD.

WALL : ( WINDOWS, DOORS)

ZONE 4 = - 53.1 PSF (EA=10)

ZONE 5 = - 65.6 PSF (EA=10)

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

7. FLOOD LOAD:

IF THIS BUILDING IS LOCATED IN A FLOOD HAZARD AREA, NO PORTION OF THE BUILDING IS DESIGNED TO BE SUBMERGED WHEN LOCATED IN A BASE FLOOD ELEVATION.

200 AMP PANEL

PANEL SIZING

DESCRIPTION	KVA
FLOOR AREA ( 3040 SF x 3 VA.) / 1000 =	9.1 KVA
(3) SMALL APPLIANCES AT 1500 VA. / 1000 =	6.0 KVA
RANGE AT 8.0 KW. =	8.0 KVA
WATER HEATER AT 5.5 KW. =	5.5 KVA
DISHWASHER AT 1.4 KW. = Opt	1.4 KVA
WASHER AT 1500 VA. / 1000 =	1.5 KVA
DRYER AT 5.0 KW. =	5.0 KVA
GARBAGE DISPOSAL AT 1.9 KW. =	1.9 KVA
MICROWAVE AT 1.5 KW. =	1.5 KVA
TOTAL LOAD	39.9 KVA
FIRST 10 KVA AT 100% REMAINDER AT 40%	10.0 KVA
HVAC AT 100% ASSUMED	12.0 KVA
	15.8 KVA

NOTE:  
TOTAL 37.8  
TOTAL 240  
LOCAL SITE ELECTRIC/HVAC CONTRACTOR  
x 1000 = 157.5  
TO VERIFY ADEQUACY OF HVAC ELECT.  
LOAD IN PANEL CALCULATIONS  
AMP PANEL  
120/240 V., 1φ

PLUMBING NOTES: 2004 FBC, RESIDENTIAL W/2006 SUPPL.

1. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
2. WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR.
3. T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
3. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MINIMUM.
4. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
5. WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER. WHEN POLY-BUTYLENE SUPPLY LINES ARE INSTALLED THE MAXIMUM WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
6. BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
8. SHOWER STALLS SHALL BE COVERED WITH NON-ABSORBENT MATERIAL TO A HEIGHT OF 70 INCHES ABOVE FINISH FLOOR.
9. SHOWERS SHALL BE CONTROLLED BY AN APPROVED MIXING VALVE WITH WATER OUTLET TEMPERATURE OF 120° F. (48.8° C)
9. THERMAL EXPANSION DEVESE , IF REQUIRED BY WATER HEATER INSTALLATION INSTRUCTIONS, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

FOUNDATION:

IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF COMMUNITY AFFAIRS, THESE BUILDING PLANS DO NOT CONTAIN (THE FOUNDATIONS THAT ARE IN THE PLAN ARE OPTIONS ONLY) FOUNDATION SUPPORT AND THE DOWN SYSTEM DETAILS AND SPECIFICATIONS. THE ARCHITECT / ENGINEER OF BUILDING PLANS SHOULD BE CONTACTED TO OBTAIN APPROPRIATE FOUNDATION PLANS. IF FOUNDATION PLANS ARE DESIGNED BY OTHERS, THE ARCHITECT / ENGINEER OF BUILDING PLANS SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR THE FOUNDATION DESIGN AND THE CONSEQUENTIAL PERFORMANCE OF THE SUPERSTRUCTURE'S STRUCTURAL COMPONENTS AND SYSTEMS RELATING THERE TO.

Robert E. Gregg  
Registered Architect

630 Chesnut Street  
Clearwater, Florida 33756  
Phone: 727.796.8774  
FAX: 727.791.6942

ATTACHMENTS:

HVAC Load Calculations


Florida Energy Calculations

Shear Wall Summary

THIS BUILDING IS DESIGNED FOR A PERMANENT FOUNDATION AND IS NOT A HUD BUILDING

Palm Harbor Homes

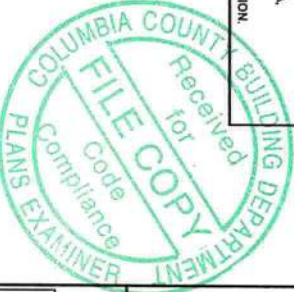
605 SOUTH FRONTAGE ROAD, PLANT CITY, FLORIDA 33663

	Title:	Florida Modular	Page:	FP-1
Model No.:	C6649-D			
Drawn By:	BB	Date:	11-29-06	
COVER SHEET		DWG. #:	2R-2102-0246F	
			C6649-D 030104	

LISTING	AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE BUILDING CODE AND ARE TO BE USED FOR THE ACT OF 1975 CONSTRUCTION	NO
CONST. TYPE	1B
OCCUPANCY	R-3
ALTERNATE NO. OF FLOORS	1
WIND VELOCITY (150CSSE)	0
PER RATING OF EXT WALLS	0
PLAN NO. 2R-2102-0246F	40
ALLOW FLOOR LOAD	40
APPROVAL DATE	12-27-06
MANUFACTURER PALMHARBOR	
HIGH VELOCITY HARBORZONE ZONE	NO

Modular Building Plans Examiner  
Florida License No. SMP-42

THIRD PARTY: HILBORN, WERNER, CARTER & ASSOCIATES  
1827 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756



This building is designed for a permanent foundation and is NOT intended to be moved once so installed.

APPROVED DEC 27 2006

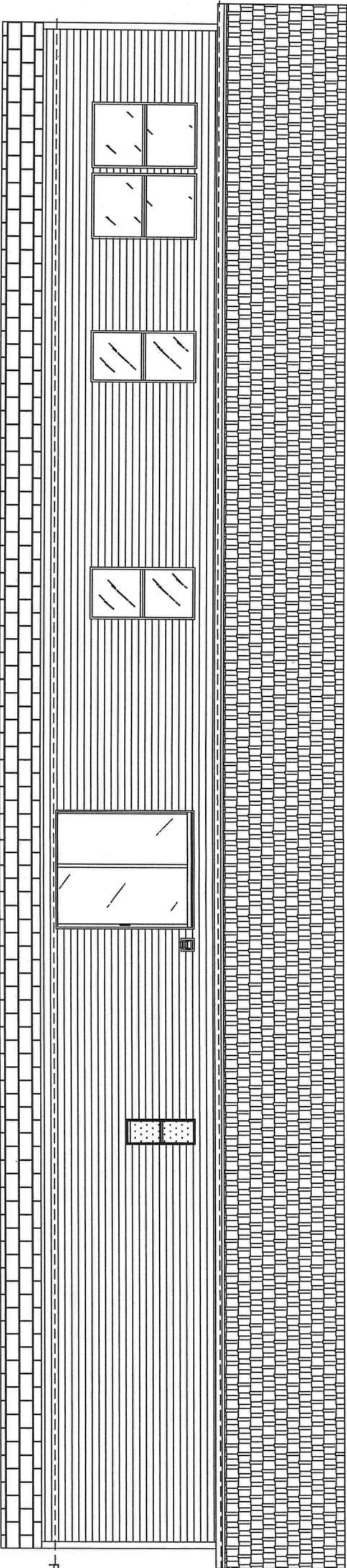
LISTING  
AGENCY APPROVAL  
THESE PLANS HAVE BEEN REVIEWED BY THE  
FLORIDA MANUFACTURED BUILDING  
DIVISION AND APPROVED TO THE FOL-  
LOWING CRITERIA:

CONST. TYPE VB  
OCCUPANCY R-3  
ALLOTMENT NO. 1  
WIND VELOCITY 150(3SEC)  
FIRE RATING OF 0  
EXT. WALLS 2R-2102-0246F  
FLOOR FLOOR 40  
APPROVAL DATE 12-27-06  
MANUFACTURER PALM HARBOR

HIGH VELOCITY  
HURRICANE ZONE NO

**PHH**  
CDA # 1023

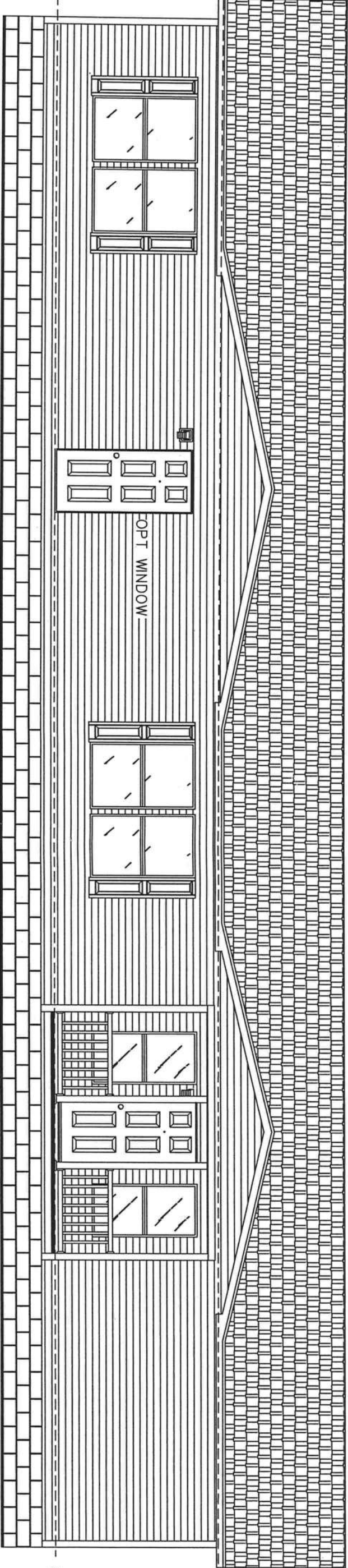
*[Signature]*  
APPROVED DEC 27 2006



STD REAR VIEW

OPT DORMER

OPT DORMER



FRONT (STREET) VIEW

2R-2102-0246F

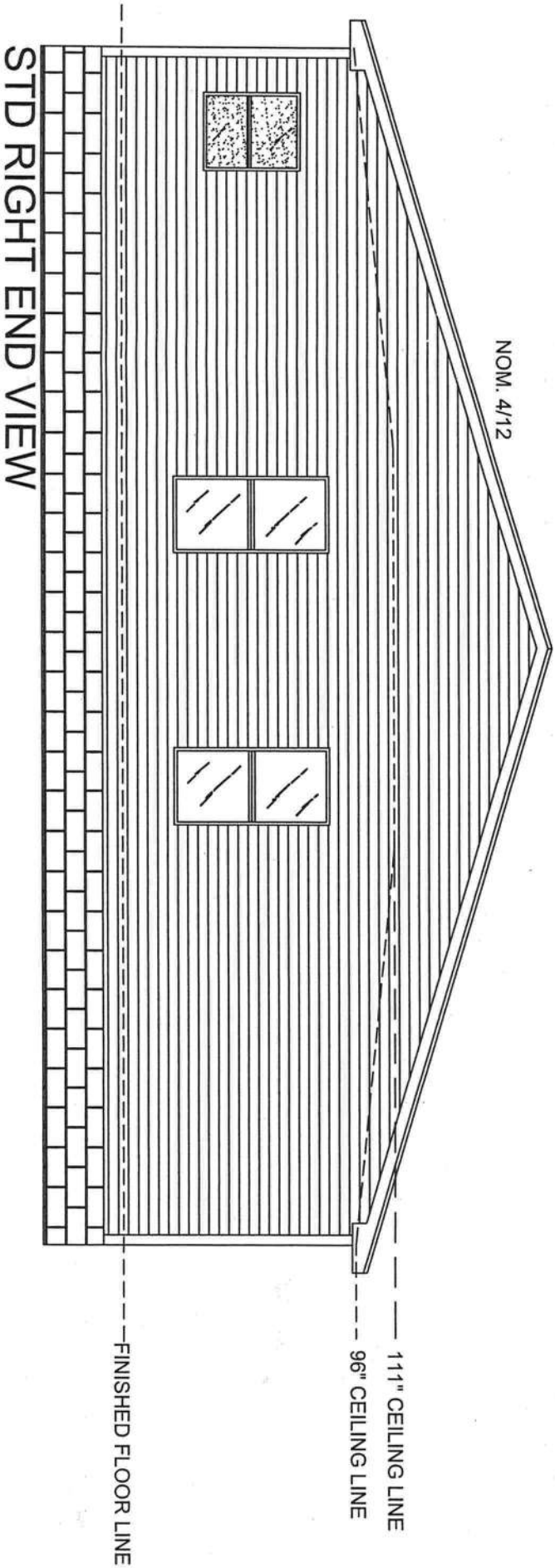
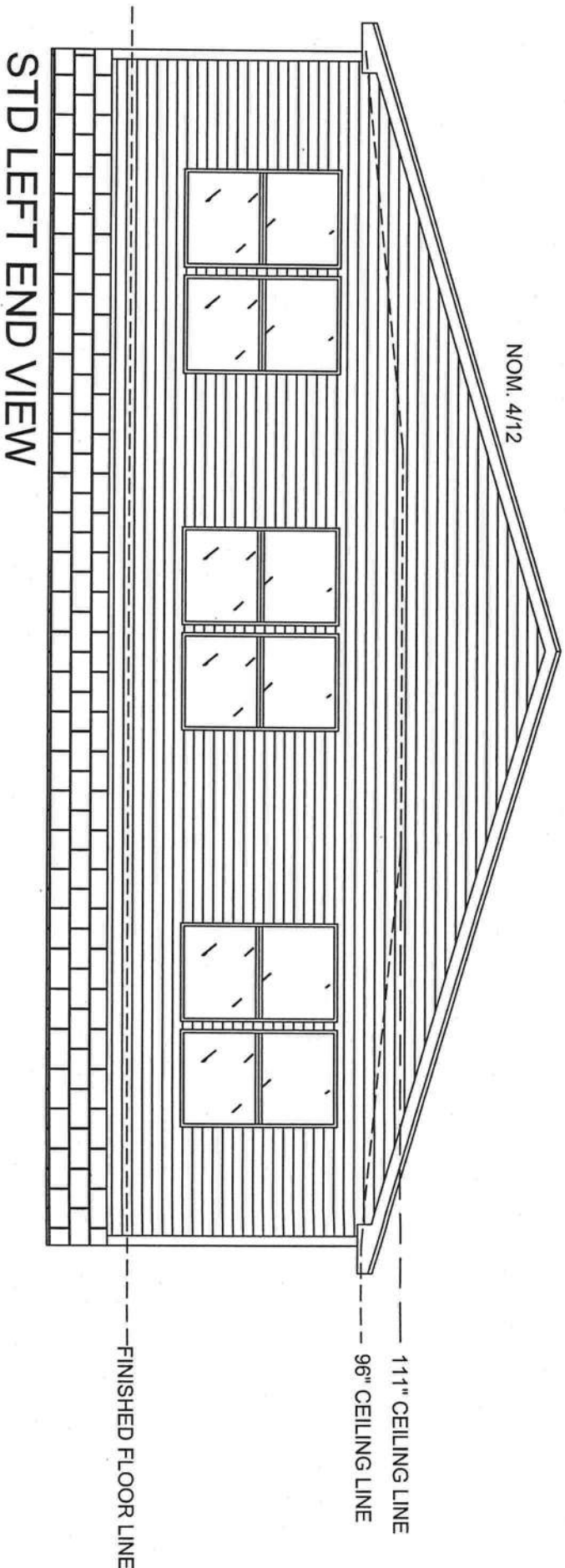
Robert E. Gregg  
Registered Architect

630 Cleveland Street  
Clearwater, Florida 33756  
Phone: 727.791.8774  
Fax: 727.791.8942

MODULAR NOTES  
CODE LABELS E.L.A.

THIRD PARTY: HARBOR MANUFACTURING  
1827 SOUTH WHITE AVE.  
CLEARWATER, FL 33756

<b>Palm Harbor Homes</b>		605 South Frontage Road, Plant City, Florida 33563	
<b>EXTERIOR ELEVATIONS</b>		<b>FP-2</b>	
DRAWING NO. C6649-D 030104	DATE 11-19-06	SCALE 3/16" = 1'-0"	REVISIONS
BB			



1. ROOF VENT:  
A TYPICAL ROOF VENT HAS 50 SQ. IN. OF NET FREE AIR.
2. ROOF OVERHANGS:  
TYPICAL ROOF EXTENSION (OVERHANG) AT ENDWALL AREA IS 6" TO 12".
3. BATH EXHAUST VENTS:  
ALL BATH EXHAUST VENTS (VENTILATED AIR) SHALL EXHAUST DIRECTLY TO THE EXTERIOR OF THE HOME.
4. TYPICAL ELEVATIONS:  
THE ELEVATIONS SHOWN ABOVE ARE THE TYPICAL "STANDARD" ELEVATIONS. ELEVATIONS MAY CHANGE WITH OPTIONAL ITEMS OR CUSTOMER REQUESTS.

Robert E. Gregg  
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MODULAR NOTES  
CODE LABELS E.T.A.

THIRD PARTY: HARBOR HOMES, CENTER  
1627 SOUTH WENTLE AVE.  
CLEARWATER, FL 34616

605 South Frontage Road, Plant City, Florida 33563

**Palm Harbor Homes**

BB

11-29-06

3/16 = 1'-0"

Rev:

EXTERIOR ELEVATIONS

C6649-D

C6649-D 030104

11-29-06

3/16 = 1'-0"

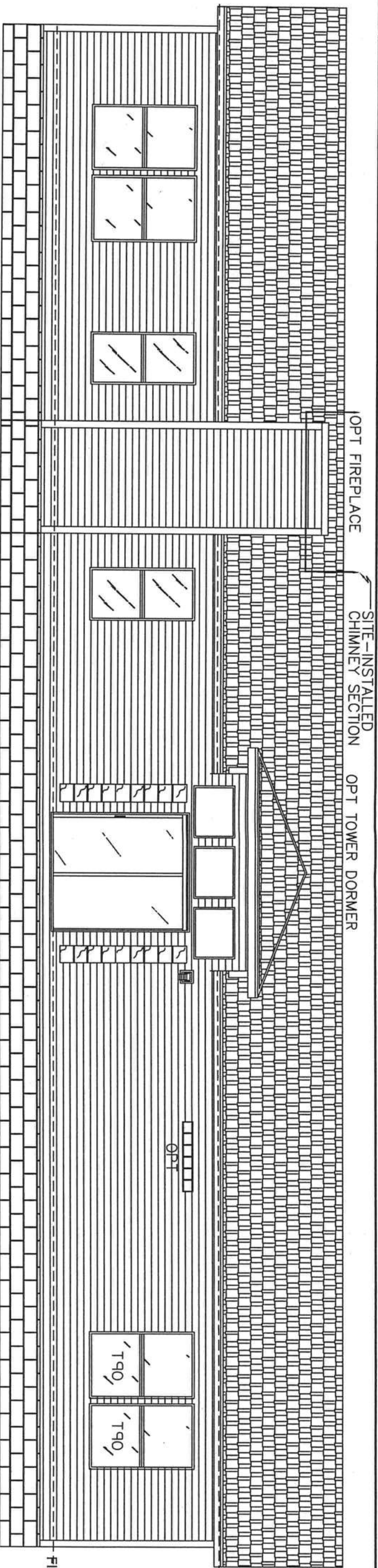
Rev:

Page:

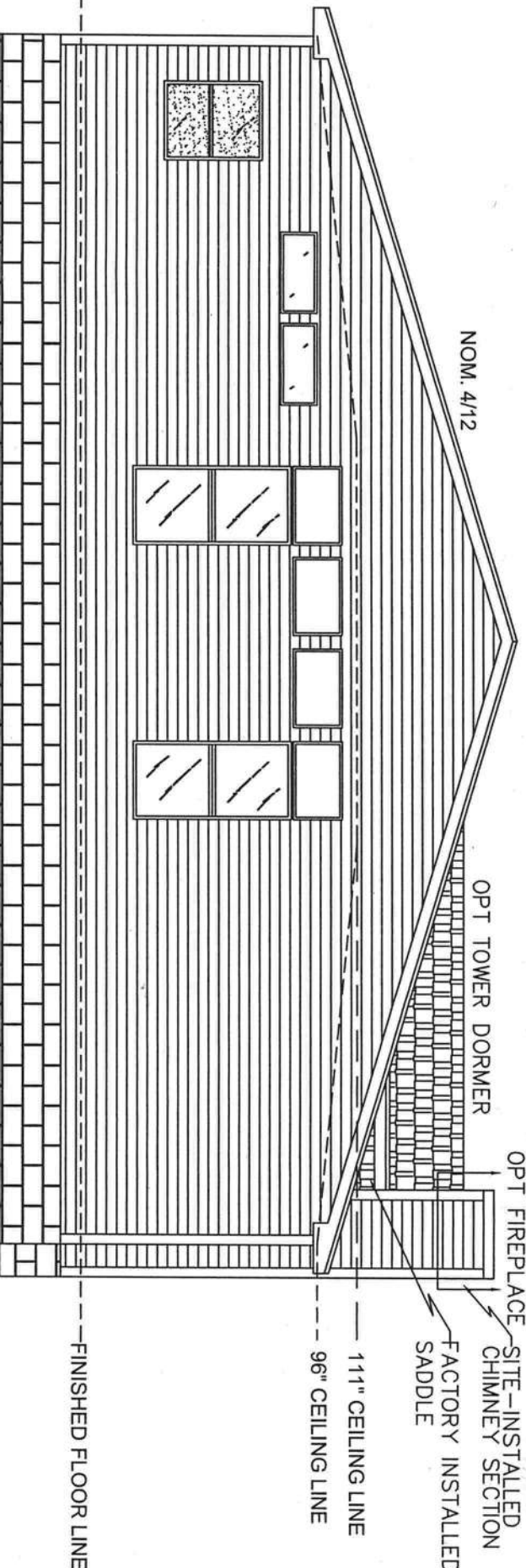
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APPROVED DEC 27 2006

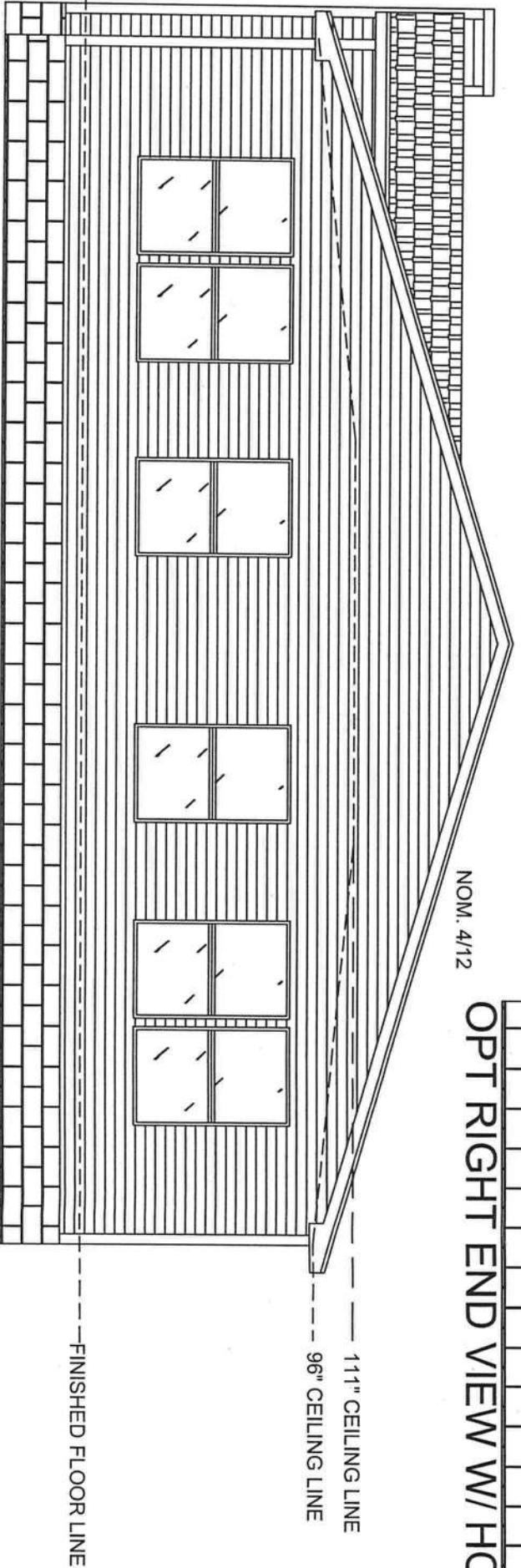
LISTING	
THESE PLANS SHALL BE IN ACCORDANCE WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION AND SHALL BE SUBJECT TO THE FOLLOWING CONDITIONS:	
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150(130C)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2R-2102-0246F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	12.27.06
MANUFACTURER	PALMHARBOR
HIGH VELOCITY WINDZONE	NO



REAR VIEW WITH OPTIONS



OPT RIGHT END VIEW W/ HORIZONS



OPT LEFT END VIEW

Robert E. Gregg  
Registered Architect

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Phone: 727.796.8174  
Fax: 727.791.6942

MODULAR  
CODE LABELS, NOTES

THIRD PARTY: HARBOR, WENGER, CARTER  
1627 SOUTH WATKINS AVE.  
CLEARWATER, FL 33756

**Palm Harbor Homes**

605 South Frontage Road, Plant City, Florida 33563

EXTERIOR ELEVATIONS

C6649-D

FP-2.2

Page

Drawn By: BB

Date: 11-29-06

Scale: 3/16 = 1'-0"

Rev: 1

Rev: 2

Rev: 3

1. ROOF VENT:  
A TYPICAL ROOF VENT HAS 50 SQ. IN. OF NET FREE AIR.
2. ROOF OVERHANGS:  
TYPICAL ROOF EXTENSION (OVERHANG) AT ENDWALL AREA IS 6" TO 12".
3. BATH EXHAUST VENTS:  
ALL BATH EXHAUST VENTS (VENTILATED AIR) SHALL EXHAUST DIRECTLY TO THE EXTERIOR OF THE HOME.
4. THE ELEVATIONS SHOWN ABOVE ARE THE TYPICAL "STANDARD" ELEVATIONS. ELEVATIONS MAY CHANGE WITH OPTIONAL ITEMS OR CUSTOMER REQUESTS.

2R-2102-0246F

LISTING

THESE PRINTS COMPLY WITH THE  
MINIMUM REQUIREMENTS OF THE  
FLORIDA BUILDING CODE, AS AMENDED  
BY THE FLORIDA BUILDING CODE  
COMMISSION, TO THE FLORIDA  
BUILDING CODE, 1998.

CONSTR. TYPE: VB

OCCUPANCY: R-3

ALLOWABLE NO. OF FLOORS: 1

WIND VELOCITY (50/3SEC): 150

FREE RATIO OF EXT. WALLS: 0

PLAN NO.: 2R-2102-0246F

ALLOW FLOOR LOAD: 40

APPROVAL DATE: 12-27-06

MANUFACTURER: PALM HARBOR

NO. 1023

APPROVED DEC 27 2006

OPT DORMER

[illegible]

**Notes:**

1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
5. This building may be mirrored about the length of it's axis without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).

LISTING	
AGENCY APPROVAL	
THIS IS TO CERTIFY THAT THE ABOVE LISTED FLOODING MANUFACTURED BUILDING IS NOT OF 1959 CONSTRUCTION AND IS NOT SUBJECT TO THE FLOODING REGULATIONS OF THE FLOOD CONTROL DISTRICT.	
CONCET. TYPE	___ V-B
OCCUPANCY	___ R-3
NUMBER OF FLOORS	___ 1
WIND VELOCITY PER MINUTE OF EX. WINDING	___ 0
DATE	28-12-2006
ALLOW FLOOR LOAD	___ 40
APPROVAL, DATE	12.27.06
MANUFACTURED BY	PALHARBOR
HIGH VELOCITY	___ NO
HORIZONTAL EXPOSURE	

**III**  
COA # 1025

COA # 1025

C6649-D | Opt. Exterior Elevation

C6649-D	Opt. Exterior Elevation
---------	-------------------------

CUSTOM	150 mph
--------	---------

2R-2102-0246F	Florida Modular
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Revision Log	
Description of Revision	Name

			FP-2.3



Palm  
Harbor  
Homes

605 South Frontage Road  
Plant City, FL 33563

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**Robert E. Gregg**  
Registered Architect  
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Clearwater, Florida 33756  
Phone: 727.796.8774  
FAX: 727.791.6942

Third Party:

Hilborn, Werner, Carter  
and Associates (HWC)  
1627 South Myrtle Ave.  
Clearwater, Florida 33756



MAIN BREAKER  
200 AMP

AMP. WIRE SIZE	DESCRIPTION	CIR. NO.	PANEL SPACE	CIR. NO.	DESCRIPTION	AMP. WIRE SIZE
20	WATER HEATER (3500W/240V)	1	*	2	RANGE OR OVEN	PER MFG
20	APPLIANCE	3	*	4 AF	GEN. LIGHTING	14-2*
20	APPLIANCE	5	*	6 AF	GEN. LIGHTING	14-2*
20	APPLIANCE	7	*	8 AF	GEN. LIGHTING	14-2*
20	APPLIANCE	9	*	10 AF	GEN. LIGHTING	14-2*
15	OPT. D.W.	11	*	12	OPT. G.F.I.	14-2*
20	LAUNDRY	13	*	14	OPT. ELECTRIC HEAT-A/C	PER MFG
30	CLOTHES DRYER	15	*	16	COOK-TOP	PER MFG
15	OPT. DISPOSAL	17	*	18 AF	SMOKE DETECTOR	14-3*
20	BATH G.F.I.	19	*	20	EXTERIOR GFI	14-3*
15	OPT JACUZZI G.F.I.	21	*			
20	OPT MICROWAVE	23	*			

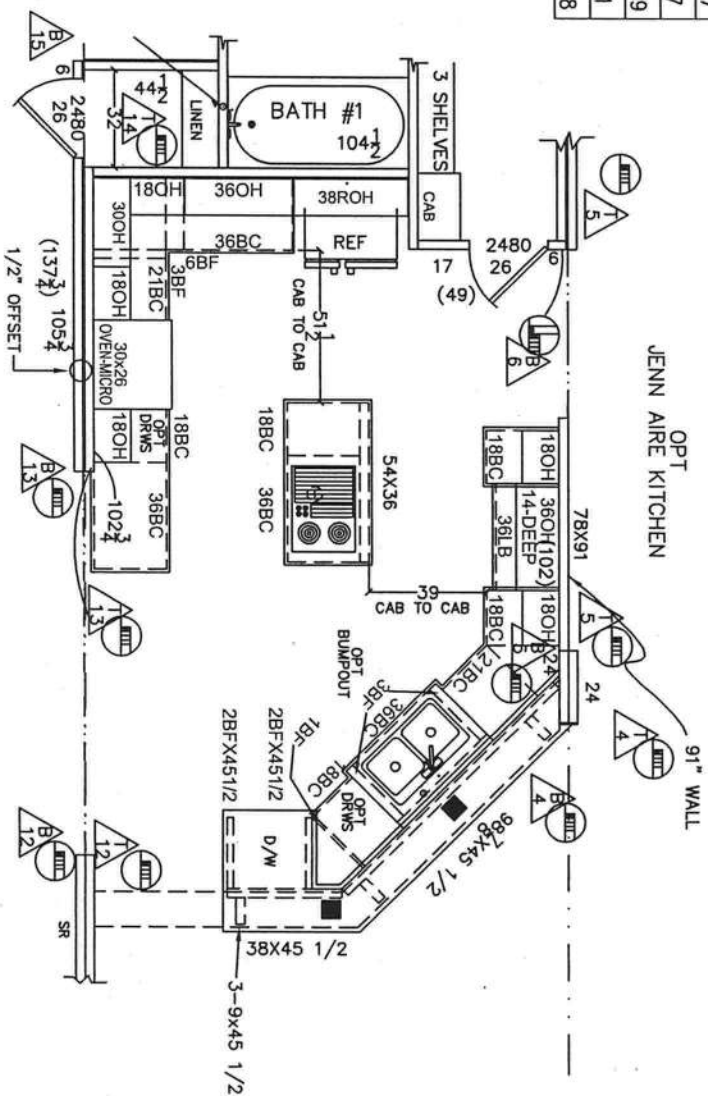
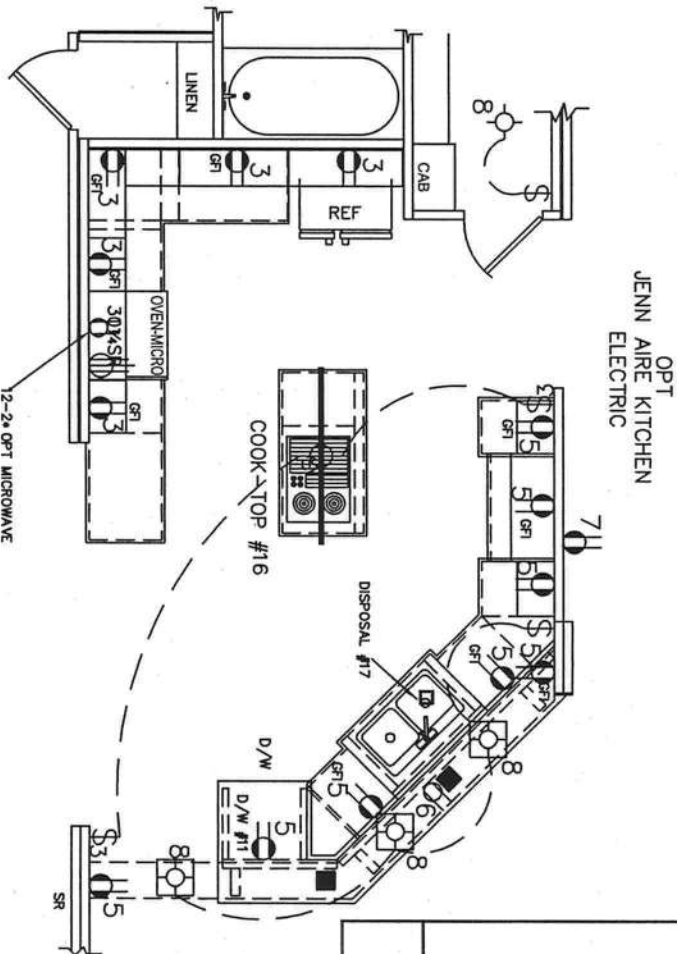
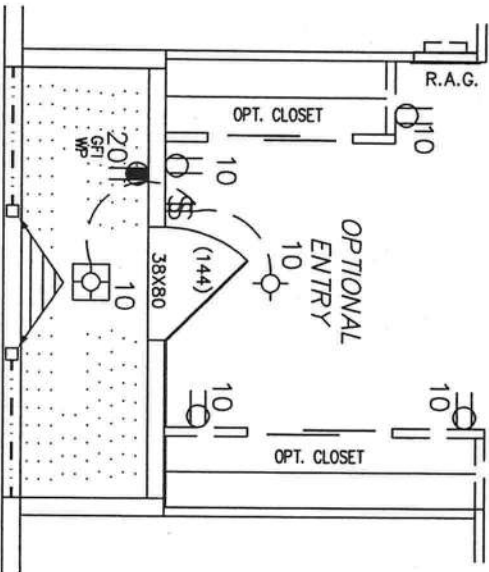
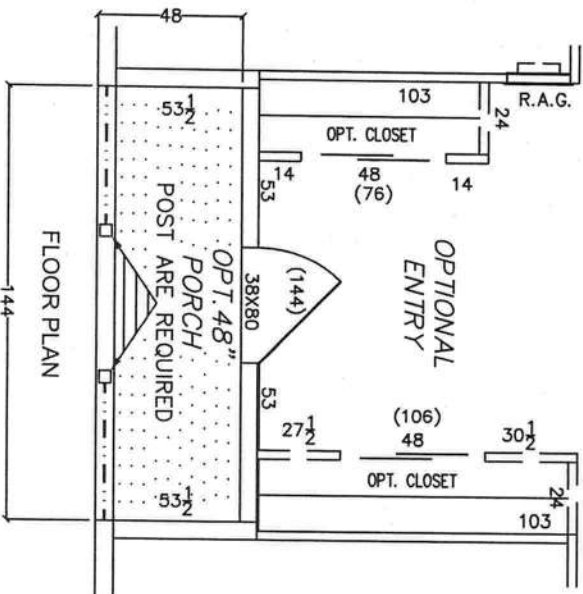
AF = ARC FAULT

△ COLUMNS

\* = TRUSS REDUCTION INCLUDED

VERSION 11  
WIND ZONE 150  
STUD LENGTH: 111

NO.	COL. 26 GA. 20 GA. STRAP # EA. SCREWS 100 SPIN	STD. STRETCH	FLOOR WIDTH	TYPE	20 PSF STUD #	BLK	ROOF LOAD
1 T	4	1	12'-7"	0	13'-4"	1	1-2x6 N 1299
1 B	4	1	12'-7"	0	13'-4"	1	1-2x6 N 1299
2 T	3	1	11'-3"	0	13'-4"	2	2-2x3 N 1174
2 B	3	1	11'-3"	0	13'-4"	2	2-2x3 N 1174
3 T	5	2	19'-11"	0	13'-4"	3	2-2x3 N 1987
3 B	5	2	19'-11"	0	13'-4"	3	2-2x3 N 1987
4 T	5	2	20'-0"	0	13'-4"	2	4-2x3 N 1991
4 B	5	2	20'-0"	0	13'-4"	2	4-2x3 N 1991
5 T	3	1	11'-3"	0	13'-4"	2	2-2x3 N 1175
5 B	3	1	11'-3"	0	13'-4"	2	2-2x3 N 1175
6 T	5	2	18'-6"	0	13'-4"	3	2-2x3 N 1847
6 B	3	1	11'-3"	0	13'-4"	3	2-2x3 N 1175
7 T	5	2	18'-9"	0	13'-4"	1	1-2x6 N 1871
8 T	4	1	12'-2"	0	13'-4"	1	1-2x6 N 1260
9 T	4	1	11'-11"	0	13'-4"	2	2-2x3 N 1233
10 T	4	1	12'-3"	0	13'-4"	3	1-2x3 N 1268
10 B	4	1	12'-3"	0	13'-4"	3	1-2x3 N 1268
11 T	4	1	12'-3"	0	13'-4"	2	2-2x3 N 1268
11 B	4	1	12'-3"	0	13'-4"	3	1-2x3 N 1268
12 T	3	1	10'-8"	0	13'-4"	2	2-2x3 N 1122
12 B	3	1	10'-8"	0	13'-4"	2	2-2x3 N 1122
13 T	3	1	10'-7"	0	13'-4"	2	2-2x3 N 1114
13 B	3	1	10'-7"	0	13'-4"	2	2-2x3 N 1114
14 T	4	1	11'-9"	0	13'-4"	2	2-2x3 N 1217
15 B	3	1	8'-11"	0	13'-4"	2	2-2x3 N 957
16 T	6	N/A	25'-4"	0	13'-4"	1	2-2x4 Y 2489
16 B	3	2	8'-9"	0	13'-4"	3	1-2x3 N 941
17 T	4	N/A	13'-7"	0	13'-4"	1	1-2x6 N 1388



LISTING AGENCY APPROVAL  
THESE PRINTS COMPLY WITH THE  
FLOOR PLAN AND CONSTRUCTION  
CODE AND ADHERE TO THE FOLLOWING  
CRITERIA.  
CONST. TYPE VB  
OCCUPANCY R-3  
ALLOWABLE NO. OF FLOORS 1  
WIND VELOCITY 150 (3 SEC)  
FIRE RATING OF EXT. WALLS 0  
PLAN NO. 2R-2102-0246F  
ALLOW. FLOOR LOAD 40  
APPROVAL DATE 12-27-06  
MANUFACTURER PALMHARBOR  
HIGH VELOCITY HURRICANE ZONE NO

APPROVED DEC 27 2006

Robert E. Gregg  
Registered Architect  
630 Chestnut Street  
Clearwater, Florida 33756  
Phone: 727.796.8774  
FAX: 727.791.6942

MODULAR NOTES  
CODES: SEE NOTES  
LABELS: F.L.A.  
THIRD PARTY: HILBORN, WERNER, CARTER  
& ASSOCIATES  
1627 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

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96 SIDEWALLS  
111 MATEWALLS  
150 MPH (3 SEC)  
2913 SQ. FEET A.C.  
127 SQ. FEET PORCH  
3040 SQ. FEET TOTAL

2R-2102-0246F	
Palm Harbor Homes	
605 South Frontage Road, Plant City, Florida 33563	
FLOOR PLAN	
C6649-D	
FP-3.1	
Drawn By	BB
Checked By	
Date	11-29-06
Scale	3/16" = 1'-0"

200 AMP

AF = ARC FAULT

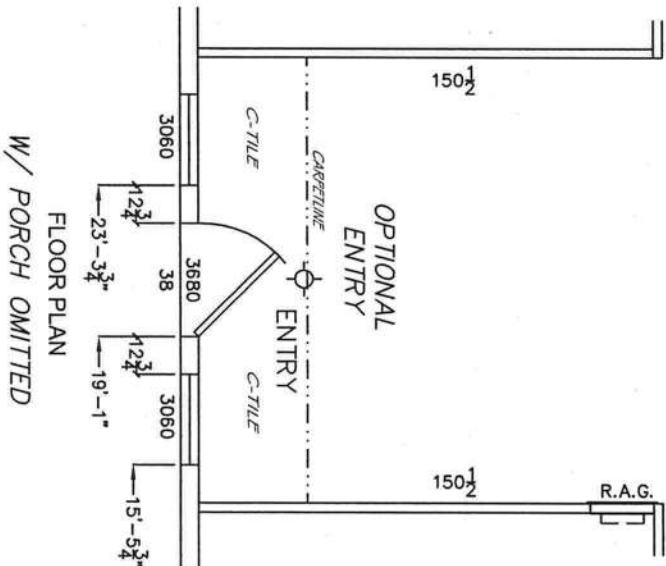
AMP. WIRE SIZE		DESCRIPTION	CIR. NO.	PANEL SPACE		CIR. NO.	DESCRIPTION	AMP. WIRE SIZE	
20	12-2*	WATER HEATER (3500W/240V)	1	*	*	2	RANGE OR OVEN	PER MFG	20
15	14-2*			*	*				
20	12-2*	APPLANCE	3	*	*	4 AF	GEN. LIGHTING	15	14-2*
20	12-2*	APPLANCE	5	*	*	6 AF	GEN. LIGHTING	15	14-2*
20	12-2*	APPLANCE	7	*	*	8 AF	GEN. LIGHTING	15	14-2*
20	12-2*	APPLANCE	9	*	*	10 AF	GEN. LIGHTING	15	14-2*
15	14-2*	OPT. D.W.	11	*	*	12	OPT. G.F.I.	15	14-2*
20	12-2*	LAUNDRY	13	*	*	14	OPT. ELECTRIC HEAT-A/C	PER MFG	20
30	10-3*	CLOTHES DRYER	15	*	*				
15	14-2*	OPT. DISPOSAL	17	*	*	16	COOK-TOP	PER MFG	20
20	12-2*	BATH G.F.I.	19	*	*	18 AF	SMOKE DETECTOR	15	14-3*
15	14-2*	OPT JACUZZI G.F.I.	21	*	*	20	EXTERIOR GF	20	12-2*
20	12-2*	OPT MICROWAVE	23	*	*				

General Notes:

1. Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 150 mph.
  2. The building may be constructed in an exact mirror image about it's axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
  3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculators shall be revised to include the added horizon windows (minimum shearwall requirements shall be maintained).
  4. All designs and calculations are based on Exposure "C".
  5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
  6. Minimum corridor width is 36".
  7. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
  8. Windows, glass and doors shall comply with AAMA / NWDA 101 / I.S.2-.97
  9. This building is designed for a permanent foundation and is NOT a HUD building.
  10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed.
  11. Please refer to the cover sheet of this package for additional notes and requirements.
- This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).

The second floor plan shows a rectangular layout with an 'OPTIONAL ENTRY' at the top center. The plan includes several rooms and corridors, with dimensions and door types indicated. The 'ELECTRICAL' layout is shown with a '20' main line and '10' branch lines. The 'W/ PORCH OMITTED' note is present. The plan also shows a 'R.A.G.' (Refrigerator) in the bottom right corner.

APPROVED DEC 27 2006



96 SIDEWALLS  
111 MATEWALLS  
150 MPH  
3040 SQ. FEET TOTAL

LISTING

AGENCY APPROVAL THE  
THE TOWNSHIP PLANS CONTAINED HEREIN  
DO NOT ACT OF 1972 CONSTRUCTION  
LAW, N.J.A.C. 17:27, OR ANY OTHER  
LOCAL ORDINANCE.

CORSET TYPE \_\_\_\_\_

OCCUPANT NO. \_\_\_\_\_

ALTERNATE NO. 1

WIND VELOCITY \_\_\_\_\_

PER. RAINFALL OF \_\_\_\_\_

PLAN NO. 28-2102-02-46F

ALLOW FLOOR \_\_\_\_\_

LOAD 40

APPROVAL DATE 12.27.00

MANUFACTURER PALMABEACH

HIGH VELOCITY \_\_\_\_\_

HERMETIC SEAL NO

**WPG**

COA # 1025



CW  
COA # 1025

1025

Model Number:	Page Description:
Model Number:	Page Description:

C6649-D

OPT. ENTRY

Drawn By:	Model Name:
-----------	-------------

RC	CUSTOM
----	--------

150 mph

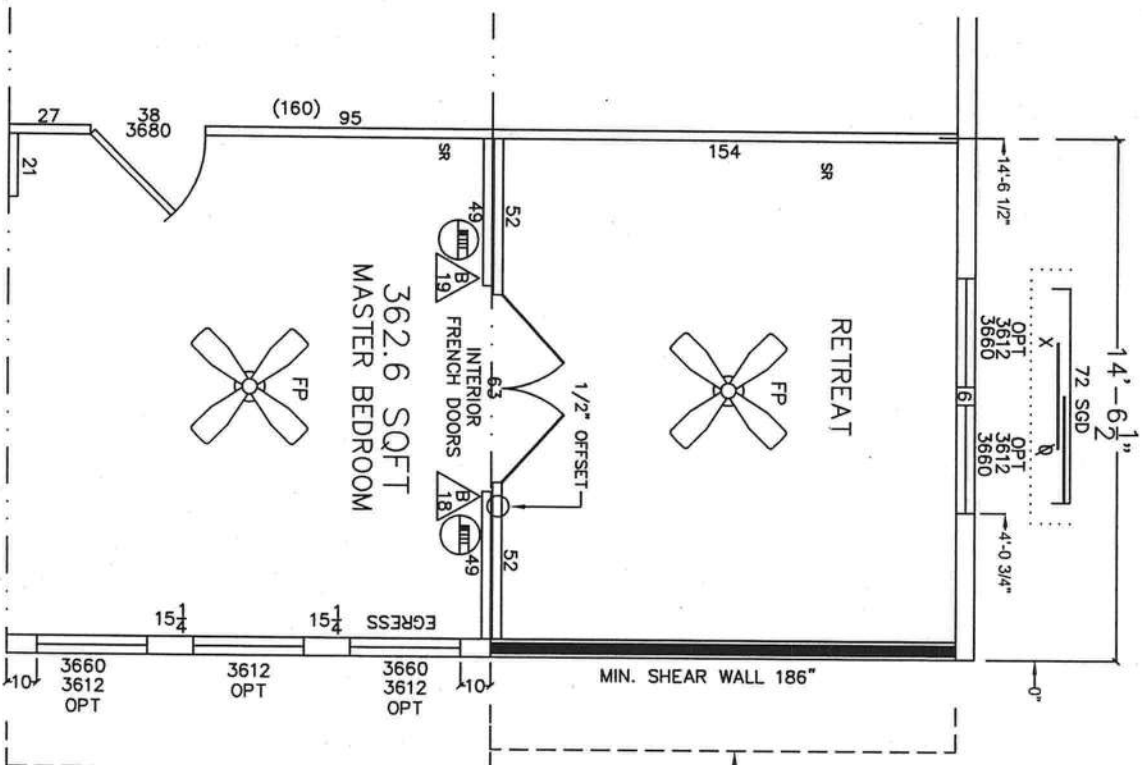


605 South Frontage Road  
Plant City, FL 33563

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2. The building may be constructed in an exact mirror image about it's axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum shearwall requirements shall be maintained).
4. All designs and calculations are based on Exposure C.
5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
6. Minimum corridor width is 36'.
7. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
8. Windows, glass and doors shall comply with AAMA / NWWDA 101 / I.S.2.87
9. This building is designed for a permanent foundation and is NOT a HUD building.
10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed.
11. Please refer to the cover sheet of this package for additional notes and requirements.

1. Design criteria is based 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 150 mph.
2. The building may be constructed in an exact mirror image about its axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum sheervall requirements shall be maintained).
4. All designs and calculations are based on Exposure C.
5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
6. Minimum corridor width is 36".
7. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
8. Windows, glass and doors shall comply with AAMA / NWMA 101 / I.S.2 -97
9. This building is designed for a permanent foundation and is NOT a HUD building.
10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed.
11. Shearwalls to the cover sheet of this package for additional notes and requirements.
12. This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).



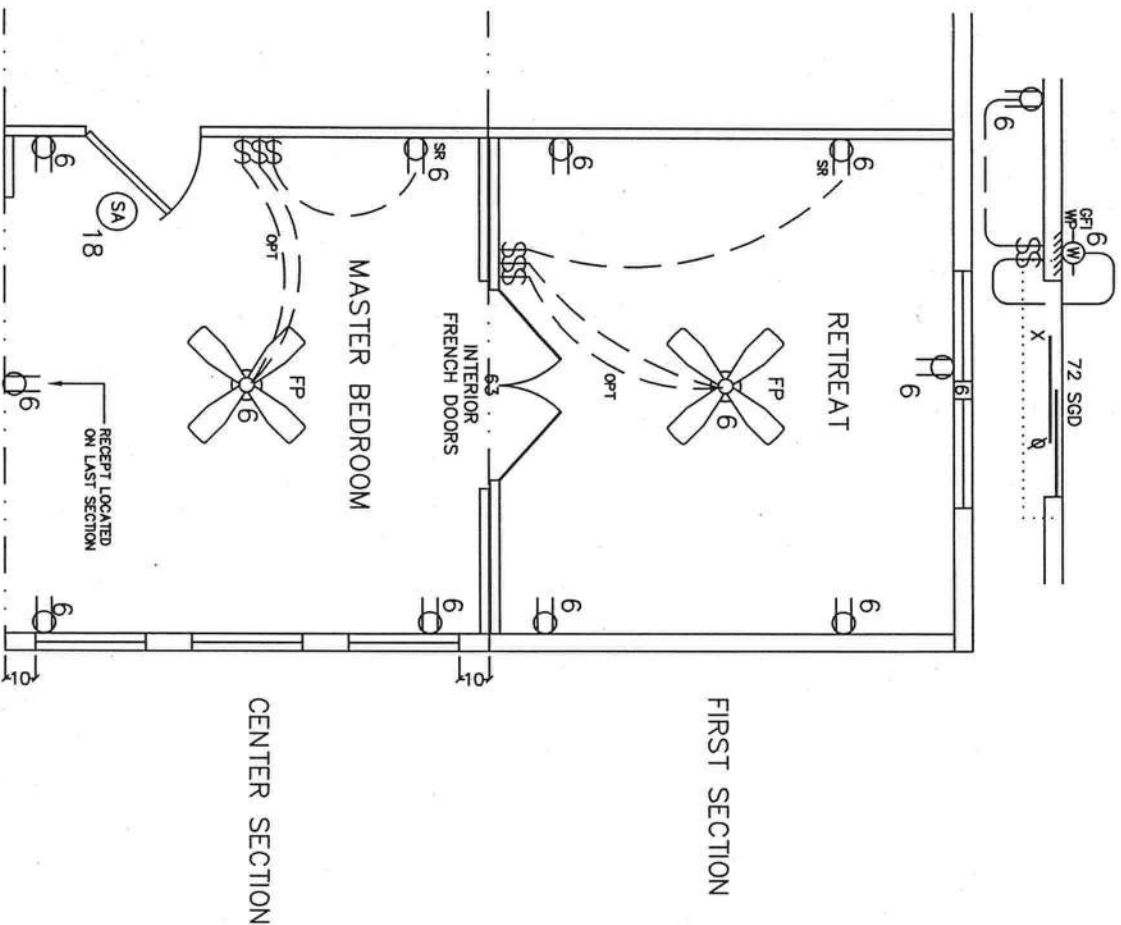
Δ COLUMNS										VERSION 11
* = TRUSS REDUCTION INCLUDED										WIND ZONE 150
										STUD LENGTH: 111
NO.	COL	28 GA	20 GA	STRAP	STD	MAX	FLOOR	20 PSF	ROOF	
	BKTS/STRAP	# LK	SCREWS	1/4" SPN	STRETCH	WIDTH	TYPE	2x2x3	BLK LOAD	
18 T		2	1		5'-3"	0	13'-4"	2	N 6/7	
18 B		2	2		5'-9"	0	13'-4"	2	N 7/3	

FIRST SECTION

— ON THIS OPTION:  
WINDOWS CAN NOT BE INSTALLED IN  
THIS AREA DUE TO SHEARWALL  
REQUIREMENTS.

CENTER SECTION

— ON THIS OPTION:  
WINDOWS MUST BE INSTALLED AS  
SHOWN IN THIS AREA DUE TO  
EGRESS REQUIREMENTS.  
(NOTE WINDOW CONFIGURATION)



# OPT. ELECTRIC

APPROVED DEC 27 2006

LISTING	
THE FLOOR, UNALTERED NO ADJ OF 17TH CONSTRUCTION TO THE LONG CRITICAL	AGENT APPROVAL THE FLOOR, UNALTERED NO ADJ OF 17TH CONSTRUCTION TO THE LONG CRITICAL
CORCT. TYPE OCCUPANCY ALT. USE NO. OF FLOOR WIND VELOCITY PER WINDS OF EX. RATING OF PLANNED FLOOR AND	CORCT. TYPE OCCUPANCY ALT. USE NO. OF FLOOR WIND VELOCITY PER WINDS OF EX. RATING OF PLANNED FLOOR AND
APPROVAL DATE MANUFACTURER PALM HARBOR HIGH VELOCITY HARBOR ZONE	APPROVAL DATE MANUFACTURER PALM HARBOR HIGH VELOCITY HARBOR ZONE
40 NO	40 NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
150X350C	150X350C
1	1
0	0
40	40
NO	NO
26-3102-0246F	26-3102-0246F
1	

[illegible]



LISTING

AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA.

CONST. TYPE

OCUPANCY

ALLOWABLE NO. OF FLOORS

WIND VELOCITY

FIRE RATING OF EXT. WALLS

PLAN NO.

ALLOW. FLOOR LOAD

APPROVAL DATE

MANUFACTURER

HIGH VELOCITY HURRICANE ZONE

VB

R-3

1

150 (3 SEC)

0

2R-2102-0246F

40

12.27.06

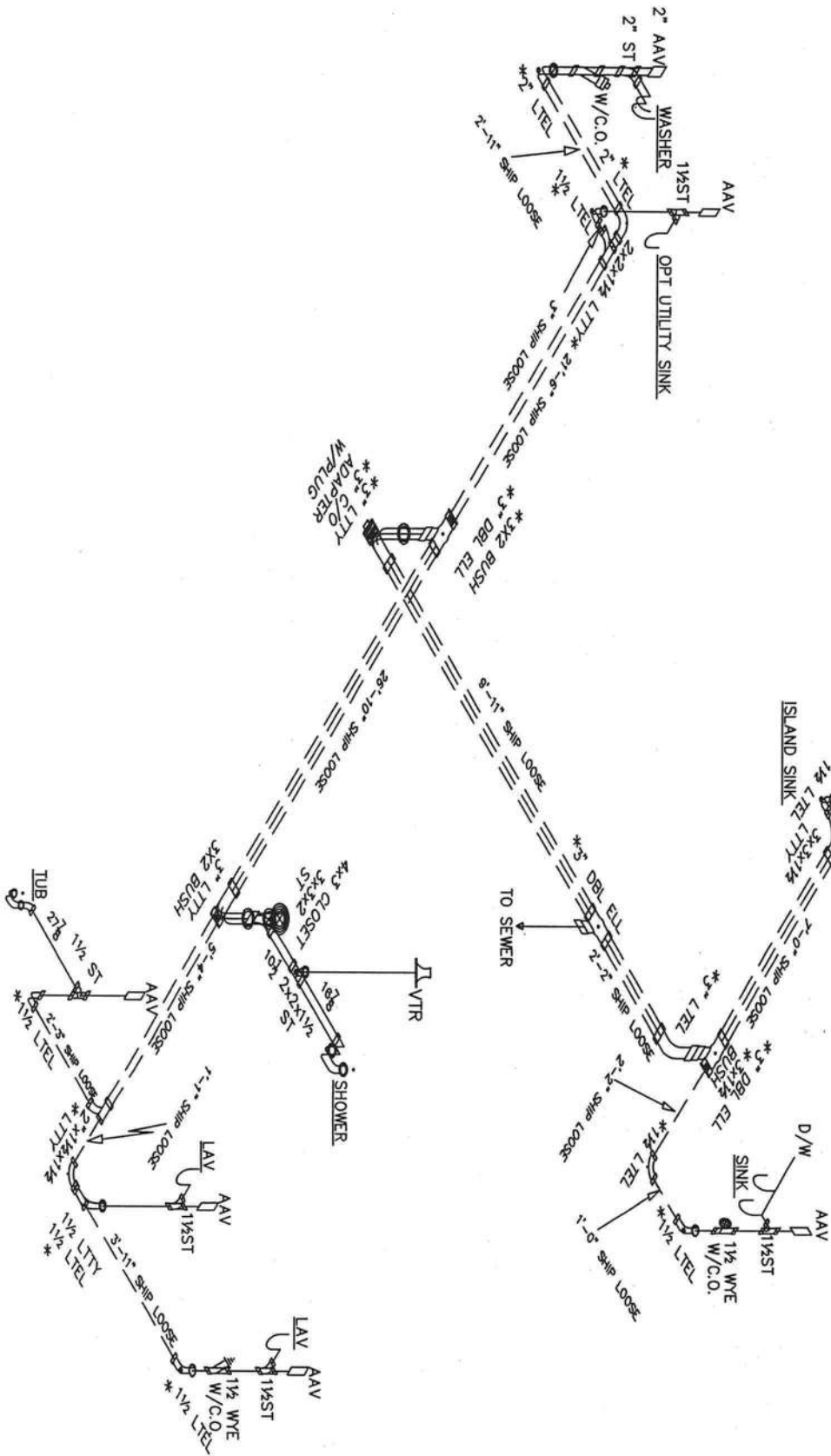
PALMHARBOR

NO

APPROVED DEC 27 2006

*SHIP LOOSE FITTINGS		C6649-D	
DESCRIPTION	QUANTITY	CHK	
1 1/2" LTELL	8	0	
1 1/2" LTTY	1		
2" COUPLING	1		
2" LTELL	3		
2x1 1/2x1 1/2" LTTY	1		
2x2x1 1/2" LTTY	1		
3" COUPLING	3		
3" LTELL	3		
3" LTTY	6		
3x1 1/2 BUSHING	1		
3x2 BUSHING	2		
3x3x1x1/2 LTTY	2		
3X3X3 DOUBLE ELL	3		
3" CLEANOUTW/PLUG	3		

1 1/2" PIPE	15 FT
2" PIPE	34 FT
3" PIPE	92 FT



DWV PIPING IS CPVC SCHEDULE 40  
AAV=AIR ADMITTANCE VALVE  
2" PIPE  
1 1/2" PIPE

MODULAR  
CODES: SEE NOTES  
LABELS: FLA.

THIRD PARTY: HILBORN, WERNER, CARTER  
& ASSOCIATES  
1627 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

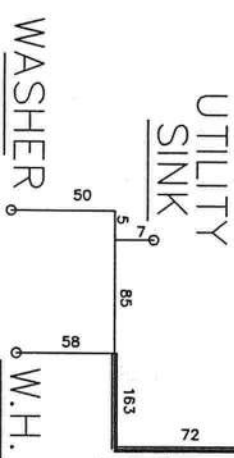
2R-2102-0246F  
PALM HARBOR HOMES  
605 South Frontage Road, Plant City, Florida 33563

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		PALM HARBOR HOMES		PAGE: FP-5	
DRAIN LINES		C6649-D			
Drawing NO.:		C6649-D			
Date:		11-29-06			
Scale:		N.T.S.			
Drawn By:		BB			

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150(35EC)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2R-2102-02
ALLOW. FLOOR LOAD	40
APPROVAL DATE	12-27-00
MANUFACTURER	PALMHARBO

APPROVED DEC 27 2006



**THIRD PARTY:** HILBORN, WERNER, CARTEFF  
& ASSOCIATES  
1627 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

630 Chestnut Street  
Clearwater, Florida 33756

**Palm Harbor Homes**  
605 South Frontage Road, Plant City, Florida 33563


**Palm  
Harbor  
Homes**

Florida Modular  
WATER LINES

FP-6

BE

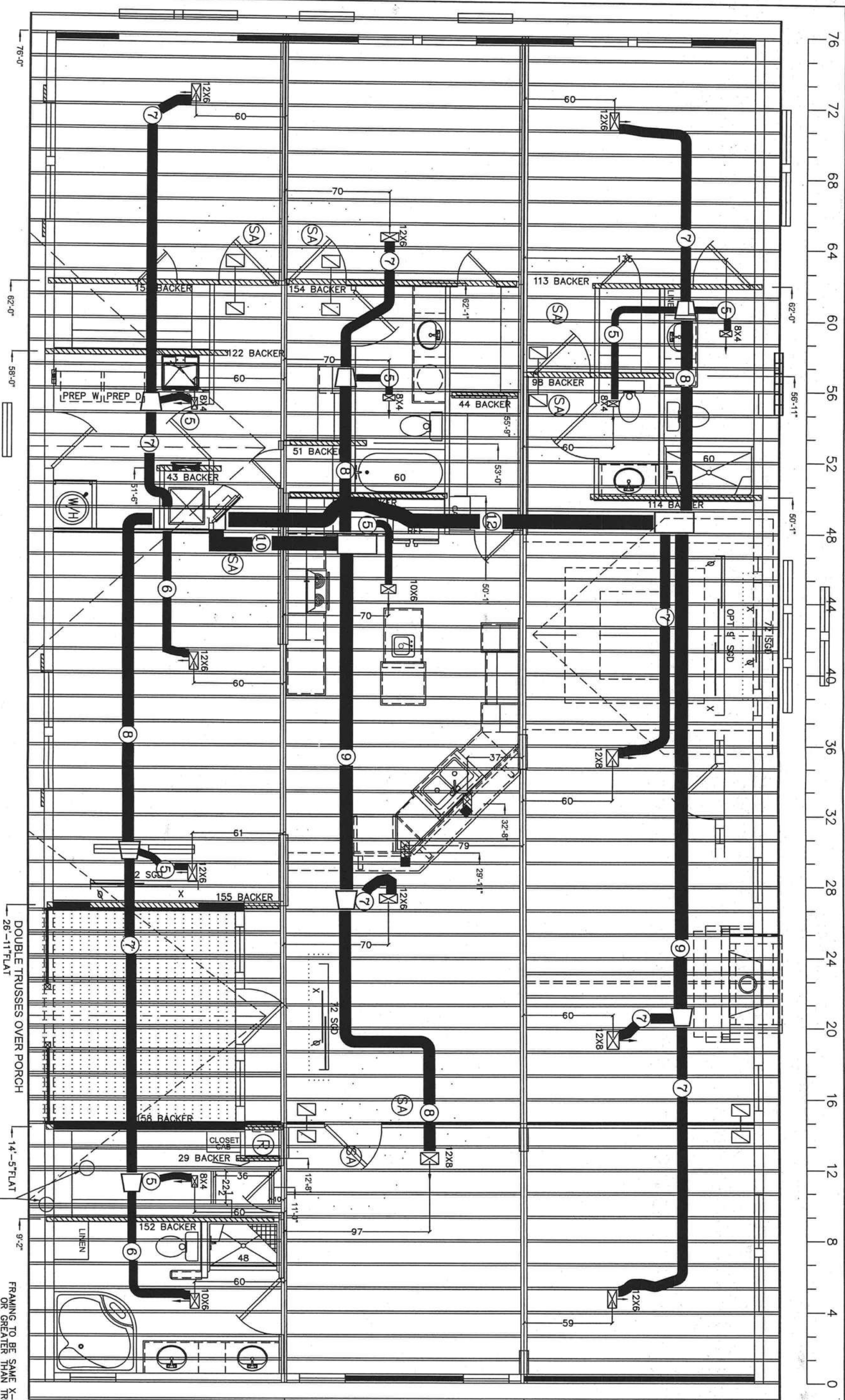
—

11-29-06

302

NTS

0	1
---	---




RETURN AIR BALANCE IS ACHIEVED BY IN-CEILING AIR (JUMP DUCTS) IN ALL ROOMS 50 SQ. FT. OR MORE RETURNING 1 SQUARE INCH PER FOR EVERY 5 SQUARE FEET OF ROOM SPACE

96" SIDEWALLS TRUSS # C1420R01  
111" MATEWALLS TRUSS # P2296R01  
150 MPH OR LESS (3 SEC)  
1. APPROVED TRUSSES ARE 16" O.C. © Copyright 2003  
2. 4-LAYER, 16" FULL RIDGEBEAM EACH HALF Palm Harbor Homes, Inc.  
3. FLEX DUCT IS CLASS 1, U.L. 181 All Rights Reserved

**MODULAR  
CODES  
LABELS & NOTES**

**HARD PARTS:**  
HARDWARE, NUTS, BOLTS,  
1827 SOUTH AVENUE, AVE.  
CLEARWATER, FL 33756

**Registered Architect**  
630 Chestnut Street  
Clearwater, Florida 33756  
Phone: 727.795.8774  
FAX: 727.791.6942

		605 South Frontage Road, Plant City, Florida 33563	
<b>Palm Harbor Homes</b> Plant City, FL © 2009/2010		Title Page	
DRAWING NO. C6649-D 030104		ROOF AND DUCT 16 C6649-D	
DATE 11-29-06		N.T.S.	
SCALE		REV. Rev. Rev.	
BB		FP-7	

LISTING

AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE  
FLORIDA MANUFACTURED BUILD-  
ING CODE AND ADHERE TO THE FO-  
LOWING CRITERIA.

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWANCE NO. OF FLOORS	1
WIND VELOCITY 150K(MSEC)	0
FIRE RATING OF EXT. WALLS	2R-2102-0266F
PLAN NO.	40
ALLOW. FLOOR	

APPROVAL DATE 12-27-01

MANUFACTURER PALM HARBOR

HIGH VELOCITY NO

URRUGANE ZONE

APPROVED DEC 27 2006

60,000 BTU'S  
RANGE

LISTED EXTERIOR  
FLEX QUICK DISCONNECT  
DEVICE AT CROSSOVER  
CROSS-OVER  
CROSS-OVER  
CROSS-OVER

MAXIMUM OVERALL  
DEVELOPED LENGTH  
62'-0"  
TOTAL BTU'S  
116,000

●= TYPICAL 1/2" PIPE  
RISER @ EACH APPLIANCE

IRON PIPING  
1/2" PIPE  
3/4" PIPE

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THIS DETAIL IS  
FOR ALL APPLIANCE  
INSTALLATIONS  
IN THIS MODEL

LISTED FLEX  
CONNECTOR AT  
EACH APPLIANCE

TYPICAL LISTED  
SHUT OFF VALVE  
AT EACH APPLIANCE

TYPICAL  
FITTING  
TYP.  
RISER

MAIN PIPE RUN

7'-5"

5'-8"

6'-0"

22,000 BTU'S  
DRYER

3'-5"

COMBUSTION GAS VENTING, COMBUSTION AIR INTAKE IS PER  
MANUFACTURES INSTRUCTIONS.

WATER  
HEATER

34,000 BTU'S

3/4" INLET

Robert E. Gregg  
Registered Architect  
630 Chestnut Street  
Clearwater, Florida 33756  
Phone: 727.796.8774  
FAX: 727.791.6942

APPROVED DEC 27 2006

LISTING AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILD- ING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOL- LOWING CRITERIA.	
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150(3SEC)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2R-2102-0246F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	12-27-06
MANUFACTURER	PALMHARBOR
HIGH VELOCITY HURRICANE ZONE	NO
CWA # 1025	

MODULAR  
CODES: SEE NOTES  
LABELS: FLA.

THIRD PARTY: HILBORN, WERNER, CARTER  
& ASSOCIATES  
1627 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

2R-2102-0246F

Palm Harbor Homes 605 South Frontage Road, Plant City, Florida 33566	
Model No.	Florida Modular GAS LINES
Model No.	FP-9
Plant City, FL © covered unit	
Drawn By:	BB
Date:	11-29-06
Scale:	NTS
Rev:	
Rev:	
Rev:	

76'-0"

NOTE:

VENT SPACING MAY VARY DUE TO  
SITE CONSIDERATIONS, AS LONG AS,  
ADEQUATE VENTILATION IS PROVIDED.  
SEE NOTE 8 ON F-2

STEM WALL DETAIL - SIDEWALL AND ENDWALL

TYPICAL STEM WALL OPENINGS (LOCATIONS MAY VARY)

EXTERIOR (ENDWALL) TIE-DOWN  
NOT TO EXCEED 4'-0" O.C.

MINIMUM 18" X 24"  
CRAWL SPACE ACCESS  
REQUIRED - W/COVER.  
LOCATION BY CONTRACTOR  
(LOCATION MAY VARY)

ACCESS OPENINGS ARE TYPICAL

CENTER LINE TIE DOWNS  
NOT TO EXCEED 4'-6" O.C.

MINIMUM 32" X 24"  
A/C UNIT OPENING  
LOCATION BY CONTRACTOR  
(LOCATION MAY VARY)  
DO NOT LOCATE UNDER  
SHEAR WALL

TYPICAL STEM WALL OPENINGS (LOCATIONS MAY VARY)

4'-6" MAX TYP.

25'-8"

4'-0" 4'-0"

MATE LINE

MATE LINE

STEM WALL DETAIL - CONTINUOUS CENTER LINE

EXTERIOR (SIDEWALL) TIE-DOWN  
NOT TO EXCEED 4'-0" O.C.

PORCH AREA  
MUST PROVIDE FOR  
ADEQUATE DRAINAGE

NOTE:  
THIS DIMENSION IS 4'-0"  
WITH OPTIONAL 48" PORCH

VENT SPACING MAY VARY DUE TO  
SITE CONSIDERATIONS, AS LONG AS,  
ADEQUATE VENTILATION IS PROVIDED.  
SEE NOTE 8 ON F-2

NOTE:

4'-0" MAX TYP.

12'-0"

14'-8"

13'-5"

13'-4"

40'-2"

NOTE TO CONTRACTORS:  
WIDTH OF FOUNDATION PLANS MAY NOT  
MATCH FLOOR PLAN DIMENSIONS.  
(TYPICALLY PAGE FP-3)  
FOUNDATION PLANS HAVE BEEN DESIGNED  
TO BE (1") WIDER PER MODULE THAN FLOOR  
PLANS.

TO ACCOMMODATE FLOOR PLAN  
GROWTH DUE TO CENTERLINE STRAPPING,  
AND EXTERIOR SHEATHINGS.  
THIS APPLIES ONLY TO DOUBLE WIDE  
SECTIONS AND THE OUTER SECTIONS OF  
TRIPLE WIDES ONLY.  
DOES NOT APPLY TO CENTER SECTION OF  
TRIPLE WIDES.

Robert E. Grogg  
Registered Architect  
630 Central Street  
Clearwater, Florida 34616  
Phone: 727.736.8774  
FAX: 727.731.8242



605 South Frontage Road  
Plant City, FL 33563

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Foundation

Model: C6649-D

Client: REC

Date: 11-28-06

Scale: 3/16" = 1'-0"

Project: Florida Modular

Notes: 2R-2102-0246F

F-1

APPROVED DEC 27 2006

76'-0"

NOTE:

VENT SPACING MAY VARY DUE TO  
SITE CONSIDERATIONS, AS LONG AS,  
ADEQUATE VENTILATION IS PROVIDED.  
SEE NOTE 8 ON F-2

STEM WALL DETAIL - SIDEWALL AND ENDWALL

TYPICAL STEM WALL OPENINGS (LOCATIONS MAY VARY)

EXTERIOR (ENDWALL) TIE-DOWN  
NOT TO EXCEED 4'-0" O.C.

MINIMUM 18" X 24"  
CRAWL SPACE ACCESS  
REQUIRED - W/COVER.  
LOCATION BY CONTRACTOR  
(LOCATION MAY VARY)

MATE LINE

ACCESS OPENINGS ARE TYPICAL

CENTER LINE TIE DOWNS  
NOT TO EXCEED 4'-6" O.C.

MINIMUM 32" X 24"  
A/C UNIT OPENING  
(LOCATION MAY VARY)  
DO NOT LOCATE UNDER  
SHEAR WALL

TYPICAL STEM WALL OPENINGS (LOCATIONS MAY VARY)

COLUMN SUPPORTS

MATE LINE

STEM WALL DETAIL - CONTINUOUS CENTER LINE

EXTERIOR (SIDEWALL) TIE-DOWN  
NOT TO EXCEED 4'-0" O.C.

VENT SPACING MAY VARY DUE TO  
SITE CONSIDERATIONS, AS LONG AS,  
ADEQUATE VENTILATION IS PROVIDED.  
SEE NOTE 8 ON F-2

NOTE:

4'-0" MAX TYP.

NOTE TO CONTRACTORS:

WIDTH OF FOUNDATION PLANS MAY NOT  
MATCH FLOOR PLAN DIMENSIONS.  
(TYPICALLY PAGE FP-3)  
FOUNDATION PLANS HAVE BEEN DESIGNED  
TO BE (1") WIDER PER MODULE THAN FLOOR  
PLANS.

TO ACCOMMODATE FLOOR PLAN  
GROWTH DUE TO CENTERLINE STRAPPING,  
AND EXTERIOR SHEATHINGS.  
THIS APPLIES ONLY TO DOUBLE WIDE  
SECTIONS AND THE OUTER SECTIONS OF  
TRIPLE WIDES ONLY.  
DOES NOT APPLY TO CENTER SECTION OF  
TRIPLE WIDES.

FOUNDATION WITH PORCH OMITTED

C6649-D OPT. Foundation

Model Name: CUSTOM

Model Description: 150 mph

Model Code: 2R-2102-0246F

Model Name: F-1.2

Robert E. Gregg  
Registered Architect  
650 Central Street  
Ocala, Florida 33456  
Phone: 772.736.8114  
Fax: 772.731.8242



605 South Frontage Road  
Plant City, FL 33563

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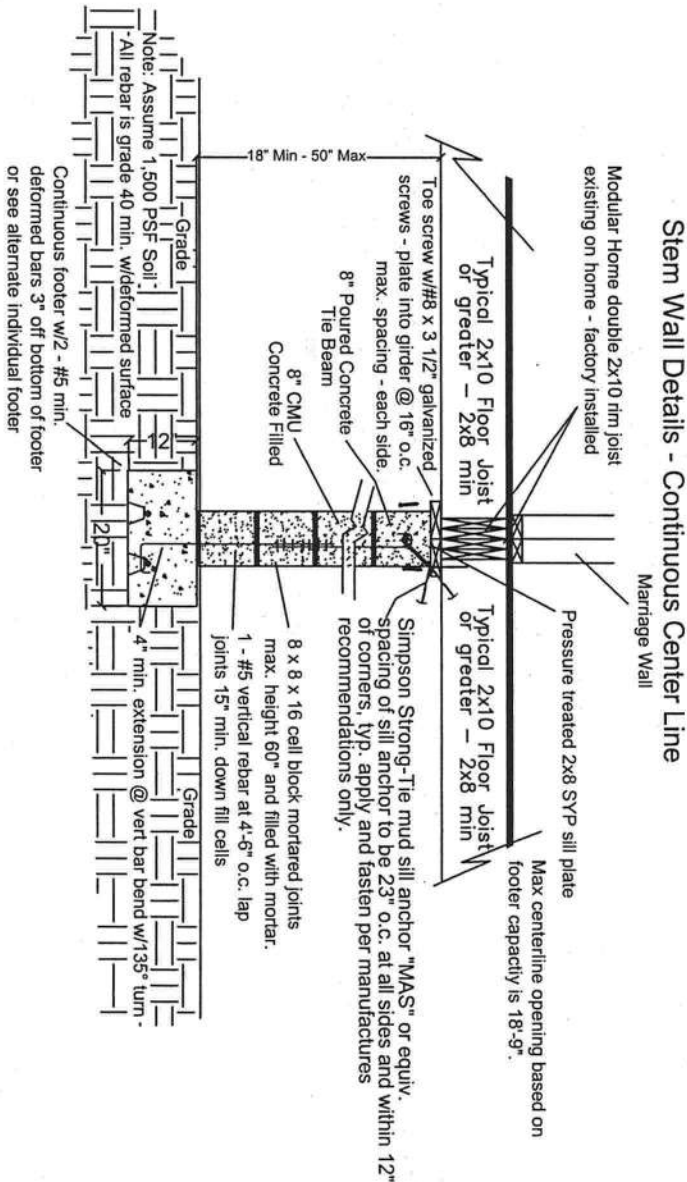
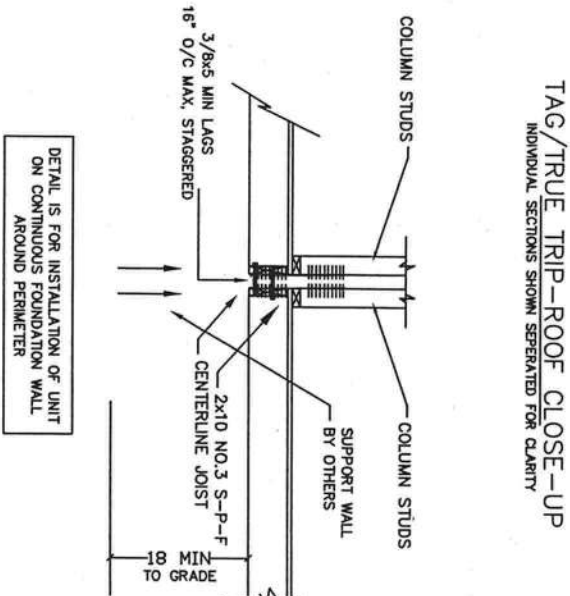
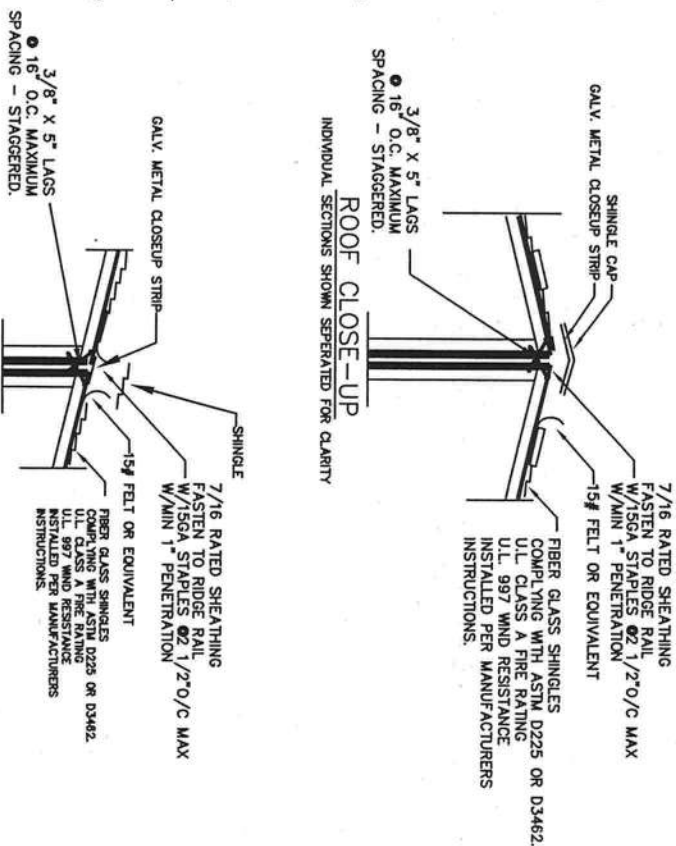
Notes:

1. Foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
2. Lots shall be provided with drainage and shall be graded so as to drain surface water away from foundation walls - by lot owner.
3. Materials shall conform to applicable standards and codes.
4. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with code - 3000 psi concrete minimum.
5. All exterior walls, bearing walls, columns, and piers shall be supported on continuous solid concrete footings which shall be of sufficient design to support safely the loads imposed as determined from the character of the soil and shall in all cases extend below the frost line.
6. Foundation walls shall be constructed in accordance with the code and not less than as shown on the drawings.
7. Foundations shall extend not less than 12 inches below the finished natural grade or engineered fill and in no case less than the frost line depth. Footings on soil with lower allowable soil pressure shall be designed in accordance with accepted engineering practice. However, where there is evidence that the ground water table can rise to within 8 inches of the finished grade at the building site, the building official may require that the grade on the under - floor space be as high as the outside finished grade, unless an approved drainage system is provided. Termitte shields and/or protection shall be provided as per code. Local and state requirements for footings may exceed that shown on drawings. If any questions, contact your local building inspectors department.
8. Crawl spaces under buildings without basements shall be ventilated by approved mechanical means or by openings in the foundation walls. Openings shall be arranged to provide cross ventilation and shall be covered with corrosion-resistant wire mesh of not less than 1/4 inch nor more than 1/2 inch in any dimension. Openings in foundation walls shall have a net area of not less than 1 sq.ft. for each 150 sq.ft. of crawl space. Crawl space access of minimum 18" x 24" is required.
9. Mortar shall be type "M" or "S"
10. Proper support and tying down of your home are very important. Walls shall be as shown on the plan as prescribed on other details. The construction is designed for a continuous support at the perimeter and the center-line. Alternate foundations to the stem wall set included may be installed if a continuous support is provided to include a minimum of 1 1/2" of the bearing for the end of each floor joist, and the alternate foundation is designed by a registered professional engineer. The foundation and anchorage to the foundation of the unit to the foundation must be capable of withstanding uplift loads of 515#/ft along the sidewalls and center-line wall and 590#/ft sliding combined load - 2004 FBC, Residential Code w \ 2006 suppl.
11. Minimum soil bearing capacity shall be 1500 PSF.
12. For 20 PSF live roof loads only.
13. If site conditions vary from those listed or if a different setup is desired, consult a professional engineer for a new or altered design.
14. Soil bearing to be determined by test or by building official having jurisdiction at the set up site.

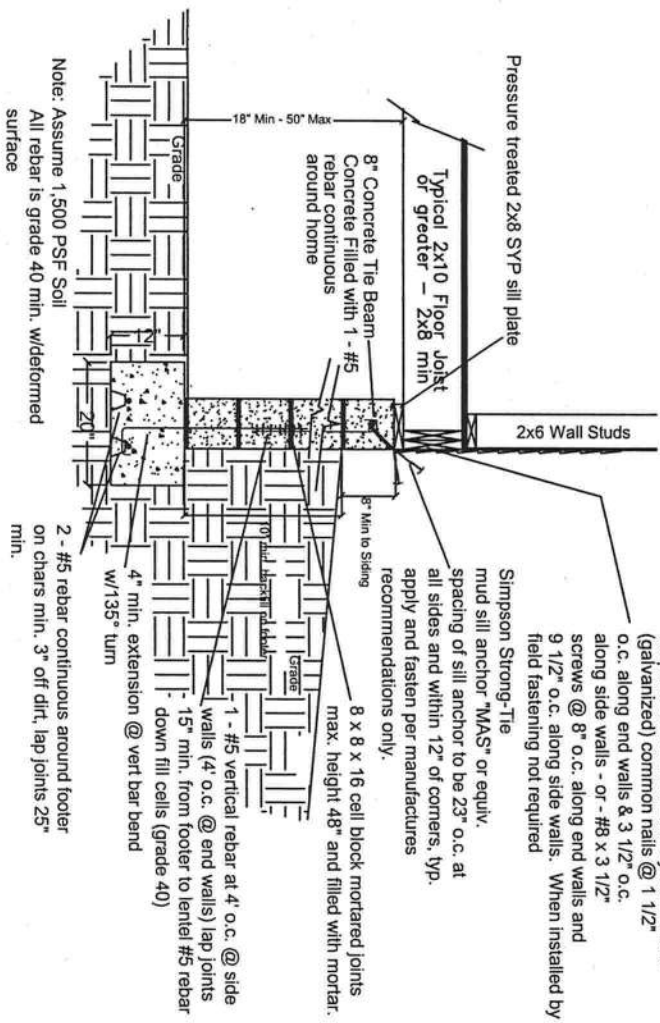
Foundation Systems:

In accordance with the requirements of the Florida Department of Community Affairs, these building plans DO NOT contain Foundation support and tie-down system details (any foundations that are included in the plan are considered options only).

1. Unless otherwise specified in this package, Palm Harbor Homes, Plant City, Florida, **REQUIRES** that ALL modular buildings be installed on a continuous permanent stem wall foundation. It is the responsibility of the contractor and/or retailer to verify that any foundation systems are in compliance with ALL applicable codes for the area in which the building is being installed. Palm Harbor Homes is NOT responsible for verifying local foundation requirements. When Palm Harbor Homes and/or its engineer provide a foundation plan, the contractor and/or retailer shall maintain responsibility for verifying compliance to local codes.
2. Homes may be "silt set" when the foundation system is designed by a local Registered Professional Engineer (by others). All silt foundation systems shall provide support to the buildings structural components in the same manner as prescribed by the details for stem-wall foundations. Tie-down methods to be designed by others. The maximum mean roof height (MRH), as prescribed on this plan, shall not be exceeded. (See General Notes above).
3. When foundation plans are designed by others, Palm Harbor Homes and its third party approval agency(s) along with the architect and/or the engineer of the building plans shall not be held responsible or liable for the foundation design and/or consequential performance of the superstructures structural components and systems relating thereto.
4. In ALL cases (regardless of who designs the foundation) the following requirements shall be met:
  - a. The foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
  - b. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with the Florida Building Code - 3000 p.s.i., concrete minimum.
  - c. Foundation and anchorage of the building to the foundation shall be capable of withstanding a minimum of 515#/ft uplift along the sidewalls and the marriage line(s) and a minimum of 590#/ft sliding load over ALL connection point (foundation walls).
5. ALL foundation systems shall be designed by a Registered Professional Engineer or Architect licensed for the area in which the building is being installed.
6. ALL foundation and tie-down systems are subject to approval and inspection by the local jurisdiction having authority. It is the responsibility of the contractor and/or retailer to ensure compliance to applicable codes, obtain required permits and schedule required inspections.
7. ALL modular buildings shall be installed (set-up) by a licensed building contractor.
8. The licensed building contractor is responsible for verifying that the size, shape, height etc... of any supplied details or plans corresponds with the building being installed.



Stem Wall Details - Side and End Walls



150 MPH Maximum

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Model Number:	C6649-D	Page Description:	Foundation Details
Drawn By:	RC	Model Name:	150 mph
Date:	11-29-06	Scale:	2R-2102-0246F
Scale:	N.T.S.	Revision Log:	
Date:		Name:	
605 South Frontage Road Plant City, FL 33563		F-2	

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