

DATE 10/06/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000028121

APPLICANT NADEAN MCINTOSH PHONE 754-8678
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055
OWNER CHARLES & ANNE CARROLL PHONE
ADDRESS 523 NW SCENIC LAKE DRIVE LAKE CITY FL 32055
CONTRACTOR MICAEL DELAHOZ PHONE
LOCATION OF PROPERTY LAKEJFFERY RD, TL SCENIC LAECRIVE, 6TH HOUSE ON RIGHT

TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 11527.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE N/A DEVELOPMENT PERMIT NO.

PARCEL ID 22-3S-16-02268-519 SUBDIVISION WOODBOROUGH
LOT 9 BLOCK PHASE UNIT TOTAL ACRES 1.20

SCC056689
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X09-297 CB WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE

Check # or Cash 3862

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 60.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 110.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK# 3862

For Office Use Only		Application # <u>0903-42</u>	Date Received <u>9/18</u>	By <u>JW</u>	Permit # <u>28121</u>
Zoning Official <u>CSB</u>	Date <u>10/5/09</u>	Flood Zone <u>N/A</u>	Land Use <u>RLD</u>	Zoning <u>RSF-2</u>	
FEMA Map # _____	Elevation _____	MFE _____	River _____	Plans Examiner <u>(initials)</u>	Date <u>10/6/09</u>
Comments _____					
<input type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel # _____					
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter					
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____					
School _____ = TOTAL <u>0</u>					

Septic Permit No. X-09-0297-2N FILE BOX Fax 386-755-1751

Name Authorized Person Signing Permit Robert or Madelon McIntosh Phone 386-754-8678

Address 289 NW Corinth Dr Lake City, FL 32055

Owners Name Carroll, Charles & Anne Phone _____

911 Address 523 NW Scenic Lake Dr Lake City, FL 32055

Contractors Name Michael A DeHoy Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, FL 32701

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 22-3S-16-02218-519 Estimated Cost of Construction 11,527⁰⁰

Subdivision Name Woodborough Lot 9 Block _____ Unit _____ Phase 6

Driving Directions Lake Jeffery Rd North West, turn left at Woodborough S/D on to Scenic Lake Dr, 6th House on Right

Number of Existing Dwellings on Property 1

Construction of ~~Pool~~ Screen Enclosure Total Acreage 1.220 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 148' Side 80' Side 45' Rear 117.53'

Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

10/6/09 Spoke to Dickson

Inst. 200912016189 Date: 9/28/2009 Time: 10:37 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B-1181 P-1115

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 22-35-16-02268-519

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 9 Woodborough S/D Phase 6 DBB 805-948, 840-673
a) Street (job) Address: 523 NW Seenic Lake Dr Lake City, FL 32055
2. General description of improvements: Screen enclosure

3. Owner Information
a) Name and address: Carroll, Charles + Anne 523 NW Seenic Lake Dr Lake City FL 32055
b) Name and address of fee simple titleholder (if other than owner) none
c) Interest in property owner

4. Contractor Information
a) Name and address: Mike DeLaHoz 289 NW Corinth Dr Lake City, FL
b) Telephone No.: 386-754-8678 Fax No. (Opt.) 32055

5. Surety Information
a) Name and address: N/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.)

6. Lender
a) Name and address: N/A
b) Phone No.:

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: —
b) Telephone No.: Fax No. (Opt.)

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:

- a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr Lake City FL
b) Telephone No.: 32055 Fax No. (Opt.)

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

Anne R. Carroll
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Anne R. Carroll
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 23rd day of Sept, 20 09, by: _____ as _____ (type of authority, e.g. officer, trustee, attorney fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature Nadean G. McIntosh Notary Stamp or Seal:



—AND—
11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

Columbia County Property Appraiser

DB Last Updated: 7/22/2009

Parcel: 22-3S-16-02268-519 HX

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	CARROLL CHARLES E & ANNE R		
Site Address	SCENIC LAKE		
Mailing Address	523 NW SCENIC LAKE DR LAKE CITY, FL 320558586		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	022316.01	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	1.220 ACRES		
Description	LOT 9 WOODBOROUGH PHASE 6. ORB 805-948, 840-673,		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$40,095.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$149,175.00
XFOB Value	cnt: (2)	\$5,458.00
Total Appraised Value		\$194,728.00

Just Value	\$194,728.00
Class Value	\$0.00
Assessed Value	\$149,684.00
Exemptions	(code: HX) \$50,000.00
Total Taxable Value	County: \$99,684.00 City: \$99,684.00 Other: \$99,684.00 School: \$124,684.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
5/30/1997	840/673	WD	V	Q		\$18,900.00
5/11/1995	805/948	WD	V	Q		\$22,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1998	Common BRK (19)	2277	2976	\$149,175.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1998	\$3,858.00	0002572.000	0 x 0 x 0	(000.00)
0190	FPLC PF	1998	\$1,600.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

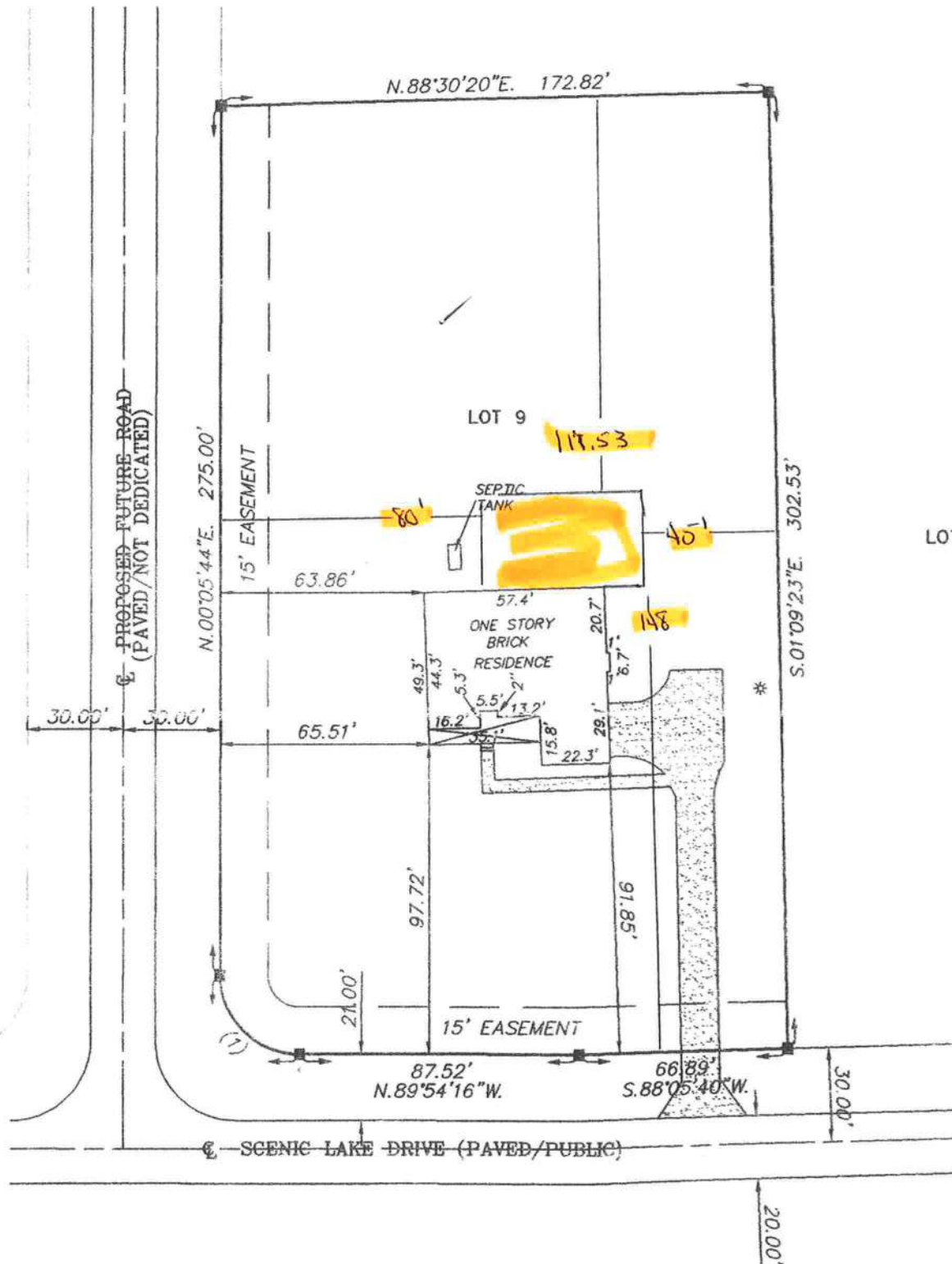
Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	0000001.000 LT - (0000001.220AC)	1.00/1.00/1.10/1.00	\$40,095.00	\$40,095.00

Columbia County Property Appraiser

DB Last Updated: 7/22/2009

1 of 1

Disclaimer



Curve numb
 Radius= 20
 Delta= 90
 Arc= 39.2
 Tangent=
 Chord= 35
 Chord Brg.

CERTIFIED TO:

CHARLES EDWARD & ANN ROBINSON CARROLL
 FIRST FEDERAL SAVINGS BANK OF FLORIDA
 TERRY MCDAVID, ATTORNEY AT LAW
 FIRST AMERICAN TITLE INSURANCE COMPANY

FIELD BOOK: SEE PAGE(S): FILE

SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 TECHNICAL STANDARDS AS SET FORTH BY THE FLA
 IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CO

3/5/98
 FIELD SURVEY DATE

3/9/98
 DRAWING DATE

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE OR
 MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FO

BOUNDARY SURVEY IN SECTION 22, TOWNSHIP 3 SOUTH,
RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

pr 1

1.00
20'00"
7
25.00
36
N.44°54'16"W.



SCALE: 1" = 50'

SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
⊕	POWER POLE
▲	WATER METER
⊙	CENTERLINE
*	WELL
⊗	SATELLITE DISH
⊕	TELEPHONE BOX
—E—	ELECTRIC LINES
—X—	WIRE FENCE
—⊕—	CHAIN LINK FENCE
—B—	WOODEN FENCE

DESCRIPTION:

LOT 9 OF WOODBOROUGH PHASE 6 AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6
PAGE 126 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 120070 0175 B. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

LAND SURVEYOR'S CERTIFICATION:

UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM
FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS
REQUIREMENTS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.


LAUREN E. BRITT, F.S.M.
CERTIFICATION # 1079

ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND
FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



BRITT SURVEYING

LAND SURVEYORS AND MAPPERS

1426 WEST DUVAL STREET LAKE CITY, FLORIDA 32055

(904)752-7163 FAX (904)752-5573

WORK ORDER # L-8474

SUBCONTRACTOR VERIFICATION FORM

28121

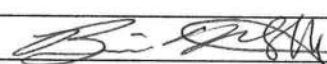
APPLICATION NUMBER 0909-42 CONTRACTOR Florida Pool Enclosures PHONE 754-8678

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

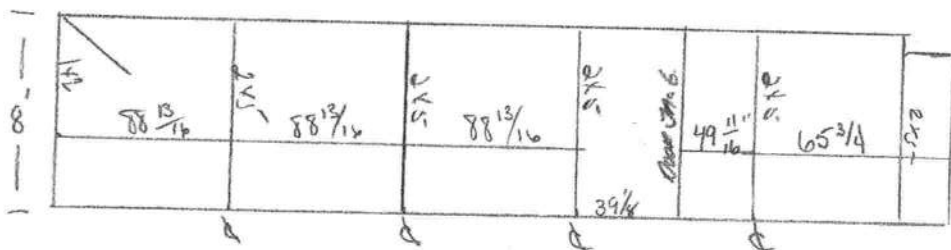
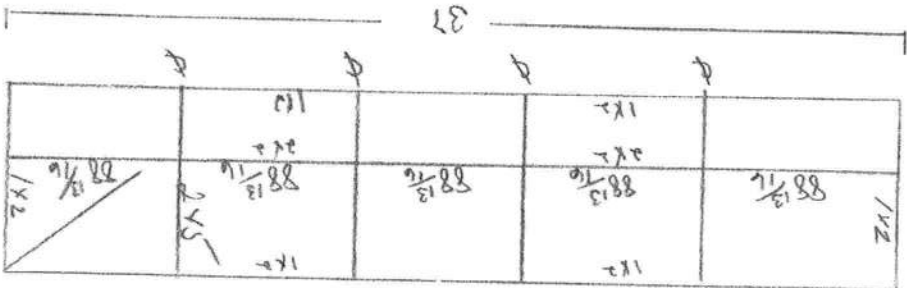
In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

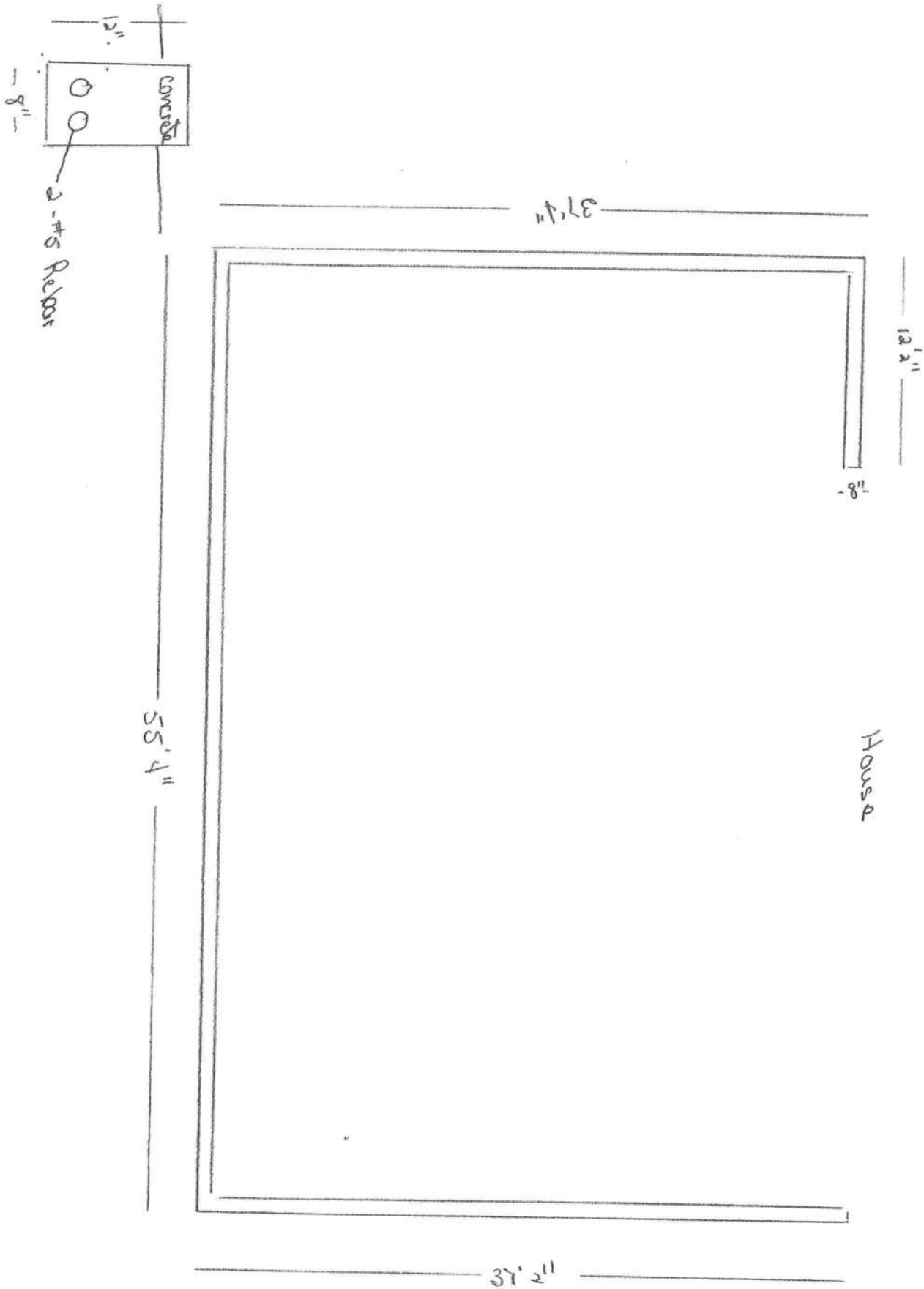
Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER	657	Brian McIntosh	
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

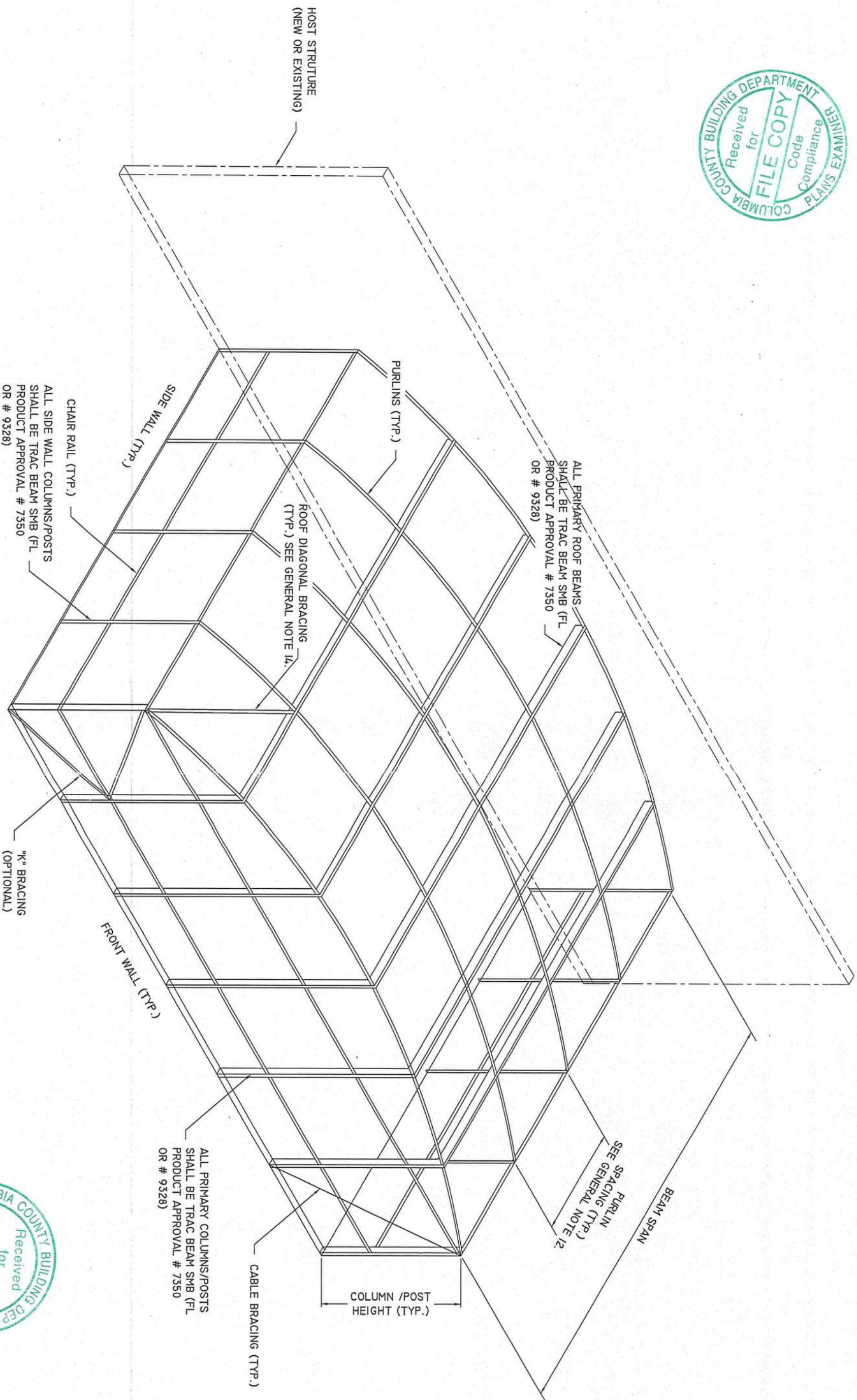
F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

[illegible]

Knee Box
10 x 34"

Carroll Foster





TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure. Contractor shall provide detailed layout drawings.



DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
605 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

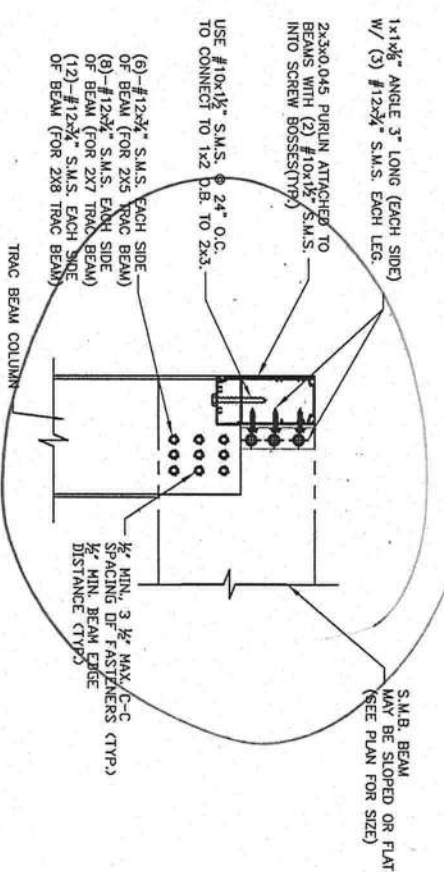
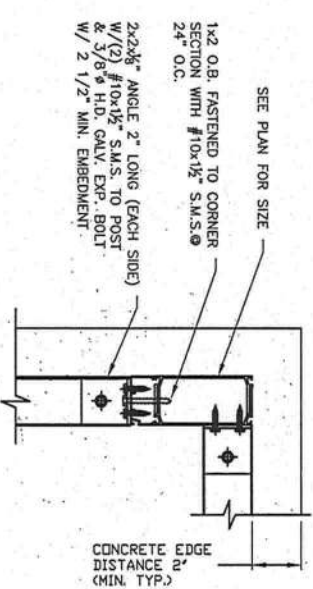
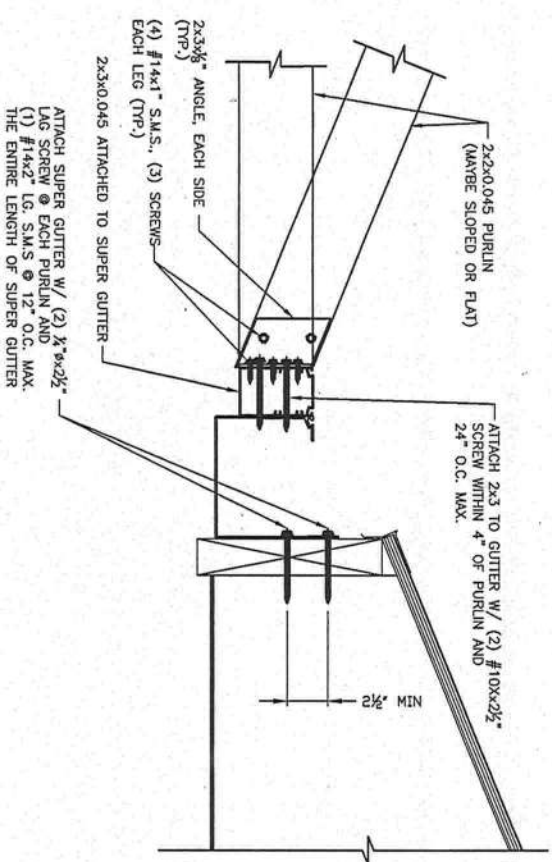
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
CA# 28887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

2.5.04

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

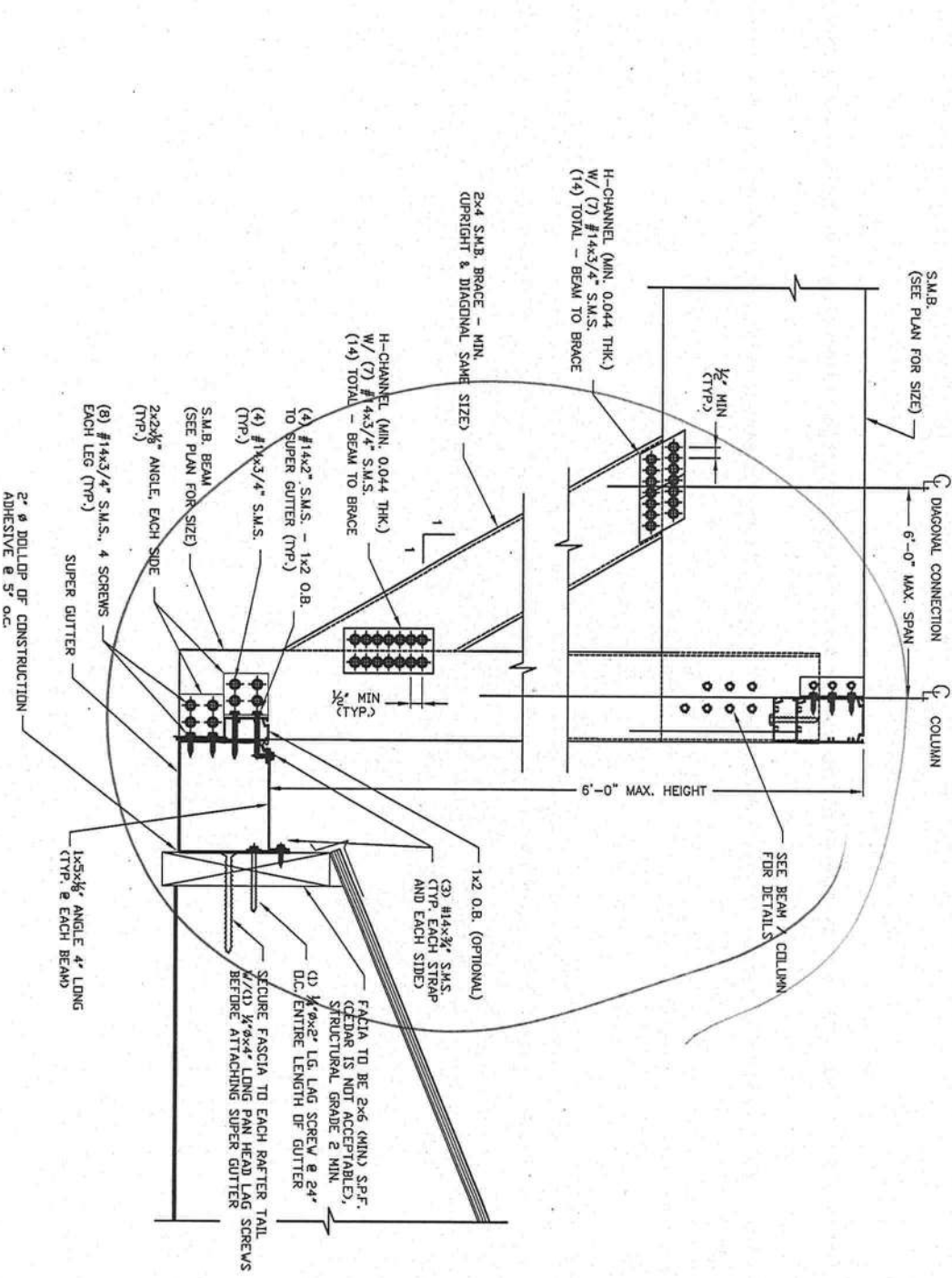


General Notes and Specifications:

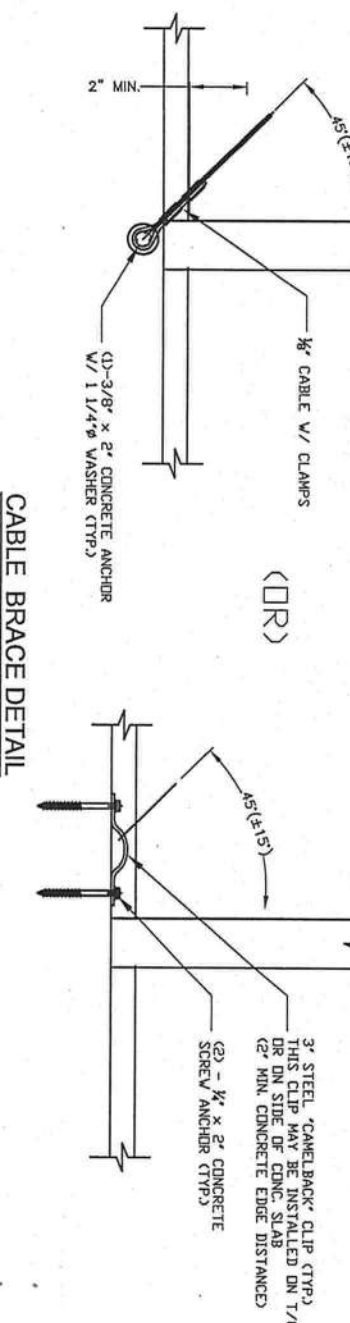
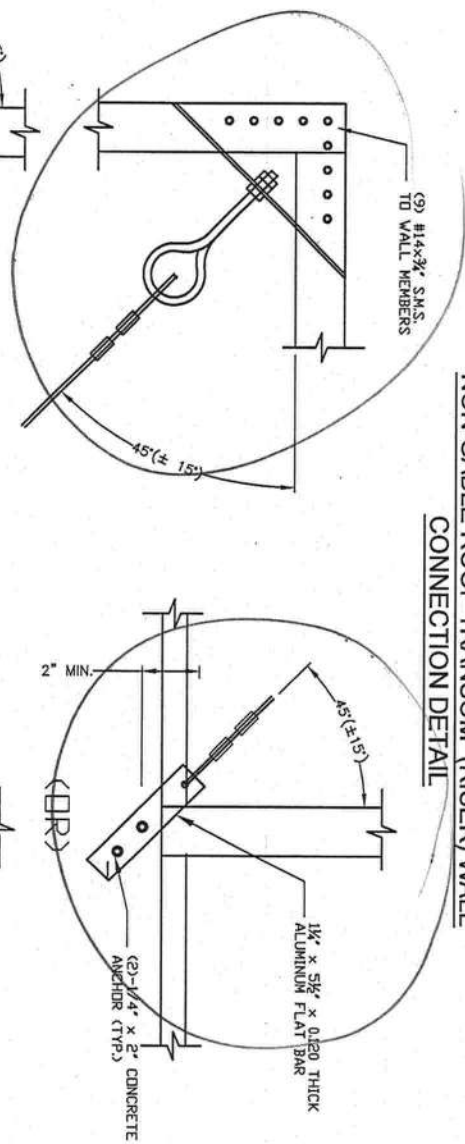
- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration. The licensed contractor shall be the delegated designer as allowed by FL Statutes for design and construction of these structures covered in these sheets. DKA is solely responsible for the design of the details as shown on these drawings and the contractor shall be in responsible charge to design the structure as allowed by FL Statutes.
- Concrete shall be minimum 28 day compressive strength of f'c=2500 psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 18 x 1/4 x 0.013" mesh.
- Connections using screw bosses shall have minimum (4)-#10x2" per connection unless shown otherwise.
- Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEX) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	3/16"	1/2"
#12	0.219	1/8"	9/16"
#14 (1/4")	0.250	1/2"	3/4"

- Structure has been designed to meet the 2007 FBC w/ 2009 Supplement. Project is sited with basic wind speed up to 120 mph (3-sec gust), I=0.77 for screen enclosures. Exposure C. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, GCp, of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.
- Diagonal bracing shall be installed on 50% of roof screen panels that have at least one side adjacent to an exterior screen wall.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided on the front screen wall for each 500 sf of screened wall area that the wind load is being applied to the side wall orthogonal to the front wall.
- Structures that exceed 45 feet of beam span or height's exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights. 2x2 and 1x2 aluminum components shall have nominal wall thickness of 0.044". Structural super gutter shall be min. 0.065" for spans 25' or less and 0.096" wall thickness for spans greater than 30'.
- All Aluminum members shall be 6005-T5 Alloy or stronger unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



NON-CABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)

BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	26.8'

Design wind speed up to 120 mph. Exposure B. Reduce spans by 8% for Exposure C.

Beam Stitching Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size	Beam	Stitching Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"	
2" x 5" x 0.050 x 0.116	#8 x 1/2"	
2" x 6" x 0.050 x 0.120	#10 x 3/4"	
2" x 7" x 0.055 x 0.120	#10 x 3/4"	
2" x 8" x 0.072 x 0.224	#12 x 3/4"	
2" x 9" x 0.072 x 0.224	#12 x 3/4"	
2" x 9" x 0.082 x 0.306	#14 x 3/4"	
2" x 10" x 0.092 x 0.389	#14 x 3/4"	

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

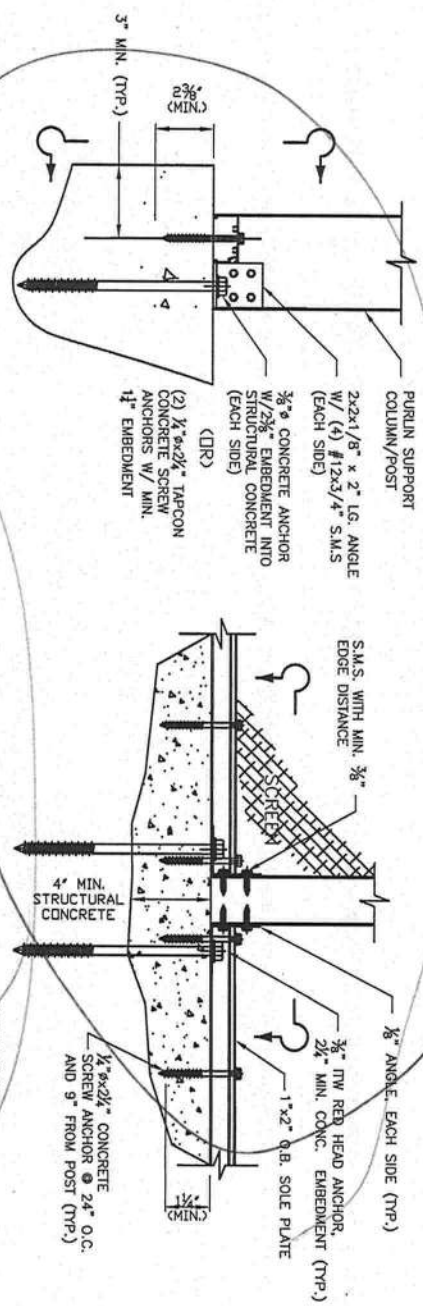
3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
605 2008	ISSUED

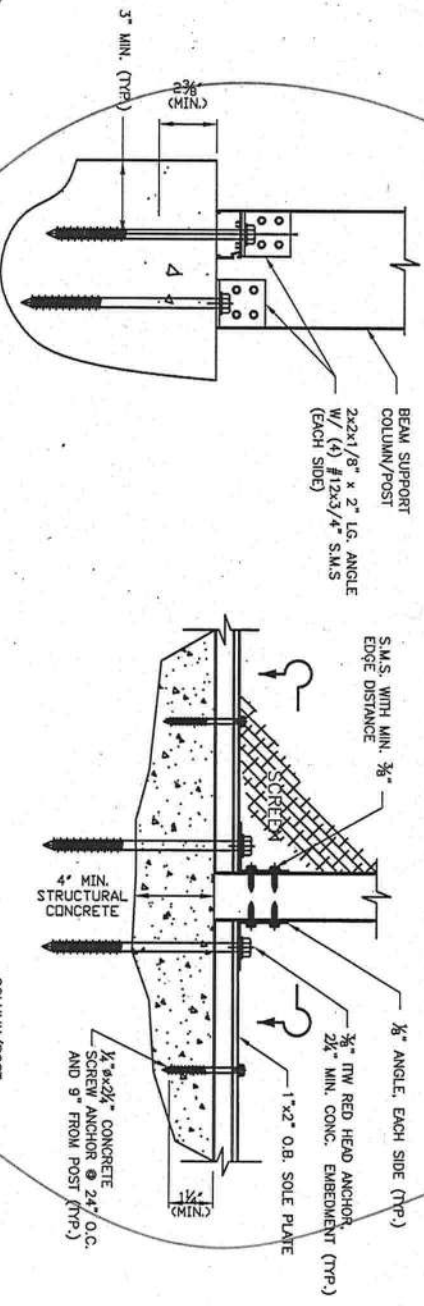
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

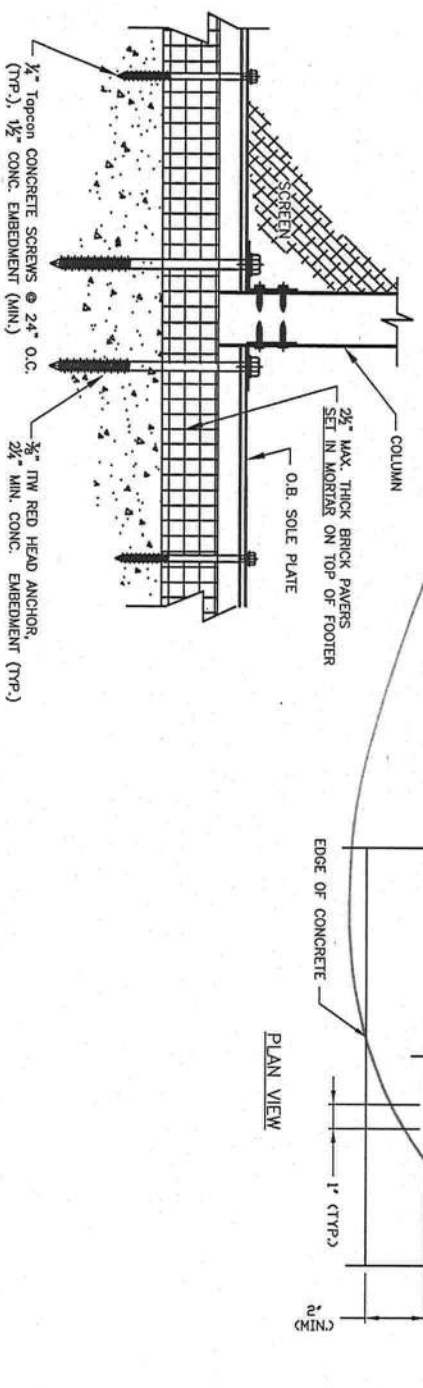
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
3300 HENDERSON BLVD.,
SUITE 106
TAMPA, FL 33694



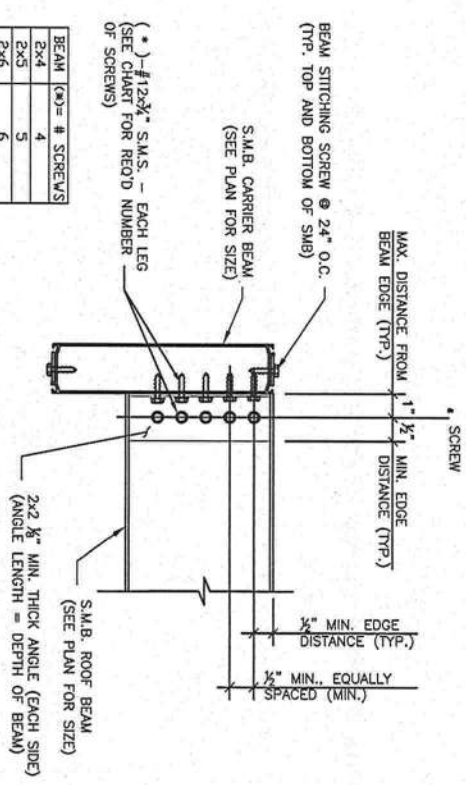
SIDEWALL COLUMN TO FOUNDATION CONNECTION DETAIL



MAIN COLUMN TO FOUNDATION CONNECTION DETAIL

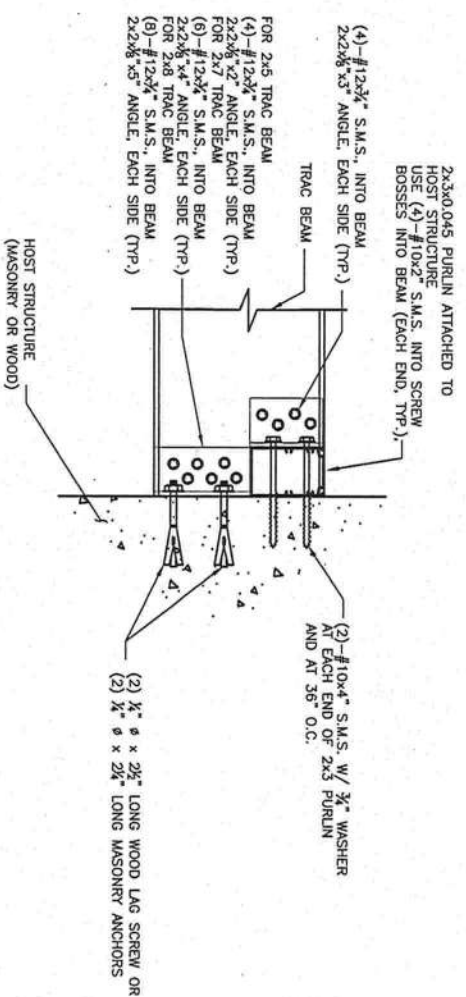


TYPICAL FRONT VIEW OF POST TO FOUNDATION CONNECTION WITH PAVERS

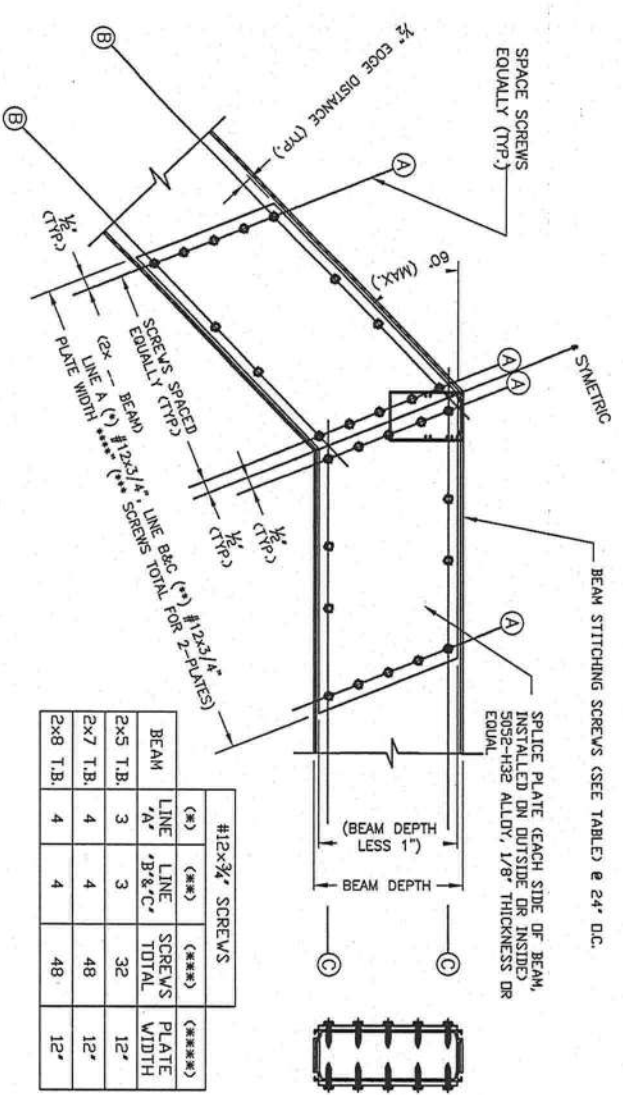


CARRIER BEAM TO BEAM CONNECTION DETAIL

BEAM (C) = # SCREWS	BEAM (C) = # SCREWS
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10



BEAM TO HOST STRUCTURE DETAIL



MANSARD ROOF BEAM CONNECTION DETAIL

BEAM	LINE 'A'	LINE 'B'-'C'	SCREWS TOTAL	PLATE WIDTH
2x5 T.B.	3	3	32	12"
2x7 T.B.	4	4	48	12"
2x8 T.B.	4	4	48	12"

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
605 2008	ISSUED

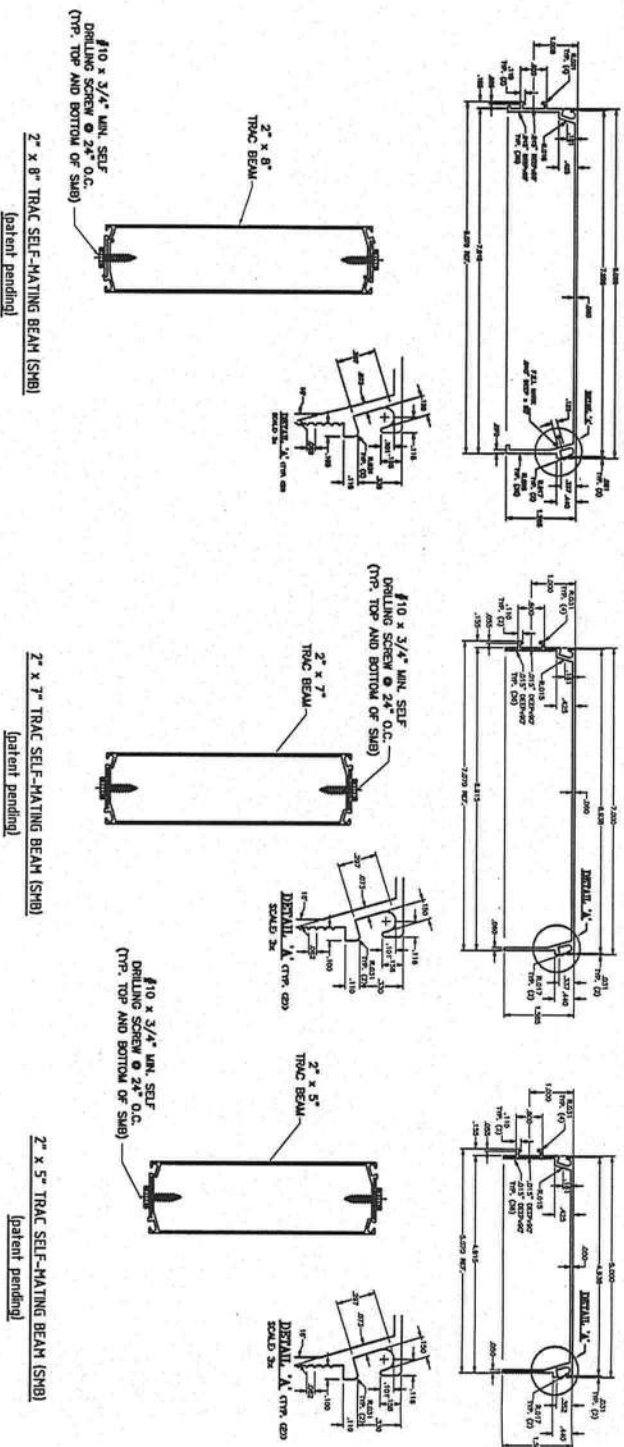
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CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA#28987
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



Trac Beam Notes:

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
2. Drawings are illustrative purposes only.
3. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduce 7% for each five feet increment. Then reduce spans by 10% for Exposure C.
4. Spans with ">25'" shall be 25' for Exposure C.
5. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
6. Allowable spans tables are based on 2007 FBC w/ 2009 Supplement.
7. Wind loads are based on Chapter 20 and Table 2004.4.
8. Consult a licensed design professional for use of this product information.
9. Maximum allowable deflections limits of L/80 shall be considered by design professional. L/80 in HHVZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

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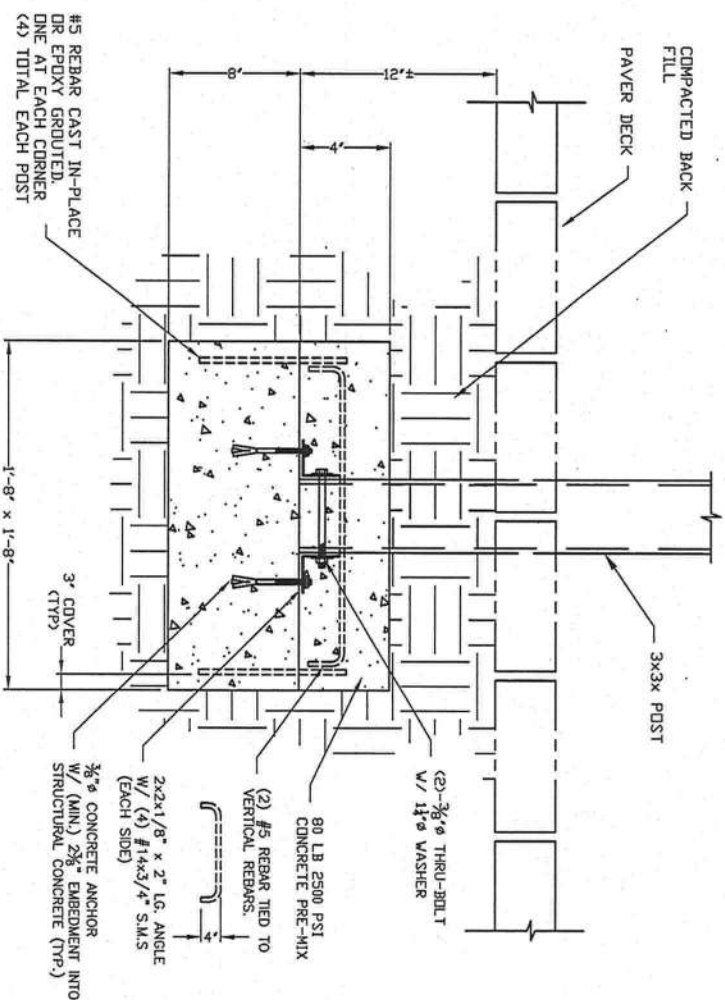
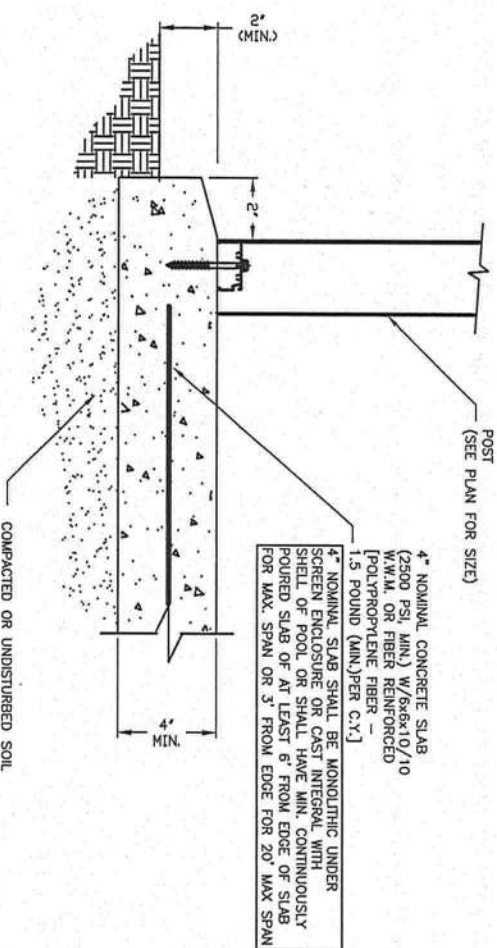
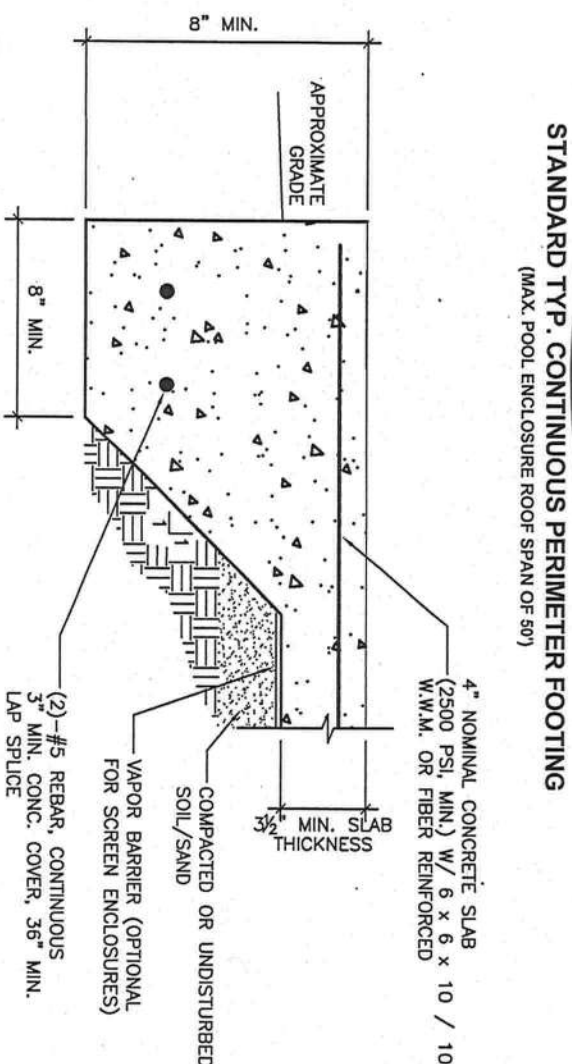
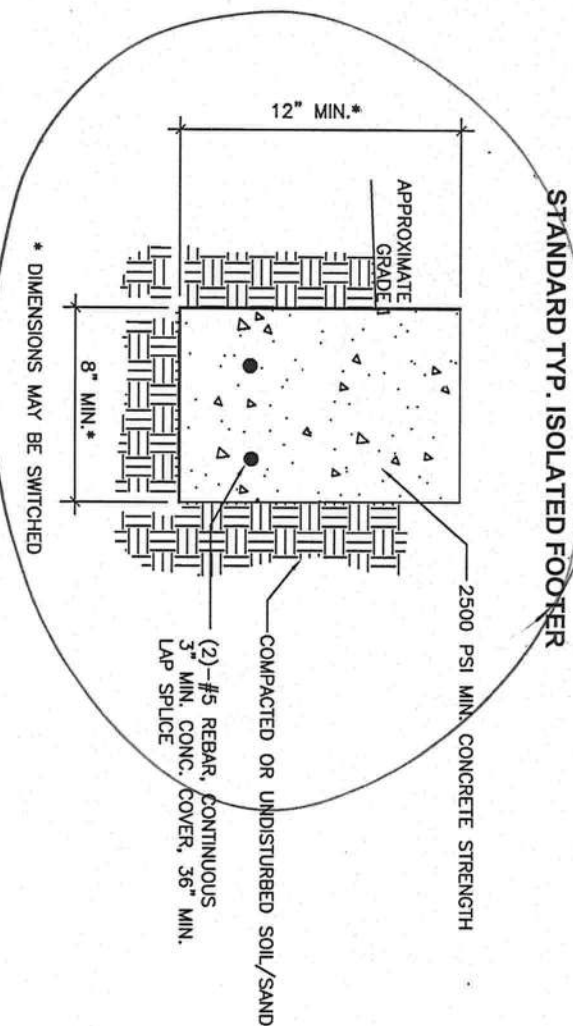
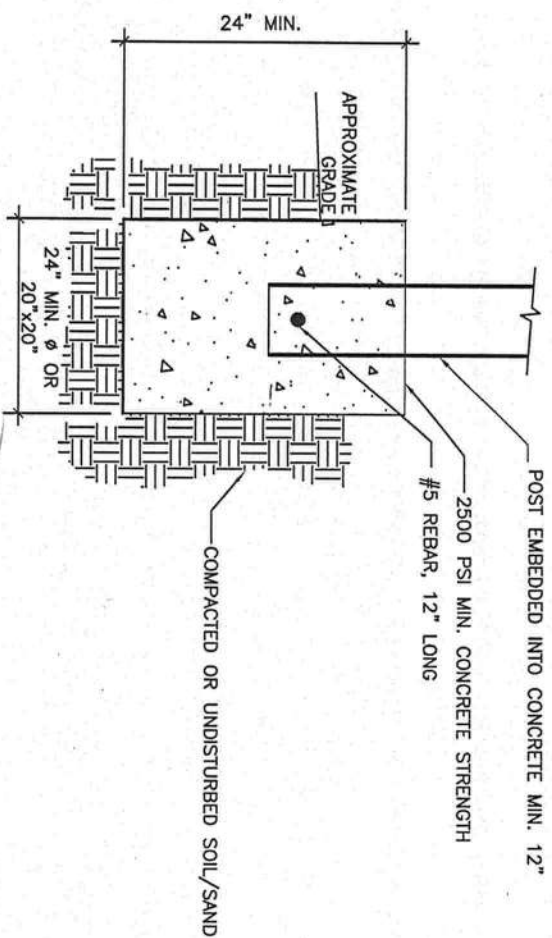
Rev/Date	Description
6/05 2008	ISSUED

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CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33604



POST / CONCRETE SLAB DETAIL
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')

POST FOR CARRIER BEAM TO
BURIED FOOTING
CONNECTION DETAIL

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
605 2008	ISSUED
604	
603	
602	
601	

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

DO YEON KIM, P.E.
FLA. REG. NUMBER 48497
DO KIM & ASSOCIATES, LLC
CA# 28887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33604

Drawing No. - 060905

SHEET 6 OF 7

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



KNEE BRACE SECTION	MAX. LENGTH	#10 $\frac{3}{8}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050 HOLLOW	55 INCHES	5
2"x4"x0.046x0.100 S.M.B	62 INCHES	6