

DATE 08/30/2006

Columbia County Building Permit

PERMIT  
000024931

This Permit Expires One Year From the Date of Issue

APPLICANT SHAUNA TURBERVILLE PHONE 755-8238  
ADDRESS 323 SOUTH MARION AVE LAKE CITY FL 32055  
OWNER GLEN & SANDRA SKINNER PHONE 752-8238  
ADDRESS 538 SW ARROWHEAD TERR LAKE CITY FL 32025  
CONTRACTOR RB&M ENTERPRISE, INC PHONE 755-7878  
LOCATION OF PROPERTY 47 S, CR 242, R ARROWHEAD TERR, APPROX. 3/4 MILE  
ON LEFT ACROSS FROM RSC

TYPE DEVELOPMENT COMM METAL BLDG ESTIMATED COST OF CONSTRUCTION 349000.00  
HEATED FLOOR AREA TOTAL AREA 2500.00 HEIGHT 27.00 STORIES 1  
FOUNDATION CONCRETE WALLS METAL ROOF PITCH 1/12 FLOOR SLAB  
LAND USE & ZONING ILW MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE 15.00  
NO. EX.D.U. FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 24-4S-16-03120-000 SUBDIVISION WINDSWEPT INDUSTRIAL PARK  
LOT 1\$2 BLOCK PHASE UNIT TOTAL ACRES 4.20

RB0067106  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 06-0659-N BK JH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: SDP 06-6,  
FLOOR ONE FOOT ABOVE THE ROAD  
Check # or Cash 2761764

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 1745.00 CERTIFICATION FEE \$ 12.50 SURCHARGE FEE \$ 12.50  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 1845.00  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# Columbia County Building Permit Application

For Office Use Only Application # 0608-13 Date Received 8/4 By G Permit # 24931  
 Application Approved by - Zoning Official 30.09.06 Date BLK Plans Examiner \*JTH Date OK 8-12-06  
 Flood Zone X Development Permit NIA Zoning ILW Land Use Plan Map Category IND.  
 Comments \*ATTACH STIPULATION OF LETTER FROM FREEMAN TO PERMIT SDP 06-6  
CITY WATER

Applicants Name Robert Parnell FAX: 755.3625  
NORTH FLORIDA TRUCK PARTS Phone 752 8238  
 Address 10434 SW COUNTY RD 270 32024  
 Owners Name GLEN R & SANDRA K SKINNER Phone \_\_\_\_\_  
 911 Address 538 SW ARROWHEAD TERR  
 Contractors Name R.B. & M. ENTERPRISES INC Phone 755 2878  
 Address 323 SOUTH MARION AVE LC 32025  
 Fee Simple Owner Name & Address GLEN R & SANDRA K. SKINNER  
 Bonding Co. Name & Address \_\_\_\_\_  
 Architect/Engineer Name & Address FREEMAN DESIGN GROUP 161 NW MADISON ST SUITE #102  
 Mortgage Lenders Name & Address WELLS FARGO BANK OF AMERICA  
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
 Property ID Number 24-45-16-03/20-000 Estimated Cost of Construction 349,000  
 Subdivision Name WINDSWEEP INDUSTRIAL PARK Lot 142 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase 1  
 Driving Directions 47 SOUTH TO COUNTY RD 242 TURN RIGHT GO TO ARROWHEAD TERR TURN RIGHT GO APPROX 3/4 MILE ON LEFT ACROSS FROM RSC  
Tool Rental  
 Type of Construction Foundation and 10' x 12' Metal Building Erection Number of Existing Dwellings on Property None  
 Total Acreage 4.2 Lot Size \_\_\_\_\_ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 62.75 Side 112.68 Side 25 Rear 127.97  
 Total Building Height 27' Number of Stories 1 Heated Floor Area 2500 Roof Pitch 1/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

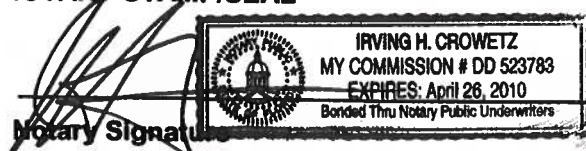
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Robert W Parnell  
 Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA  
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me  
 this 1 day of Aug 20 06.  
 Personally known X or Produced Identification \_\_\_\_\_

Robert W Parnell  
 Contractor Signature  
 Contractors License Number 120 0067106  
 Competency Card Number 5572  
 NOTARY STAMP/SEAL



24931

Notice of Commencement Form  
Columbia County, Florida

\*\*\*THIS DOCUMENT MUST BE RECORDED AT  
THE COUNTY CLERKS OFFICES BEFORE YOUR  
FIRST INSPECTION\*\*\*

The UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information in this Notice of Commencement:

Tax Parcel ID Number 24-4S-16-03120-101

1. Description of property: (legal description of the property and street address or 911 address) 538 SW Arrowhead Terrace Lake City, FL 32024  
Windswept Industrial S/D
2. General description of improvement: Construction of Metal Building 37,500 sq ft.
3. Owner Name & Address Glen & Sandra Skinner 10434 SW CR 240 Lake City, FL 32024  
Interest in Property Owners
4. Name & Address of Fee Simple Owner (if other than owner): Simple
5. Contractor Name: Robert Parnell Phone: 386-755-7878  
Address: 323 S Marion St Lake City, FL 32025

Surety Holders Name: N/A  
Address:

Inst: 2006022751 Date: 09/25/2006 Time: 09:34  
DC, P. DeWitt Cason, Columbia County B: 1096 P: 2544

Amount of Bond N/A  
Lender Name: N/A  
Address:

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13(1)(a) 7, Florida Statutes:  
Name: None Phone:  
Address:
9. In addition to himself/herself the owner designates NONE  
to receive a copy of the Lienor's Notice as provided in Section 713.13 (1)-(a) 7.  
Phone number of designee
10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording. (Unless a different date is specified).

**NOTICE AS PER CHAPTER 713, FLORIDA STATUTES**

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead:

Twenty Second (22<sup>nd</sup>) Sworn to (or affirmed) and subscribed before  
Day of September 2006

*Sandra K. Skinner*  
Signature of Owner



NOTARY STAMP/SEAL

*Brenda J. Parnell*  
Signature of Notary





Engineers • Planners

161 N.W. Madison St., Suite 102  
Lake City, Florida 32055  
Tel: 386-758-4209  
Fax: 386-758-4290

To whom it may concern,

The building for North Florida Truck Parts shall not be occupied or improved unless a sprinkler system is installed. If you should have any questions or concerns contact us at 386-758-4209.

A handwritten signature in cursive script, appearing to read 'Bo Skinner'.

Bo Skinner

A handwritten signature in cursive script, appearing to read 'Fallon Seiling'.

Notary of Florida

A handwritten signature in cursive script, appearing to read 'Robert W. Parnell'.

Robert Parnell



Rec. M. 50  
Dec. 930.30

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Inst:2002005689 Date:03/19/2002 Time:09:06:46  
Doc Stamp-Deed : 930.30  
MCK DC, P. Dewitt Cason, Columbia County B:949 P:271

File No. 02-147

Grantee No. 1 S.S. No. 264-04-3917

Grantee No. 2 S.S. No. 400-78-5670

Property Appraiser's  
Parcel Identification No.  
Part of Parcel No.  
24-4S-16-03120-000

#### WARRANTY DEED

THIS INDENTURE, made this 18th day of March 2002, BETWEEN DANIEL CRAPPS, Trustee under the provisions of a certain Trust Agreement dated the 1st day of November 1999, known as the Windswept Land Trust, whose post office address is 4400 U.S. Highway 90 West, Lake City, Florida 32055, of the County of Columbia, State of Florida, grantor\*, and GLEN R. SKINNER and his wife, SANDRA K. SKINNER, whose post office address is Route 27, Box 2512, Lake City, Florida 32024, of the County of Columbia, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lots 1 and 2 of WINDSWEPT INDUSTRIAL SUBDIVISION, PHASE ONE, a subdivision according to the plat thereof recorded in Plat Book 7, Pages 84 & 85 of the public records of Columbia County, Florida.


SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.


\*"Grantor" and "grantee" are used for singular or plural, as context requires.


IN WITNESS WHEREOF, grantor has hereunto set grantor's hand  
and seal the day and year first above written.

Signed, sealed and delivered  
in our presence:

  
(First Witness)  
Terry McDavid  
Printed Name

 (SEAL)  
Daniel Crapps, Trustee

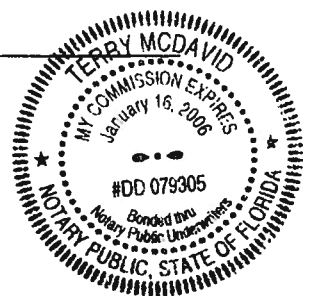
  
(Second Witness)  
Myrtle Ann McElroy  
Printed Name

Inst:2002005649 Date:03/19/2002 Time:09:06:46  
Doc Stamp-Deed : 930.30  
 DC, P. DeWitt Cason, Columbia County B:949 P:272

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 18<sup>th</sup>  
day of March 2002, by DANIEL CRAPPS, Trustee under the provisions  
of a certain Trust Agreement dated the 1st day of November 1999,  
known as the Windswept Land Trust. He is personally known to me  
and did not take an oath.

  
Notary Public  
My Commission Expires: \_\_\_\_\_





**SUWANNEE  
RIVER  
WATER  
MANAGEMENT  
DISTRICT**

9225 CR 49  
LIVE OAK, FLORIDA 32060  
TELEPHONE: (386) 362-1001  
TELEPHONE: 800-226-1066  
FAX (386) 362-1056

**GENERAL PERMIT**

**PERMITTEE:**

WINDSWEPT LAND TRUST  
2806 WEST U.S. HIGHWAY 90, SUITE 101  
LAKE CITY, FL 32055

**PERMIT NUMBER:** ERP01-0407M

**DATE ISSUED:** 04/25/2003

**DATE EXPIRES:** 04/25/2005

**COUNTY:** COLUMBIA

**TRS:** S24/T4S/R16E

**PROJECT:** WINDSWEPT INDUSTRIAL SUBDIVISION MODIFICATION

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

DANIEL CRAPPS  
WINDSWEPT SUBDIVISION OWNERS ASSOCIATION, INC.  
4400 US HIGHWAY 90 WEST  
LAKE CITY, FL 32055

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Previous permit issued for 31.90 acres of impervious surface on 60.74 acres. Modification consists of construction and operation of a surfacewater management system serving 37.34 acres of impervious surface on a total project area of 72.95 acres in a manner consistent with the application package submitted by Bailey, Bishop & Lane, Inc., certified on March 12, 2003.

It is your responsibility to insure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right



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to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-3, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of a surfacewater management permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.

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4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.
5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.
6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.
9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.
11. As-built certification shall be made by an engineer or surveyor.
12. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
13. The surfacewater management system shall be operated and maintained in a manner which is

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consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

14. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

Special limiting conditions made part of this permit are as follows:

15. Operation and maintenance of the surfacewater management system shall be the responsibility of the permittee until such time as those responsibilities are transferred to the approved association. Prior to the association assuming operation and maintenance responsibilities, permittee shall request transfer to operation and maintenance entity.

16. Prior to a dedication or transfer of all or any part of the common properties which is directly or indirectly related to the surfacewater management system, the dedication or approval of the transfer must be authorized by the District through modification of any and all permits or authorizations issued by the District. Such modifications shall be made under the lawfully adopted rules of the District in effect at the time of application for modification.

17. Permittee shall submit to the District within 30 days of issuance of permit, proof that the Articles of Incorporation have been filed with the Secretary of State and that the corporation is in good standing.

18. Permittee shall submit to the District within 30 days of issuance of permit, proof that all surfacewater management systems are located on the common areas and that the common areas are owned or controlled by the homeowner's association.

19. Prior to the sale of any lot or parcel, the permittee must record Declarations of Covenants and Restrictions which include a restriction on the real property pursuant to section 704.06, F.S.; prohibiting all construction including clearing, dredging, or filling, except that which is specifically authorized by Environmental Resource permit, within the conservation areas delineated on the final plans and/or mitigation proposal approved by the District.

20. Lot owners shall obtain SRWMD approval before construction may begin on each lot.

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WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL  
NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by

  
District Staff

Date Approved

4/25/03

  
Clerk

  
Executive Director

ERP01-0407M  
WINDSWEPT INDUSTRIAL SUBDIVISION  
(GENERAL) (MODIFICATION)

30 DAY DEADLINE  
21 MAY 03

CALCULATIONS

O.K. Correct set received March 14, 2003.

PLANS

O.K. Correct set received April 14, 2003.

QUESTIONS

None

COMMENTS

This project is to include 5 lots that were not included in the first submittal. The front lots were permitted for 60% impervious just as the lots in phase II. Just as in the previous permit, all lots must get SRWMD approval before construction begins. Nothing else changed from the first submittal. Everything looks good and should work fine.

A handwritten signature in black ink, appearing to be 'L. [unclear]', with a long horizontal line extending to the right.

25 APRIL 2003



**SUWANNEE  
RIVER  
WATER  
MANAGEMENT  
DISTRICT**

9225 CR 49  
LIVE OAK, FLORIDA 32060  
TELEPHONE: (904) 362-1001  
TELEPHONE: 800-226-1066  
FAX (904) 362-1056

**GENERAL PERMIT**

**PERMITTEE:**  
WINDSWEPT LAND TRUST  
4400 WEST U.S. 90  
LAKE CITY, FL 32055

**PERMIT NUMBER:** ERP01-0407  
**DATE ISSUED:** 12/26/2001  
**DATE EXPIRES:** 12/26/2003  
**COUNTY:** COLUMBIA  
**TRS:** S24/T4S/R16E

**PROJECT:** WINDSWEPT INDUSTRIAL S/D, PHASE I

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

DANIEL CRAPPS  
WINDSWEPT LAND TRUST  
4400 WEST U.S. 90  
LAKE CITY, FL 32055

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

**Construction and operation of a surfacewater management system serving 31.90 acres of impervious surface on a total project area of 60.74 acres in a manner consistent with the application package submitted by Bailey Bishop & Lane, Inc. certified on October 19, 2001.**

It is your responsibility to insure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the



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permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-3, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of a surfacewater management permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for

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regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.
6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.
9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.
11. As-built certification shall be made by an engineer or surveyor.
12. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
13. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

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14. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

Special limiting conditions made part of this permit are as follows:

15. Operation and maintenance of the surfacewater management system shall be the responsibility of the permittee until such time as those responsibilities are transferred to the approved association. Prior to the association assuming operation and maintenance responsibilities, permittee shall request transfer to operation and maintenance entity.

16. Prior to a dedication or transfer of all or any part of the common properties which is directly or indirectly related to the surfacewater management system, the dedication or approval of the transfer must be authorized by the District through modification of any and all permits or authorizations issued by the District. Such modifications shall be made under the lawfully adopted rules of the District in effect at the time of application for modification.

17. Permittee shall submit to the District within 30 days of issuance of permit, proof that the Articles of Incorporation have been filed with the Secretary of State and that the corporation is in good standing.

18. Permittee shall submit to the District within 30 days of issuance of permit, proof that all surfacewater management systems are located on the common areas and that the common areas are owned by the homeowner's association.

19. Prior to the sale of any lot or parcel, the permittee must record Declarations of Covenants and Restrictions which include a restriction on the real property pursuant to section 704.06, F.S.; prohibiting all construction including clearing, dredging, or filling, except that which is specifically authorized by Environmental Resource permit, within the conservation areas delineated on the final plans and/or mitigation proposal approved by the District.

20. Each lot shall obtain SRWMD approval before construction may begin on each lot.

Permit No.: ERP01-0407

Project: WINDSWEPT INDUSTRIAL S/D, PHASE I

Page 5 of 5

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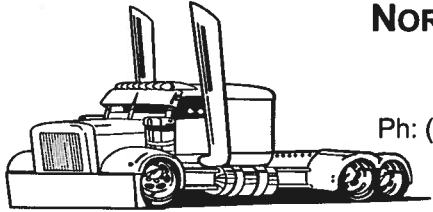
WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL  
NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by John Hunt Date Approved 12-26-01  
District Staff

David Still [Signature]  
Clerk Executive Director







**NORTH FLORIDA TRUCK PARTS, INC.**

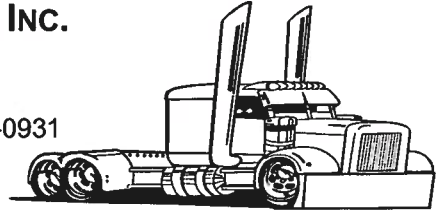
10434 SW CR 240

Lake City, FL 32024

Ph: (386) 752-8238 Toll Free: (800) 356-0931

Fax: (386) 755-6070

email: [nftruck@starband.net](mailto:nftruck@starband.net)



August 31, 2006

To Whom It May Concern:

I give permission to Shauna Turberville to pick up North Florida Truck Parts building permit. I am not able to get there to pick it up myself. I appreciate your understanding and cooperation.

Thank you,

Bo Skinner  
Vice President  
North Florida Truck Parts





Engineers • Planners

161 N.W. Madison St., Suite 102  
Lake City, Florida 32055  
Tel: 386-758-4209  
Fax: 386-758-4290

To whom it may concern,

The building for North Florida Truck Parts shall not be occupied or improved unless a sprinkler system is installed. If you should have any questions or concerns contact us at 386-758-4209.

A handwritten signature in blue ink, appearing to read 'Bo Skinner'.

Bo Skinner

A handwritten signature in blue ink, appearing to read 'Fallon Seiling'.

Notary of Florida

A handwritten signature in blue ink, appearing to read 'Robert W. Parnell'.

Robert Parnell



**Cal-Tech Testing, Inc.**

- Engineering
- Geotechnical
- Environmental

**LABORATORIES**

P.O. Box 1625 • Lake City, FL 32056-1625  
6319 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456  
Tel. (904) 262-4046 • Fax (904) 262-4047

May 18, 2006

North Florida Truck Parts  
10434 S. W. County Road 240  
Lake City, Florida 32024

Attention: Bo Skinner

Reference: Proposed Warehouse  
S. W. Arrowhead Road  
Columbia County, Florida  
Cal-Tech Project No. 06-275

Dear Mr. Skinner,

Cal-Tech Testing, Inc. has completed the subsurface investigation and engineering evaluation of the site for a warehouse building and showroom to be constructed at S. W. Arrowhead Road in Columbia County, Florida. Our work was performed in conjunction with Bill Freeman and authorized by you.

We understand the warehouse will be of steel frame construction and have lateral dimensions of approximately 175 feet by 350 feet. The showroom will also be of steel frame construction and have lateral dimensions of approximately 50 feet by 50 feet. Support for both structures will be provided by conventional, shallow spread footings and/or by monolithic foundations. Anticipated column and wall loads are assumed not to exceed 35 kips and 2.5 kips per foot, respectively.

The purposes of our investigation were to determine the general subsurface conditions at the site, to determine an allowable bearing capacity for the site soils, and to provide recommendations for design and construction, as appropriate.

Site Investigation

The subsurface conditions were investigated by performing six Standard Penetration Test borings advanced to depths of 10 feet. Approximate boring locations are indicated on the attached Boring Location Plan. These locations were selected by Cal-Tech Testing, Inc. with your assistance.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6

*"Excellence in Engineering & Geoscience"*

inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

### Findings

The soil borings generally encountered three soil strata. The first layer consists of about 1 foot of generally grayish tan or tannish gray, silty sand (SM). The N-values of this layer were not determined.

The second layer consists generally of 1.5 to 3.0 feet of loose, tan or grayish tan sand (SP), sand with silt (SP/SM) or sand with clay (SP/SC). The N-values of this layer range from 5 to 8 blows per foot.

The third layer consists of an undetermined thickness of loose to dense, tan, gray, orange and red, clayey sand (SC) with lenses of stiff to very stiff, sandy clay (CL). The N-values of this layer range from 8 to 40 blows per foot.

Groundwater was not encountered at any boring location at the time of our investigation. We estimate the wet season water table will occur at a depth of about 4.0 feet. For a more detailed description of the subsurface conditions encountered, please refer to the attached Boring Logs.

### Discussion

Based upon our findings, it is our opinion the warehouse and showroom can be supported by monolithic foundations or by conventional, shallow spread footings sized to exert a maximum soil bearing pressure of 3,000 pounds per square foot. Lightly loaded foundations should have minimum widths of 18 and 24 inches for strip and isolated footings, respectively, even though the allowable soil bearing pressure may not be developed. These foundations should be embedded at least 16 inches below the finished surface grade. Heavily loaded column foundations should have minimum widths of 36 inches and be embedded a minimum of 24 inches below the finished surface grade.

The warehouse and showroom areas should be stripped of grass, roots and other deleterious materials. Excavation should then be performed as required to establish the appropriate site grading. Subgrade soils should then be proof-rolled using heavy, rubber-tired equipment (a large, loaded, front-end loader, for example). Proof-rolling helps to compact the bearing soils and to locate zones of especially loose or soft soil not encountered in the soil test borings. Such zones should be excavated and replaced or otherwise treated as directed by the geotechnical engineer.

The subgrade should then be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a depth of 2 feet in all foundation areas and 1 foot in floor slab areas.

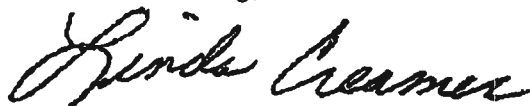
Fill to raise the site may be placed as required. Fill should consist of relatively clean, fine sand containing less than 10% passing the No. 200 sieve. Fill should be placed in maximum 12-inch, loose lifts, and each lift should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density. Foundation cuts may be placed in compacted fill, but disturbed fill should be recompacted prior to placement of foundations or slabs.

Field density testing should be performed in the compacted subgrade, in each lift of fill, and in foundation excavations to verify the recommended compaction has been achieved.

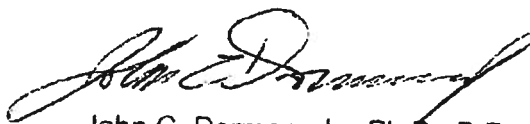
Our recommendations are based upon our findings as described in this report; however, subsurface conditions may exist that were not encountered in the soil test borings. Cal-Tech Testing, Inc. should be notified immediately if different soil conditions are encountered during construction. It may be necessary to reevaluate this site and revise our recommendations.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us if you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,  
Cal-Tech Testing, Inc.



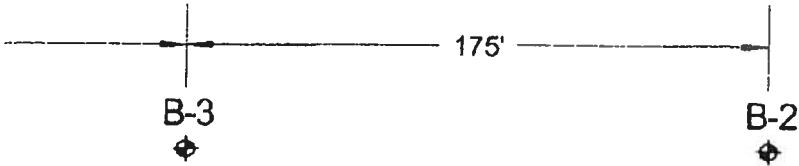
Linda Creamer  
President / CEO



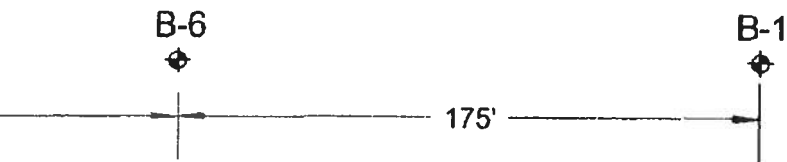
John C. Dorman, Jr., Ph.D., P.E.  
Geotechnical Engineer

5/18/06

52612

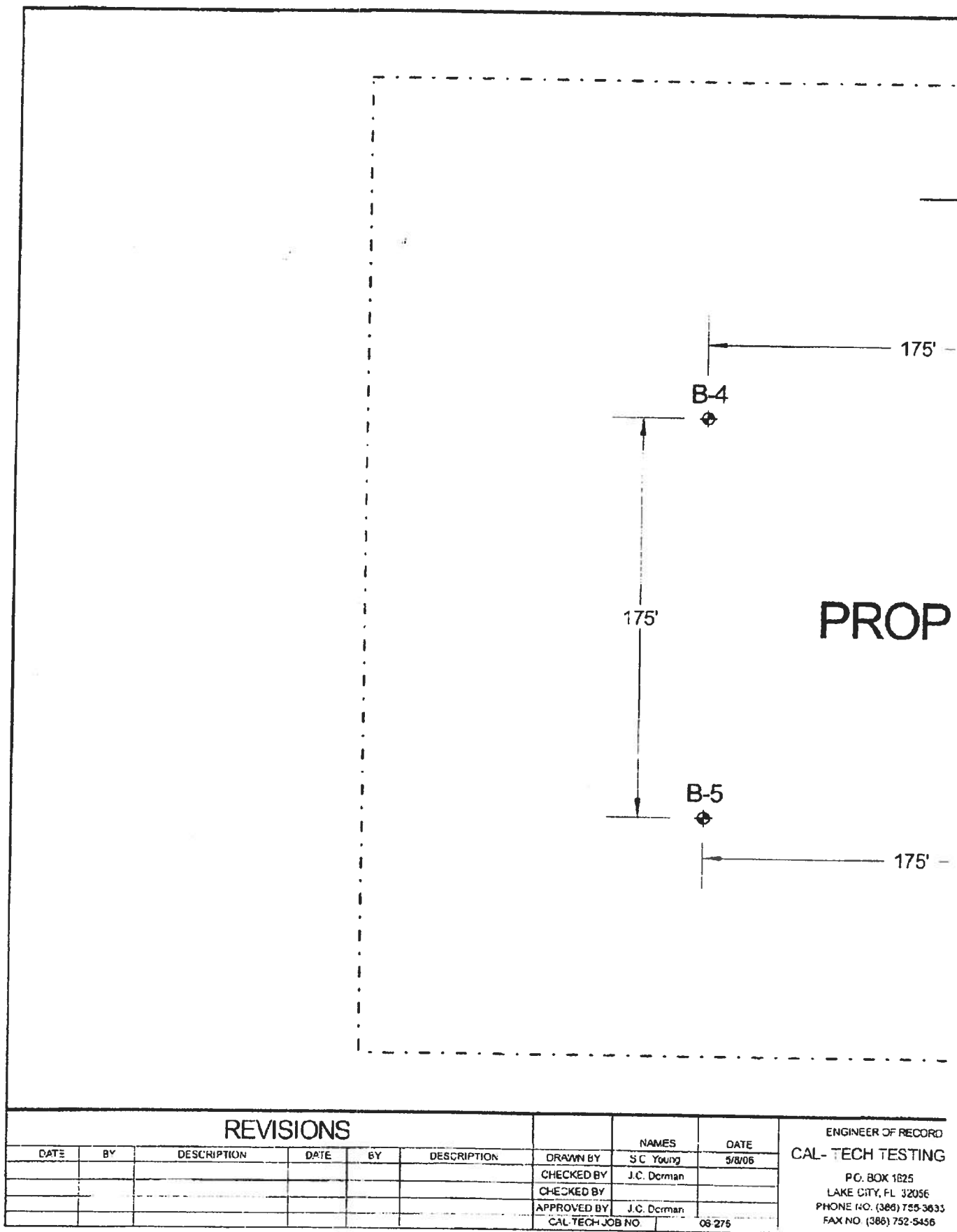


SED WAREHOUSE



FENCE

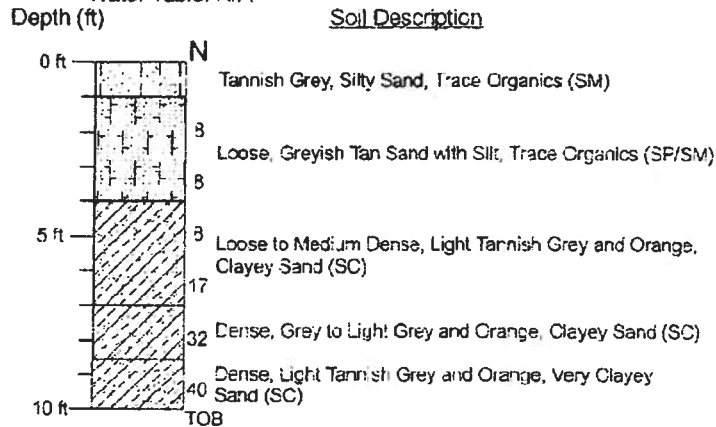
SEAL  JOHN C. DORMAN, JR. P.E. 52612	PROPOSED WAREHOUSE NORTH FLORIDA TRUCK PARTS			BORING LOCATION PLAN	SHEET NO  1 of 2
	ROAD NO	COUNTY COLUMBIA	FINANCIAL PROJECT I.D.		



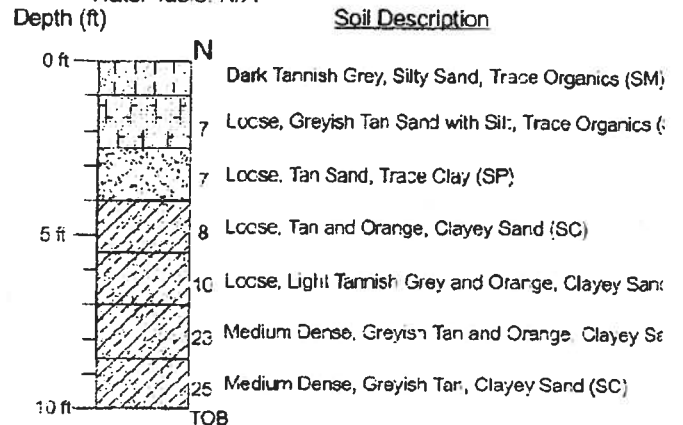


**B-1**

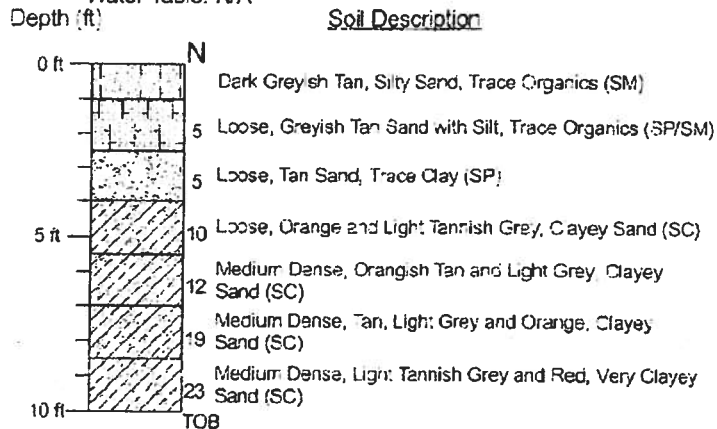
Water Table: N/A

**B-2**

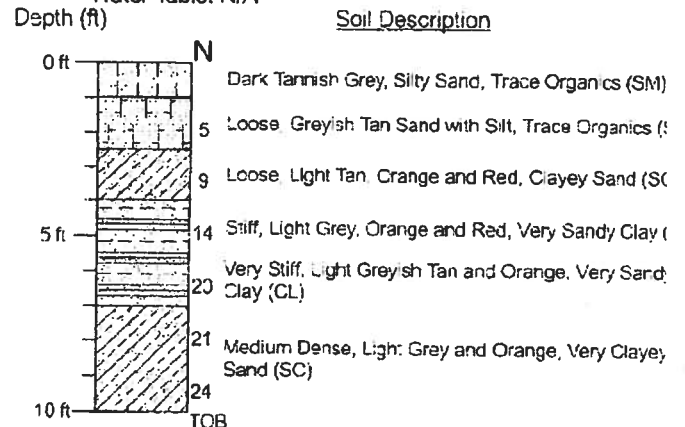
Water Table: N/A

**B-4**

Water Table: N/A

**B-5**

Water Table: N/A

**REVISIONS**

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DRAWN BY	NAMES	DATE	ENGINEER OF RECORD
						S.C. Young		5/8/06	CAL-TECH TESTING, INC.
						J.C. Dorman			P.O. BOX 1625
						J.C. Dorman			LAKE CITY, FL 32056
									PHONE NO. (386) 755-3633
									FAX NO. (386) 752-5456

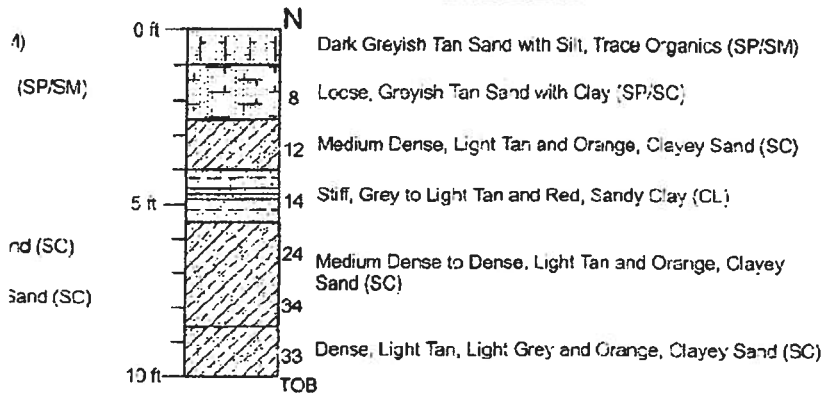
CAL-TECH JOB NO.

06-275

**B-3**

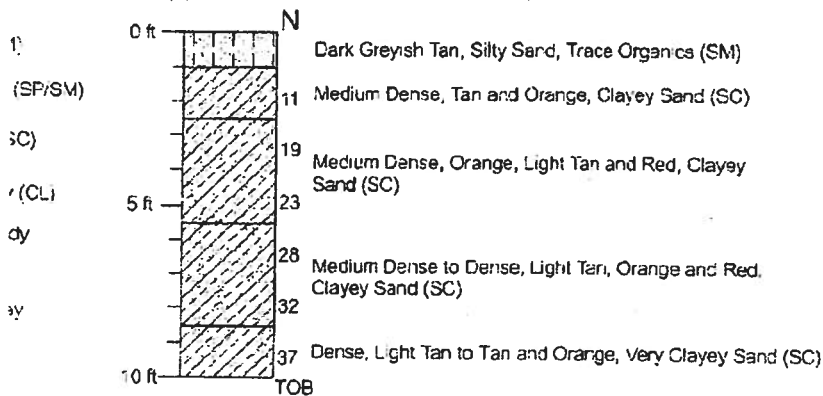
Water Table: N/A

Depth (ft)

Soil Description**B-6**

Water Table: N/A

Depth (ft)

Soil DescriptionENGINEERING CLASSIFICATIONGRANULAR MATERIALS-

Relative SPT  
Density (Blows/12 inches)

Very Loose Less than 4  
Loose 4-10  
Medium Dense 11-30  
Dense 31-50  
Very Dense Greater than 50

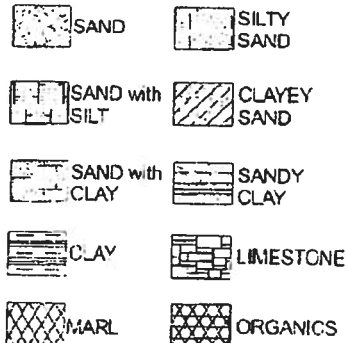
SILTS AND CLAYS-

Consistency SPT  
(Blows/12 inches)

Very Soft Less than 2  
Soft 2-4  
Medium Stiff 5-8  
Stiff 9-15  
Very Stiff 16-30  
Hard Greater than 30

LEGEND

- TOB Termination of Boring  
GSE Ground Surface Elevation  
▽ Ground Water at Time of Drilling  
∨ Wet Season Water Table  
N Standard Penetration Resistance in Blows Per 12 inches (18-inch Spoon, ASTM D-1586)  
WOR Weight of Rod  
WOH Weight of Hammer  
MC Moisture Content (%)  
OC Organic Content (%)  
-200 Percent Passing No. 200 U.S. Standard Sieve  
LL Liquid Limit  
PI Plasticity Index  
(SP) Unified Soil Classification Based on Visual Observation and Laboratory Tests



SEAL

PROPOSED WAREHOUSE  
NORTH FLORIDA TRUCK PARTS

JOHN C. DORMAN, JR.  
P.E. 52612

ROAD NO.	COUNTY	FINANCIAL PROJECT I.D.
	COLUMBIA	

## REPORT OF SOIL BORINGS

SHEET NO.

2 of 2

**Building 2004 / CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS /  
SECTION 503 GENERAL HEIGHT AND AREA LIMITATIONS / TABLE 503  
ALLOWABLE HEIGHT AND BUILDING AREAS**

**TABLE 503**  
**ALLOWABLE HEIGHT AND BUILDING AREAS**  
Height limitations shown as stories and feet above grade plane.  
Area limitations as determined by the definition of "Area, building," per floor.

GROUP	Hgt(feet) Hgt(S)	TYPE OF CONSTRUCTION								
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
		A	B	A	B	A	B	HT	A	B
		UL	160	65	55	65	55	65	50	40
A-1	S	UL	5	3	2	3	2	3	2	1
	A	UL	UL	15,500	8,500	14,000	8,500	15,000	11,500	5,500
A-2	S	UL	11	3	2	3	2	3	2	1
	A	UL	UL	15,500	9,500	14,000	9,500	15,000	11,500	6,000
A-3	S	UL	11	3	2	3	2	3	2	1
	A	UL	UL	15,500	9,500	14,000	9,500	15,000	11,500	6,000
A-4	S	UL	11	3	2	3	2	3	2	1
	A	UL	UL	15,500	9,500	14,000	9,500	15,000	11,500	6,000
A-5	S	UL	UL	UL	UL	UL	UL	UL	UL	UL
	A	UL	UL	UL	UL	UL	UL	UL	UL	UL
B	S	UL	11	5	4	5	4	5	3	2
	A	UL	UL	37,500	23,000	28,500	19,000	36,000	18,000	9,000
E/D	S	UL	5	3	2	3	2	3	1	1
	A	UL	UL	26,500	14,500	23,500	14,500	25,500	18,500	9,500
F-1	S	UL	11	4	2	3	2	4	2	1
	A	UL	UL	25,000	15,500	19,000	12,000	33,500	14,000	8,500
F-2/F-3	S	UL	11	5	3	4	3	5	3	2
	A	UL	UL	37,500	23,000	28,500	18,000	50,500	21,000	13,000
H-1	S	1	1	1	1	1	1	1	1	NP
	A	21,000	16,500	11,000	7,000	9,500	7,000	10,500	7,500	NP
H-2	S	UL	3	2	1	2	1	2	1	1
	A	21,000	16,500	11,000	7,000	9,500	7,000	10,500	7,500	3,000
H-3	S	UL	6	4	2	4	2	4	2	1
	A	UL	60,000	26,500	14,000	17,500	13,000	25,500	10,000	5,000
H-4	S	UL	7	5	3	5	3	5	3	2
	A	UL	UL	37,500	17,500	28,500	17,500	36,000	18,000	6,500
H-5	S	3	3	3	3	3	3	3	3	2
	A	UL	UL	37,500	23,000	28,500	19,000	36,000	18,000	9,000
I-1	S	UL	9	4	3	4	3	4	3	2
	A	UL	55,000	19,000	10,000	16,500	10,000	18,000	10,500	4,500
I-2	S	UL	4	2	1	1	NP	1	1	NP
	A	UL	UL	15,000	11,000	12,000	NP	12,000	9,500	NP
I-3	S	UL	4	2	1	2	1	2	2	1
	A	UL	UL	15,000	10,000	10,500	7,500	12,000	7,500	5,000

Florida Building Code, 2004 Complete Collection

GROUP		TYPE OF CONSTRUCTION								
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
		A	B	A	B	A	B	HT	A	B
	Hgt(feet) Hgt(S)	UL	160	65	55	65	55	65	50	40
M	S	UL	11	4	4	4	4	4	3	1
	A	UL	UL	21,500	12,500	18,500	12,500	20,500	14,000	9,000
R-1	S	UL	11	4	4	4	4	4	3	2
	A	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
R-2 <sup>a</sup>	S	UL	11	4	4	4	4	4	3	2
	A	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
R-3 <sup>a</sup>	S	UL	11	4	4	4	4	4	3	3
	A	UL	UL	UL	UL	UL	UL	UL	UL	UL
R-4	S	UL	11	4	4	4	4	4	3	2
	A	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
S-1	S	UL	11	4	3	3	3	4	3	1
	A	UL	48,000	26,000	17,500	26,000	17,500	25,500	14,000	9,000
S-2 <sup>b, c</sup>	S	UL	11	5	4	4	4	5	4	2
	A	UL	79,000	39,000	26,000	39,000	26,000	38,500	21,000	13,500
U <sup>c</sup>	S	UL	5	4	2	3	2	4	2	1
	A	UL	35,500	19,000	8,500	14,000	8,500	18,000	9,000	5,500

For SI: 1 foot = 304.8 mm, 1 square foot = 0.0929 m<sup>2</sup>.

UL = Unlimited, NP = Not permitted.

- a. As applicable in Section 101.2.
- b. For open parking structures, see Section 406.3.
- c. For private garages, see Section 406.1.

tem shall not be less than that required by this code for the occupancy hazard classifications in accordance with Table 903.2.4.2. Where the design area of the sprinkler system consists of a corridor protected by one row of sprinklers, the maximum number of sprinklers required to be calculated is 13.

[F] TABLE 903.2.4.2  
GROUP H-5 SPRINKLER DESIGN CRITERIA

LOCATION	OCCUPANCY HAZARD CLASSIFICATION
Fabrication areas	Ordinary Hazard Group 2
Service corridors	Ordinary Hazard Group 2
Storage rooms without dispensing	Ordinary Hazard Group 2
Storage rooms with dispensing	Extra Hazard Group 2
Corridors	Ordinary Hazard Group 2

[F] 903.2.4.3 **Pyroxylin plastics.** An automatic sprinkler system shall be provided in buildings, or portions thereof, where cellulose nitrate film or pyroxylin plastics are manufactured, stored or handled in quantities exceeding 100 pounds (45 kg).

[F] 903.2.5 **Group I.** An automatic sprinkler system shall be provided throughout buildings with a Group I fire area.

**Exception:** An automatic sprinkler system installed in accordance with Section 903.3.1.2 or 903.3.1.3 shall be allowed in Group I-1 facilities.

[F] 903.2.6 **Group M.** An automatic sprinkler system shall be provided throughout buildings containing a Group M occupancy where one of the following conditions exists:

1. Where a Group M fire area exceeds 12,000 square feet (1115 m<sup>2</sup>);
2. Where a Group M fire area is located more than three stories above grade; or
3. Where the combined area of all Group M fire areas on all floors, including any mezzanines, exceeds 24,000 square feet (2230 m<sup>2</sup>).

[F] 903.2.6.1 **High-piled storage.** An automatic sprinkler system shall be provided in accordance with the *International Fire Code* in all buildings of Group M where storage of merchandise is in high-piled or rack storage arrays.

[F] 903.2.7 **Group R.** An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

[F] 903.2.8 **Group S-1.** An automatic sprinkler system shall be provided throughout all buildings containing a Group S-1 occupancy where one of the following conditions exists:

1. A Group S-1 fire area exceeds 12,000 square feet (1115 m<sup>2</sup>);
2. A Group S-1 fire area is located more than three stories above grade; or
3. The combined area of all Group S-1 fire areas on all floors, including any mezzanines, exceeds 24,000 square feet (2230 m<sup>2</sup>).

[F] 903.2.8.1 **Repair garages.** An automatic sprinkler system shall be provided throughout all buildings used as repair garages in accordance with Section 406, as shown:

1. Buildings two or more stories in height, including basements, with a fire area containing a repair garage exceeding 10,000 square feet (929 m<sup>2</sup>).
2. One-story buildings with a fire area containing a repair garage exceeding 12,000 square feet (1115 m<sup>2</sup>).
3. Buildings with a repair garage servicing vehicles parked in the basement.

[F] 903.2.8.2 **Bulk storage of tires.** Buildings and structures where the area for the storage of tires exceeds 20,000 cubic feet (566 m<sup>3</sup>) shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

[F] 903.2.9 **Group S-2.** An automatic sprinkler system shall be provided throughout buildings classified as enclosed parking garages in accordance with Section 406.4 or where located beneath other groups.

**Exception:** Enclosed parking garages located beneath Group R-3 occupancies as applicable in Section 101.2.

[F] 903.2.9.1 **Commercial parking garages.** An automatic sprinkler system shall be provided throughout buildings used for storage of commercial trucks or buses where the fire area exceeds 5,000 square feet (464 m<sup>2</sup>).

[F] 903.2.10 **All occupancies except Groups R-3 and U.** An automatic sprinkler system shall be installed in the locations set forth in Sections 903.2.10.1 through 903.2.10.1.3.

**Exception:** Group R-3 as applicable in Section 101.2 and Group U.

[F] 903.2.10.1 **Stories and basements without openings.** An automatic sprinkler system shall be installed throughout every story or basement of all buildings where the floor area exceeds 1,500 square feet (139.4 m<sup>2</sup>) and where there is not provided at least one of the following types of exterior wall openings:

1. Openings below grade that lead directly to ground level by an exterior stairway complying with Section 1009 or an outside ramp complying with Section 1010. Openings shall be located in each 50 linear feet (15 240 mm), or fraction thereof, of exterior wall in the story on at least one side.
2. Openings entirely above the adjoining ground level totaling at least 20 square feet (1.86 m<sup>2</sup>) in each 50 linear feet (15 240 mm), or fraction thereof, of exterior wall in the story on at least one side.

[F] 903.2.10.1.1 **Opening dimensions and access.** Openings shall have a minimum dimension of not less than 30 inches (762 mm). Such openings shall be accessible to the fire department from the exterior and shall not be obstructed in a manner that fire fighting or rescue cannot be accomplished from the exterior.

**Building 2004 / CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS /  
SECTION 503 GENERAL HEIGHT AND AREA LIMITATIONS / TABLE 503  
ALLOWABLE HEIGHT AND BUILDING AREAS**

**TABLE 503**  
**ALLOWABLE HEIGHT AND BUILDING AREAS**  
Height limitations shown as stories and feet above grade plane.  
Area limitations as determined by the definition of "Area, building," per floor.

GROUP	Hgt(feet) Hgt(S)	TYPE OF CONSTRUCTION								
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
		A	B	A	B	A	B	HT	A	B
		UL	160	65	55	65	55	65	50	40
A-1	S	UL	5	3	2	3	2	3	2	1
	A	UL	UL	15,500	8,500	14,000	8,500	15,000	11,500	5,500
A-2	S	UL	11	3	2	3	2	3	2	1
	A	UL	UL	15,500	9,500	14,000	9,500	15,000	11,500	6,000
A-3	S	UL	11	3	2	3	2	3	2	1
	A	UL	UL	15,500	9,500	14,000	9,500	15,000	11,500	6,000
A-4	S	UL	11	3	2	3	2	3	2	1
	A	UL	UL	15,500	9,500	14,000	9,500	15,000	11,500	6,000
A-5	S	UL	UL	UL	UL	UL	UL	UL	UL	UL
	A	UL	UL	UL	UL	UL	UL	UL	UL	UL
B	S	UL	11	5	4	5	4	5	3	2
	A	UL	UL	37,500	23,000	28,500	19,000	36,000	18,000	9,000
E/D	S	UL	5	3	2	3	2	3	1	1
	A	UL	UL	26,500	14,500	23,500	14,500	25,500	18,500	9,500
F-1	S	UL	11	4	2	3	2	4	2	1
	A	UL	UL	25,000	15,500	19,000	12,000	33,500	14,000	8,500
F-2/F-3	S	UL	11	5	3	4	3	5	3	2
	A	UL	UL	37,500	23,000	28,500	18,000	50,500	21,000	13,000
H-1	S	1	1	1	1	1	1	1	1	NP
	A	21,000	16,500	11,000	7,000	9,500	7,000	10,500	7,500	NP
H-2	S	UL	3	2	1	2	1	2	1	1
	A	21,000	16,500	11,000	7,000	9,500	7,000	10,500	7,500	3,000
H-3	S	UL	6	4	2	4	2	4	2	1
	A	UL	60,000	26,500	14,000	17,500	13,000	25,500	10,000	5,000
H-4	S	UL	7	5	3	5	3	5	3	2
	A	UL	UL	37,500	17,500	28,500	17,500	36,000	18,000	6,500
H-5	S	3	3	3	3	3	3	3	3	2
	A	UL	UL	37,500	23,000	28,500	19,000	36,000	18,000	9,000
I-1	S	UL	9	4	3	4	3	4	3	2
	A	UL	55,000	19,000	10,000	16,500	10,000	18,000	10,500	4,500
I-2	S	UL	4	2	1	1	NP	1	1	NP
	A	UL	UL	15,000	11,000	12,000	NP	12,000	9,500	NP
I-3	S	UL	4	2	1	2	1	2	2	1
	A	UL	UL	15,000	10,000	10,500	7,500	12,000	7,500	5,000

Florida Building Code, 2004 Complete Collection

GROUP		TYPE OF CONSTRUCTION								
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
		A	B	A	B	A	B	HT	A	B
	Hgt(feet) Hgt(S)	UL	160	65	55	65	55	65	50	40
M	S	UL	11	4	4	4	4	4	3	1
	A	UL	UL	21,500	12,500	18,500	12,500	20,500	14,000	9,000
R-1	S	UL	11	4	4	4	4	4	3	2
	A	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
R-2 <sup>a</sup>	S	UL	11	4	4	4	4	4	3	2
	A	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
R-3 <sup>a</sup>	S	UL	11	4	4	4	4	4	3	3
	A	UL	UL	UL	UL	UL	UL	UL	UL	UL
R-4	S	UL	11	4	4	4	4	4	3	2
	A	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
S-1	S	UL	11	4	3	3	3	4	3	1
	A	UL	48,000	26,000	17,500	26,000	17,500	25,500	14,000	9,000
S-2 <sup>b, c</sup>	S	UL	11	5	4	4	4	5	4	2
	A	UL	79,000	39,000	26,000	39,000	26,000	38,500	21,000	13,500
U <sup>c</sup>	S	UL	5	4	2	3	2	4	2	1
	A	UL	35,500	19,000	8,500	14,000	8,500	18,000	9,000	5,500

For SI: 1 foot = 304.8 mm, 1 square foot = 0.0929 m<sup>2</sup>.

UL = Unlimited, NP = Not permitted.

- a. As applicable in Section 101.2.
- b. For open parking structures, see Section 406.3.
- c. For private garages, see Section 406.1.

tem shall not be less than that required by this code for the occupancy hazard classifications in accordance with Table 903.2.4.2. Where the design area of the sprinkler system consists of a corridor protected by one row of sprinklers, the maximum number of sprinklers required to be calculated is 13.

[F] TABLE 903.2.4.2  
GROUP H-5 SPRINKLER DESIGN CRITERIA

LOCATION	OCCUPANCY HAZARD CLASSIFICATION
Fabrication areas	Ordinary Hazard Group 2
Service corridors	Ordinary Hazard Group 2
Storage rooms without dispensing	Ordinary Hazard Group 2
Storage rooms with dispensing	Extra Hazard Group 2
Corridors	Ordinary Hazard Group 2

[F] 903.2.4.3 **Pyroxylin plastics.** An automatic sprinkler system shall be provided in buildings, or portions thereof, where cellulose nitrate film or pyroxylin plastics are manufactured, stored or handled in quantities exceeding 100 pounds (45 kg).

[F] 903.2.5 **Group I.** An automatic sprinkler system shall be provided throughout buildings with a Group I fire area.

**Exception:** An automatic sprinkler system installed in accordance with Section 903.3.1.2 or 903.3.1.3 shall be allowed in Group I-1 facilities.

[F] 903.2.6 **Group M.** An automatic sprinkler system shall be provided throughout buildings containing a Group M occupancy where one of the following conditions exists:

1. Where a Group M fire area exceeds 12,000 square feet (1115 m<sup>2</sup>);
2. Where a Group M fire area is located more than three stories above grade; or
3. Where the combined area of all Group M fire areas on all floors, including any mezzanines, exceeds 24,000 square feet (2230 m<sup>2</sup>).

[F] 903.2.6.1 **High-piled storage.** An automatic sprinkler system shall be provided in accordance with the *International Fire Code* in all buildings of Group M where storage of merchandise is in high-piled or rack storage arrays.

[F] 903.2.7 **Group R.** An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

[F] 903.2.8 **Group S-1.** An automatic sprinkler system shall be provided throughout all buildings containing a Group S-1 occupancy where one of the following conditions exists:

1. A Group S-1 fire area exceeds 12,000 square feet (1115 m<sup>2</sup>);
2. A Group S-1 fire area is located more than three stories above grade; or
3. The combined area of all Group S-1 fire areas on all floors, including any mezzanines, exceeds 24,000 square feet (2230 m<sup>2</sup>).

[F] 903.2.8.1 **Repair garages.** An automatic sprinkler system shall be provided throughout all buildings used as repair garages in accordance with Section 406, as shown:

1. Buildings two or more stories in height, including basements, with a fire area containing a repair garage exceeding 10,000 square feet (929 m<sup>2</sup>).
2. One-story buildings with a fire area containing a repair garage exceeding 12,000 square feet (1115 m<sup>2</sup>).
3. Buildings with a repair garage servicing vehicles parked in the basement.

[F] 903.2.8.2 **Bulk storage of tires.** Buildings and structures where the area for the storage of tires exceeds 20,000 cubic feet (566 m<sup>3</sup>) shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

[F] 903.2.9 **Group S-2.** An automatic sprinkler system shall be provided throughout buildings classified as enclosed parking garages in accordance with Section 406.4 or where located beneath other groups.

**Exception:** Enclosed parking garages located beneath Group R-3 occupancies as applicable in Section 101.2.

[F] 903.2.9.1 **Commercial parking garages.** An automatic sprinkler system shall be provided throughout buildings used for storage of commercial trucks or buses where the fire area exceeds 5,000 square feet (464 m<sup>2</sup>).

[F] 903.2.10 **All occupancies except Groups R-3 and U.** An automatic sprinkler system shall be installed in the locations set forth in Sections 903.2.10.1 through 903.2.10.1.3.

**Exception:** Group R-3 as applicable in Section 101.2 and Group U.

[F] 903.2.10.1 **Stories and basements without openings.** An automatic sprinkler system shall be installed throughout every story or basement of all buildings where the floor area exceeds 1,500 square feet (139.4 m<sup>2</sup>) and where there is not provided at least one of the following types of exterior wall openings:

1. Openings below grade that lead directly to ground level by an exterior stairway complying with Section 1009 or an outside ramp complying with Section 1010. Openings shall be located in each 50 linear feet (15 240 mm), or fraction thereof, of exterior wall in the story on at least one side.
2. Openings entirely above the adjoining ground level totaling at least 20 square feet (1.86 m<sup>2</sup>) in each 50 linear feet (15 240 mm), or fraction thereof, of exterior wall in the story on at least one side.

[F] 903.2.10.1.1 **Opening dimensions and access.** Openings shall have a minimum dimension of not less than 30 inches (762 mm). Such openings shall be accessible to the fire department from the exterior and shall not be obstructed in a manner that fire fighting or rescue cannot be accomplished from the exterior.



BUILDER / CONTRACTOR RESPONSIBILITIES

IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO INSURE THAT ALL PROJECT PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITIES. THE SUPPLYING OF SEALED ENGINEERING DATA AND DRAWINGS FOR THE METAL BUILDING SYSTEM DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT THE BUILDING MANUFACTURER OR ITS DESIGN ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR A CONSTRUCTION PROJECT.

THE CONTRACTOR MUST SECURE ALL REQUIRED APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCY AS REQUIRED.

APPROVAL OF THE MANUFACTURER'S DRAWINGS AND CALCULATIONS INDICATE THAT THE BUILDING MANUFACTURER CORRECTLY INTERPRETED AND APPLIED THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS.

(SECT. 4.2.1 AISC CODE OF STANDARD PRACTICES, 9TH ED.) WHERE DISCREPANCIES EXIST BETWEEN THE MANUFACTURER'S STRUCTURAL STEEL PLANS AND THE PLANS FOR OTHER TRADES, THE STRUCTURAL STEEL PLANS SHALL GOVERN. (SECT. 3.3 AISC CODE OF STANDARD PRACTICE 9TH ED.)

DESIGN CONSIDERATIONS OF ANY MATERIALS IN THE STRUCTURE WHICH ARE NOT FURNISHED BY THE BUILDING MANUFACTURER ARE THE RESPONSIBILITY OF THE CONTRACTORS AND ENGINEERS OTHER THAN THE BUILDING MANUFACTURER'S ENGINEERS, UNLESS SPECIFICALLY INDICATED.

THE CONTRACTOR IS RESPONSIBLE FOR ALL ERECTION OF STEEL AND ASSOCIATED WORK IN COMPLIANCE WITH THE BUILDING MANUFACTURER'S FOR CONSTRUCTION DRAWINGS.

PRODUCTS SHIPPED TO BUILDER OR HIS CUSTOMER SHALL BE INSPECTED BY BUILDER IMMEDIATELY UPON ARRIVAL. CLAIMS FOR SHORTAGES OR DEFECTIVE MATERIAL IF NOT PACKAGED MUST BE MAILED TO THE MANUFACTURER IN WRITING WITHIN FIVE (5) DAYS AFTER RECEIPT OF THE SHIPMENT. HOWEVER, IF A DEFECT IS OF SUCH A NATURE THAT REASONABLE VISUAL INSPECTION WOULD FAIL TO DISCLOSE IT, THEN THE CLAIM MUST BE MADE WITHIN FIVE (5) DAYS AFTER THE BUILDER LEARNS OF THE DEFECT. THE MANUFACTURER WILL NOT BE LIABLE FOR ANY DEFECT UNLESS CLAIM IS MADE WITHIN ONE (1) YEAR AFTER DATE OF THE ORIGINAL SHIPMENT TO THE MANUFACTURER TO BUILDER OR HIS CUSTOMER. THE MANUFACTURER WILL BE GIVEN A REASONABLE OPPORTUNITY TO INSPECT DEFECTIVE MATERIALS UPON RECEIPT OF CLAIM BY BUILDER.

IF A DEFECT IS OF SUCH NATURE THAT IT CAN BE REMEDIED BY A FIELD OPERATION AT THE JOB SITE WITHOUT THE NECESSITY OF RETURNING THE MATERIAL TO THE MANUFACTURER, THEN UPON WRITTEN AUTHORIZATION OF THE MANUFACTURER, THE BUILDER MAY REPAIR OR REPLACE THE MATERIAL TO BE REPAIRED AND THE MANUFACTURER WILL REIMBURSE THE BUILDER FOR THE COST OF THE REPAIRS IN ACCORDANCE WITH THE WRITTEN AUTHORIZATION. ALL BRACING AS SHOWN AND PROVIDED BY THE MANUFACTURER FOR THIS BUILDING IS REQUIRED AND SHALL BE INSTALLED BY THE ERECTOR AS A PERMANENT PART OF THE STRUCTURE.

TEMPORARY SUPPORTS SUCH AS TEMPORARY GUTS, BRACES, FALSE WORK, CRIBBING OR OTHER ELEMENTS REQUIRED FOR THE ERECTION OPERATION WILL BE DETERMINED AND INSTALLED BY THE ERECTOR. THESE TEMPORARY SUPPORTS WILL SECURE THE STEEL FRAMING, OR ANY PARTLY ASSEMBLED STEEL FRAMING, AGAINST SEISMIC FORCES AND ERECTION OPERATIONS, BUT NOT THE LOADS RESULTING FROM THE PERFORMANCE OF WORK BY OR THE ACTS OF OTHERS, NOR SUCH UNPREDICTABLE LOADS AS THOSE DUE TO TORNADO, EXPLOSION OR COLLISION. (SECT. 7.9.1 AISC CODE OF STANDARD PRACTICE, 9TH ED.)

DESIGN OF GUTTER AND DOWNSPOUT IS A FUNCTION OF THE RAINFALL INTENSITY AND AREA TO BE DRAINED. DESIGN PARAMETERS UTILIZED ARE IN ACCORDANCE WITH THE 1986 LOW RISE BUILDING SYSTEMS MANUAL, AND/OR THE 9TH EDITION OF THE ARCHITECTURAL GRAPHIC STANDARDS, AS APPLICABLE. PROPER OWNER MAINTENANCE DICTATES THAT THE DRAINAGE SYSTEM BE KEPT FREE AND CLEAR OF DEBRIS AND/OR ICE AT ALL TIMES TO ENSURE PROPER FUNCTION OF THE GUTTER AND DOWNSPOUT. IN THOSE CASES WHERE THE OWNER/TENANT OF A PROPERTY IS UNWILLING OR UNABLE TO PROVIDE PROPER MAINTENANCE, ELIMINATION OF GUTTER SHOULD BE CONSIDERED AS AN ALTERNATIVE.

ALL BOLTED CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" DATED JUNE 23, 2000 AS PUBLISHED BY THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS. FRAMING CONNECTIONS USING A325 HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY THE TURN OF THE NUT METHOD AS DEFINED IN CHAPTER 8 OF THE SPECIFICATION. ALL OTHER BOLTED CONNECTIONS SHALL BE INSTALLED AND TIGHTENED TO A "SNUG-TIGHT" CONDITION.

SAFETY COMMITMENT

THE BUILDING MANUFACTURER HAS A COMMITMENT TO MANUFACTURE QUALITY BUILDING COMPONENTS THAT CAN BE SAFELY ERECTED. HOWEVER, THE SAFETY COMMITMENT AND JOB SITE PRACTICES OF THE ERECTOR ARE BEYOND THE CONTROL OF THE BUILDING MANUFACTURER.

IT IS STRONGLY RECOMMENDED THAT SAFE WORKING CONDITIONS AND ACCIDENT PREVENTION PRACTICES BE THE TOP PRIORITY OF ANY JOB SITE.

LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS SHOULD ALWAYS BE FOLLOWED TO HELP INSURE WORKER SAFETY.

MAKE CERTAIN ALL EMPLOYEES KNOW THE SAFEST AND MOST PRODUCTIVE WAY OF ERECTING A BUILDING.

EMERGENCY PROCEDURES SHOULD BE KNOWN TO ALL EMPLOYEES.

DAILY MEETINGS HIGHLIGHTING SAFETY PROCEDURES ARE ALSO RECOMMENDED. THE USE OF HARD HATS, RUBBER SOLE SHOES FOR ROOF WORK, PROPER EQUIPMENT FOR HANDLING MATERIAL, AND SAFETY NETS WHERE APPLICABLE, ARE RECOMMENDED.

BUILDING LOADS

THIS IS TO CERTIFY THAT THIS STRUCTURE IS DESIGNED UTILIZING THE LOADS INDICATED AND APPLIED AS REQUIRED BY FBC 04 FOR THE COUNTY OF Columbia. THIS CERTIFICATION IS LIMITED TO THE STRUCTURAL DESIGN OF THE FRAMING AND COVERING PARTS MANUFACTURED BY THE BUILDING MANUFACTURER AND AS SPECIFIED IN THE CONTRACT. ACCESSORY ITEMS SUCH AS DOORS, WINDOWS, LOUVERS, TRANSLUCENT PANELS, VENTILATORS ARE NOT INCLUDED. ALSO EXCLUDED ARE OTHER PARTS OF THE PROJECT NOT PROVIDED BY THE BUILDING MANUFACTURER SUCH AS FOUNDATIONS, MASONRY WALLS, MECHANICAL EQUIPMENT AND INSPECTION OF THE BUILDING. THE BUILDING SHOULD BE ERECTED ON A PROPERLY DESIGNED FOUNDATION IN ACCORDANCE WITH THE BUILDING'S DESIGN MANUAL, THE ATTACHED DRAWINGS, AND GOOD ERECTION PRACTICES.

THE CONTRACTOR AND/OR ENGINEER OF RECORD IS TO CONFIRM THAT THESE LOADS COMPLY WITH REQUIREMENTS OF THE LOCAL BUILDING DEPT.

ROOF DEAD LOAD 2 PSF ( FOR ROOF PANELS AND PURLINS )  
COLLATERAL LOAD 6 PSF

LIVE LOAD

PRIMARY FRAMING 12 PSF  
SECONDARY FRAMING 20 PSF

ROOF SNOW LOAD 0 PSF

WIND SNOW LOAD 120 MPH

WIND EXPOSURE B

MEZZANINE LOADS

LIVE LOAD N/A PSF DEAD LOAD N/A PSF

DRAWING INDEX

FOR BUILDING ERECTION  
THIS IS NOT AN APPROVAL SET YOUR BUILDING IS  
BEING FABRICATED. NO CHANGES CAN BE MADE

JUL 07 2006

ASSUMED CRANE DATA AT BLDG 'A'

TYPE (2) Top Running Single Girder

STAY/ICE CLASS ELECTRIC

CAPACITY 5 tons

WHEEL LOAD 6,800 lbs

HIGST WEIGHT 1,200 lbs

BRIDGE WEIGHT 6,000 lbs

WHEEL BASE 6'-0"

RUNWAY BEAM BY OTHERS

RAIL BY OTHERS

NOTE: THIS PROJECT WAS DESIGNED USING  
AN ASSUMED RUNWAY BEAM DEPTH OF 16"

BUILDING DESCRIPTION:

BASIC SIZE	WIDTH	LENGTH	HEIGHT	ROOF PITCH
BLDG 'A'	100'-0"	350'-0"	27'-0"	1.0:12
BLDG 'B'	50'-0"	50'-0"	23'-0"	1.0:12

DRAWING STATUS

☐ FOR APPROVAL:  
THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

☐ FOR PERMIT:  
THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. IN THAT, AS A MINIMUM, PLECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED " FOR CONSTRUCTION " CAN BE CONSIDERED AS COMPLETE.

☒ FOR CONSTRUCTION: (U.N.O.)  
FINAL DRAWINGS.

PROJECT INFORMATION :

North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

REVISION DESC.

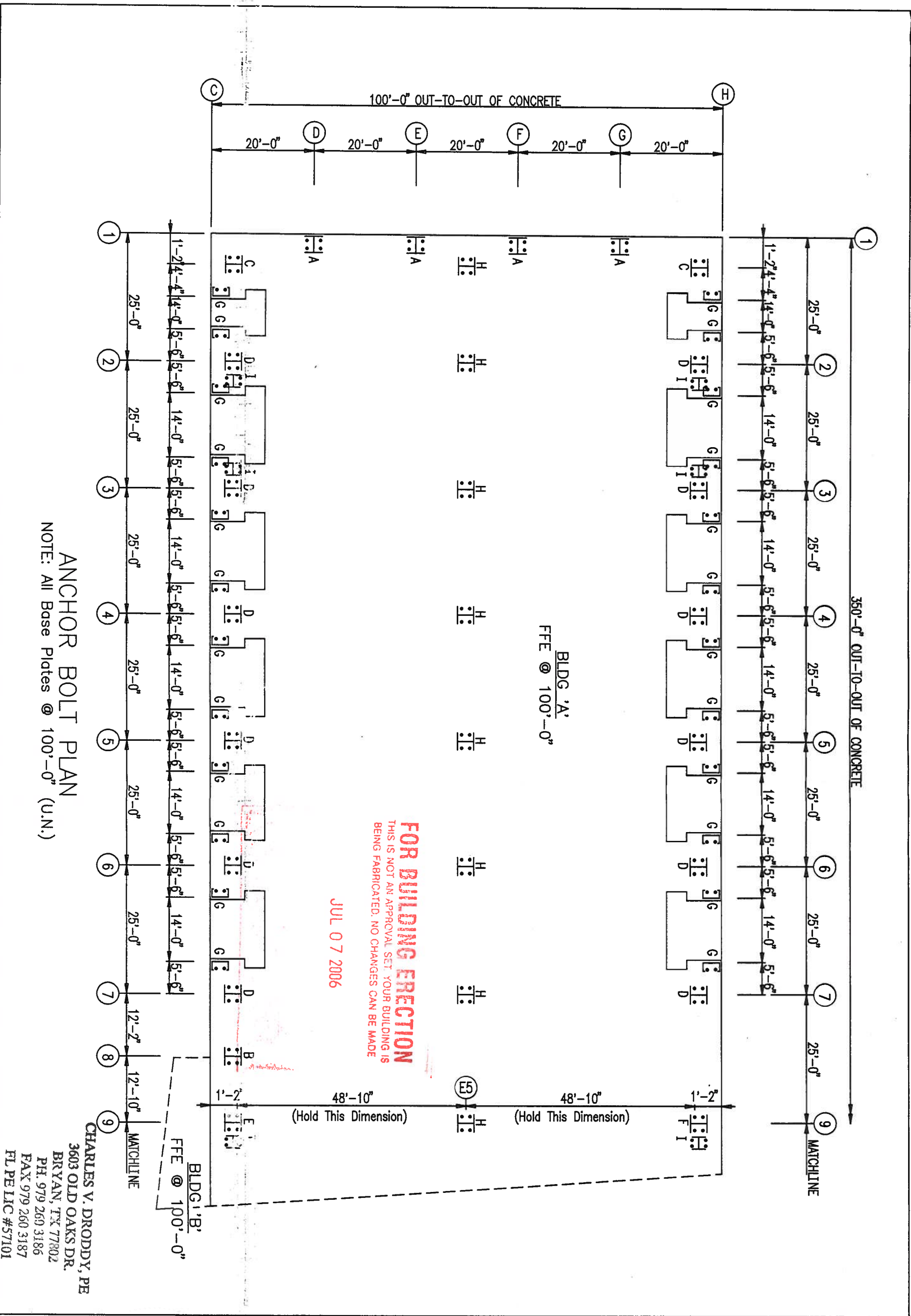
1084\_DwgCover





JOB NO. CO-1084

SHEET NO. C1 of 1

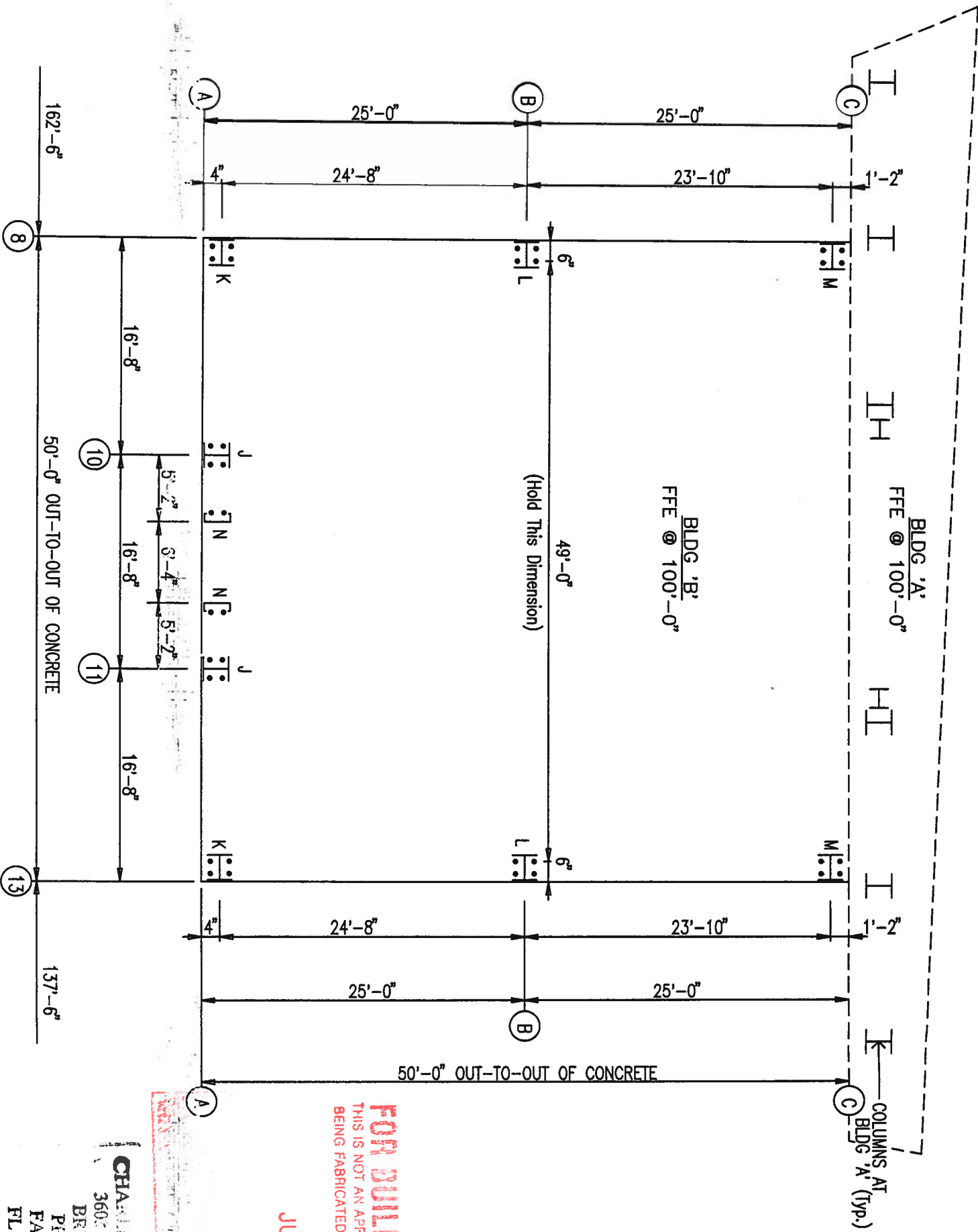
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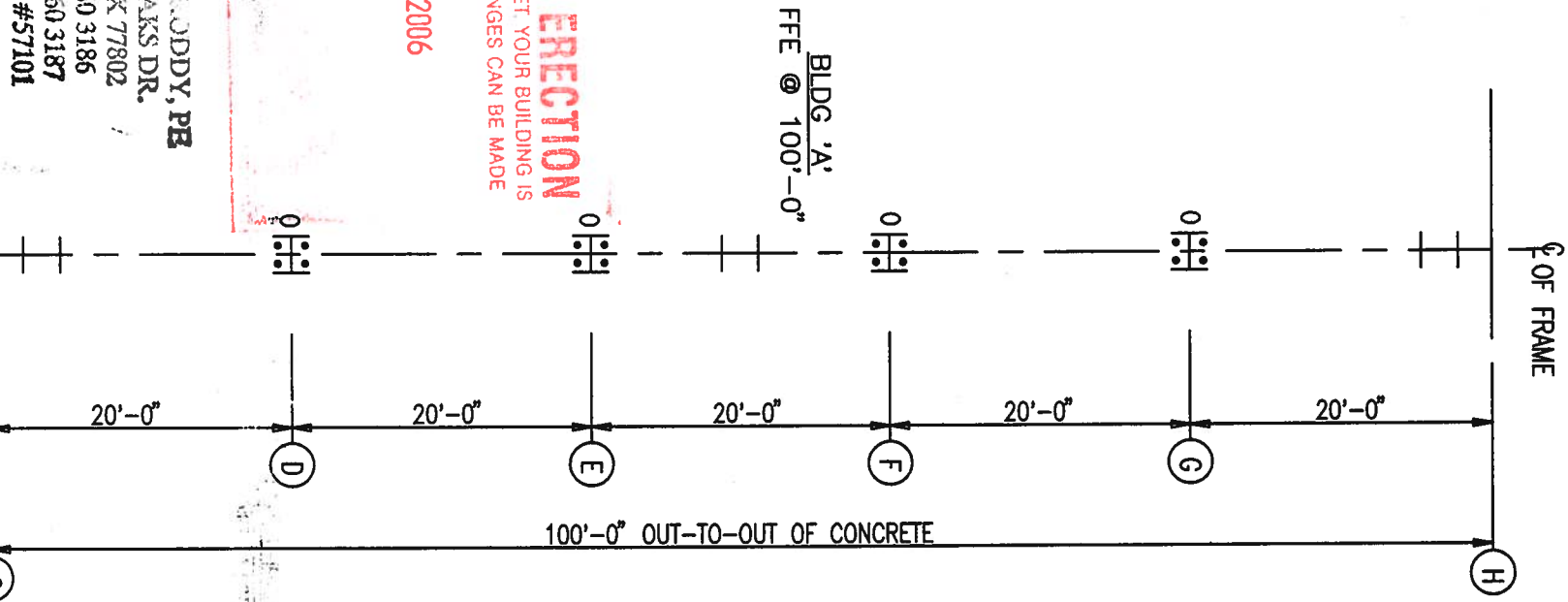
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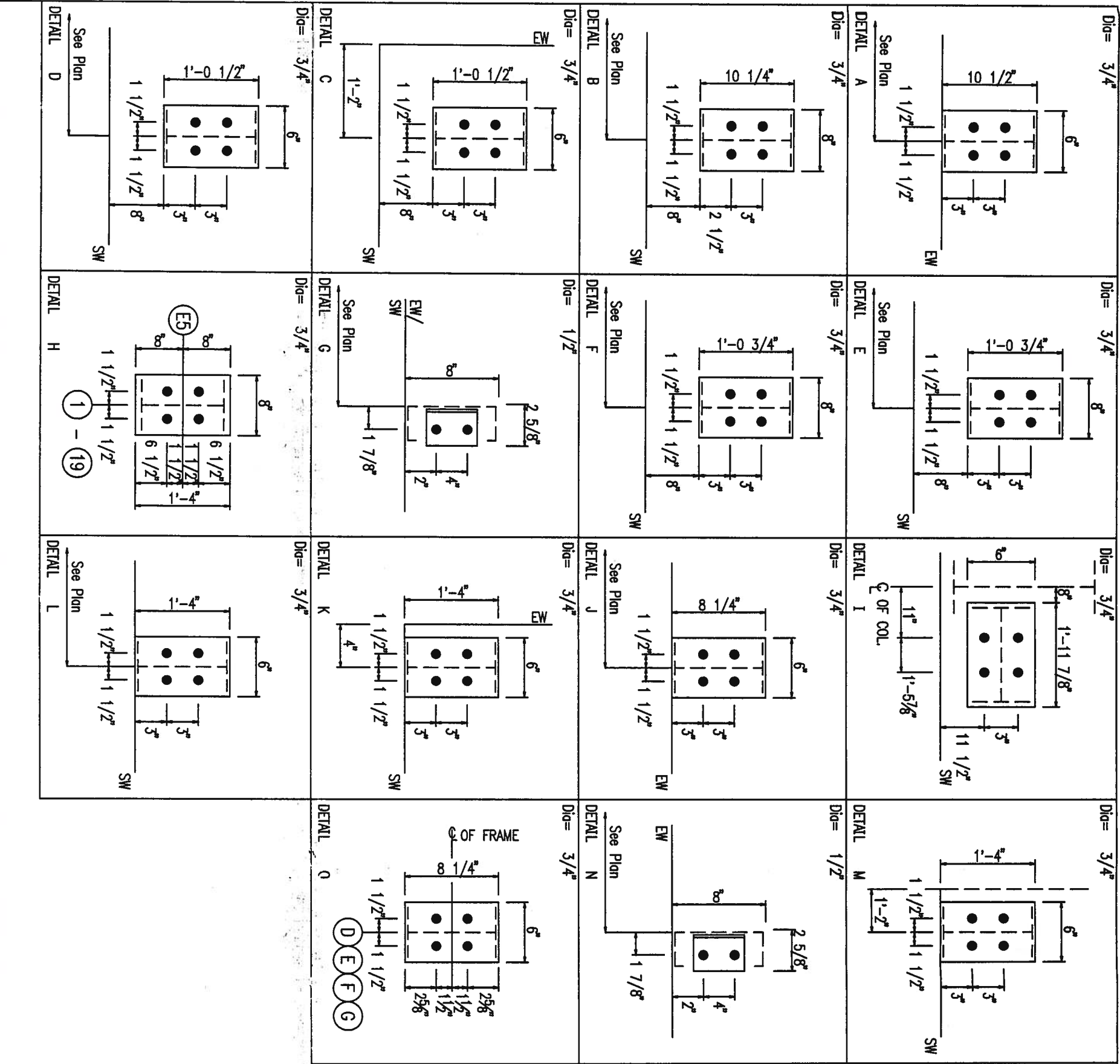
ANCHOR BOLT PLAN  
NOTE: All Base Plates @ 100'-0" (U.N.)



ANCHOR BOLT LAYOUT  
AT FIELD LOCATED PARTITION WALLS  
NOTE: All Base Plates @ 100'-0" (U.N.)

CHARLES V. DODDY, PE  
3602 D OAKS DR.  
BERMAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

**FOR BUILDING ERECTION**  
THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS  
BEING FABRICATED. NO CHANGES CAN BE MADE  
JUL 07 2006



GENERAL NOTES

NOTE: ALL WALKDOORS ARE FIELD LOCATED, UNLESS NOTED.

FOR BUILDING ERECTION

THIS IS NOT AN APPROVAL SET YOUR BUILDING IS BEING FABRICATED NO CHANGES CAN BE MADE

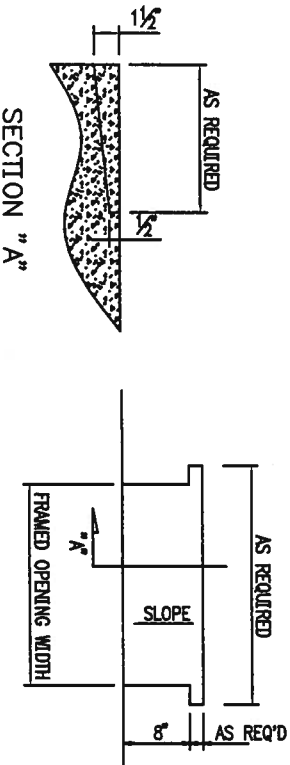
JUL 07 2006

CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BR VAIN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PELC #57101

(4) - 1/2" A.B.'s  
w/ 1" PROJECTION

1 1/2"	1 1/2"
WIDTH + 2 1/2"	1 1/2"
3'-2 1/2"	(5) REQ'D FOR 3070 WALKDOOR
(-)	REQ'D FOR 4070 WALKDOOR
(-)	REQ'D FOR 6070 WALKDOOR

FIELD LOCATED WALKDOOR (8 1/4")



TYPICAL RAMP DETAIL w/o NOTCH

PROJECT INFORMATION :

North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

OWNER/SITE INFORMATION :

North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

REVISION DESC.

REV. NO.

BY

DATE

1084\_AnDwg-2

DOLCO STEEL BUILDINGS

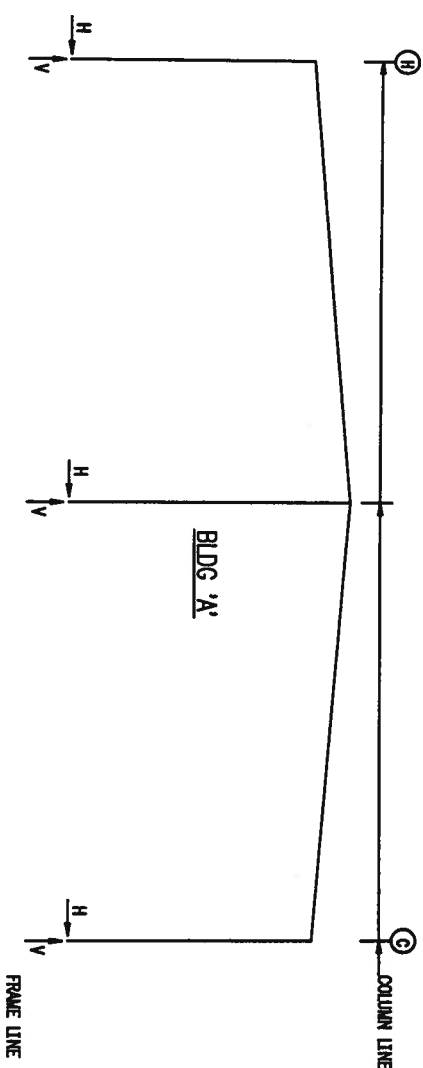
408 NO. CO-1084

SHEET NO. A4 of 6

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1084





ANCHOR BOLT SUMMARY				
	Qnt	Loc	Dia (in)	Prod (in)
● 112	01		1/2"	1.00
● 32	EW		3/4"	2.50
● 188	WF		3/4"	2.50
● 48	PC		3/4"	2.50
● 32				2.50

ENDWALL COLUMN:														REACTIONS, ANCHOR BOLTS, & BASE PLATES			
Column Reactions (k)																	
Frm Line	Col Line	Dead Vert	Coll Vert	Live Vert	Wind-Left		Wind-Right		Out-Of-Plane		Anc. Bolt No (d.in)	Base Plate Wld Len	Thk	Overt (in)			
					Horiz	Vert	Horiz	Vert	Wd P Horiz	Wd S Horiz							
1	D	0.7	0.0	0.0	0.0	0.0	0.0	0.0	-5.3	5.8	4	6.000	10.50	0.575	0.0		
1	E	0.8	0.0	0.0	0.0	0.0	0.0	0.0	-5.7	6.2	4	6.000	10.50	0.575	0.0		
1	F	0.8	0.0	0.0	0.0	0.0	0.0	0.0	-5.7	6.2	4	6.000	10.50	0.575	0.0		
1	G	0.7	0.0	0.0	0.0	0.0	0.0	0.0	-5.3	5.8	4	6.000	10.50	0.575	0.0		
19	D	0.7	0.0	0.0	0.0	0.0	0.0	0.0	-5.3	5.8	4	6.000	10.50	0.575	0.0		
19	E	0.8	0.0	0.0	0.0	0.0	0.0	0.0	-5.7	6.2	4	6.000	10.50	0.575	0.0		
19	F	0.8	0.0	0.0	0.0	0.0	0.0	0.0	-5.7	6.2	4	6.000	10.50	0.575	0.0		
19	G	0.7	0.0	0.0	0.0	0.0	0.0	0.0	-5.3	5.8	4	6.000	10.50	0.575	0.0		

SOLIDIER COLUMN:															
REACTIONS, ANCHOR BOLTS, & BASE PLATES															
Firm Line		Col Line	Dead Vert	Coll Vert	Live Vert	Column Reactions (k)				Avg. Bolt No (D/n)	Base			Grout (cu ft)	
						Out-Of-Plane		Wind			Wtd	Pots (n)	Thk		
						Wind P Horiz	Wind S Horiz	Wind L Horiz			Wtd	Pots (n)	Thk		
8		A	0.7	0.3	12	1.5	-2.2	-2.3		4	0.750	8.000	10.25	0.500	0.0
13		A	0.7	0.3	12	1.5	-2.2	-2.3		4	0.750	8.000	10.25	0.500	0.0

BRACING REACTIONS, PANEL SHEAR									
Loc	Well-Line	Col-Line	Reactions (k)				Panel Shear (lb/ft)		
			$\frac{1}{2}$ Wind-Horiz	$\frac{1}{2}$ Wind-Vert	Seismic-Horiz	Seismic-Vert			
EW	1		Rigid Frame At Endwall						
F-SW	C		Rigid Bent In Wall						
R-EW	19		Rigid Frame At Endwall						
EL-SW	H		Rigid Bent In Wall						

FOR BUILDING ERECTION

THIS IS NOT AN APPROVAL SET. YOUR BUILDING  
BEING FABRICATED. NO CHANGES CAN BE MADE.

07 2006

**FOR BUILDING EXPECTATION**  
THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS  
**BEING FABRICATED. NO CHANGES CAN BE MADE**

JUL 07 2006

## WIND BENT REACTIONS

[illegible]

RIGID FRAME:

BASIC COLUMN REACTIONS (k)

Frame	Column	Dead	Cold-dried	Live	Wind L1	Wind R1	Wind L2	Wind R2	Frame	Column	Dead	Cold-dried	Live	Wind L1	Wind R1	Wind L2	Wind R2
1	H	0.59	2.63	0.96	3.14	2.30	7.51	2.50	1	H	0.59	2.63	0.96	3.14	2.30	7.51	2.50
1	C	-0.59	2.63	-0.96	3.14	-2.30	7.51	-2.50	1	C	-0.59	2.63	-0.96	3.14	-2.30	7.51	-2.50
1	● 50.0	0.00	4.72	0.00	6.27	0.00	14.98	0.00	1	● 50.0	0.00	4.72	0.00	6.24	0.00	14.98	0.00
1	H	1.71	-1.16	0.00	0.00	0.00	0.00	0.00	1	H	1.71	-1.16	0.00	0.00	0.00	0.00	0.00
1	C	7.72	-7.98	0.00	0.00	0.00	0.00	0.00	1	C	7.72	-7.98	0.00	0.00	0.00	0.00	0.00
1	● 60.0	0.05	-10.03	0.00	0.00	0.00	0.00	0.00	1	● 60.0	0.05	-10.03	0.00	0.00	0.00	0.00	0.00
1	H	0.21	16.14	0.02	16.14	-0.02	16.14	-0.21	1	H	0.21	16.14	0.02	16.14	-0.02	16.14	-0.21
1	C	-0.21	16.14	-0.02	16.14	0.02	16.14	0.21	1	C	-0.21	16.14	-0.02	16.14	0.02	16.14	0.21
1	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	1	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
1	H	0.65	12.14	2.49	13.12	1.13	7.53	1.23	1	H	0.65	12.14	2.49	13.12	1.13	7.53	1.23
1	C	-2.49	13.12	-1.13	7.53	-1.23	7.53	-1.13	1	C	-2.49	13.12	-1.13	7.53	-1.23	7.53	-1.13
1	● 60.0	-0.30	7.14	0.30	7.14	0.06	7.49	-0.06	1	● 60.0	-0.30	7.14	0.30	7.14	0.06	7.49	-0.06
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.00	4.71	0.00	6.24	0.00	14.98	-0.08	2	● 60.0	0.00	4.71	0.00	6.24	0.00	14.98	-0.08
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00	2	● 60.0	0.04	-9.89	0.00	0.00	0.00	0.00	0.00
2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	H	0.60	0.00	0.00	0.00	0.00	0.00	0.00
2	C	-0.60	0.00	0.00	0.00	0.00	0.00	0.00	2	C	-0.60	0.00	0.00	0.			

CHARLES V. DRODDY, PE  
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FAX 979 260 3187

FL PELIC #5710

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PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

---

OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

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CO-1084

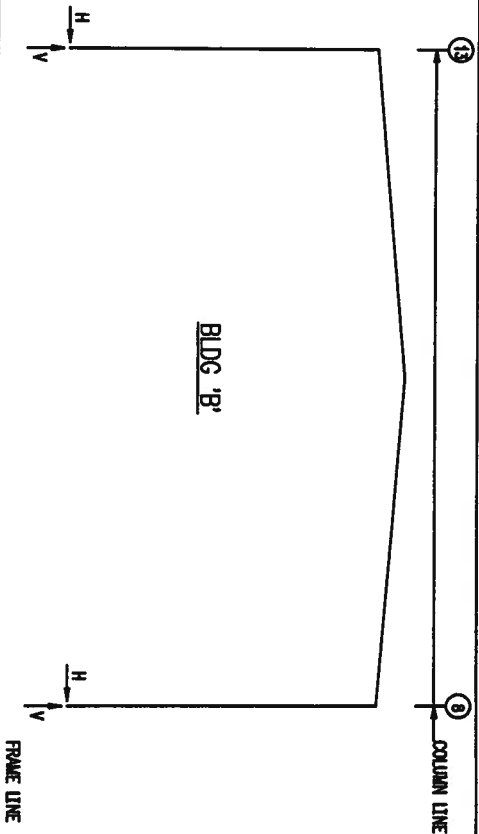
**SHEET NO.** A5 of 6

**DOLCO STEEL  
BUILDINGS**



105406

1054205



ANCHOR BOLT SUMMARY

Qty	Loc	Dia (in)	Prof (in)
4	D	1/2"	1.00
8	EW	3/4"	2.50
24	RF	3/4"	2.50

ENDWALL COLUMN: REACTIONS, ANCHOR BOLTS, & BASE PLATES

Column Reactions (k)									
From Line	Col Line	Dead Vert	Col Vert	Live Vert	Wind-Left Horiz Vert	Wind-Right Horiz Vert	Out-Of-Plane Wd P Horiz S	Anchor No Dia (in)	Base Plate (in) Wd Len Thk
A	10	0.4	0.0	0.0	0.0	0.0	0.0	4	0.750 6.000 8.250 0.375 0.0
A	11	0.4	0.0	0.0	0.0	0.0	0.0	4	0.750 6.000 8.250 0.375 0.0

BRACING REACTIONS, PANEL SHEAR

± Reactions (k)				Panel Shear (lb/R)	
Well Loc	Col Line	Wind-Left Horiz Vert	Wind-Right Horiz Vert	Panel Shear (lb/R)	Panel Shear (lb/R)
L EW	C	Rigid Frame A Endwall	0.0	0.0	0.0
R SW	A	Rigid Frame A Endwall	0.0	0.0	0.0
L SW	13	B/C	5.0	4.2	0.0

RIGID FRAME:

BASIC COLUMN REACTIONS (k)

Frame Column Line	Dead Vert	Col Dead Vert	Col Dead Horiz	Live Vert	Wind-Left Horiz Vert	Wind-Right Horiz Vert	Wind-Left Horiz Vert	Wind-Right Horiz Vert	Wind-Left Horiz Vert	Wind-Right Horiz Vert
A	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
B	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
C	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
D	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
E	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
F	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
G	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
H	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
I	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
J	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
K	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
L	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
M	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
N	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
O	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
P	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
Q	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
R	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
S	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
T	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
U	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
V	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
W	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
X	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
Y	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00
Z	0.40	1.74	0.60	1.84	0.00	0.00	0.00	0.00	0.00	0.00

**FOR BUILDING ERECTION**  
THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS  
BEING FABRICATED. NO CHANGES CAN BE MADE

JUL 07 2006

CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

REVISION DESC.	REV. NO.	BY	DATE
1084B_AnDwg-3			

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024



JOB NO. CO-1084

SHEET NO. A6 of 6

THIS SEAL PERTAINS ONLY TO THE  
DRAWINGS DESIGNED & SUPPLIED BY THE  
MANUFACTURER. THE DRAWINGS & THE  
MANUFACTURING WHICH THEY REPRESENT  
ARE THE PROPERTY OF THE MANUFACTURER.  
THE REGISTERED PROFESSIONAL  
ENGINEER WHOSE SEAL APPEARS ON  
THESE DRAWINGS IS EMPLOYED BY  
THE MANUFACTURER AND DOES NOT  
SERVE AS THE ENGINEER OF RECORD  
AND SHALL NOT BE CONSIDERED  
AS SUCH.



A-325 HEX HEAD BOLTS

<u>DIA.</u>	<u>LTH.</u>				<u>REQ'D</u>
<u>3/4</u>	<u>2 1/2</u>	⊗ RIGID FRAME HAUNCH			<u>360</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	⊗ RIGID FRAME PEAK			<u>24</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	⊗ WINDBENT HAUNCH			<u>96</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	⊗ WIND COL. TO RIGID COL.			<u>96</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	⊗ STRUCTURAL CANOPIES			<u>240</u>
	<u>φ x</u>	⊗ MANSARD CONNS.			
	<u>φ x</u>	⊗ RUNWAY BEAM			
	<u>φ x</u>	⊗ CRANE STOP			
<u>3/4</u>	<u>φ x 2 1/2</u>	⊗ PIPE STRUTS			<u>12</u>
	<u>φ x</u>	⊗ PIPE COLUMNS			
<u>3/4</u>	<u>φ x 2 1/2</u>	⊗ INTERMEDIATE CONN.			<u>240</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	<u>CRANE ANCHORS</u>			<u>224</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	<u>LSX TO L9X</u>			<u>120</u>
<u>3/4</u>	<u>φ x 2 1/2</u>	<u>INTERIOR COL. TO BEAM</u>			<u>60</u>
	<u>φ x</u>				
	<u>φ x</u>				
	<u>φ x</u>				
	<u>φ x</u>				
TOTAL QUANTITY					
BOLTS					
<u>(140)</u>	<u>3/4</u>	<u>2 1/2"</u>	<u>WASHERS</u>		
<u>&lt;</u>	<u>&gt;</u>	<u>{ }</u>	<u>WASHERS</u>		
<u>&lt;</u>	<u>&gt;</u>	<u>{ }</u>	<u>WASHERS</u>		
<u>&lt;</u>	<u>&gt;</u>	<u>{ }</u>	<u>WASHERS</u>		
<u>&lt;</u>	<u>&gt;</u>	<u>{ }</u>	<u>WASHERS</u>		
<u>1/2"</u>	<u>φ X 1 1/4"</u>	<u>A-325 HEX HEAD BOLTS</u>			<u>REQ'D</u>
4/L33 SPLICE CONN.					
8/L30 OR L31 PEAK CONN.					
4/EWC TYPE 'B' TO BEAM (L20)					
4/EWC TYPE 'B' TO BEAM (CAP PLATE)					
8/L101 OR L102 EWC CONN. (BACK TO BACK)					
6/L101 OR L102 EWC CONN. W/SINGLE CLIP					
2/L FLANGE BRACE CLIP (3FB )					<u>16</u>
4/ES CONN. W/①					
2/PURLIN CONN. W/①					<u>16</u>
1/2"φ X 2" A-325 HEX HEAD (ALL THREADED) BOLTS W/2 NUTS					<u>34</u>
TOTAL QUANTITY					
REQ'D					
4/L32 OR L82 (WEIDED) EWC TO FLUSH RIGID FRAME					<u>40</u>
4/ENDWALL COLUMN TO RIGID FRAME					
4/L75 TO ENDWALL COLUMN					<u>32</u>
4/L21 TO ENDWALL COLUMN					<u>75</u>
TOTAL QUANTITY					
REQ'D					
1/2"φ X 1" FLAT HEAD BOLTS					
6/L94 ⊗ MANSARD					
2/L46 ⊗ ES (SIDEWALL ROOF EXTENSION CONN.)					
4/ES OR PURLIN ⊗ VALLEY GUTTER, CANOPY OR ROOF EXT. EAVE					
2/L1 ⊗ DOOR JAMB OR EAVESTRUT					<u>252</u>
2/L1 ⊗ MANSARD GIRT (TOP & BOTTOM)					
4/ANGLE SUPPORT FOR SLIDE DOOR CLIP					
5-0" O.C. ⊗ MANSARD HEADERS					
5-0" O.C. ⊗ SLIDE DOOR HEADER					
2/L2 OR L105 TO DOOR JAMB					<u>96</u>
4 ⊗ EAVESTRUT (FLUSH LR)					
TOTAL QUANTITY					<u>360</u>

**WASHTER  
REID**

**1/2"Ø X 1 1/4" A-307 HEX HEAD BOLTS**

\* 6/L34 OR L36 \_\_\_\_\_  
 \* 4/EAVESTRUT CONN. \_\_\_\_\_  
 \* 2/PURLIN @ TYPE 'B' OR RIGID ENDFRAME \_\_\_\_\_  
 \* 4/SIMPLE PURLIN LAP \_\_\_\_\_  
 \* 6/CONTINUOUS PURLIN LAP (INTERIOR OR END BAY) \_\_\_\_\_  
 \* 2 OR 4/BACK TO BACK PURLINS \_\_\_\_\_  
 \* \_\_\_\_\_  
 \* \_\_\_\_\_  
 \* \_\_\_\_\_  
 \* TOTAL AMOUNT OF BOLTS ON ROOF \_\_\_\_\_  
 2532

**FOR BUILDING ERECTION**  
THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS  
BEING FABRICATED. NO CHANGES CAN BE MADE.

JUL 07 2006

REVISIONS		BOLT APPLICATION SCHEDULE	NORTH FLORIDA TRUCK PARTS, INC.	DRWN BY	DATE	JOB NO.
BY	DATE			CHK'D BY	DATE	PAGE NO.
				CAD		CO-1084
						E1
						4225



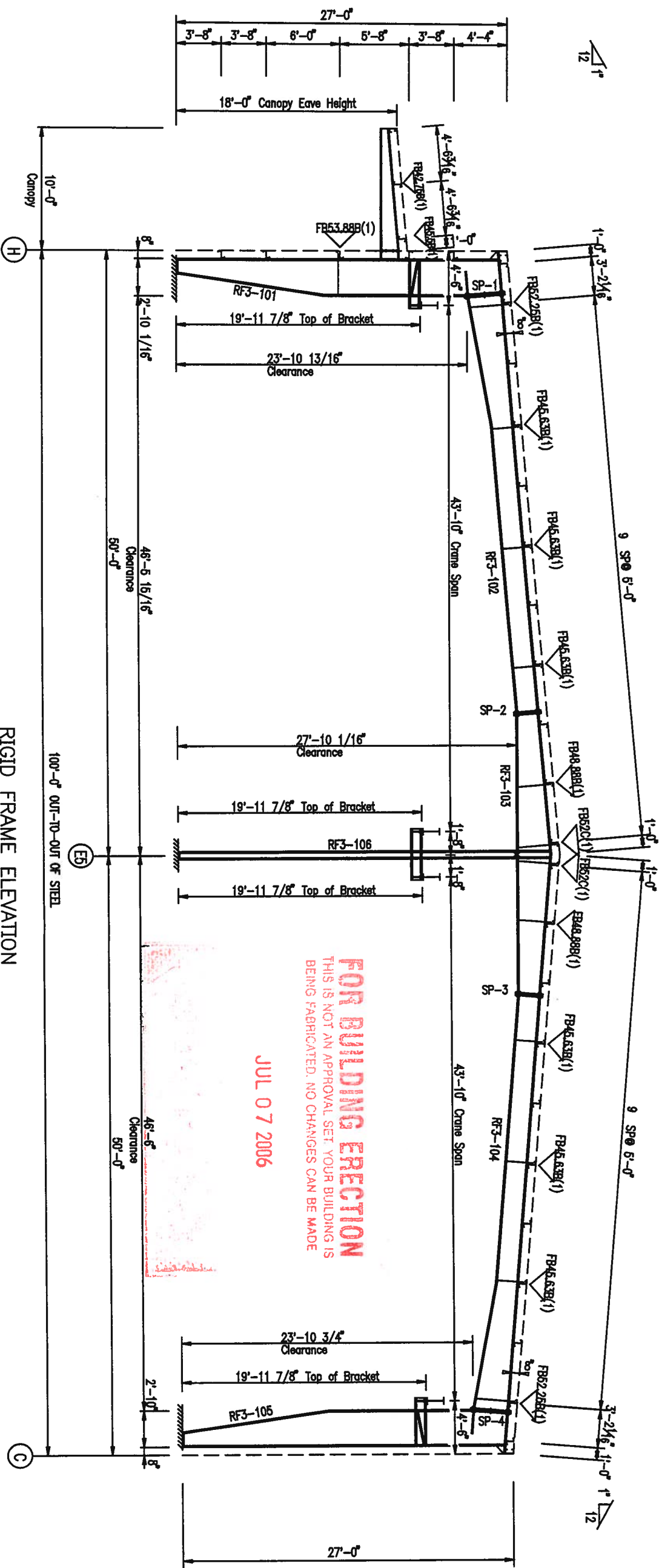




SPICE BOLTS				CAP PLATE BOLTS		
Splice Mark	C	Quan	Top/Bot/Both	Qty	Col	Qnt
SP-1	4	4	2	AS25	3/4"	2 1/2"
SP-2	4	4	0	AS25	3/4"	2 1/2"
SP-3	4	4	0	AS25	3/4"	2 1/2"
SP-4	4	4	2	AS25	3/4"	2 1/2"

FLANGE BRACES: Both Sides(U.N.)  
FBxxB(1): xx=length(in)  
B - L2X2X1/8  
C - L3X3X3/16

PIECE	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE		INSIDE FLANGE	
	START	END	THICK	LENGTH	W	T	W	T
RF3-101	12.0	33.5	0.188	143.5	6x1/4"	x316.8	6x1/4"	x146.1
RF3-102	33.5	33.5	0.188	174.9	6x1/4"	x38.8	6x5/16"	x138.6
RF3-103	32.0	19.3	0.188	130.2	6x1/4"	x416.1	6x1/4"	x130.9
RF3-104	19.3	19.3	0.188	92.9	6x1/4"	x416.1	6x1/4"	x284.9
RF3-105	19.3	19.3	0.188	92.9	6x1/4"	x146.1	6x1/4"	x284.9
RF3-106	19.2	31.4	0.250	145.6	6x1/4"	x146.1	6x1/4"	x284.9
RF3-107	31.4	19.2	0.250	145.6	6x1/4"	x146.1	6x1/4"	x284.9
RF3-108	19.3	19.3	0.188	92.9	6x1/4"	x416.1	6x1/4"	x130.9
RF3-109	19.2	19.3	0.188	192.0	6x1/4"	x416.1	6x5/16"	x130.9
RF3-110	33.4	33.4	0.188	174.9	6x5/16"	x38.8	6x5/16"	x138.6
RF3-111	33.4	12.0	0.188	143.5	6x5/16"	x316.8	6x5/16"	x145.0



GENERAL NOTES:

- All field connections of primary framing members shall be bolted with A325 H.S. bolts and installed by the turn of the nut method.
- All field connections of secondary framing shall be bolted with A307 machine bolts.
- Welding process used by manufacturer are in accordance with Sec. 1.3 of AWS D 1.1.

RIGID FRAME ELEVATION

FOR FRAME LINE 9 12  
BLDG 'A'

CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

FOR BUILDING ERECTION  
THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS  
BEING FABRICATED. NO CHANGES CAN BE MADE

JUL 07 2006



JOB NO.  
CO-1084  
SHEET NO.  
E4 of 25

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

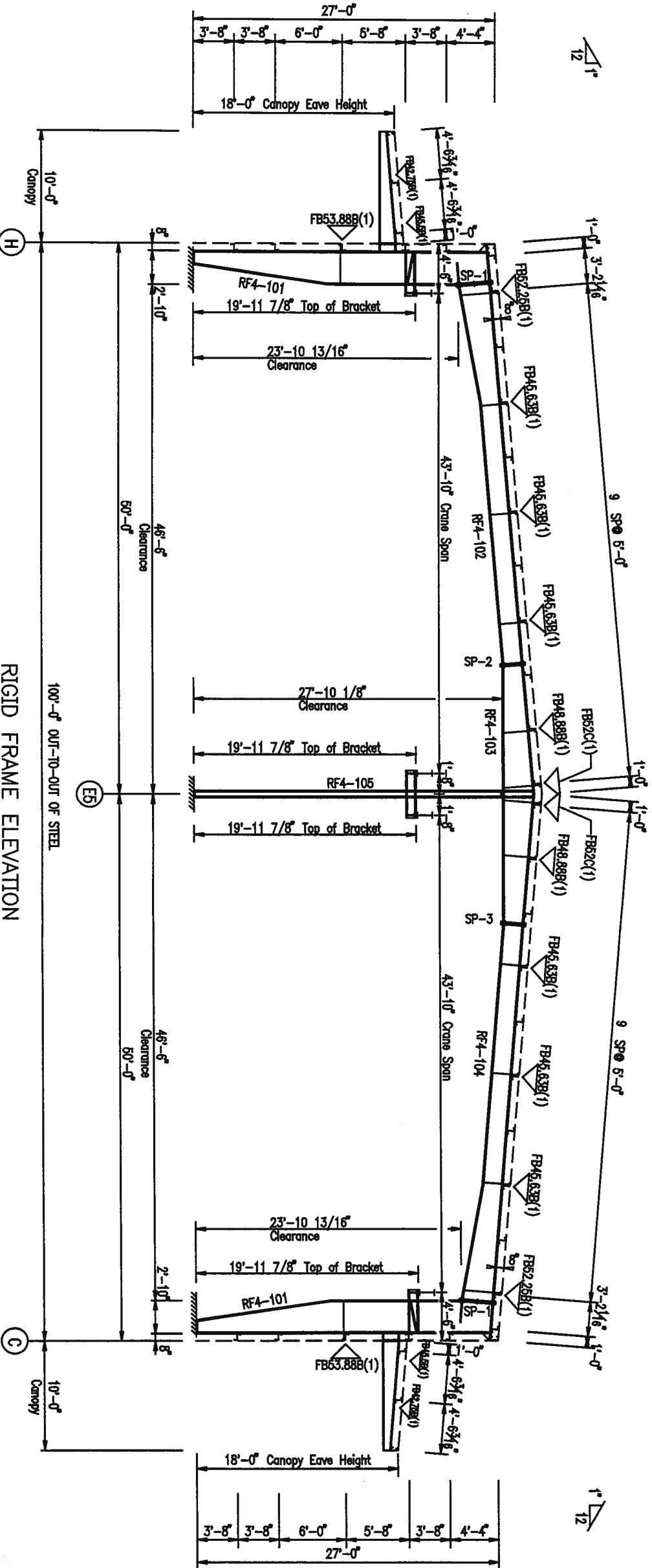
REVISION DESC.	REV. NO.	BY	DATE
1084A_RFDwg-3	110		



SPICE BOLTS				CAP PLATE BOLTS	
Splice Mark	Quan	Top/Bot/Int	Type	Dia	Len
SP-1	4	4	2	A325	3/4" 2 1/2"
SP-2	4	4	0	A325	3/4" 2 1/2"
SP-3	4	4	0	A325	3/4" 2 1/2"

▽ FLANGE BRACES: Both Sides(U.N.)  
FBxxB(1): xx=length(in)  
B - L2X2X1/8  
C - L3X3X3/16

MEMBER SIZE TABLE (in)				OUTSIDE FLANGE		INSIDE FLANGE	
PIECE	WEB DEPTH	WEB PLATE THICK	LENGTH	W x T x LEN	W x T x LEN	W x T x LEN	W x T x LEN
RF4-101	12.0/33.5	0.188	143.5	6x1/4" x316.9	6x1/4" x146.1	6x1/4" x146.1	6x1/4" x146.1
RF4-102	33.5/33.5	0.188	174.9	6x1/4" x 38.8	6x1/4" x138.6	6x5/16" x130.9	6x1/4" x138.6
RF4-103	32.0/19.3	0.188	130.2	6x1/4" x416.1	6x1/4" x284.9	6x1/4" x284.9	6x1/4" x284.9
RF4-104	19.3/19.3	0.188	92.9	6x1/4" x146.1	6x1/4" x146.1	6x1/4" x284.9	6x1/4" x284.9
RF4-105	19.3/32.0	0.188	192.0	6x1/4" x146.1	6x1/4" x284.9	6x5/16" x130.9	6x1/4" x284.9



# GENERAL NOTES:

- All field connections of primary framing members shall be bolted with A325 H.S. bolts and installed by the "turn of the nut" method.
- All field connections of secondary framing shall be bolted with A307 machine bolts.
- Welding process used by manufacturer are in accordance with Sec. 1.3 of AWS D 1.1.

## RIGID FRAME ELEVATION

FOR FRAME LINE 19  
BLDG 'A'

**CHARLES V. DRODDY, PE FOR BUILDING ERECTION**  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PELIC #57101

THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS BEING FABRICATED. NO CHANGES CAN BE MADE

JUL 07 2006

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

**DOLCO STEEL BUILDINGS**

JOB NO. CO-1084  
SHEET NO. E5 of 25

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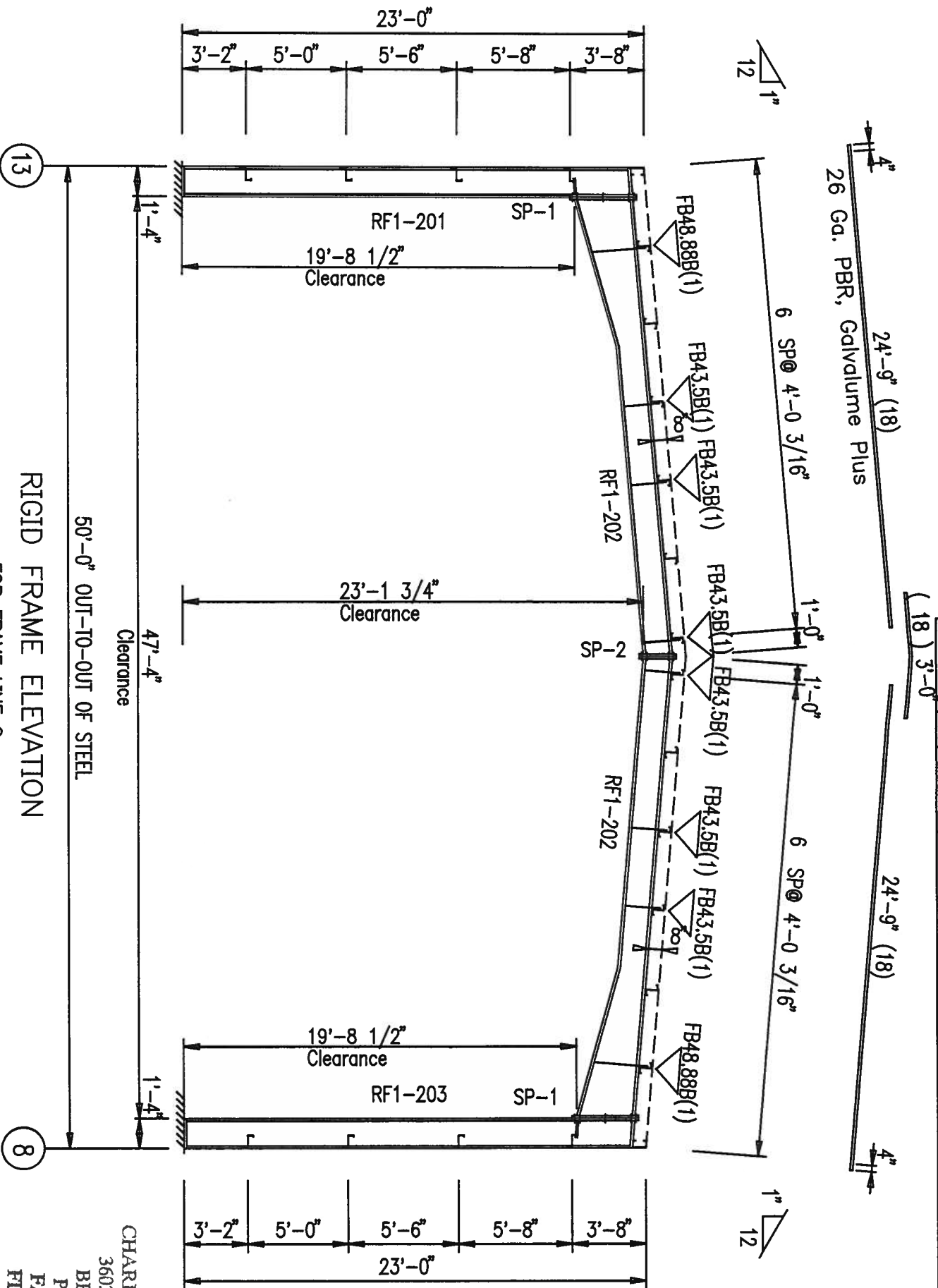
*103 JWC*

REVISION	DESC.	REV. NO.	BY	DATE
1084A_RfDwg-4				

SPlice BOLTS				
Splice Mark	Quan	Top/Bot	Int Type	Dia Len
SP- 1	4	4	2 A325	3/4" 2 1/2"
SP- 2	4	4	0 A325	3/4" 2 1/2"

FLANGE BRACES: Both Sides(U.N.)  
 FBxxB(1): xx=length(in)  
 B - L2X2X1/8

PIECE	MEMBER SIZE TABLE (in)		OUTSIDE FLANGE W x T x LEN	INSIDE FLANGE W x T x LEN
	WEB DEPTH START/END	WEB PLATE THICK LENGTH		
RF1-201	15.0/15.0	0.188 76.3	6x1/2" x267.0	6x1/2" x231.7
RF1-202	15.0/15.0	0.188 192.0	6x1/2" x 15.5	
RF1-203	14.4/14.4	0.188 95.2	6x1/4" x284.0	6x1/4" x 88.8
	15.0/15.0	0.134 191.5	6x1/4" x190.2	6x1/4" x190.2
	15.0/15.0	0.188 192.0	6x1/2" x 15.5	6x1/2" x231.7
		0.188 76.3	6x1/2" x267.0	



RIGID FRAME ELEVATION  
 FOR FRAME LINE C  
 BLDG 'B'

### GENERAL NOTES:

- All field connections of primary framing members shall be bolted with A325 H.S. bolts and installed by the "turn of the nut" method.
- All field connections of secondary framing shall be bolted with A307 machine bolts.
- Welding process used by manufacturer are in accordance with Sec. 1.3 of AWS D 1.1.

**FOR BUILDING ERECTION**  
 THIS IS NOT AN APPROVAL SET. YOUR BUILDING IS  
 BEING FABRICATED. NO CHANGES CAN BE MADE

JUL 07 2006

CHARLES V. DRODDY, PE  
 3603 OLD OAKS DR.  
 BRYAN, TX 77802  
 PH. 979 260 3186  
 FAX 979 260 3187  
 FL PELIC #57101



JOB NO.  
 CO-1084  
 SHEET NO.  
 E6 of 25

PROJECT INFORMATION :  
 North Florida Truck Parts, Inc.  
 10434 SW Cr 240  
 Lake City, FL 32024  
 OWNER/SITE INFORMATION :  
 North Florida Truck Parts, Inc.  
 10434 SW Cr 240  
 Lake City, FL 32024

REVISION	DESC.	REV. NO.	BY	DATE
1004B_RFDwg-1				78

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 THE REGISTERED PROFESSIONAL  
 ENGINEER WHOSE SEAL APPEARS ON  
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 SERVE AS THE ENGINEER OF RECORD  
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 AS SUCH.

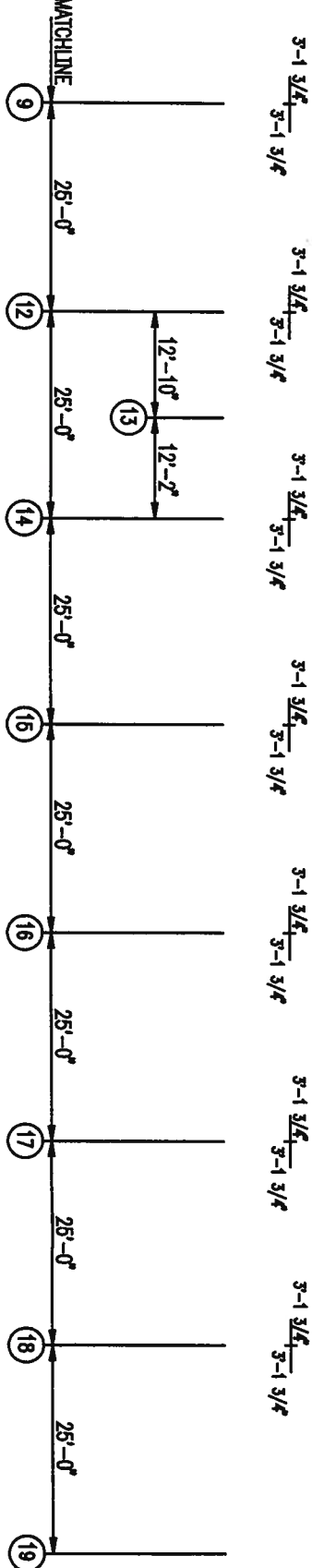
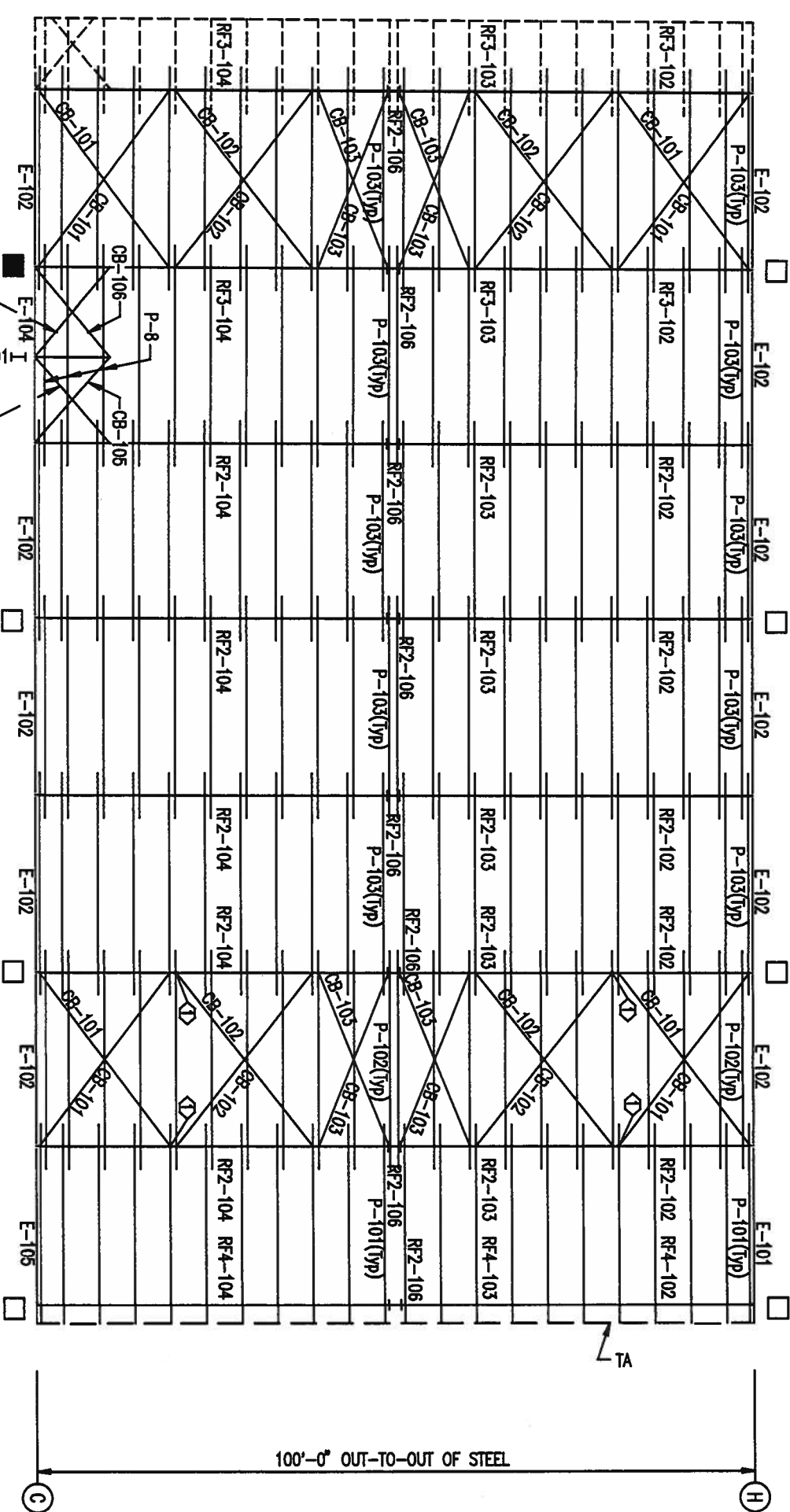
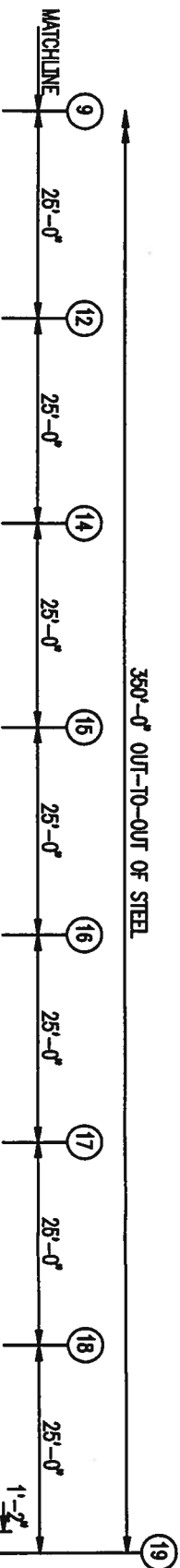












ROOF FRAMING PLAN

BLDG 'A'

**FOR BUILDING ERECTION**

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JUL 7 2006

SPECIAL BOLTS			
ROOF PLAN	QUAN	TYPE	MA
1	2	ASPS	17/8

MEMBER TABLE			
MEMBER	TYPE	MA	WASH
1	17/8	17/8	0

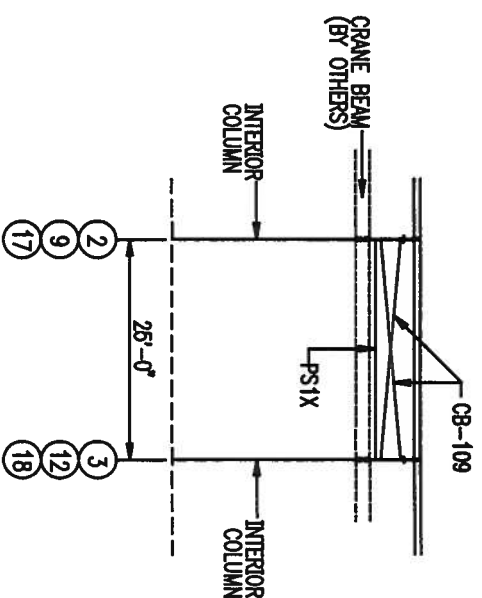
ROOF PLAN			
MEMBER	TYPE	MA	WASH
1	17/8	17/8	0

PART			
P-101	8X25/12		
P-102	8X25/14		
P-103	8X25/16		
E-101	8.1E14		
E-102	8.1E14		
E-104	8.1E14		
E-105	8.1E14		
CB-101	1/2" ROD		
CB-102	1/2" ROD		
CB-103	1/2" ROD		
CB-104	1/4" CRL		
CB-105	1/4" CRL		
CB-106	1/4" CRL		
CB-107	1/4" CRL		
P-8	8X25/16		

REVISION	DESC.	REV. NO.	BY	DATE
1084A_RoofDwg-2				247



3 DOUBLE ROW(S)  
OF BANDING MATERIAL  
REQUIRED PER EACH BAY.



MEMBER TABLE	
ROOF PLAN	
MARK	PART
EB-102	BEAM
P-101	8X25Z12
P-102	8X25Z14
P-103	8X25Z16
E-106	8.1E12
E-107	8.1E12
P-110	8.1E12
PSK	8X16S
CB-108	1/4 CHL
CB-109	1/2 ROD

REVISION DESC.	REV. NO.	BY	DATE
1084A_CanopyDwg-1			247

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

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**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024



**DOLCO STEEL  
BUILDINGS**

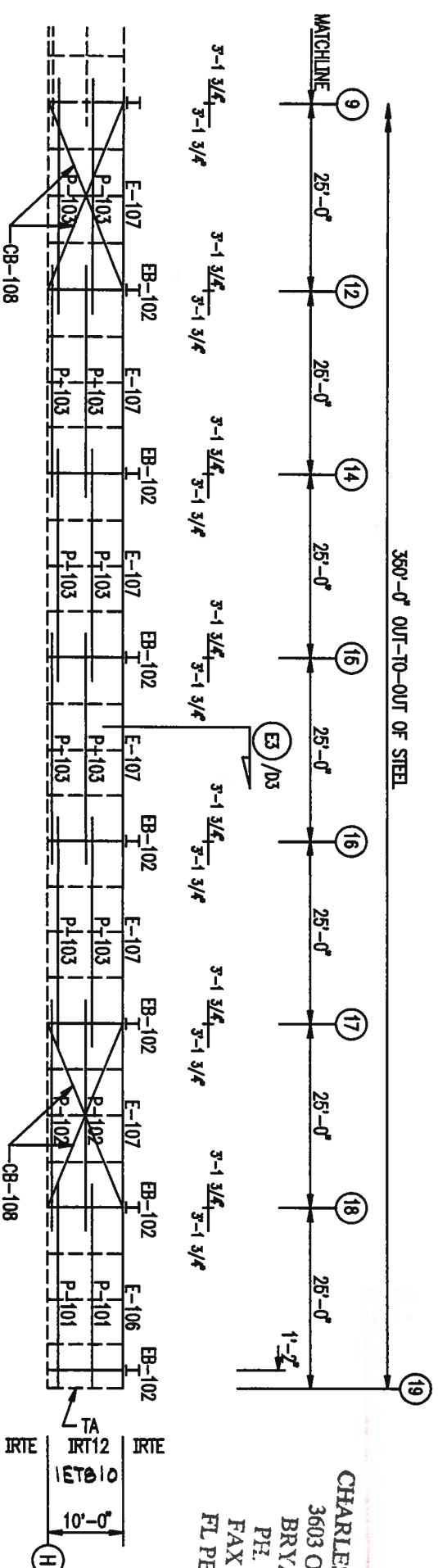
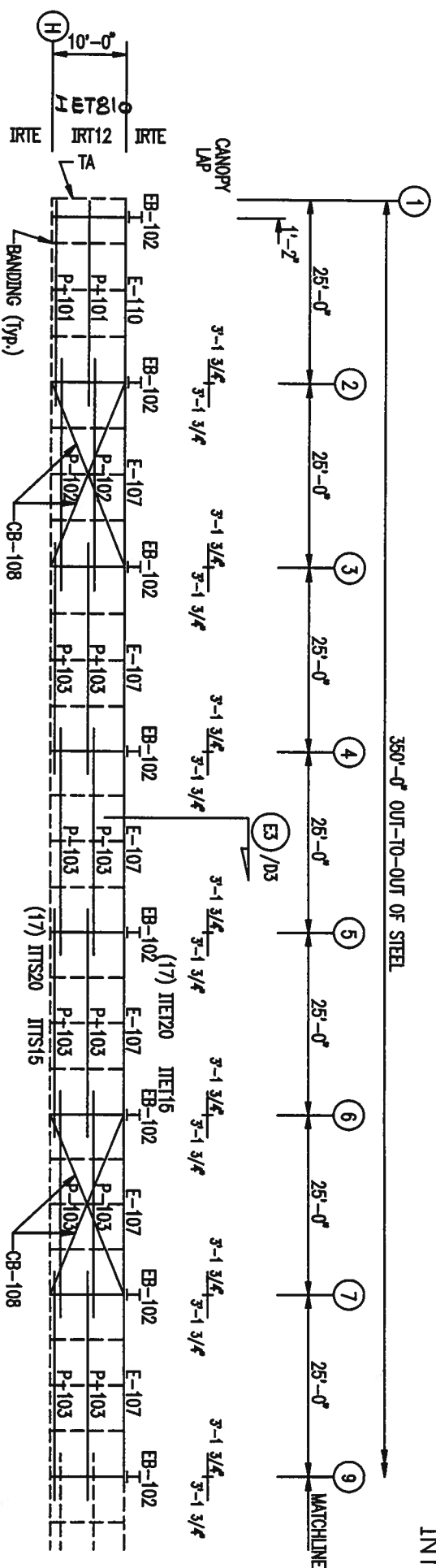
JOB NO.  
CO-1084

**SHEET NO.**  
**E12 of 25**

**CHARLES V. DRODDY, PE**  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

JUL 07 2006

FOR BUILDING ERECTION  
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CANOPY FRAMING PLAN  
BLDG 'A'

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MEMBER TABLE	
ROOF PLAN	
MARK	PART
EB-102	BEAM
P-101	8X26Z12
P-102	8X26Z14
P-103	8X26Z16
P-104	8X26Z16
P-105	8X26Z16
E-106	81E12
E-107	81E12
E-108	81E14
E-109	81E14
E-110	81E12
CB-108	1/4 C9L

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

---

**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

The drawing illustrates a roof system with the following components and details:

- Roof Structure:** A series of purlins (P-101 to P-104) supported by end bracing (EB-102) and intermediate bracing (EB-107). The purlins are labeled with their respective spans and dimensions.
- Canopy:** A canopy structure is shown on the left side, supported by a purlin (P-101) and a canopy lap (CANOPY LAP).
- Structural Details:**
  - Detail (7):** A cross-section of the roof system showing the purlin (P-103), end bracing (EB-102), and intermediate bracing (EB-107). The purlin is labeled with its dimensions (3'-1 3/4" x 3'-1 3/4") and the bracing is labeled with its dimensions (3'-1 3/4" x 3'-1 3/4").
  - Detail (8):** A cross-section of the roof system showing the purlin (P-103), end bracing (EB-102), and intermediate bracing (EB-107). The purlin is labeled with its dimensions (3'-1 3/4" x 3'-1 3/4") and the bracing is labeled with its dimensions (3'-1 3/4" x 3'-1 3/4").
  - Detail (9):** A cross-section of the roof system showing the purlin (P-103), end bracing (EB-102), and intermediate bracing (EB-107). The purlin is labeled with its dimensions (3'-1 3/4" x 3'-1 3/4") and the bracing is labeled with its dimensions (3'-1 3/4" x 3'-1 3/4").
- Dimensions:** The purlins are spaced at 25'-0" intervals, with a final span of 12'-2" at the right end. The canopy is 162'-2" out-to-out of steel.
- Labels:** The drawing includes labels for various components, including purlins (P-101, P-102, P-103, P-104), end bracing (EB-102, EB-107), intermediate bracing (EB-107), canopy lap (CANOPY LAP), and structural details (7), (8), and (9).

[illegible]

JUL 07 2006

CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

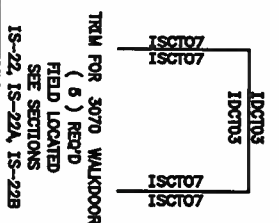


JOB NO.  
CO-1084

SHEET NO. E13 of 25

10th Oct

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LINER PANELS: FRAME LINE C  
 26 Ga. PBR – Polar White  
 BLDG 'A'



SIDEWALL FRAMING: FRAME LINE C  
BLDG 'A'

CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.

**BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PELIC #57101**

REVISION DESC.	REV. NO.	BY	DATE
1084A_SwDwg-F-1			192

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

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**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

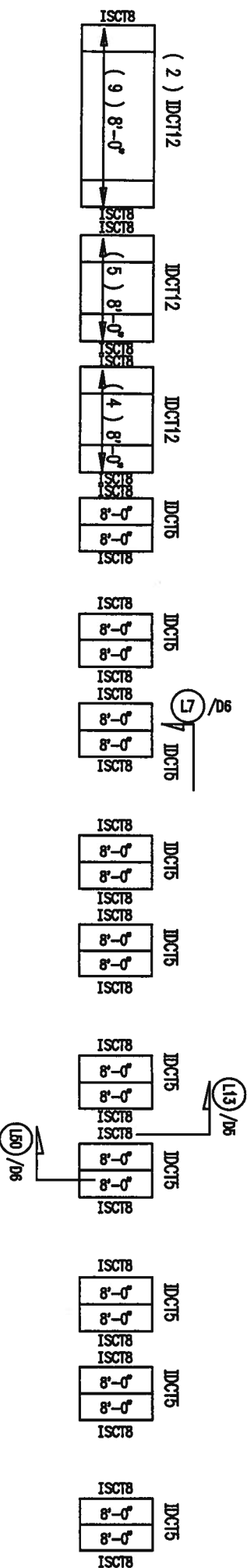


JOB NO.  
CO-1084

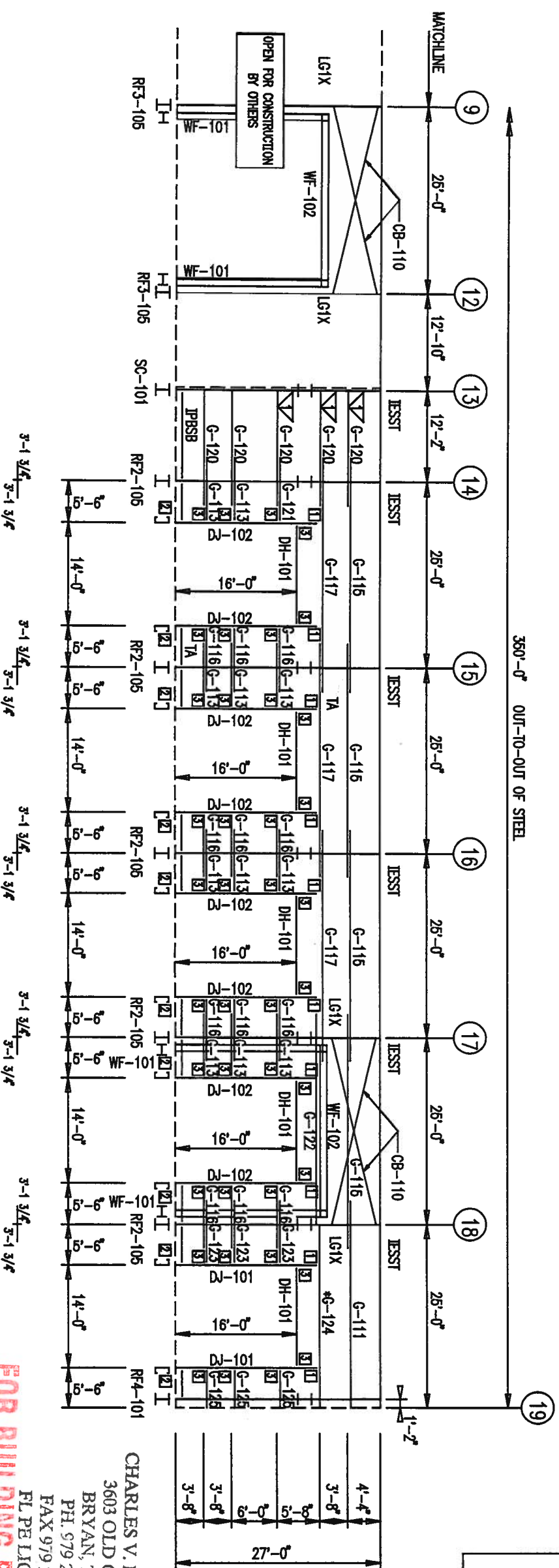
SHEET NO.  
E14 of 25

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\* BOLT BACK TO BACK C-SECTIONS  
W/ (2)  $\frac{1}{2}$ " A307 BOLTS AT EACH  
END. FASTEN 6'-0" O.C. W/ (3)  
12 x  $1\frac{1}{4}$ " S.D. SCREWS.



LINER PANELS: FRAME LINE C  
26 Ga. PBR – Polar White  
BLDG 'A'



FLANGE BRIDGE TABLE			
FLANGE LINE C	FLANGE LINE C	FLANGE LINE C	FLANGE LINE C
FLANGE LINE C	FLANGE LINE C	FLANGE LINE C	FLANGE LINE C
1	12	12	12
2	12	12	12
3	12	12	12
4	12	12	12
5	12	12	12
6	12	12	12
7	12	12	12
8	12	12	12
9	12	12	12
10	12	12	12
11	12	12	12
12	12	12	12
13	12	12	12
14	12	12	12
15	12	12	12
16	12	12	12
17	12	12	12
18	12	12	12
19	12	12	12
20	12	12	12
21	12	12	12
22	12	12	12
23	12	12	12
24	12	12	12
25	12	12	12
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100	12	12	12

REVISION DESC.	REV. NO.	BY	DATE
1084A_SwDwg-F-2			192

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

---

**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

**DOLCO STEEL  
BUILDINGS**



JOB NO.  
CO-1084

SHEET NO.  
E15 of 25

**CHARLES V. DRODDY, PE**  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 579 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

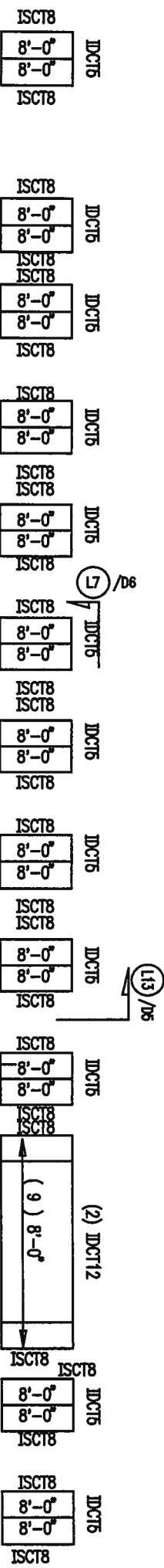
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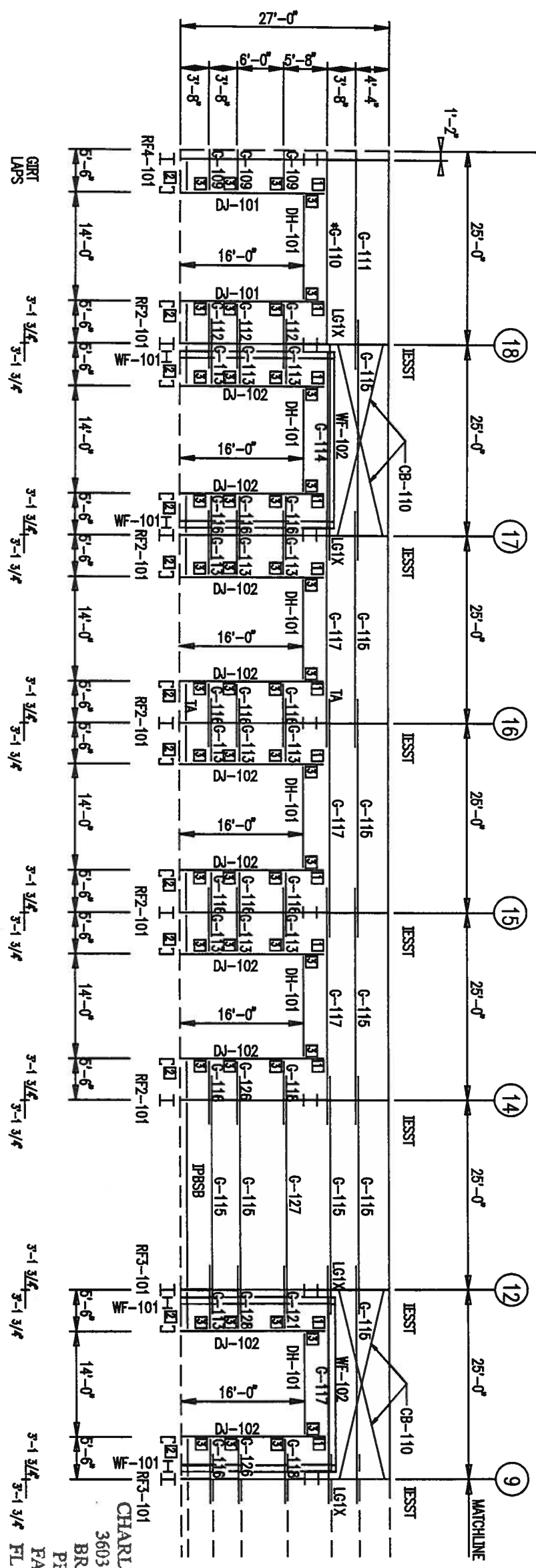


\* BOLT BACK TO BACK C-SECTIONS  
W/ (2) 1/2" A307 BOLTS AT EACH  
END, FASTEN 5'-0" O.C. W/ (3)  
12 x 1 1/4" S.D. SCREWS.



LINER PANELS: FRAME LINE H  
26 Ga. PBR - Polar White  
BLDG 'A'

350'-0" OUT-TO-OUT OF STEEL



SIDEWALL FRAMING: FRAME LINE H  
BLDG 'A'

**FOR BUILDING ERECTION**  
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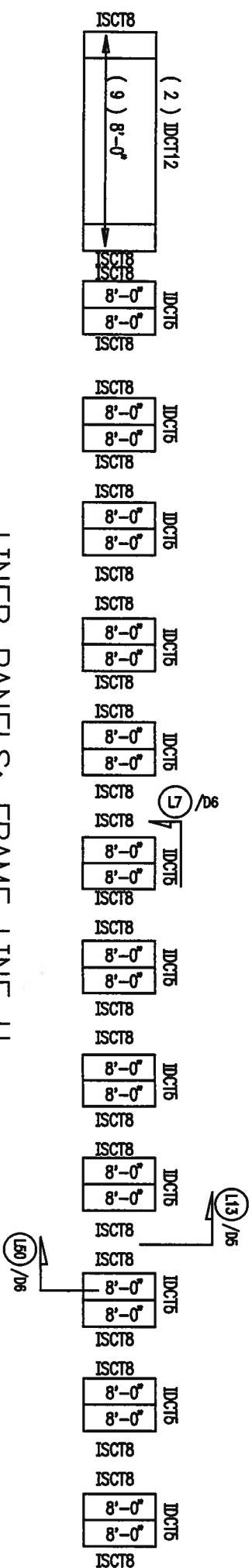
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CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

CONNECTION PLATES	
FRAME LINE H	
1	L1
2	L2
3	P8

MEMBER TABLE	
FRAME LINE H	
WF-101	B25X21
WF-102	B15X17
DJ-101	BX25C12
DJ-102	BX25C16
DH-101	BX25C16
DH-109	BX25C16
DH-110	BX25C16
DH-111	BX25C12
DH-112	BX25C14
DH-113	BX25C16
DH-114	BX25C16
DH-115	BX25C14
DH-116	BX25C16
DH-117	BX25C16
DH-118	BX25C12
DH-121	BX25C12
DH-126	BX25C14
DH-127	BX25C14
DH-128	BX25C14
DH-110	1/2 MOD

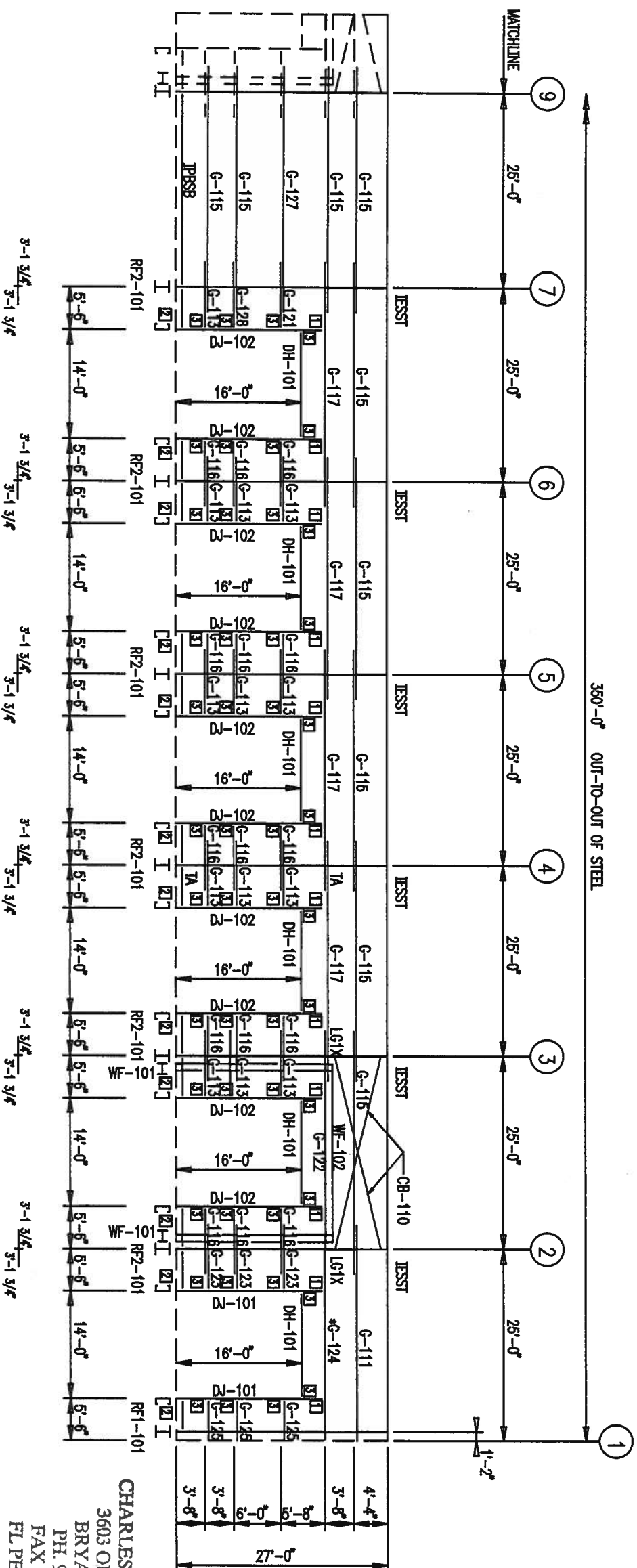
\* BOLT BACK TO BACK C-SECTIONS  
w/ (2) 1/2" A307 BOLTS AT EACH  
END. FASTEN 6"-0" O.C. w/ (3)  
12 x 1 1/4" S.D. SCREWS.



LINER PANELS: FRAME LINE H

26 Ga. PBR – Polar White

BLDG 'A'



SIDEWALL FRAMING: FRAME LINE H

BLDG 'A'

# GETTING BUILDING ERECTION

JUL 07 2006

**CHARLES V. DRODDY, PE**  
**3603 OLD OAKS DR.**  
**BRYAN, TX 77802**  
**PH. 979 260 3186**  
**FAX 979 260 3187**  
**FL PE LIC #57101**

CONNECTION PLATES	
FRAME LINE H	
<input type="checkbox"/> D	MARK/PART
1	L1
2	L2
3	P8

REVISION DESC.	REV. NO.	BY	DATE
1084A_SwDwg-B-2			192

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

---

**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024



**DOLCO STEEL  
BUILDINGS**

JOB NO.  
CO-1084

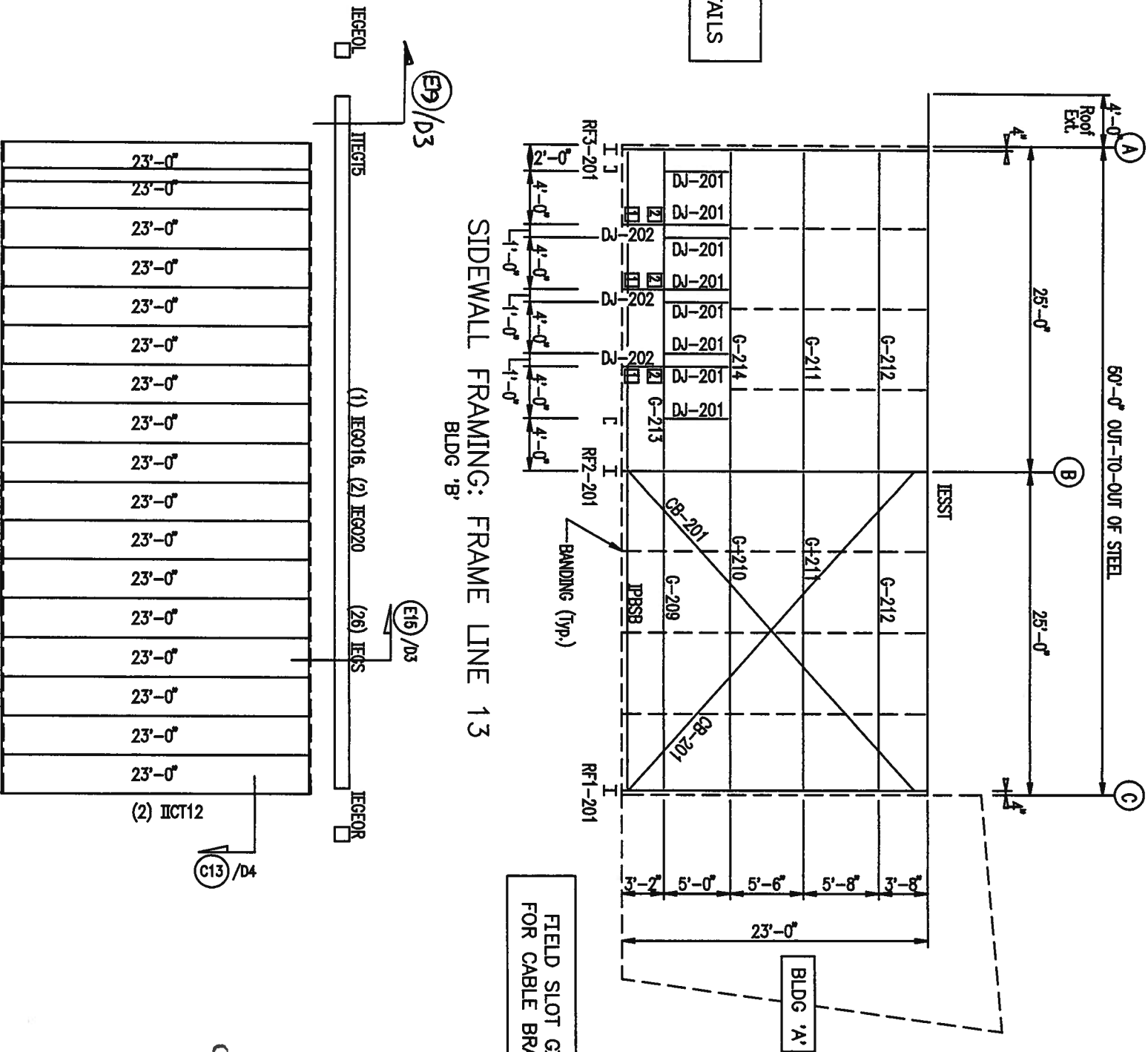
SHEET NO.  
E17 of 25

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REFER TO E24 OF 25  
FOR FRAMED OPENING DETAILS



SIDEWALL SHEETING & TRIM: FRAME LINE 13

PANELS: 26 Ga. PBR - Ash Gray  
BLDG 'B'

FIELD SLOT GIRTS  
FOR CABLE BRACING

SIDEWALL FRAMING: FRAME LINE 13  
BLDG 'B'

CHARLES V. DRODDY, PE  
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PH. 979 260 3186  
FAX 979 260 3187  
FL PELIC #57101

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CONNECTION PLATES	
FRAME LINE 13	
<input type="checkbox"/> ID	MARK/PART
1	L24
2	L1

MEMBER TABLE	
FRAME LINE 13	
MARK	PART
DJ-201	8X26C16
DJ-202	8X25C16
G-209	8X26C12
G-210	8X36C12
G-211	8X35Z12
G-212	8X25Z12
G-213	8X26C12
G-214	8X36C12
CB-201	3/8_CBL

3 SINGLE ROW(S)  
OF BANDING MATERIAL  
REQUIRED PER EACH BAY.  
SEE SECTION IS-15

L24 NOTES:

- FOR ATTACHMENT OF L24 CLIP TO GIRTS, JAMBS OR EAVESTRUTS USE (2) 1 1/4" S.D. SCREWS AT EACH LEG.
  - FOR ATTACHMENT OF JAMB TO FLOOR WITH L24 CLIP USE (2) 1 1/4" S.D. SCREWS FOR LEG ATTACHING TO JAMB AND ATTACHMENT BY OTHERS AT LEG TO FLOOR
- REFER TO IS-28 IN METAL BUILDING CONSTRUCTION GUIDE

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 250  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 250  
Lake City, FL 32025

DATE	BY	REV. NO.	REVISION DESC.
124			1084B_SwDwg-F



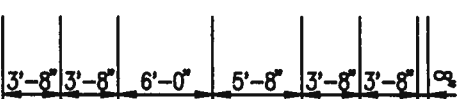
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CO-1084  
SHEET NO.  
E19 of 25

105wca

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CONNECTION PLATES	
FRAME LINE 1	
ID	MARK/PART
1	129X
2	194-8
3	SC-5

MEMBER TABLE	
FRAME LINE 1	
MARK	PART
EB-101	BEAM
EC-101	W10X26
EC-102	W10X26
G-101	8X25Z14
G-102	8X35Z14
G-103	8X25Z12
G-104	8X25Z16
G-105	8X25Z14
G-106	8X35Z14
G-107	8X25Z12

[illegible]

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

---

**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

## BLDG 'A'



ENDWALL SHEETING & TRIM: FRAME LINE 1

BLDG 'A'

**FOR BUILDING ERECTION**  
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CHARLES V. DRODDY, PE  
603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PELIC #57101

2 SINGLE ROW(S)  
OF BANDING MATERIAL  
REQUIRED PER EACH BAY.  
SEE SECTION IS-15

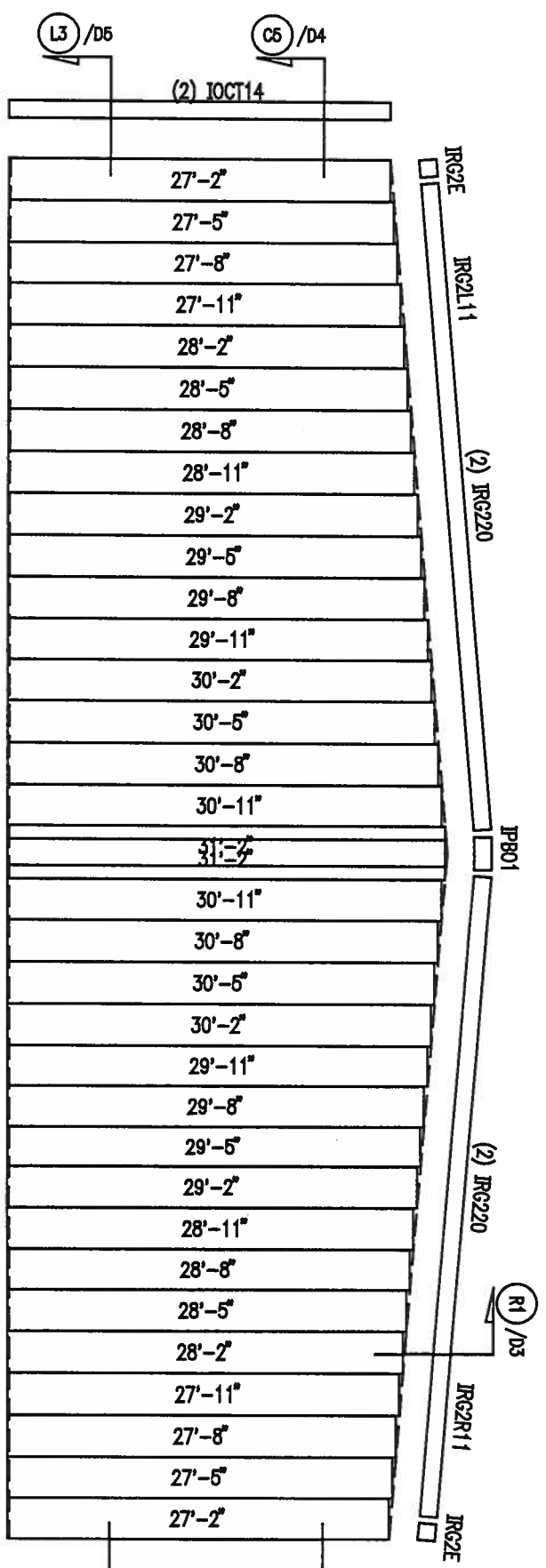
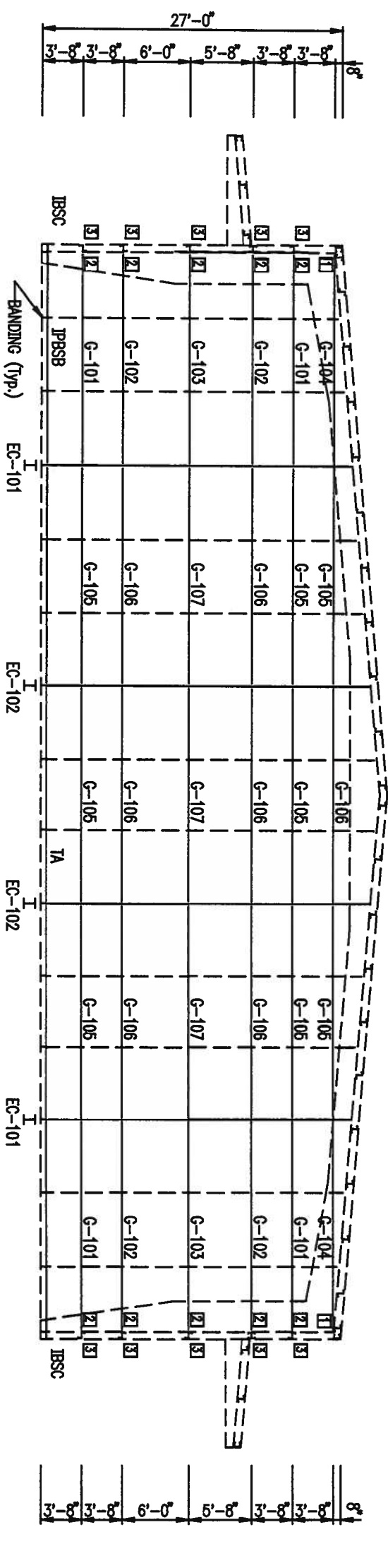
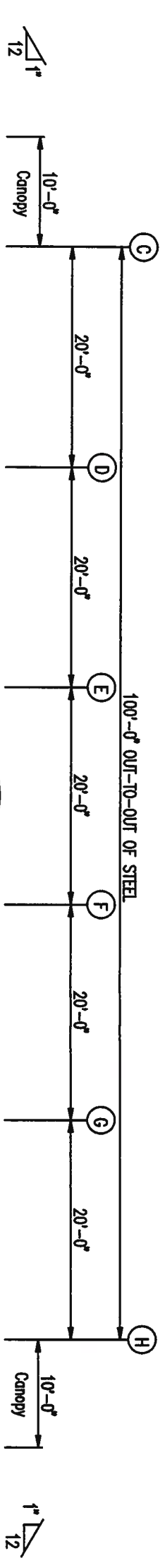
# DOLCO STEEL BUILDINGS



JOB NO. CO-1084  
SHEET NO. E21 of 25

10 June 2004

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ENDWALL SHEETING & TRIM: FRAME LINE 19

PANELS: 26 Ga. PBR - Ash Gray  
BLDG 'A'

CONNECTION PLATES	
FRAME LINE 19	
<input type="checkbox"/> ID	MARK/PART
1	L28X
2	L94-8
3	SC-5

MEMBER TABLE	
FRAME LINE 19	
MARK	PART
EB-101	BEAM
EC-101	W10X26
EC-102	W10X26
G-101	8X25Z14
G-102	8X35Z14
G-103	8X25Z12
G-104	8X25Z16
G-105	8X25Z14
G-106	8X35Z14
G-107	8X25Z12

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JUL 07 2006

CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

2 SINGLE ROW(S)  
OF BANDING MATERIAL  
REQUIRED PER EACH BAY.  
SEE SECTION IS-15

PROJECT INFORMATION :

North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

OWNER/SITE INFORMATION :

North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

REVISION DESC.

REV. NO.

BY

DATE

1084A\_EwDwg-R

141

**DOLCO STEEL BUILDINGS**

JOB NO. CO-1084

SHEET NO. E22 of 25

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ENGINEER WHOSE SEAL APPEARS ON  
THESE DRAWINGS IS DELETED BY  
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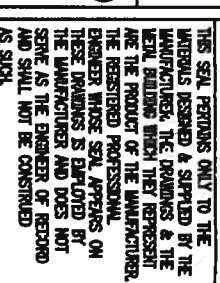
1084A



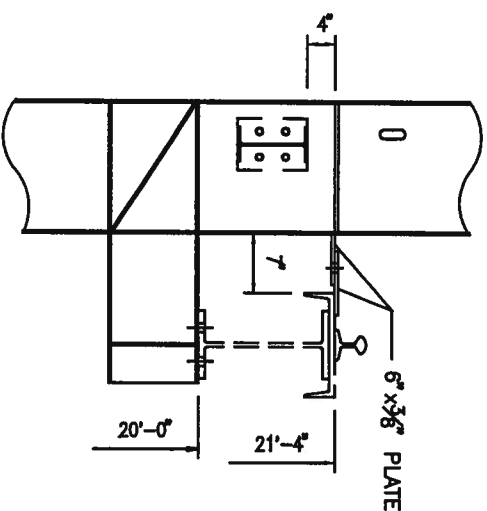




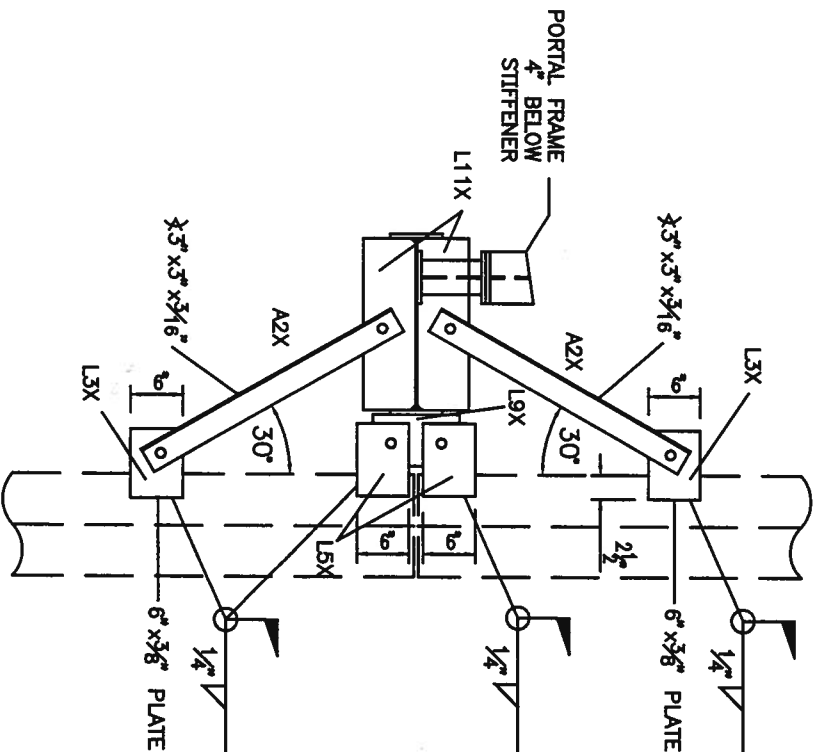
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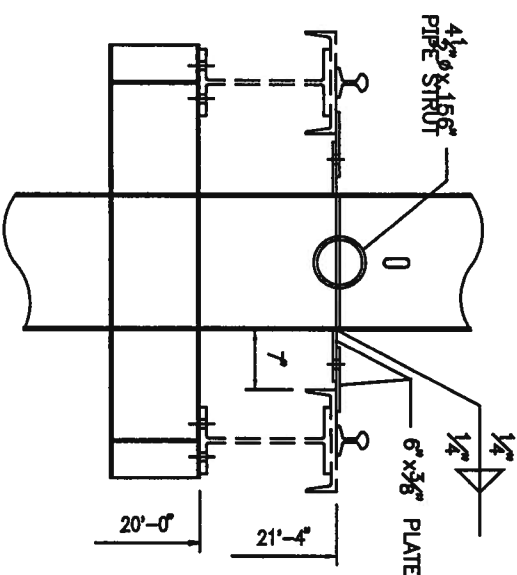




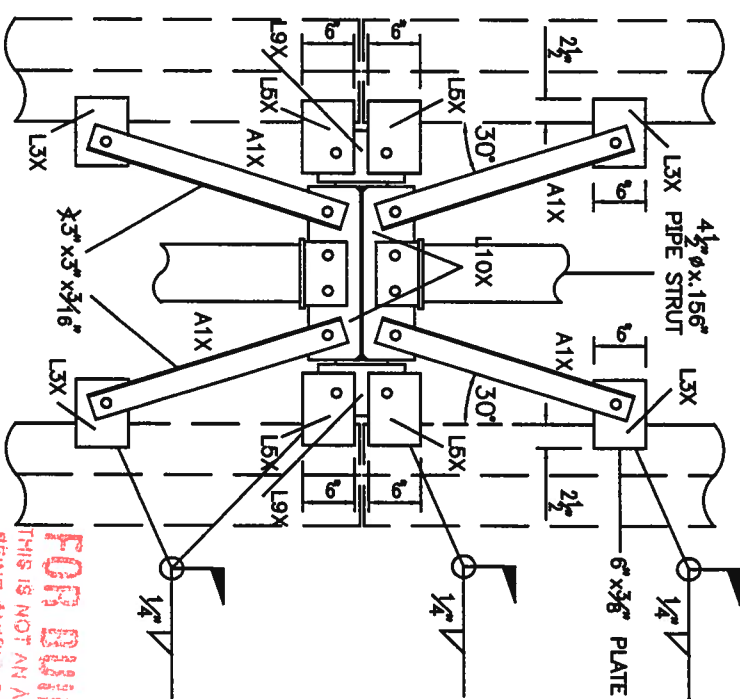
ALL BOLTS  
3/4" Ø A325



- NOTES:
- 1) ALL FIELD WELDING SHALL CONFORM TO AISC AND AWS SPECIFICATIONS.
  - 2) ALL FIELD WELDING SHALL BE PERFORMED BY CERTIFIED WELDER USING E-70 ELECTRODES.



ALL BOLTS  
3/4" Ø A325



**FOR BUILDING ERECTION**  
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CHARLES V. DRODDY, PE  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

REVISION DESC.	REV. NO.	BY	DATE
1084_Dtdwg-1			

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024



JOB NO. CO-1084  
SHEET NO. D1 of 7

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AND SHALL NOT BE CONSIDERED  
AS SUCH.

## DESIGN NOTES AND ASSUMPTIONS:

### UNKNOWN OR ASSUMED CRANE DATA

THE USE OF A CRANE SYSTEM WITH CAPACITY, WEIGHTS AND DIMENSIONS DIFFERENT THAN THOSE ASSUMED IN THE DESIGN OF THIS BUILDING MAY VOID ALL WARRANTIES AND CERTIFICATIONS AS THEY APPLY TO THIS BUILDING.

CRANE SYSTEM INCLUDING LOADS AND BRACKETS ONLY

THE METAL BUILDING MANUFACTURER (M.B.M.) HAS DESIGNED THE BUILDING SYSTEM FOR VERTICAL, LATERAL IMPACT AND LONGITUDINAL IMPACT CRANE LOADS. THE M.B.M. IS PROVIDING BRACKETS TO TRANSFER THE VERTICAL CRANE LOADS TO THE PRIMARY FRAMES. THE M.B.M. REQUIRES THAT THE CRANE RUNWAY BEAMS, CRANE LONGITUDINAL BRACES, CRANE LATERAL BRACES, AND ALL RELATED BOLTS AND FASTENERS ARE ADEQUATELY DESIGNED, LOCATED, PROVIDED AND PROPERLY INSTALLED BY OTHERS TO TRANSFER THE LATERAL AND LONGITUDINAL CRANE IMPACT LOADS TO THE M.B.M.'s PRIMARY FRAMING.

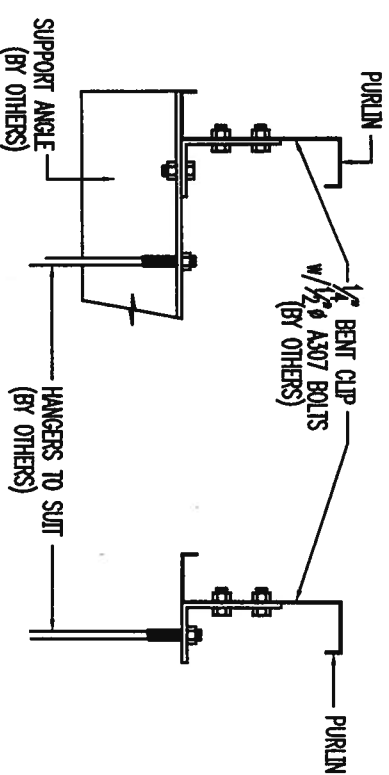
## EXPANDABLE RIGID ENDWALL FRAME @ BLDG 'A'

THE EXPANDABLE RIGID ENDWALL FRAMES AT BLDG 'A' COLUMN LINE(S) 1 & 15 ARE/IS DESIGNED FOR A FUTURE EXPANSION OF 25'-0" MEASURED FROM THE CENTERLINE OF THE EXISTING FRAME TO THE CENTERLINE OF THE FUTURE FRAME. THE DESIGN LOADS AND APPLICATIONS OF THE FUTURE EXPANSION CANNOT EXCEED THOSE FOR WHICH THE EXISTING EXPANDABLE FRAME IS DESIGNED. IF DESIGN LOADS AND APPLICATIONS OF THE FUTURE EXPANSION ARE DIFFERENT FROM THOSE OF THE EXISTING, RE-ANALYSIS OF THE EXISTING WILL BE REQUIRED.

# FOR BUILDING ERECTION

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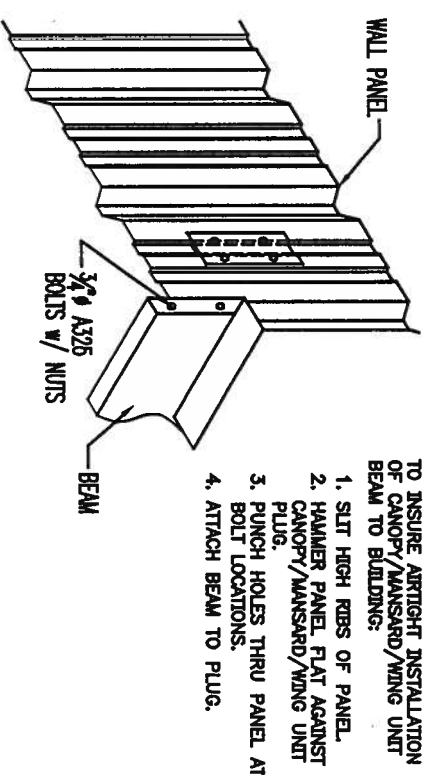
JUL 07 2006



**Design Notes:**

1. No attachment shall be made to flanges or lips of purlin.
2. For continuous loading running parallel to purlins, attach support approximately 5'-0" on center maximum spacing.
3. For continuous loading running perpendicular to purlins, attach support for the length of load at 5'-0" on center maximum spacing.

## Collateral Load Detail and Note



**ERECTION NOTES:**

TO INSURE AIRTIGHT INSTALLATION  
OF CANOPY/MANSARD/WING UNIT  
BEAM TO BUILDING:

1. SLIT HIGH REBS OF PANEL.
2. HAMMER PANEL FLAT AGAINST CANOPY/MAINSARD/WING UNIT PLUG.
3. PUNCH HOLES THRU PANEL AT BOLT LOCATIONS.
4. ATTACH BEAM TO PLUG.

## Detail "S"

## Smash Panel For Beam Attachment

**CHARLES V. DRODDY, PE**  
**3603 OLD OAKS DR.**  
**BRYAN, TX 77802**  
**PH. 979 260 3186**  
**FAX 979 260 3187**  
**FL PE LIC #57101**

REVISION DESC.	REV. NO.	BY	DATE
1084_Dtdwg-2			

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

---

**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

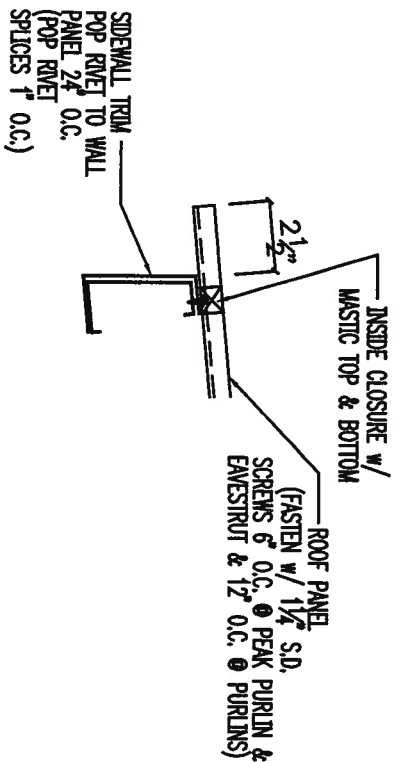
**DOLCO STEEL  
BUILDINGS**



JOB NO. CO-1084

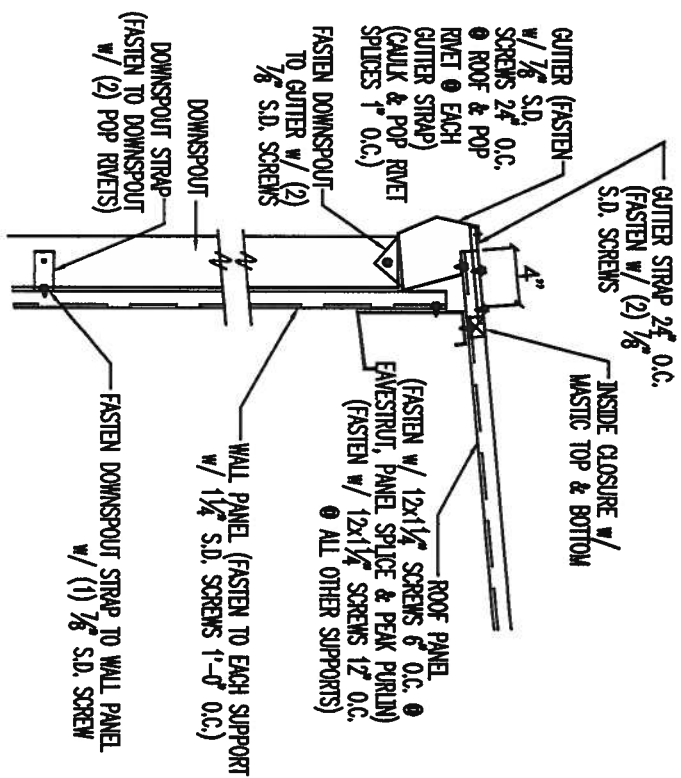
**SHEET NO.** D2 of 7

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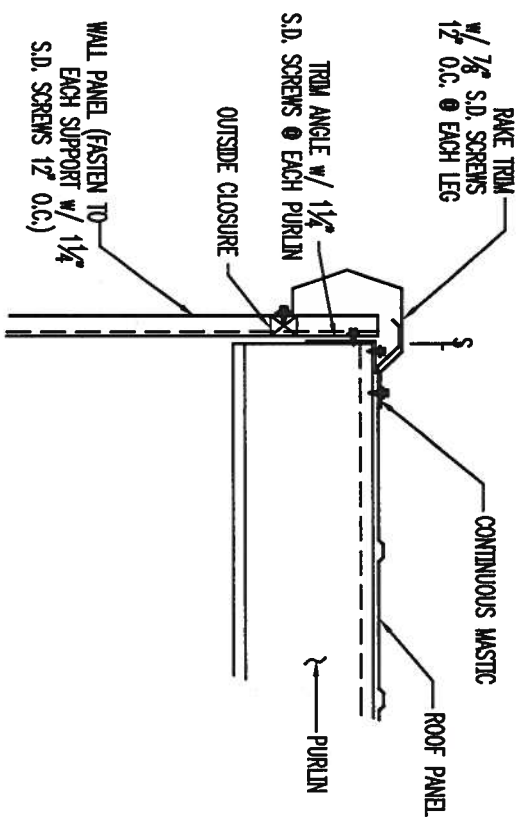
E3

Canopy Eave



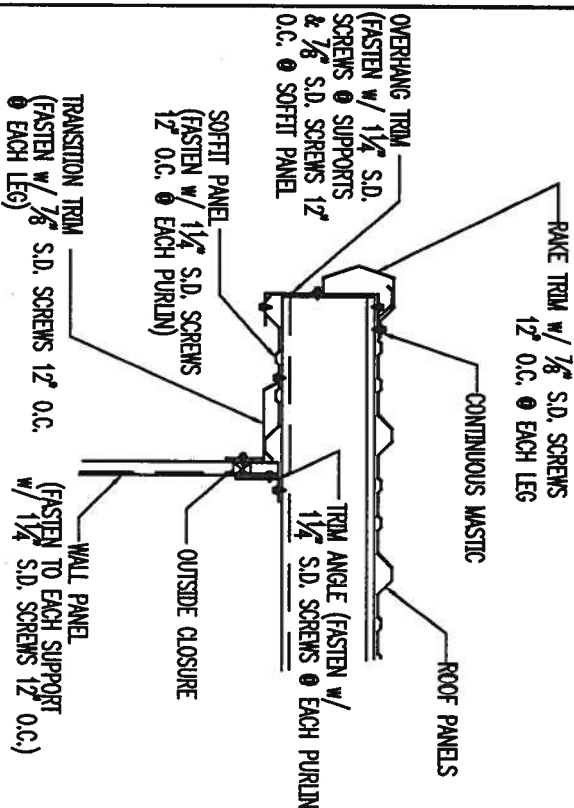
E15

Paneled Wall @ Sidewall  
w/ Gutter



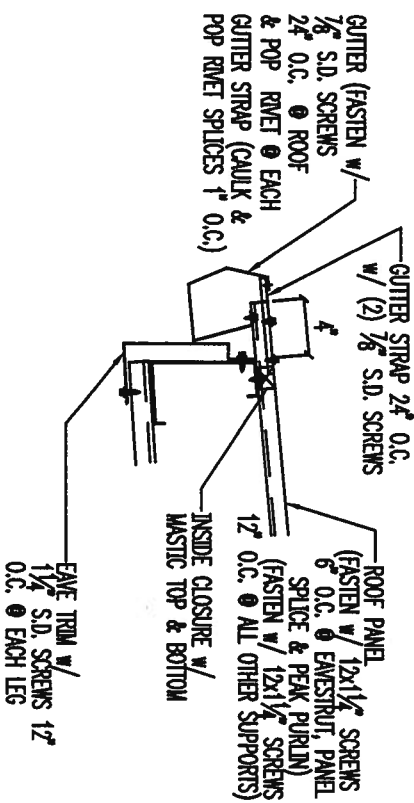
R1

Paneled Wall @ Endwall



R45

Endwall Roof Extension @  
Paneled Wall



E19

Flush Open Sidewall  
w/ Gutter & Eave Trim

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3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

REVISION DESC.	REV. NO.	BY	DATE
1084_DDDwg-3			

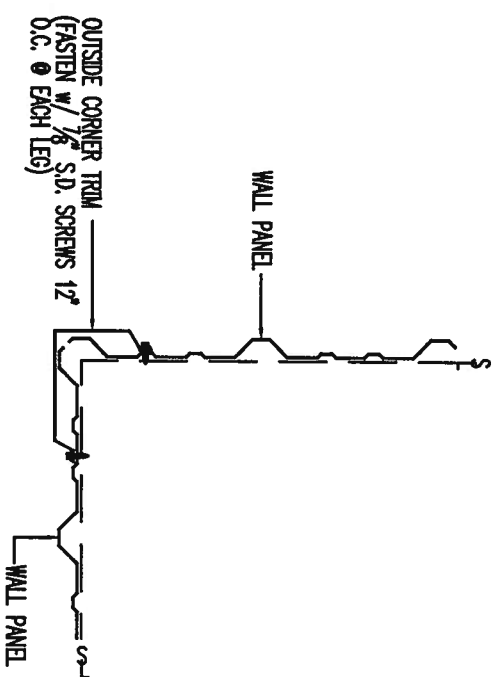
PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

**DOLCO STEEL BUILDINGS**

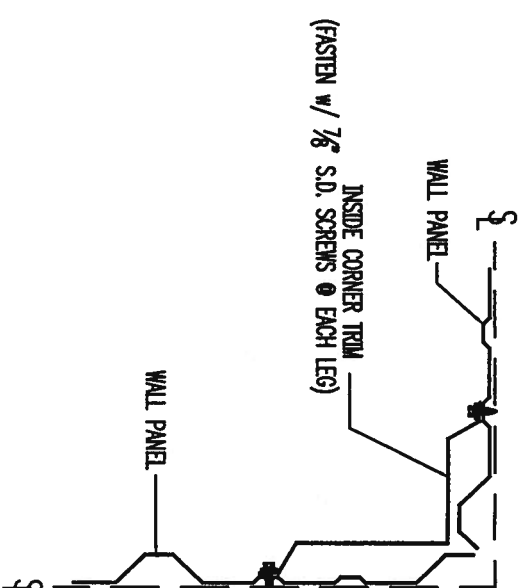
JOB NO. CO-1084  
SHEET NO. D3 of 7

*10/5/06*

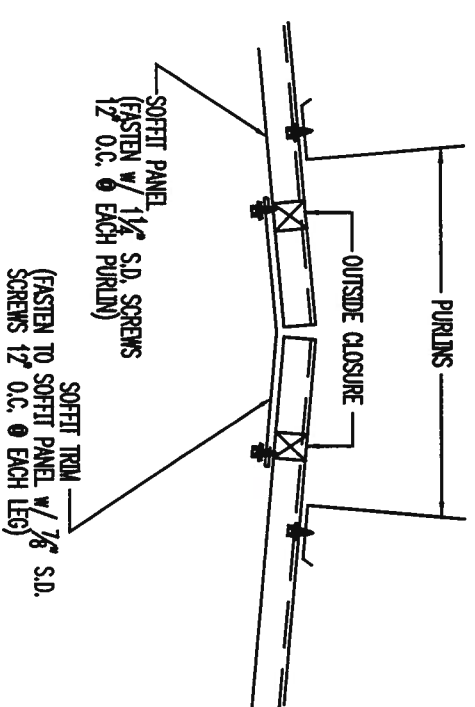
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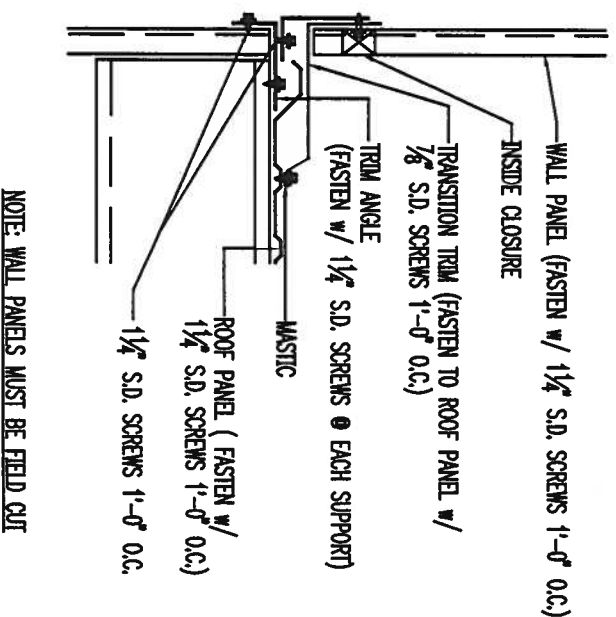
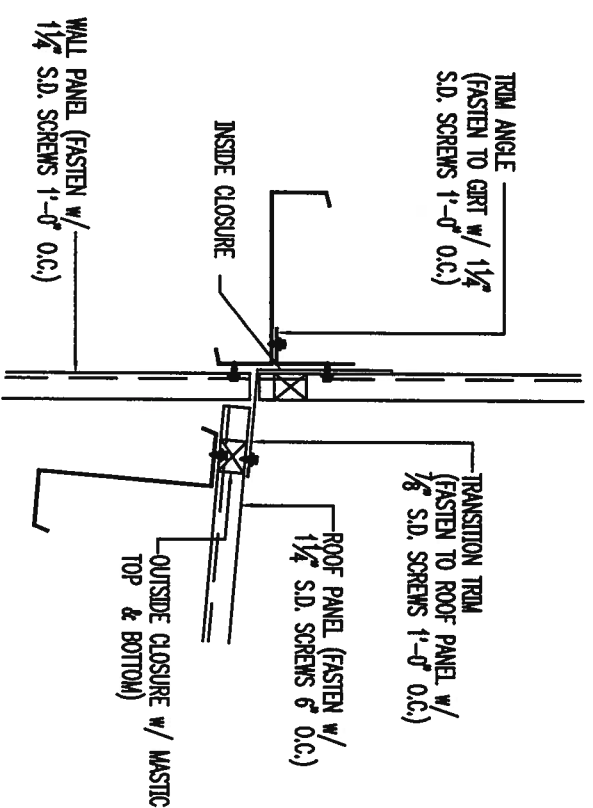
C5) Outside Corner Detail



C13 Inside Corner Detail



Section At Soffit Roll



Wall Sheeting @ Transition

Transition  
Sheeted Below

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JUL 07 2006

**CHARLES V. DRODDY, PE**  
3603 OLD OAKS DR.  
BRYAN, TX 77802  
PH. 979 266 3186  
FAX 979 260 3187  
FL PE LIC #57101

**PROJECT INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

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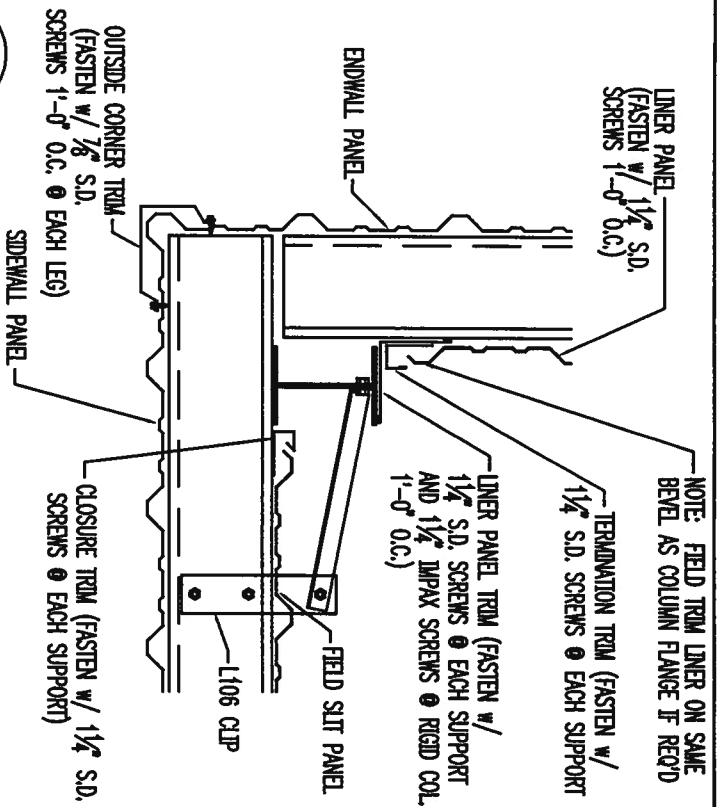
**OWNER/SITE INFORMATION :**  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

**DOLCO STEEL BUILDINGS**

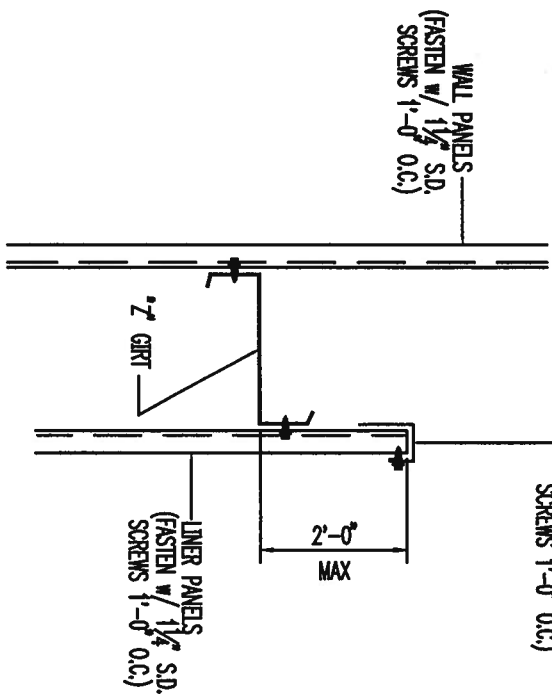
JOB NO. CO-1084  
SHEET NO. D4 of 7

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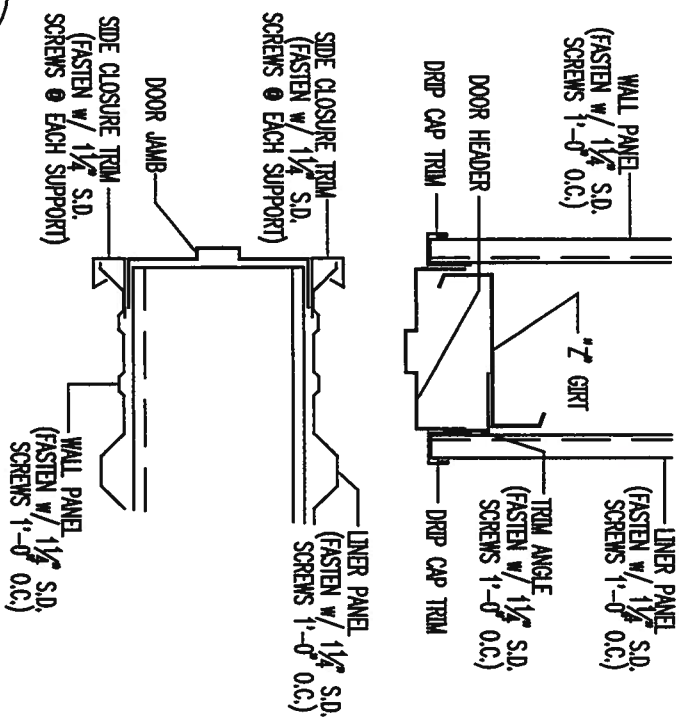




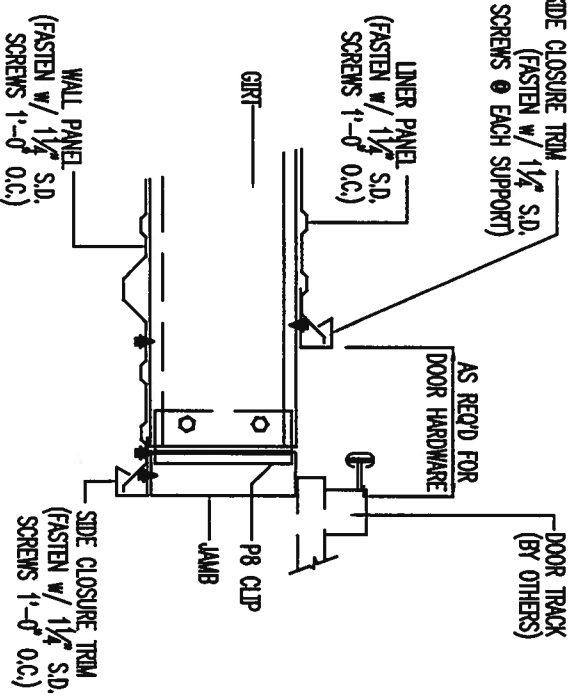
L3 Outside Corner Trim w/ Liner



L13 Wall Section w/ Partial Liner



L14 Walkdoor Header & Jamb w/ Liner



L15 Jamb @ Overhead/Roll-up Door w/ Liner

WITH LINERS BELOW HEADER

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3603 OLD OAKS DR.  
BRYAN, TX 77802  
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FL PELIC #57101

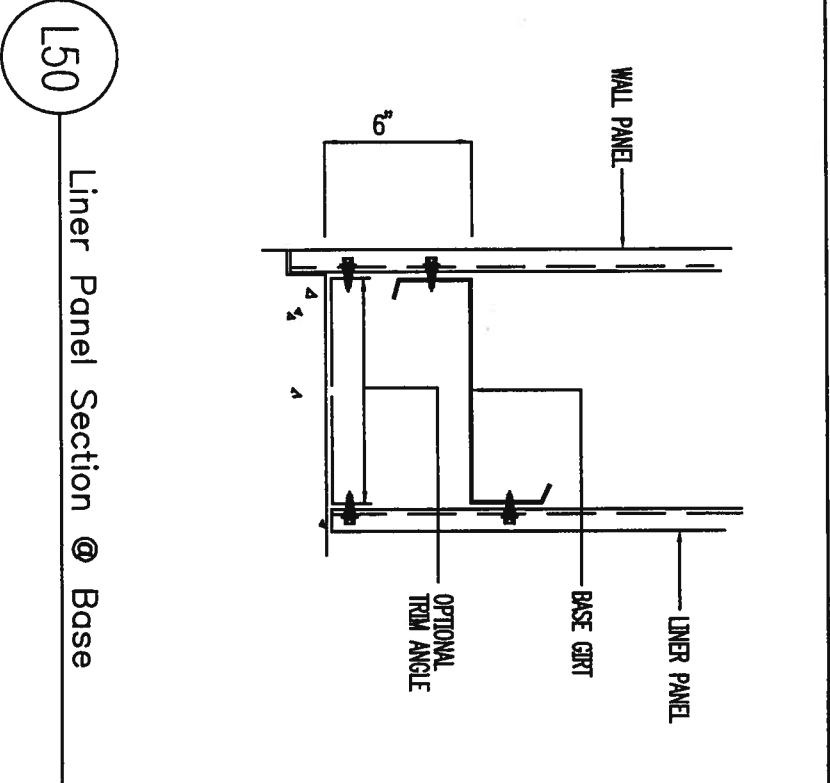
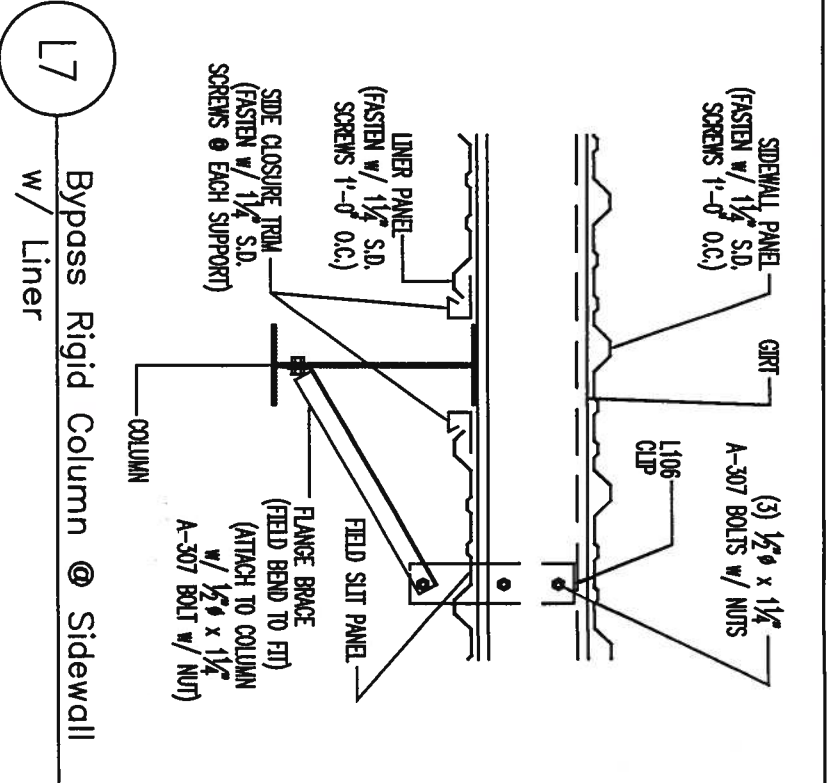
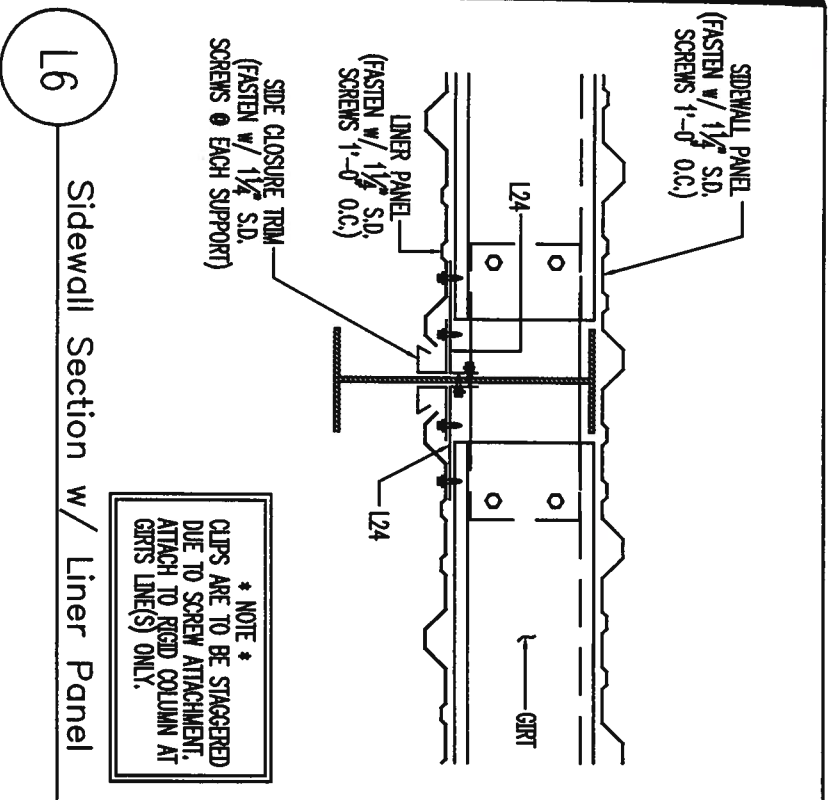
REVISION DESC.	REV. NO.	BY	DATE
1084_DDDwg-5			

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024

**DOLCO STEEL BUILDINGS**

JOB NO. CO-1084  
SHEET NO. D5 of 7

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JUL 07 2006

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3603 OLD OAKS DR.  
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FAX 979 260 3187  
FL PELIC #57101

REVISION	DESC.	REV. NO.	BY	DATE
1084_DWG-6				

PROJECT INFORMATION :	North Florida Truck Parts, Inc. 10434 SW Cr 240 Lake City, FL 32024
OWNER/SITE INFORMATION :	North Florida Truck Parts, Inc. 10434 SW Cr 240 Lake City, FL 32024

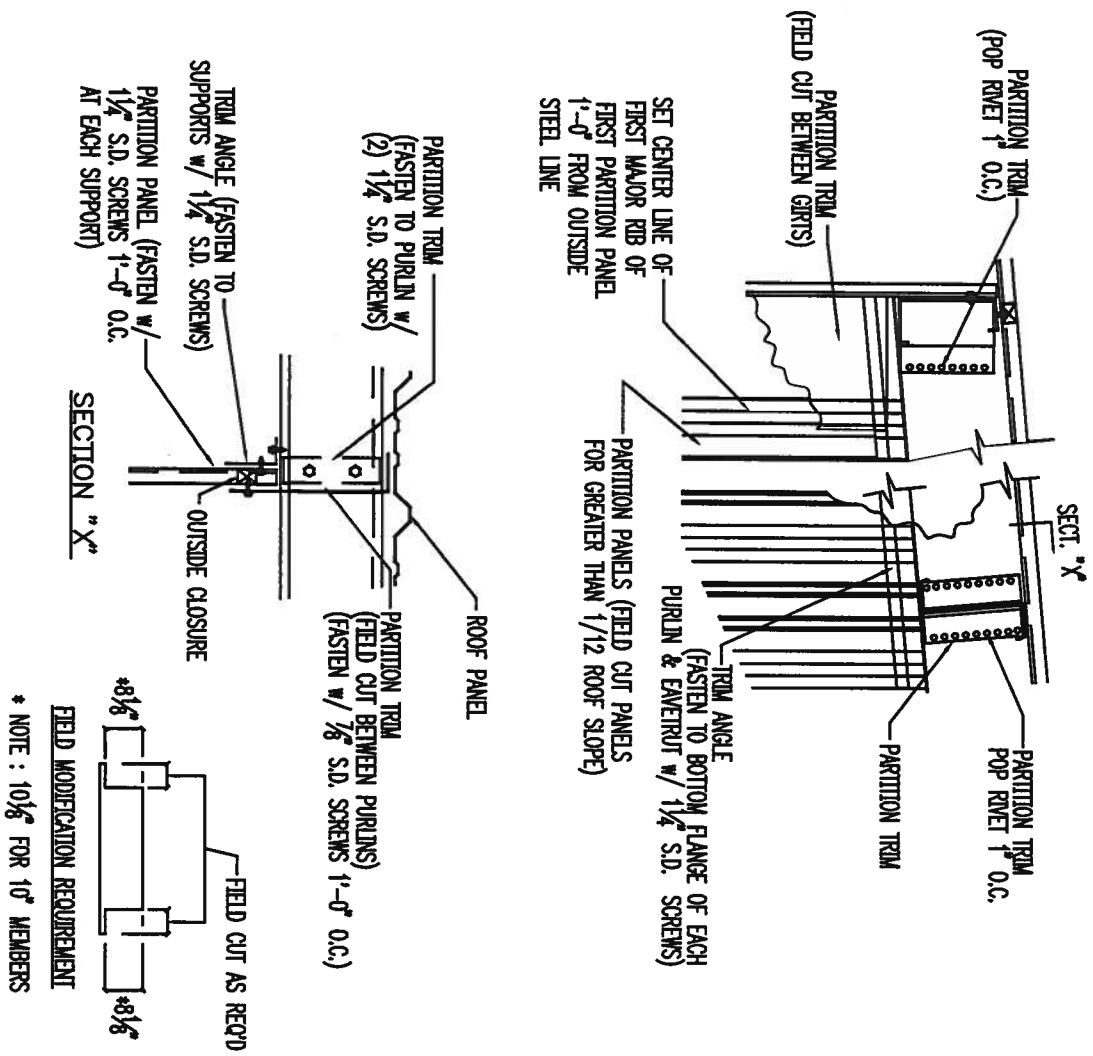
<b>DOLCO STEEL BUILDINGS</b>
JOB NO. CO-1084
SHEET NO. D6 of 7



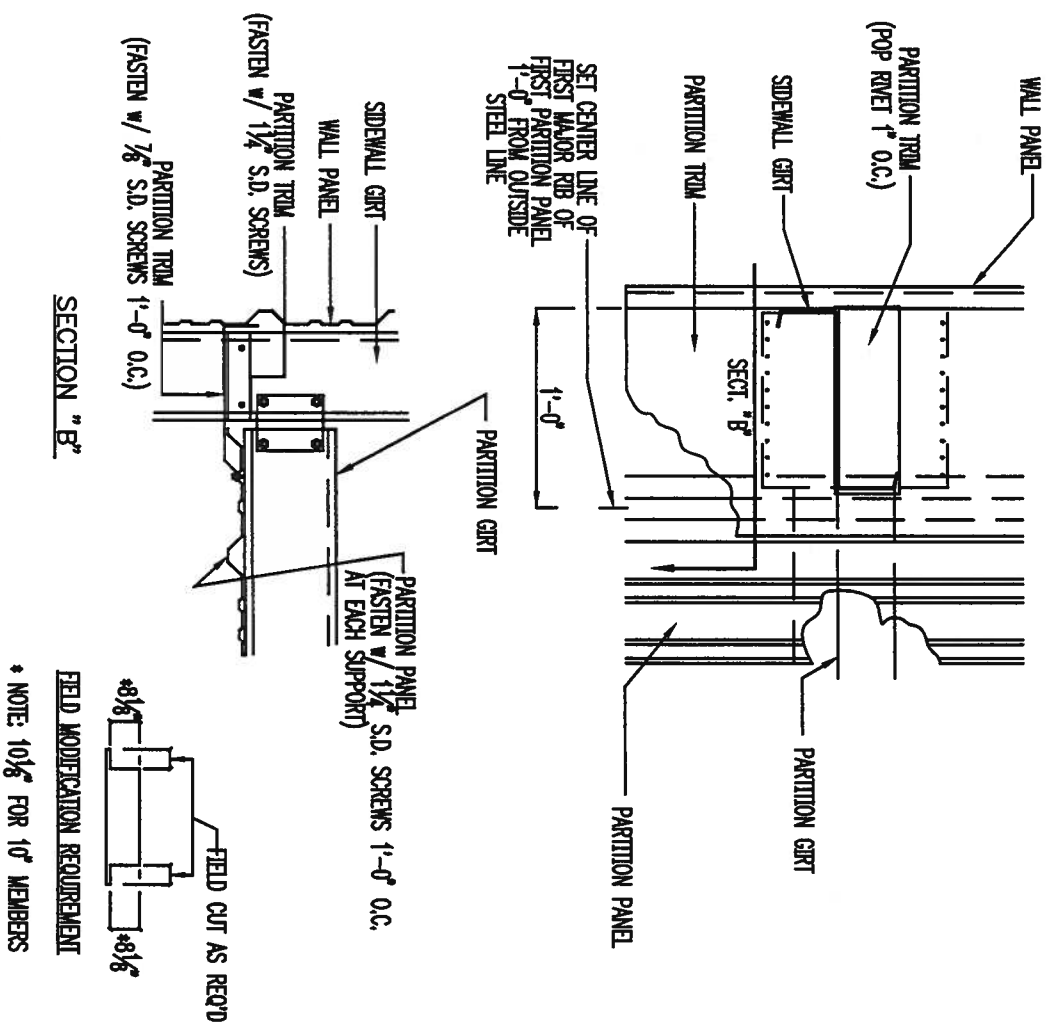
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Partition Section At Roof



Partition Section At Wall

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PH. 979 260 3186  
FAX 979 260 3187  
FL PE LIC #57101

REVISION DESC.	REV. NO.	BY	DATE
1084_DTDwg-7			

PROJECT INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024  
OWNER/SITE INFORMATION :  
North Florida Truck Parts, Inc.  
10434 SW Cr 240  
Lake City, FL 32024



JOB NO. CO-1084  
SHEET NO. D7 of 7

*1057266*

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