

ABBREVIATIONS

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

area tabulation 'b'

GARAGE	451 SF
FRONT PORCH	85 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

Carlisle

37' - 1398 - LH

Florida Region (Frame)

INDEX

ARCHITECTURAL

CS	GENERAL NOTES & LEGENDS
A1	EXTERIOR ELEVATIONS
A2	SLAB PENETRATION PLAN
A3	FLOOR PLANS
A4	SECTIONS & DETAILS
A5	INTERIOR DETAILS
A6	ROOF PLAN
E1	ELECTRICAL PLANS
CD	CONSTRUCTION DETAILS

REVISIONS

NUMBER	DATE	DESCRIPTION
01	2.16.2021	Revised O.Bath door size to 2868
02	3.3.2021	Add elevations A1 & B1
03	6.4.2021	Added stem wall occasions A2/B2
04	06.10.2021	verify & notation of outlets 6'-0" max from wall break at O. Suite (E1.1)
05	07.06.21	Added floor break transition strips to plan
06	07.12.21	Added outlet to Owner's
07	07.21.21	Added elevations A4 & B4
08	08.04.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted
09	09.03.21	Added stemwall option to all elev's, called out gfi outlets within 6' of kitchen sink, revised attic calcs.

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL R-3

CONSTRUCTION CLASS:
UNPROTECTED

CONSTRUCTION TYPE:
TYPE VB

EMERGENCY ESCAPE:
EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition
2017 National Electrical Code, NFPA 70



Reserve at Jewel Lake
Lot 031
452 SW Jewel Lake Drive
Lake City, FL 32024

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PLAN NUMBER:
33711398

RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
COVER SHEET

SHEET NO:

CS

Keynotes | Legend

1.

CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2.

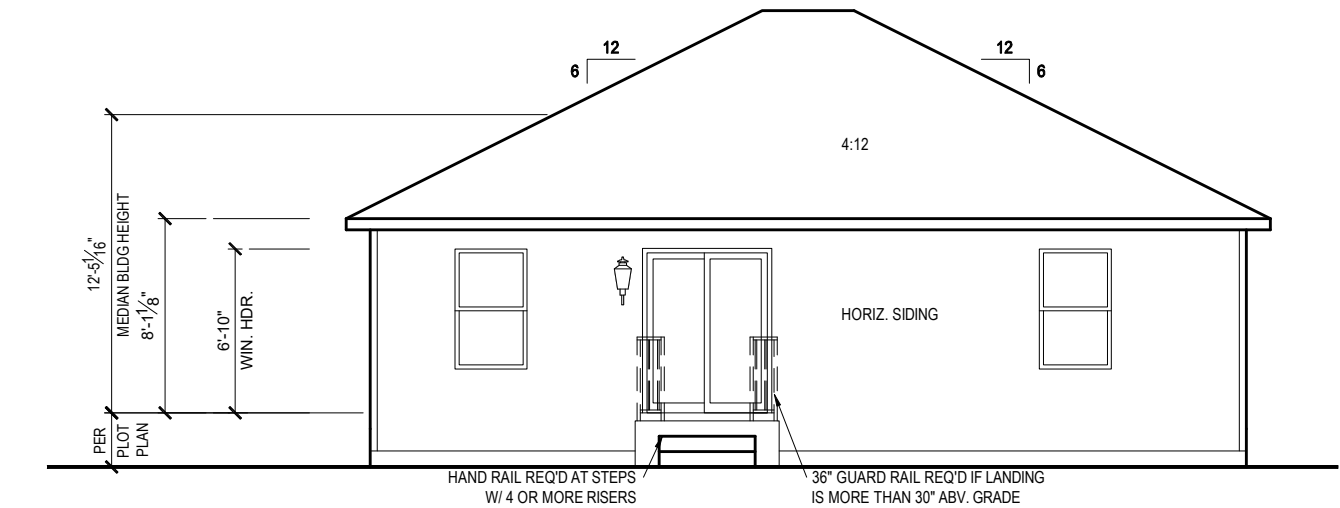
CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3.

BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4.

STONE WAINSCOT WITH SLOPED STONE CAP.
5.

3 1/2" VINYL TRIM SURROUND
6.

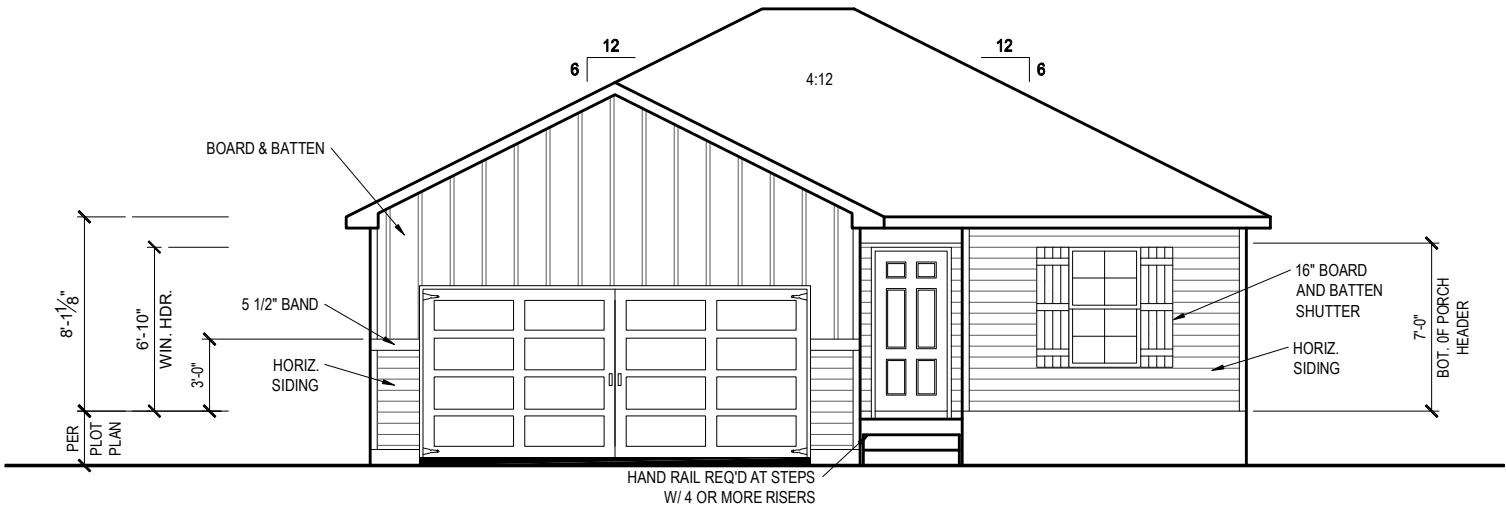
36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



1-14-2022



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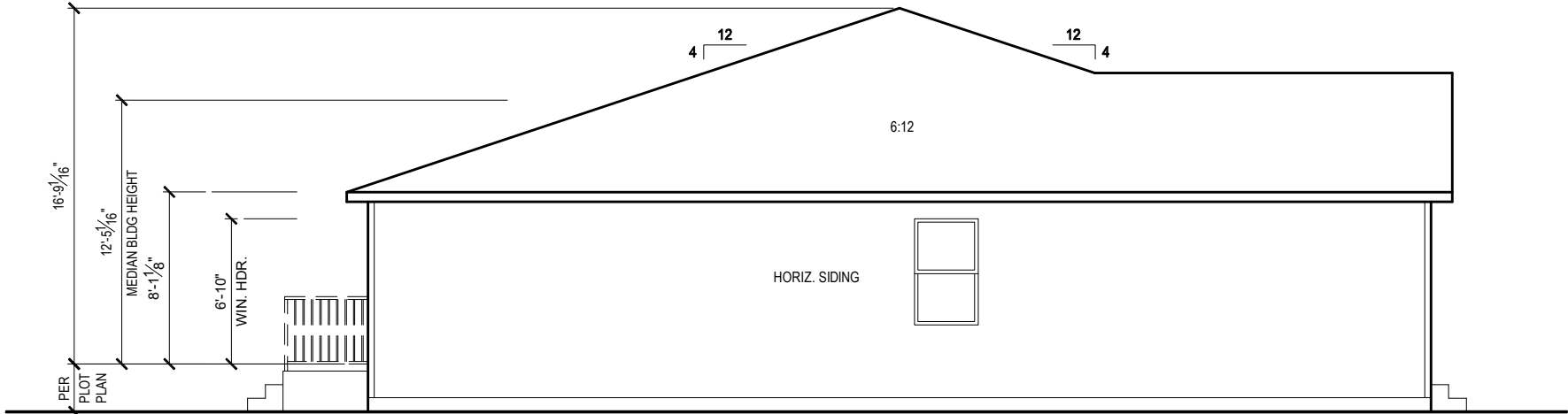
RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
EXTERIOR ELEVATIONS - STEMWALL

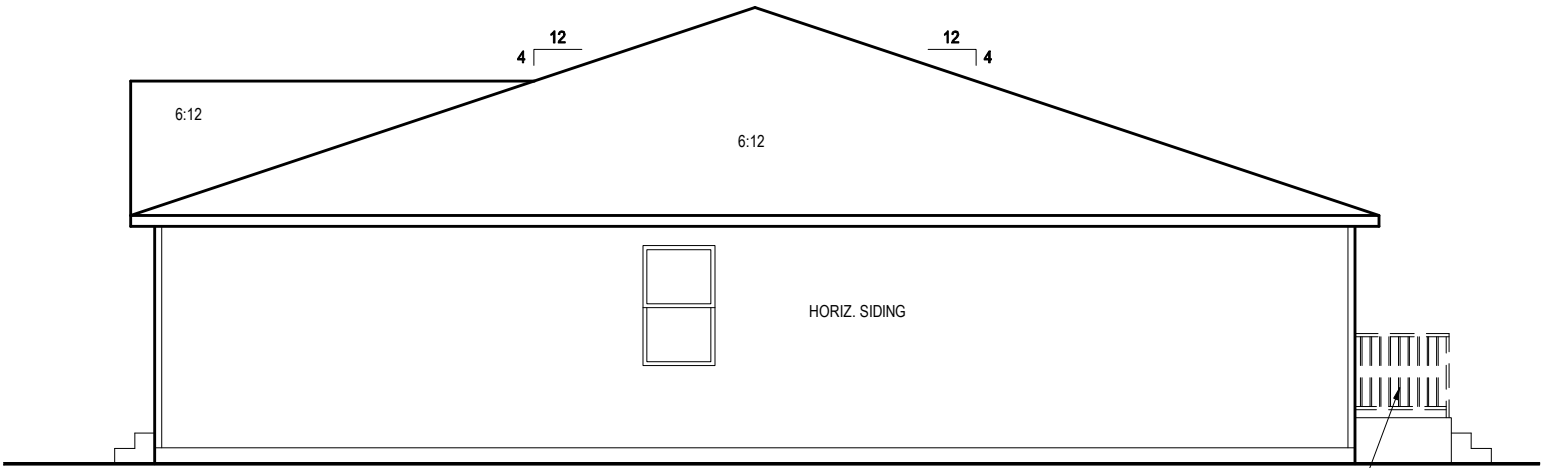
SHEET NO:

1.1-A1s



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



1-14-2022

FDS
ENGINEERING ASSOCIATES
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O: 321.972-2491 F: 407.880-2304
Certificate Of Authorization No. 9161
☐ CARLA BROWN, PE - FL # 58128
☐ LUIS PABLO TORRES, PE - FL # 107184

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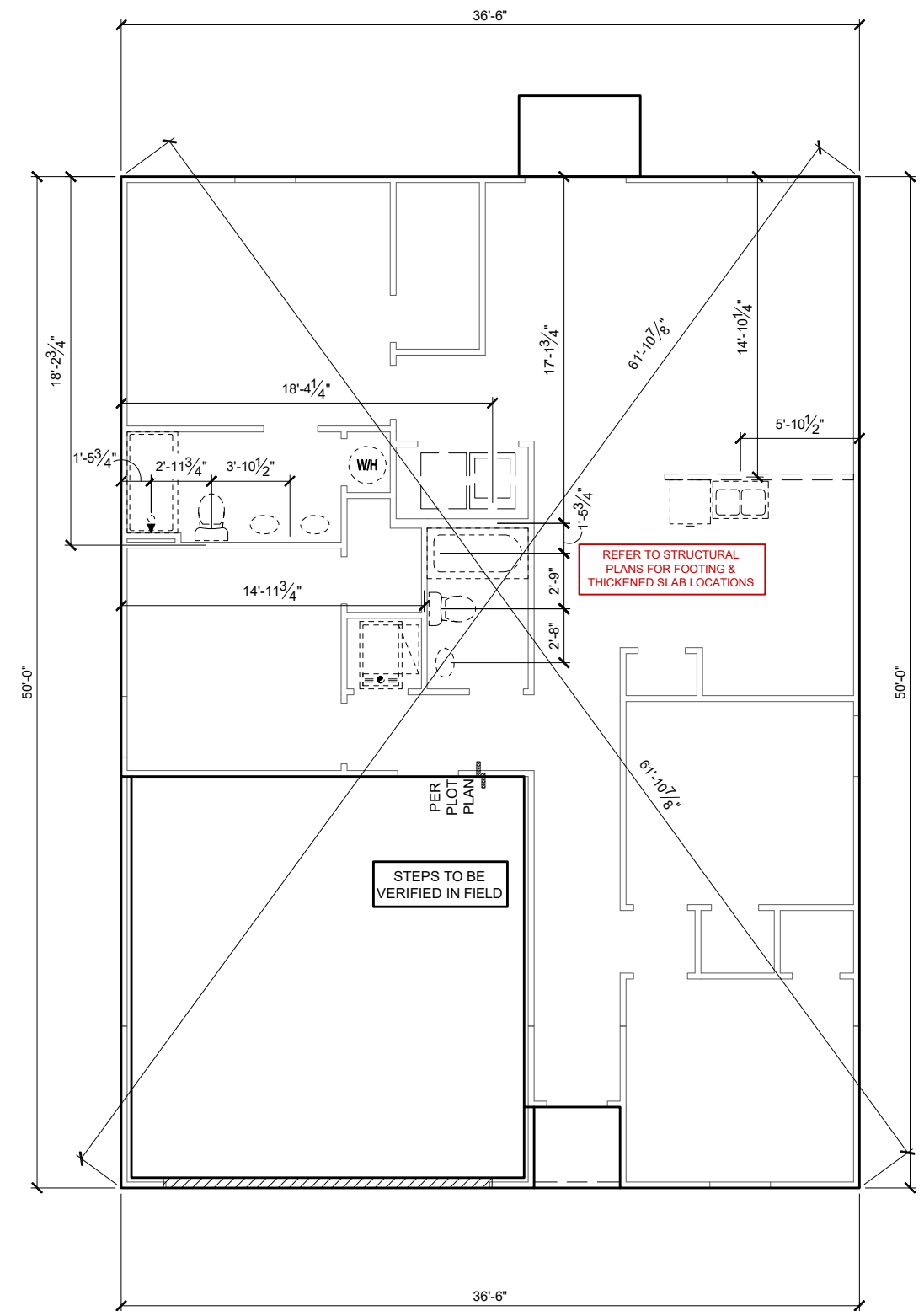
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PLAN NUMBER:	33711398	RELEASE DATE:	01.11.2021
MODEL:	CARLISLE	DRAWING TITLE:	EXTERIOR ELEVATIONS - STEMWALL

SHEET NO:

1.2-A1s

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

1-14-2022



serve at Jewel Lake
031
t SW Jewel Lake Drive
e City, FL 32024

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33711398

337 11398

RELEASE DATE:

01.11.2021

CARLISLE

SLAB PENETRATIONS PLAN

ET NO:

2.1-A

NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS

2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

OPTIONAL WINDOW

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL
(PER STRUCTURALS)

KEYNOTES

A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2 22X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4 PULL DOWN STAIRS 25.5" x 54"

A5 TEMPERED SAFETY GLASS PER IRC R308.4

A6 HOUSE TO GARAGE DOOR SEPARATION, PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7 A/C CONDENSER PAD, REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9 LOUVERED DOOR W/ GAS FURNACE

D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE

K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS

K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING

P1 30" X 60" SHOWER ENCLOSURE PER SPECS

P2 30"x60" TUB PER SPECS

S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

The first floor plan 'A' shows a rectangular building with overall dimensions of 36'-6" by 50'-0". The layout includes a large garage (451 SF) at the rear left, a front porch (17 SF), and a rear patio (24 SF). The main living area (1,398 SF) consists of a great room (8' clg), dining room (8' clg), kitchen, and three bedrooms (br 2, br 3, br 4). There is also an owner's suite, a bathroom (ba 2), a linen closet (linen), a walk-in closet (wic), and a laundry room (lau). The plan includes numerous dimensions for walls, doors, and windows, as well as structural details like knee walls (K1-K6), shower enclosures (P1, P2), and handrails (S1-S3). A central staircase (S1-S3) leads to the second floor. The plan also shows a central hallway (H) and a central closet (C). The plan is drawn to scale at 1/8" = 1'-0" @ 11x17 and 1/4" = 1'-0" @ 22x34.

FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

CENTURY
Complete

1-14-2022

FDS

ENGINEERING ASSOCIATES

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O 321.972-2491 F 407.880-2304
Certificate Of Authorization No. 9161

CARLA A. BROWN, P.E. - FL # 58128

LUIS PABLO TORRES, P.E. - FL # 57184

Reserve at Jewel Lake
Lot 031
452 SW Jewel Lake Drive
Lake City, FL 32024

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MODEL: CARLISLE

DRAWING TITLE: FIRST FLOOR PLAN - STEMWALL

PLAN NUMBER: 33711398

RELEASE DATE: 01.11.2021

SHEET NO:

3.1-As

ATTIC VENT CALCULATION

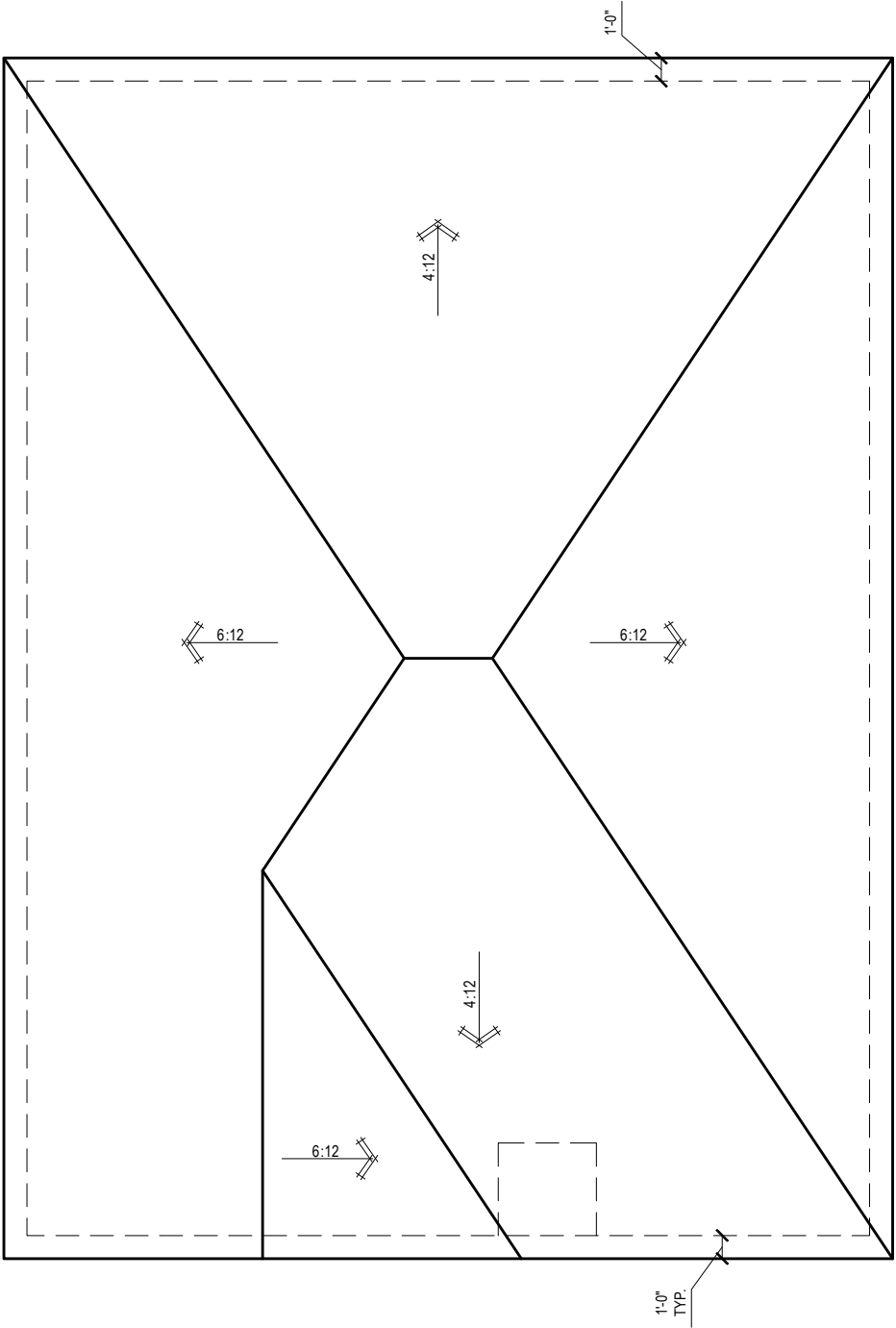
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS				
ROOF AREA	2,002 SF			
TOTAL NET FREE AREA REQ'D (1 TO 300)	961.0 SQ. IN.			
MAIN HOUSE INLET (SOFFIT) VENTILATION	96.0 LF x	6.4 SQ. IN / LINEAR FT =	614.4 SQ. IN.	
POD VENT(S) REQUIRED WITH BASE HOUSE	7	VENTS AT 70.0 SQ. IN EA. =	490.0 SQ. IN.	
LOWER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	614.4 SQ. IN	55.6%		
UPPER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	490.0 SQ. IN	44.4%		

NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'A'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



1-14-2022



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RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
ROOF PLAN

SHEET NO:

6.1-A

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

S

SMOKE DETECTOR

C

SMOKE/CARBON MONOXIDE ALARM

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

GFI OUTLET

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

PW

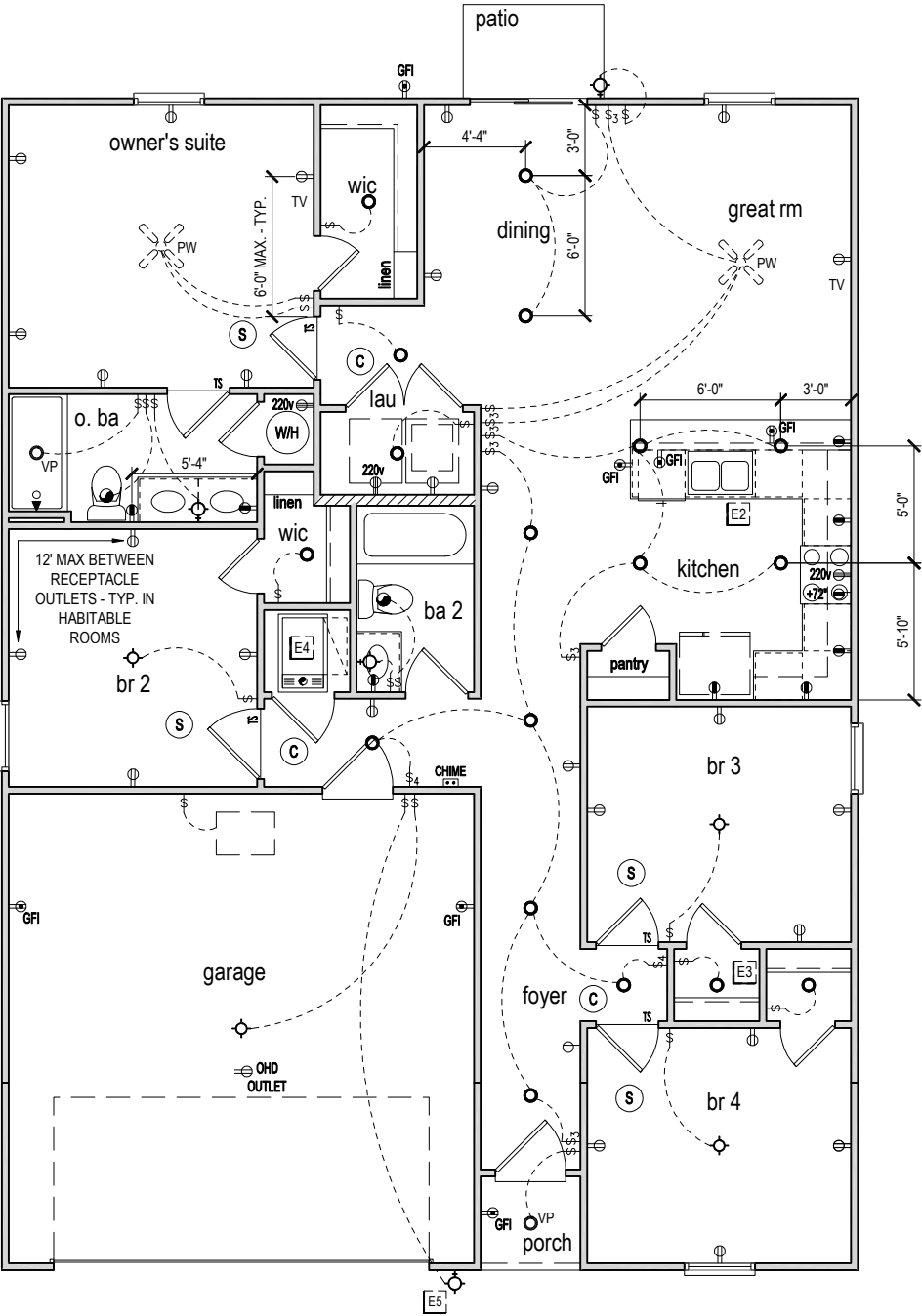
VP=VAPOR PROTECTED

B = BRACE FOR FUTURE FAN
H = HANGING
P = OPT. PENDANT

- PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS
- INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G
- ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT
- IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



1-14-2022

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Lake City, FL 32024

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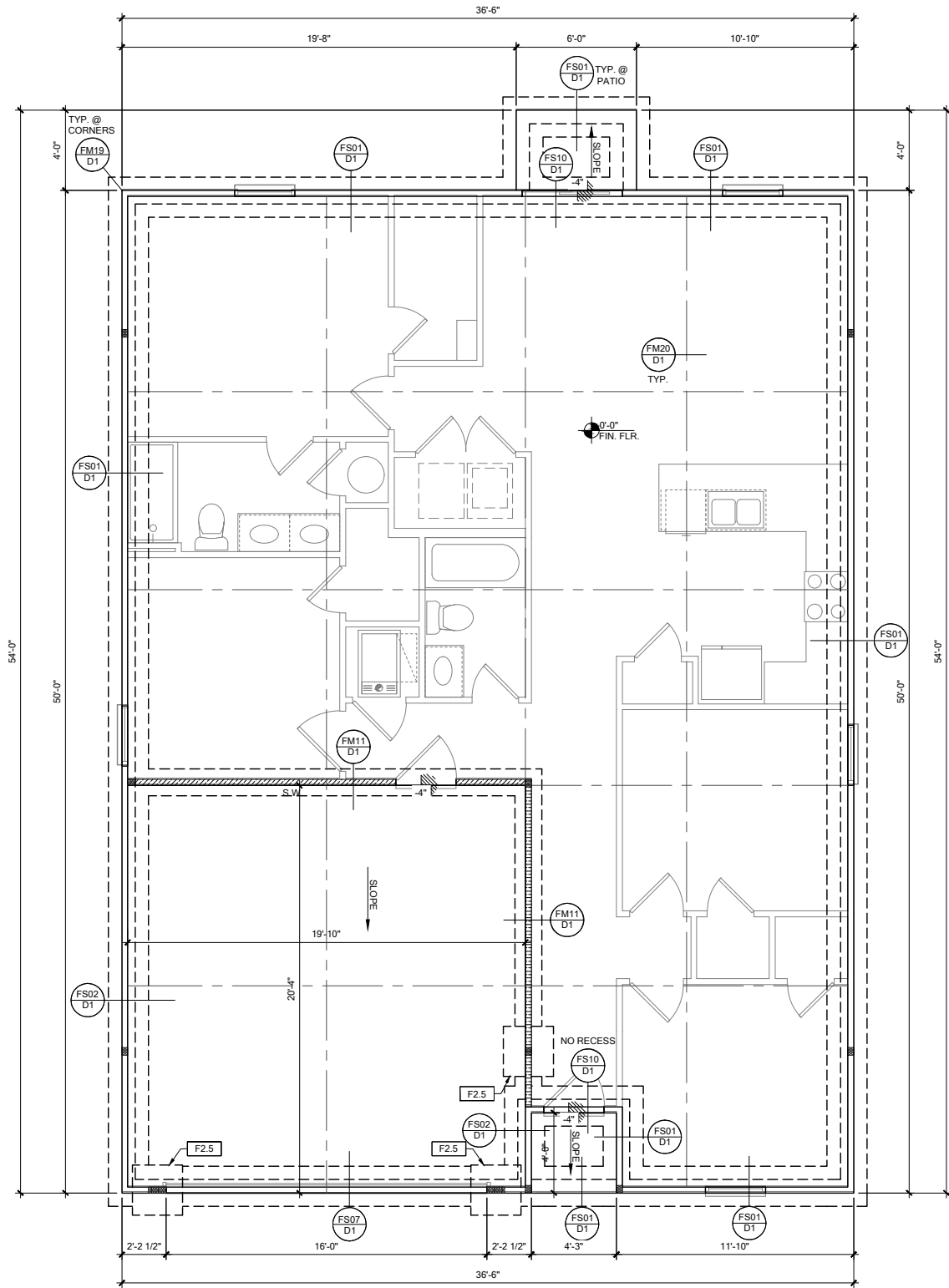
MODEL:
CARLISLE

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1

MODEL:	CAR	DRAWING TITLE:	NOTE
SHEET NO:		S0	



FOUNDATION PLAN A

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

FOUNDATION LEGEND

SYMBOL	DESIGN DESCRIPTION
	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.
	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE 1/2" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12'x12' SQUARE MAXIMUM
	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1
	4" 2500 PSI CONC. SLAB W/ REINF. PER S0 w/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN
	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB

- GENERAL NOTES:
1. TYPICAL CORNER FRAMING PER DETAIL FM19/D1
 2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENTS.

PLAN KEY NOTES

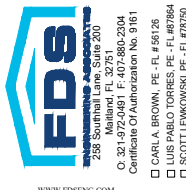
BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

WALL TYPE

SYMBOL	DESIGN DESCRIPTION
	2x. INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	2x WOOD FRAME EXTERIOR WALL



DATE: January 20, 2022
PROJECT: 33711398
DRAWING: FOUNDATION PLAN A & B
SHEET: S1

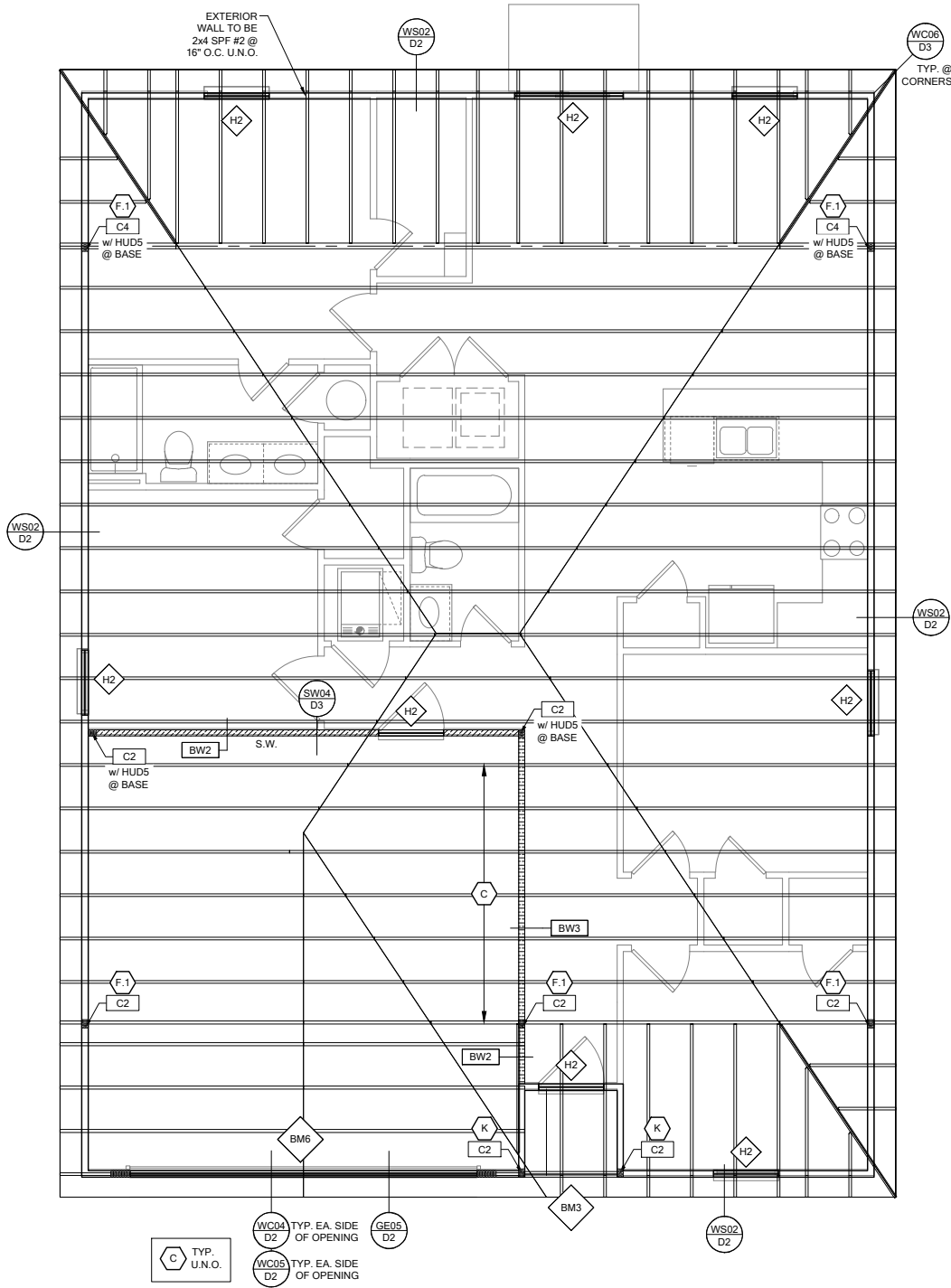


LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FOUNDATION PLAN A & B

SHEET NO: S1



ROOF FRAMING PLAN A

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

RSH

ENGINEERED ROOF PER ASCE 7-16 ROOF DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 25 ft

WIND SPEED (ULTIMATE)

130 MPH

WIND SPEED (ALLOWABLE)

100.7 MPH

EXPOSURE CATEGORY

C

EFFECTIVE WIND AREA (SQ FEET)

10

WIND PRESSURE AND SUCTION (PSF)

(+) VALUE DENOTES PRESSURE
(-) VALUE DENOTES SUCTION

AREA	ROOF	1	2e	2n	2r	3	3e	3r
	HIP	-33.0	-45.50		-45.50	-45.50		
	GABLE	-35.0	-35.0	-55.90	-55.90		-55.90	-65.20

ROOF NAILING SCHEDULE/ NAILING ZONES (SHINGLE AND TILE):

ZONE 1: ASTM F1667 RSRS-01 (8d) NAILS @ 6" O.C. ON EDGE AND 6" O.C IN FIELD
ZONE 2e, 2n, 2r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD
ZONE 3, 3e, 3r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD

ROOF SHEATHING:
SHINGLE: 3/8" EXP. 1 (2 3/4) or 1 1/2" EXP. 1 (2 3/4)
TILE: 1 1/2" EXP. 1 (2 3/4)

NOTE:
1. PER CODE ASTM F1667 RSRS-01 REFERENCE TO 8d (2 3/4" x 0.113") NAILS
2. WHERE THE SHEATHING THICKNESS IS GREATER THAN 1 1/2", SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRS-03 10d (2 1/2" x 0.131") NAILS OR ASTM F1667 RSRS-04 (3" x .120") NAILS
3. GABLES- DROP GABLE END & (1) ADDITIONAL DROPPED TRUSS 2x4 #2 SYP OUTLOOKER RAFTER W/ BLOCKING @ 16" O.C. IF NO DROPPED GABLE END, ATTACH 2x4 #2 SYP BLOCKING @ 16" O.C FIRST 4 BAYS WITH (2) 12d NAILS EA. END. ATTACH ROOF SHEATHING TO RAFTERS W/ BLOCKING PER NAILING SCHEDULE.

HIP ROOF >20 TO 27 DEG. [4:12]-[6:12]

GABLE ROOF > 20 TO 27 DEG. [4:12]-[6:12]

SYMBOL	DESIGN DESCRIPTION
 2x- C# C#* #	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN . SEE ARCHITECTURAL PLANS FOR WALL WIDTH, 2x4 MINIMUM U.O.N. INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB INDICATES NO BOTTOM CONNECTOR REQUIRED INDICATES UPLIFT CONNECTION CONSTRUCTED PER DETAIL UPLIFT CONNECTOR SCHEDULE ON SHEET SN

FRAMING NOTES:

1. SEE WIND SPEED CHART ON **S0** FOR WINDOW PRESSURES
2. AT SECOND FLOOR FOR TYPICAL CORNER FRAMING SEE DETAIL **FB06/D4**

GENERAL NOTES:

1. THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL, RESONSBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION
2. ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION.
3. SEE SHEET **SN** FOR DESIGN SCHEDULES AND NOTES: FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES.

PLAN KEY NOTES

BUILDER NOTE:
IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE TRUSS MANUFACTURERS LAYOUT

-----STOP-----
AND CALL THE ENGINEER OF RECORD PRIOR TO PLACEMENT OF ANY TRUSSES.

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
 2x- INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN 2x	2x- INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS. INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN 2x WOOD FRAME EXTERIOR WALL

DATE: January 20, 2022
BRIDGE CONTRACT NO. 12-2022-001

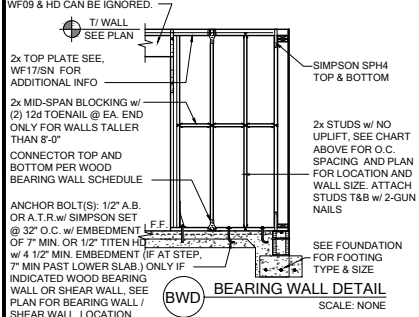
LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

MODEL: CARLISLE
DRAWING TITLE: ROOF FRAMING PLAN A & B
PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

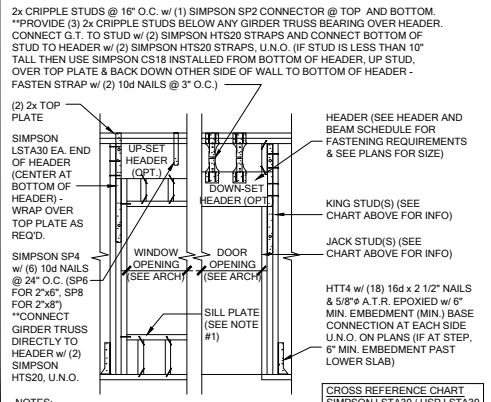
SHEET NO: S2

7. AND ADDITIONAL INFORMATION REQ'D FOR DOWNDRAIN
8. INSTALLATION ALONG W/ DIMENSIONS NOT SHOWN ON FOUNDATION CONSULT W/ MANUFACTURER SPECIFICATIONS REGARDING POURING OR RECESSING DOWR SILLS OR SLIDING GLASS DOOR SILLS.
9. NO WOOD STAKES PERMITTED IN FOUNDATION.
10. PENDING SITE CONDITIONS, FOUNDATION MAY HAVE TO BE STEPPED DOWN. SEE **FMB101** FOR ADDITIONAL INFORMATION. G.C. TO DETERMINE STEP LOCATIONS, IF REQUIRED.
11. STEEL BENDS AND LAP SPICE SEE **FMB101** AND **FMB101**
12. ALL EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED A MIN OF 18" CONTRAST TO PRELUCE SUCH PLATFORM W/ EITHER MASONRY OR WOOD CONSTRUCTION
13. ASSUMED ALLOWABLE SOIL BEARING PRESSURE AFTER COMPACTION: 2000 PSF (SEE SOIL REPORT AND SPECIFICATIONS FOR COMPACTION REQUIREMENTS). IF SOIL CONDITIONS ON THE PROJECT DO NOT MEET OR EXCEED THE CAPACITY, THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO FOUNDATION POUR FOR VERIFICATION OF FOUNDATION DESIGN. SOIL TO BE FREE OF ORGANIC MATERIAL AND COHESIVE SOILS TO BE COMPACTED IN 12" LIFTS TO AT LEAST 85% OF MAX. DRY DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR).
14. 6" MINIMUM DEPTH OF SUBGRADE FOR FOOTINGS TO BE PLACED NOT LESS THAN 12 INCHES (305mm) BELOW THE FINISHED GRADE OF GROUND SURFACE.

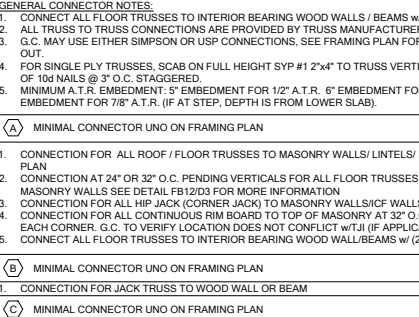
(2) 2x HEADER (U.N.O.) SEE FLOOR PLAN FOR MIN. SIZE. SEE HD/SDN FOR CONNECTION INFO. IF HEADER IS WITHIN A WALL w/ NO UPLIFT AS INDICATED IN THE WOOD BEARING WALL SCHEDULE, THE CONNECTORS INDICATED IN



1'-0" - 3'-11"	(1)	(2)	(1)	(2)
4'-0" - 8'-11"	(2)	(3)	(2)	(2)
10'-0" - 16'-0"	(3)	(4)	(3)	(4)



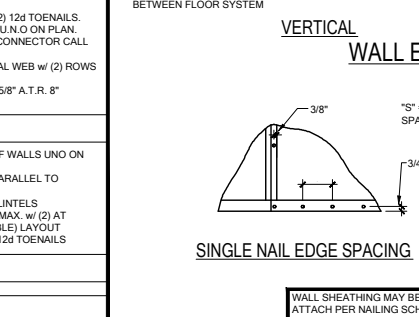
(X)	FRAME TO FRAME	HDT1-WT10 1/4"x10" SDS WOOD SCREWS HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" A.T.R.	3285	4565
(Y)	FRAME TO FRAME	(2) HTT5 w/ (52) 16d"x2 1/2" NAILS & (2) 5/8" A.T.R. (SEE NOTE #4)	8750	10180



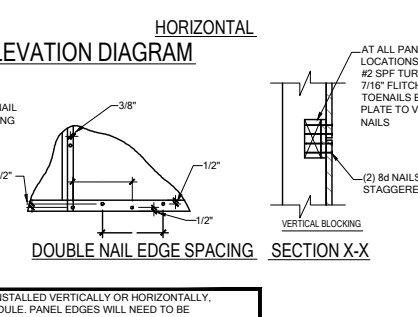
FULL HEIGHT SHEET

FLOOR SYSTEM

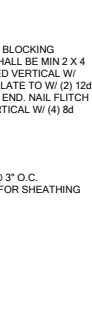
2x RIBBON OR BLOCKING



2x4 P.T. BASE PLATE B
PLAN



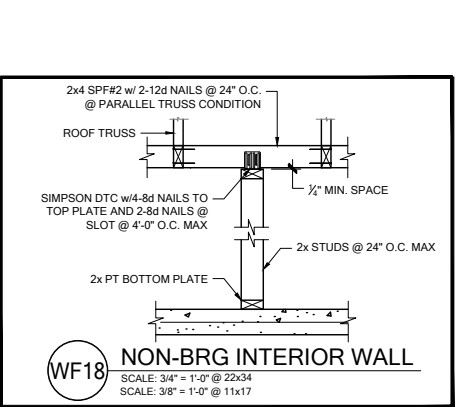
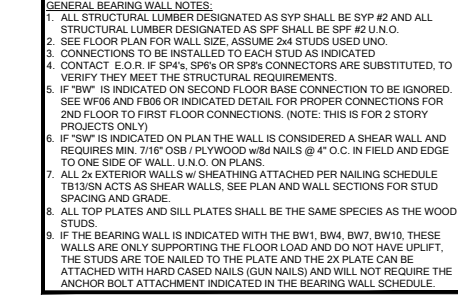
SECOND SEE



DATE: January 2, 1998
UNRECORDED CONTACT THE EGR. FOR

GENERAL COLUMN NOTES:

1. ALL STRUCTURAL LUMBER TO BE SYP#2 OR SPF#2 UNO ON PLAN.
2. MINIMUM BOLT EMBEDMENT FOR 5/8" ATR. 5" EMBEDMENT FOR 1/2" ATR. 6" EMBEDMENT FOR 5/8" ATR. 5" EMBEDMENT FOR 7/8" ATR.
3. P-L COL. TO BRG DIRECTLY ON FOUNDATION. CUT BASE PLATE AS SHOWN.
4. IF COL. IS CALLED OUT ON 2ND FLOOR, THE BASE CONNECTION IS NOT REQ'D. SEE PLANS FOR BASE CONNECTION.
5. VALUES HAVE BEEN REDUCED FOR NARROW FACE APPLICATION. CONNECTIONS SHALL BE INSTALLED ON NARROW OR WIDE FACE PER SIMPSON TO-SCLCM

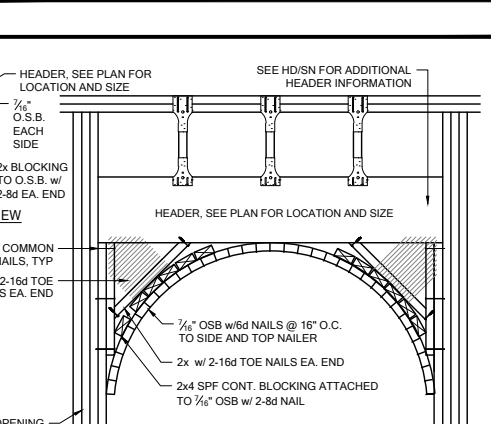


HD TYPICAL FRAMING CONNECTIONS AT OPENINGS
SCALE: NONE

BEAM SCHEDULE

GENERAL BEAM NOTES:

1. VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EACH END)
2. SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS
3. BEAMS ARE NOT TO BE DRILLED OR NOTCHED IN ANY WAY WITHOUT WRITTEN APPROVAL FROM THE E.O.R.

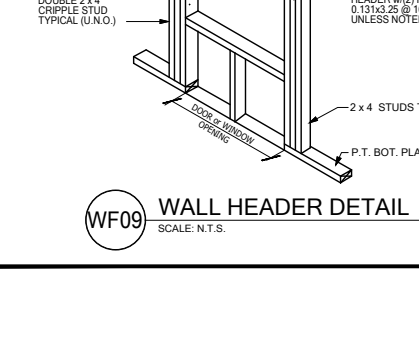


SIMPSON SP4 or
 RSP4 w/ (6) 10d x 1
 1/2" at 24" O.C.

0.131x3.25 NAILS
 @ 6" O.C. TYP.

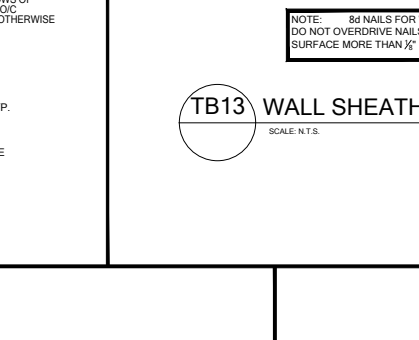
DOUBLE 2 x 4
 HEADER w/ 1/2"
 PLATE HEAD

FILLING AND BLOCKING
 REQUIRED FASTENERS

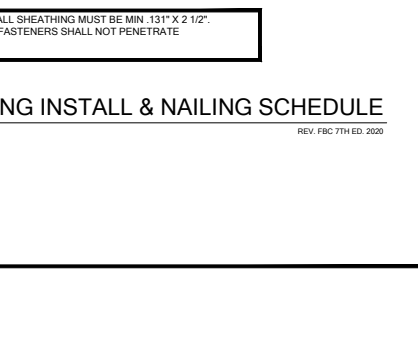


S.Y.P.
 FLUTCH
 t. (U.N.O.)
 CKING AS
 ENED TO
 WS OF

(E) STAGGER ALL VERTIC
 w/ 8d COMMON NAIL.
 (F) PLYWOOD SPLICES @
 COMMON NAILS @ 4"
 (G) (2) 8d NAILS @ 3" O.C.
 GABLE END.

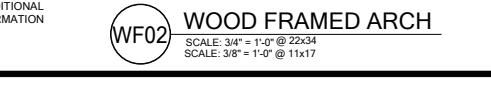
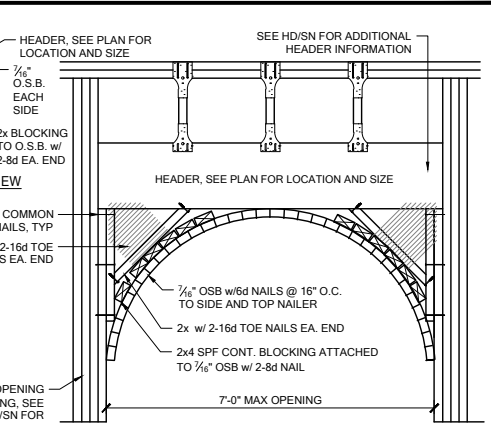
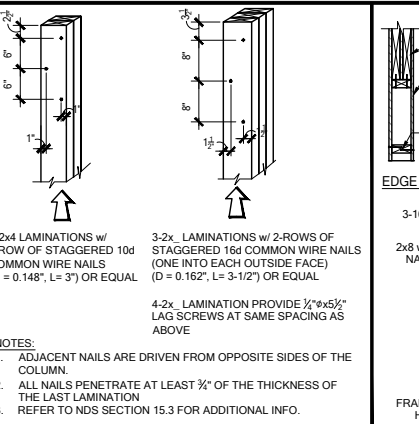


HEADER - NAIL SHEATHING TO HEADER w/ 8d
C. (2) ROWS @ TOP & BOTT.
EACH TRUSS END OR @ VERTICAL MEMBER IF

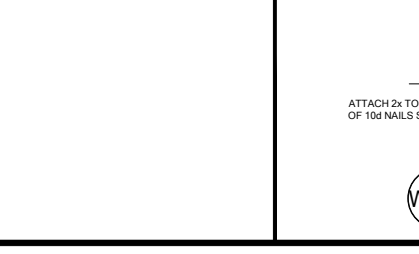
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PLAN NUMBER:	33711398
RELEASE DATE:	08.03.2020

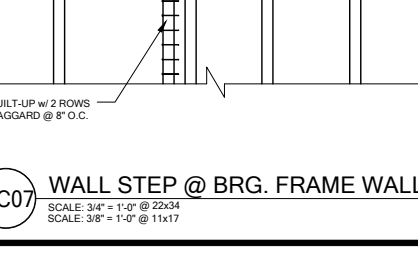
WF17 **TOP PLATE SPLICE**
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



(2) 2x TOP

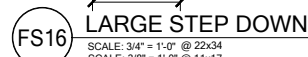
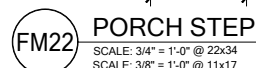
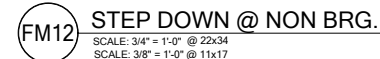
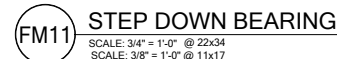
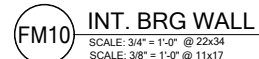
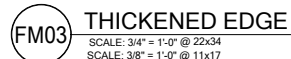
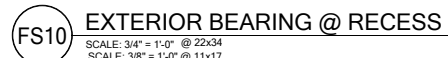
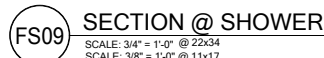
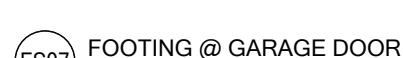
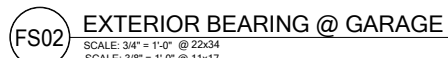
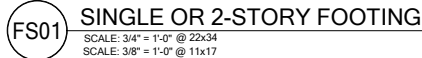


DOUBLE 2x BLOCKING
w/ (4) 12d NAILS @ EAC



END

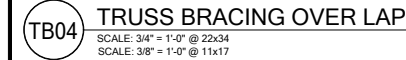
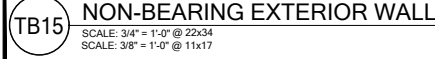
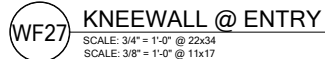
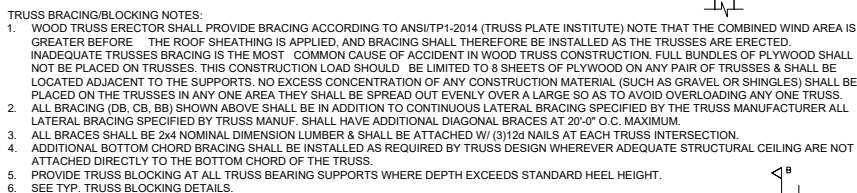
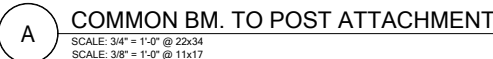
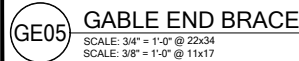
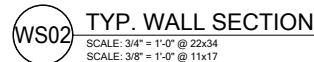
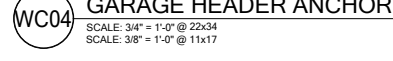
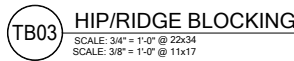
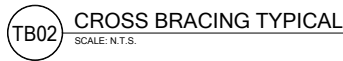
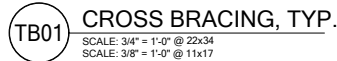
MODEL: CARLI	DRAWING TITLE: NOTES &
SHEET NO: SN	

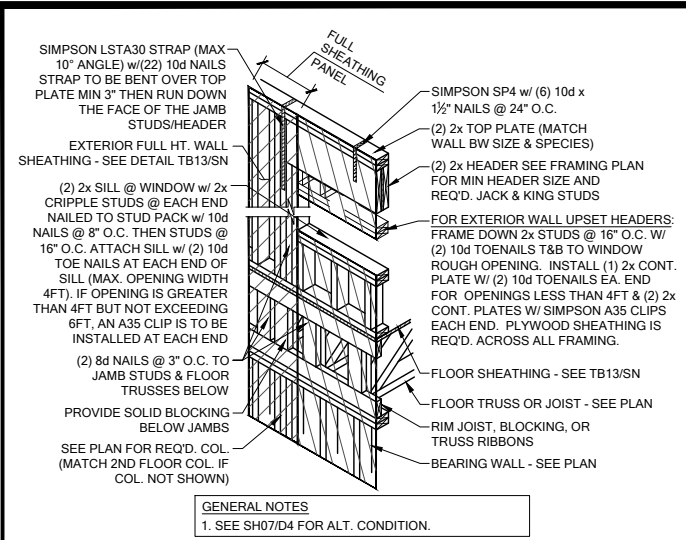


- STEM WALL NOTES:**
1. VERTICAL REINFORCING IN SOLID GROUTED CELLS (3,000 PSI CONCRETE) AT ALL CORNERS, JAMBS, WALL INTERSECTIONS, BELOW GIRDER TRUSS LOCATIONS, AND AT THE MAXIMUM SPACING STATED IN SCHEDULE.
 2. A. 6x6 - W1.4 X W1.4 W.W.M. IS REQUIRED TO MAKE ADEQUATE CONNECTION BETWEEN SLAB AND WALL WHEN STEM WALL EXCEEDS 4'-0" TALL.
B. FIBERMESH CONCRETE CAN NOT BE USED.
C. #4 TURN BARS ARE REQUIRED AT EACH FILLED CELL LOCATION.
D. EACH BAR TO TIE INTO VERTICAL STEM WALL REINFORCING BAR AND EXTEND OUT A MINIMUM OF 4'-0" INTO SLAB.
 3. IF STEM WALL IS REQUIRED TO BE HIGHER THAN 12 FEET (18 COURSES), CONTACT ENGINEER OF RECORD PRIOR TO CONSTRUCTION FOR MORE INFORMATION.
 4. GENERAL CONTRACTOR TO PROVIDE ADEQUATE BRACING OF STEM WALL WHEN UNEVEN BACK FILLING IS TAKING PLACE.
 5. A. WHEN STEM WALL IS LESS THAN 4'-0" TALL, PROVIDE (1) - #5 HORIZONTAL CORNER BARS WITH 4'-0" X 4'-0" LEGS IN KNOCKOUT BLOCK SPACED @ 16" O.C. VERTICALLY. (TYPICAL AT ALL CORNERS).
B. WHEN STEM WALL IS 4'-0" TALL AND GREATER, PROVIDE CORNER BAR MENTIONED ABOVE AND (1) - #5 CONTINUOUS HORIZONTAL BAR IN KNOCKOUT BLOCK SPACED @ 16" O.C. VERTICALLY. GROUT ENTIRE WALL SOLID.
C. ALL STEM WALLS GREATER THAN (4) COURSES, SHALL BE GROUTED SOLID WITH 3,000 PSI CONCRETE.
 6. IF STEM WALL IS WITHIN 5'-0" OF POOL OR WATER FEATURE, FOUNDATIONS TO BE A MINIMUM 12" BELOW BOTTOM OF POOL OR WATER FEATURE.
 7. R403.1.4 MINIMUM DEPTH: ALL EXTERIOR FOOTINGS (BOTTOM) SHALL BE PLACED NOT LESS THAN 12" BELOW THE FINISHED GRADE OF GROUND SURFACE. WHERE APPLICABLE, THE DEPTH OF FOOTINGS SHALL ALSO CONFORM TO SECTION R403.1.4.1.
 8. EXTERIOR SHORING BY CONTRACTOR AS REQUIRED WHEN STEM IS OVER 4'-0" TALL.
 9. CONTROL JOINTS TO BE LOCATED AT 20' O.C. MAX AND @ ALL CHANGES IN WALL WIDTHS.

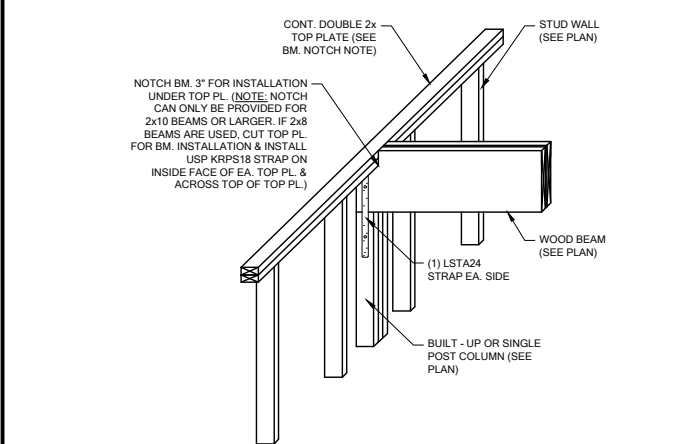
STEM WALL SCHEDULE								
STEM WALL HEIGHT (h)	COURSES OF BLOCKS	BLOCK SIZE	FOOTING DIMENSION (d) & (w)				NUMBER/SIZE OF BOTTOM BARS IN CONT. FOOTING	MAXIMUM VERTICAL FILL CELL SPACING IN STEM WALL CENTERED (U.N.C.)
			(d) 1 STRY.	(d) 2 STRY	(w) 1 STRY.	(w) 2 STRY.		
0'-0" - 2'-0"	1 - 3	8"	8"	10"	16"	20"	(2) - #5 BARS	#5 @ 80" O.C.
2'-8" - 3'-4"	4 - 5	8"	10"	10"	20"	24"	(3) - #5 BARS	#5 @ 64" O.C.
4'-0"	6	8"	12"	12"	32"	32"	(4) - #5 BARS	#5 @ 48" O.C.
4'-8" - 5'-4"	7 - 8	8"	16"	16"	40"	40"	(4) - #5 BARS CONT. & #5 AT 24" O.C. TRANSV.	#5 @ 32" O.C.
6'-0" - 6'-8"	9 - 10	8"	16"	16"	48"	48"	(4) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	#5 @ 32" O.C.
7'-4" - 8'-0"	11 - 12	8"	16"	16"	48"	48"	(5) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	#5 @ 16" O.C.
8'-8" - 10'-0"	13 - 15	12"	16"	16"	54"	54"	(5) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	#5 @ 8" O.C.
10'-8" - 12'-0"	16 - 18	12"	16"	16"	54"	54"	(6) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	(2) - #5 @ 16" O.C. SPACED 4" APART IN CL



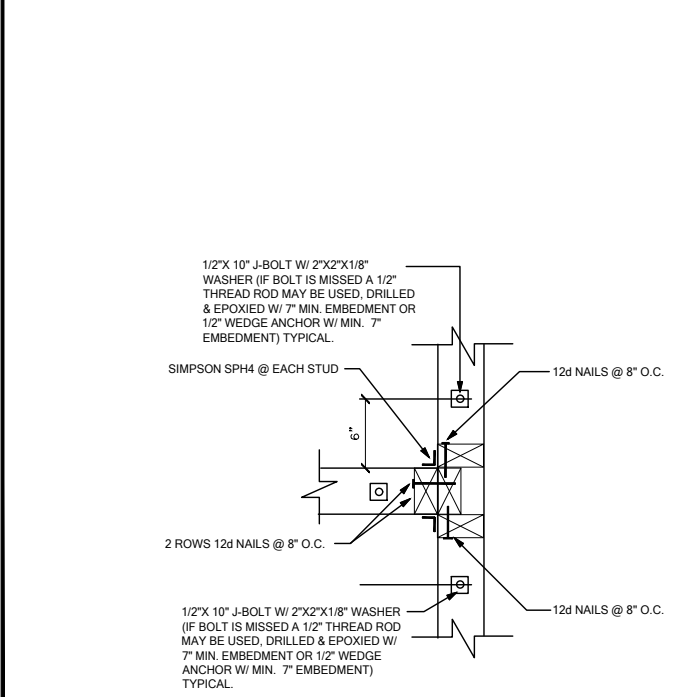




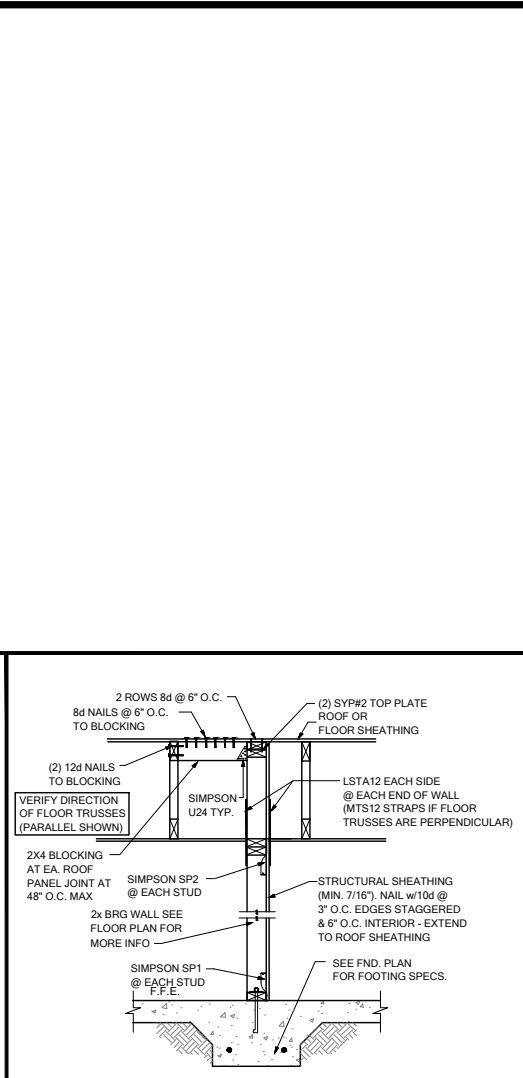
SH00 HEADER CONN. @ 2ND FLOOR (NO BASE STRAP)
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



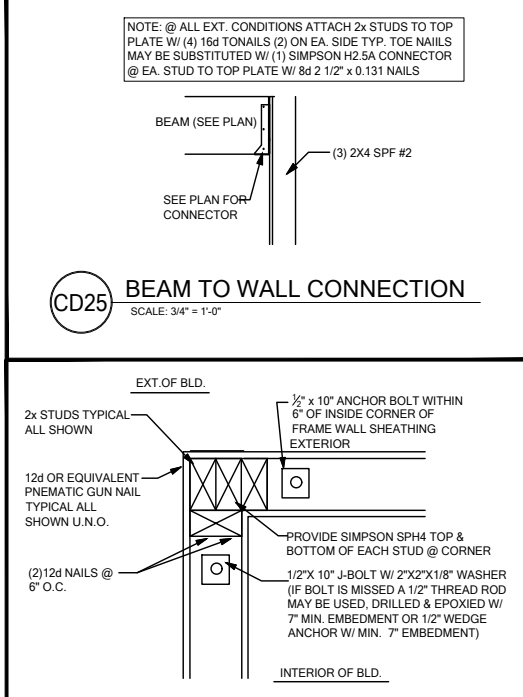
WF103 TYP. WOOD BEAM TO WOOD WALL CONN.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



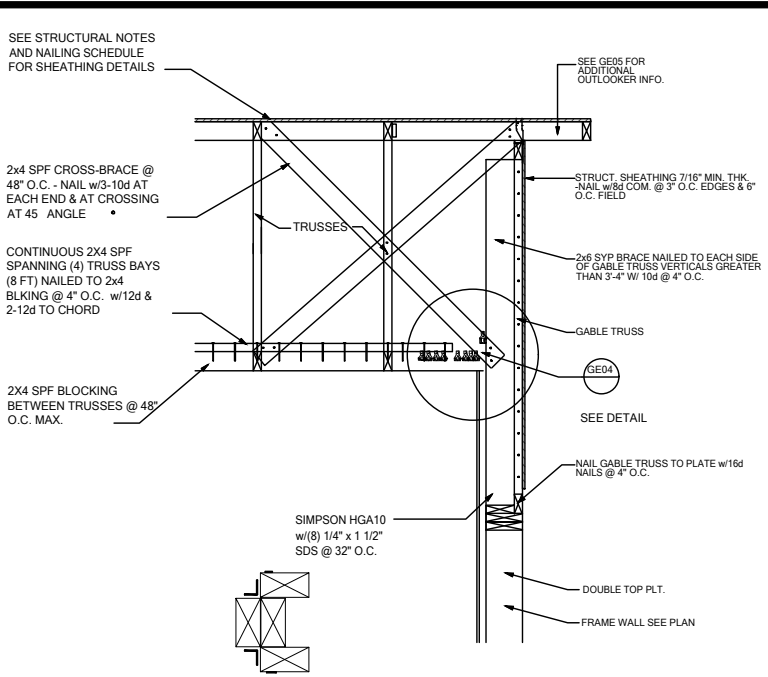
WC03 WALL TO WALL @ END OF SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



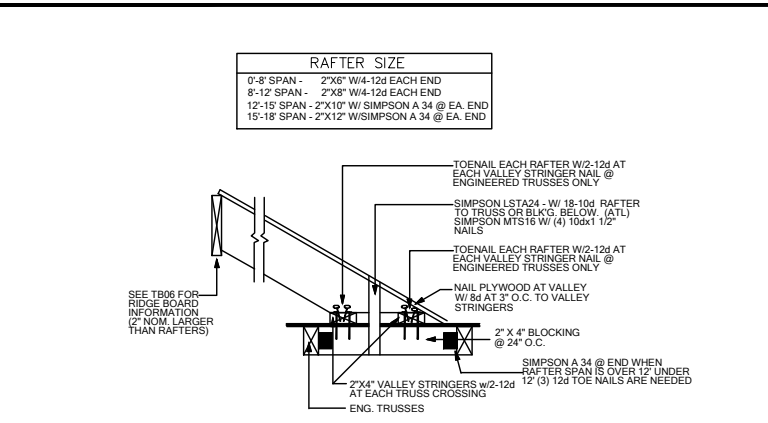
SW04 INTERIOR SHEAR WALL @ TRUSSES
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



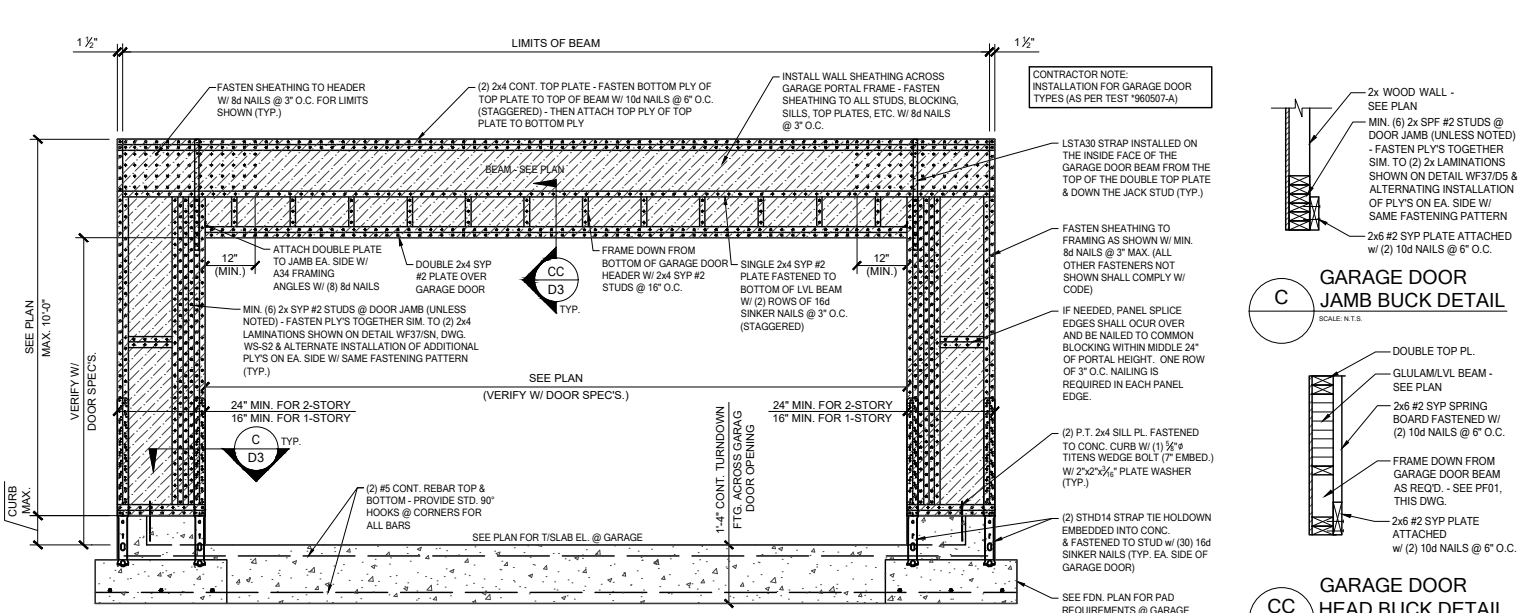
WC06 EXTERIOR FRAME CORNER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



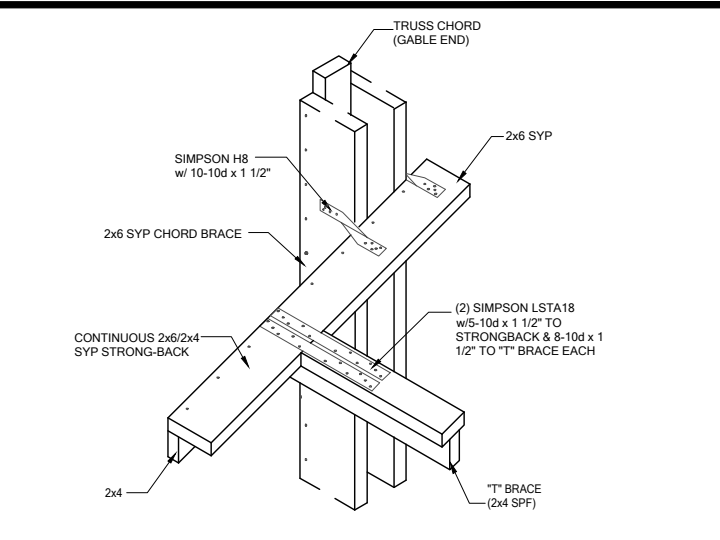
GE03 GABLE END BRACIN w/ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



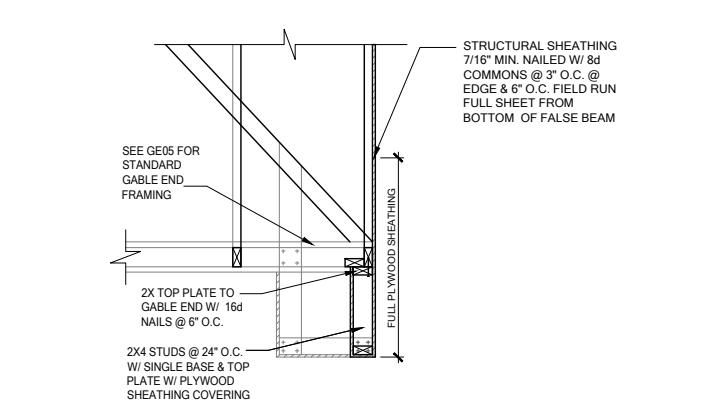
TB17 CONV. FRAMING & VALLEY FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



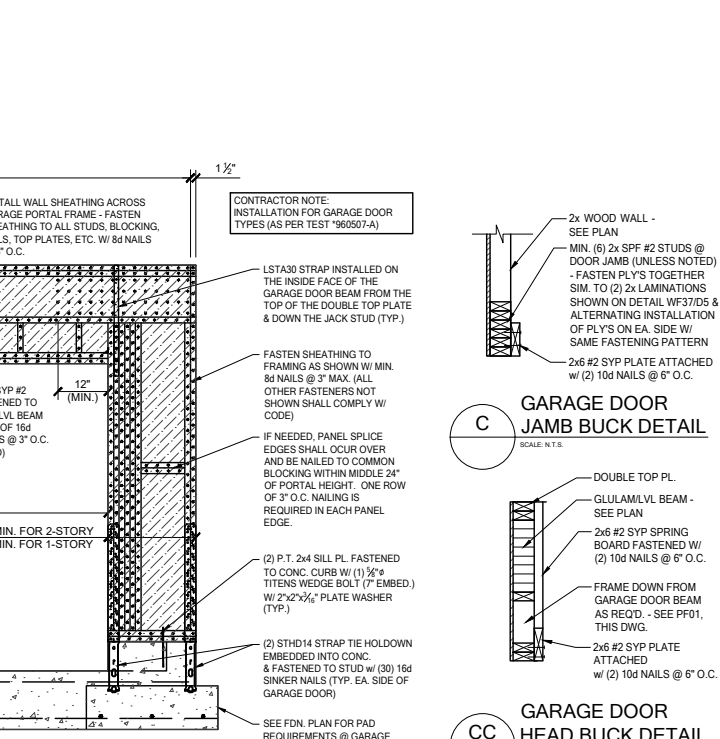
PF01 GARAGE DOOR PORTAL FRAME
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



GE04 "T" BRACE CONNECTION @ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



GE15 FALSE BEAM @ GABLE END
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



CC GARAGE DOOR HEAD BUCK DETAIL
SCALE: N.T.S.

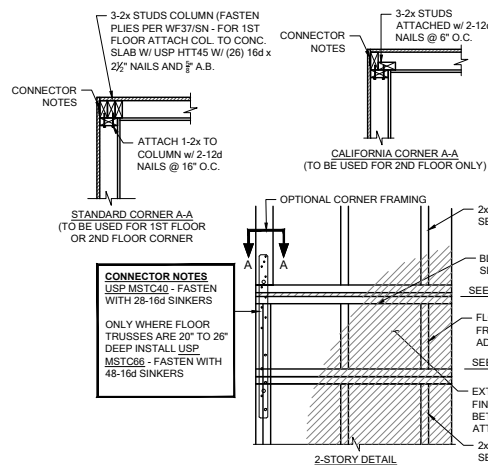
DATE: January 20, 2022
PROJECT: 2022-001
DRAWING NO.: 2022-001-001

238 Southwind Avenue, Suite 200
Maitland, FL 32751
O: 321-972-0491 F: 407-480-2344
Certificate of Authorization No. 9161
CARL A. BROWN, PE - FL #56126
LUIS PABLO TORRES, PE - FL #67864
SCOTT LEWOWSKI, PE - FL #78750

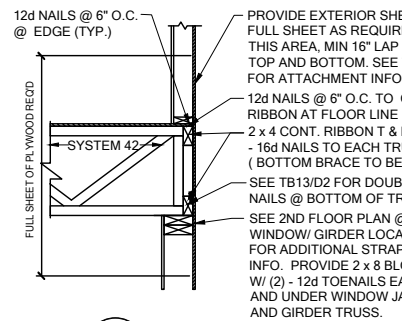
LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

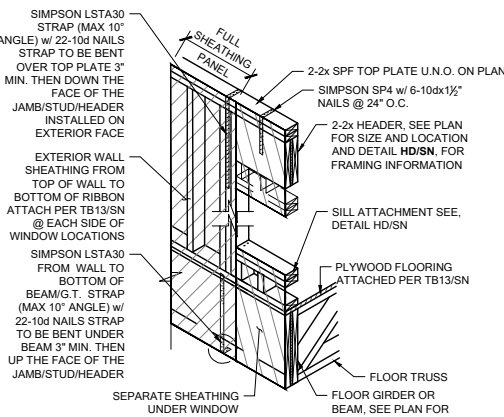
MODEL: CARLISLE
DRAWING TITLE: FLOOR FRAMING DETAILS
SHEET NO.: D3



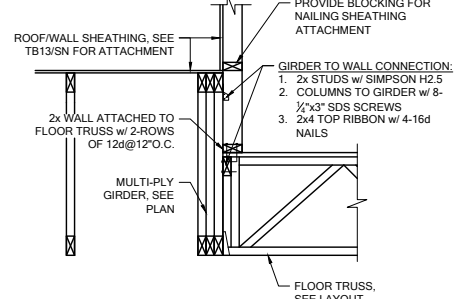
FB06 TYP. CORNER FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



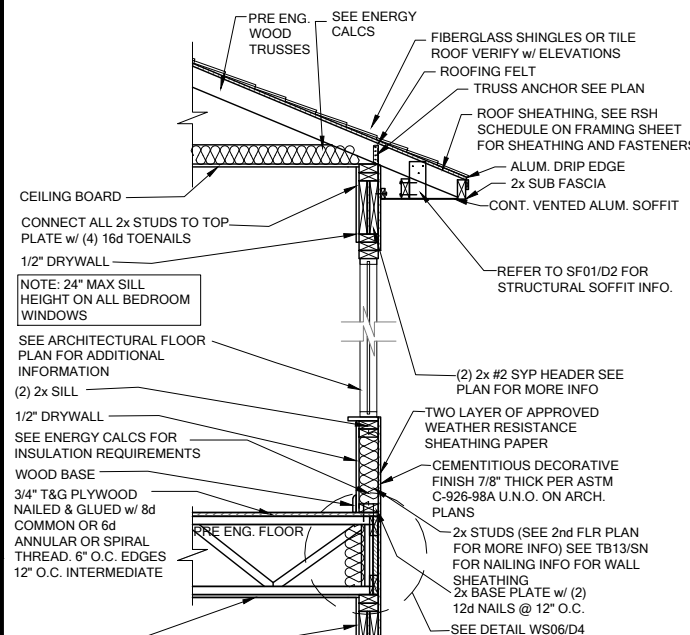
WS06 FLOOR ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



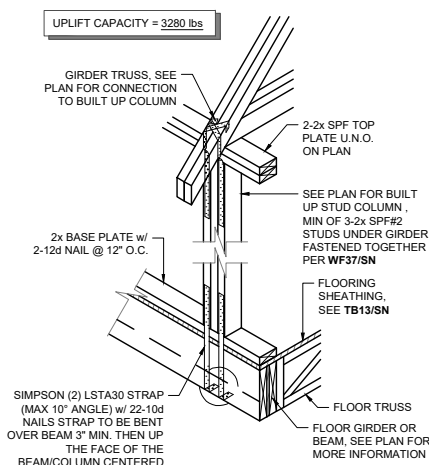
SH05 HEADER CONN. @ BEAM
SCALE: N.T.S.



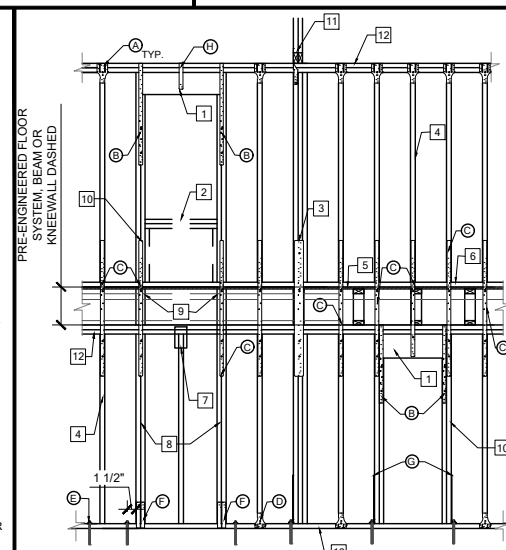
WF100 BRG. WALL OVER FLOOR SYSTEM
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



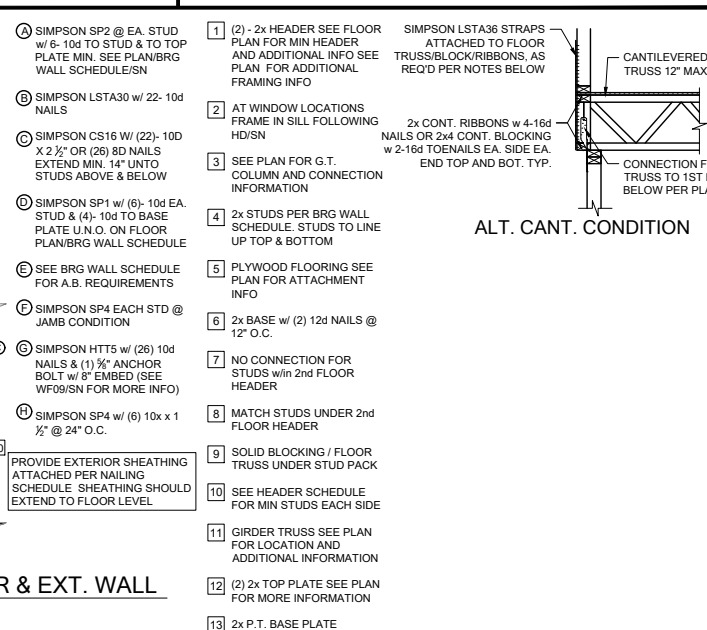
WS04 2 STORY FRAME WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
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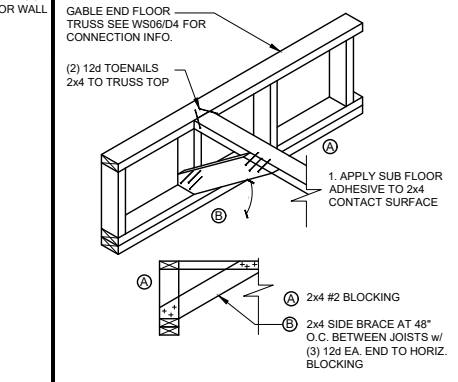
SG01 COLUMN CONN. @ BEAM
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



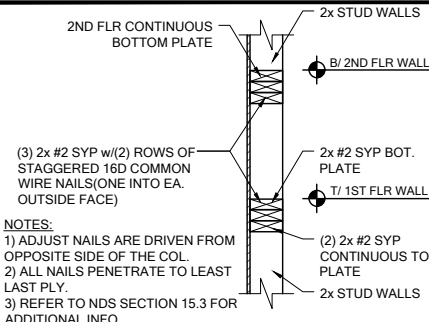
WF06 2-STORY INT. BEAR & EXT. WALL
SCALE: 3/4" = 1'-0" @ 22x34
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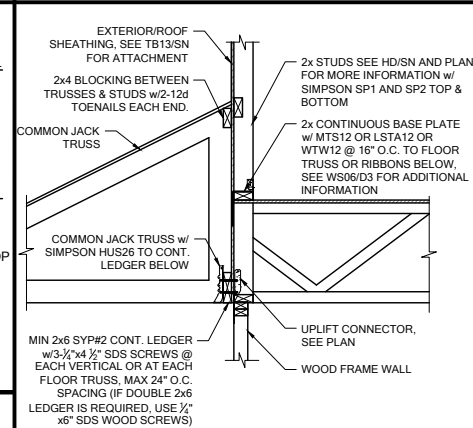
FC03 CANTILEVER FLOOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



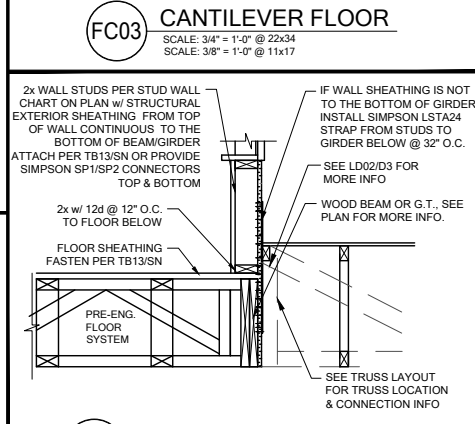
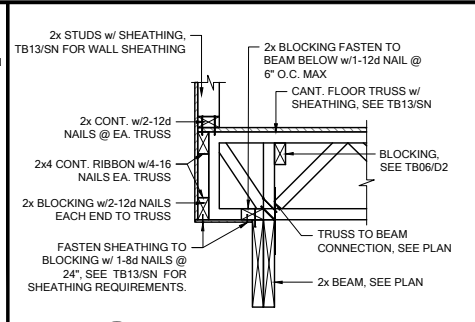
FB12 BLOCKING w/BOTTOM CHORD
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



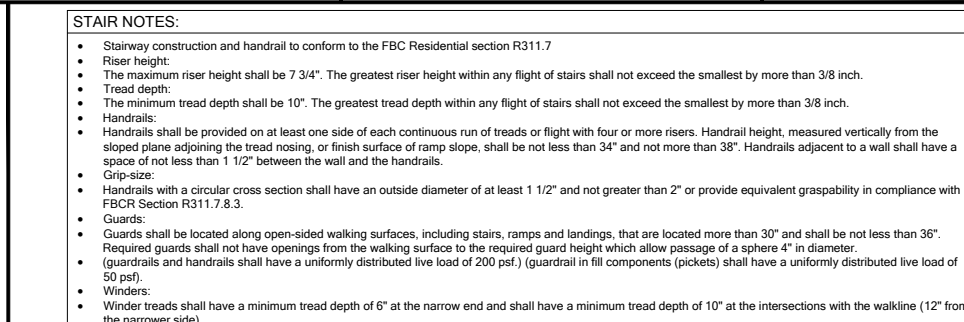
WF03 WALL SPLICE DETAILS
SCALE: 3/4" = 1'-0" @ 22x34
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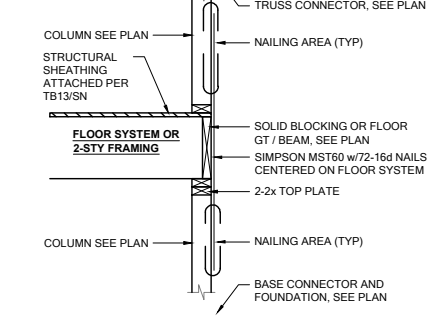
LD07 LEDGER CONNECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



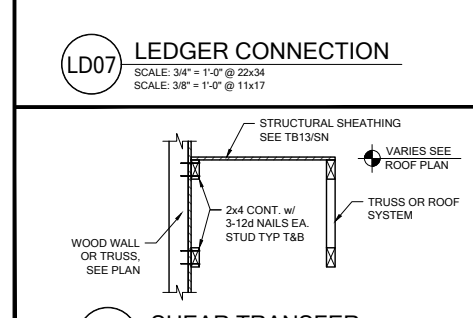
WF31 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



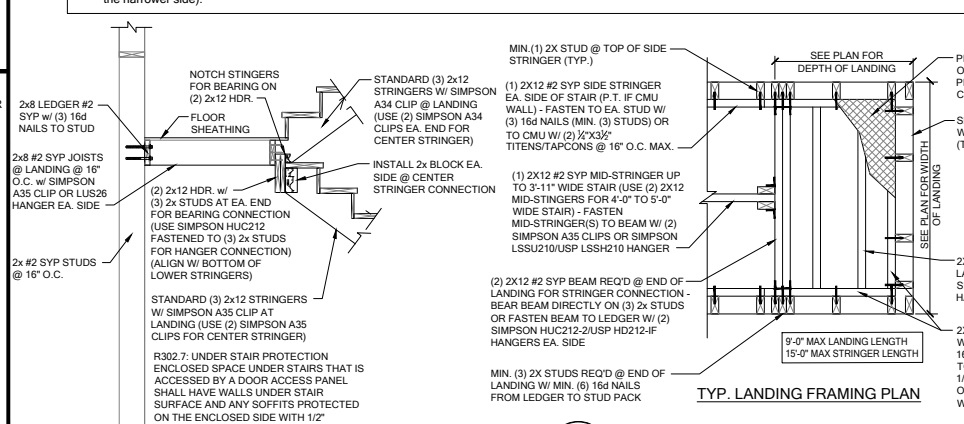
SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



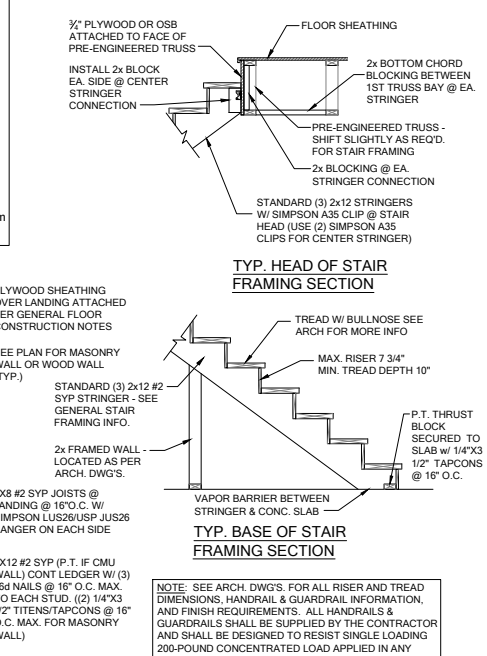
SG07 2-STORY COLUMN @ GIRDER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



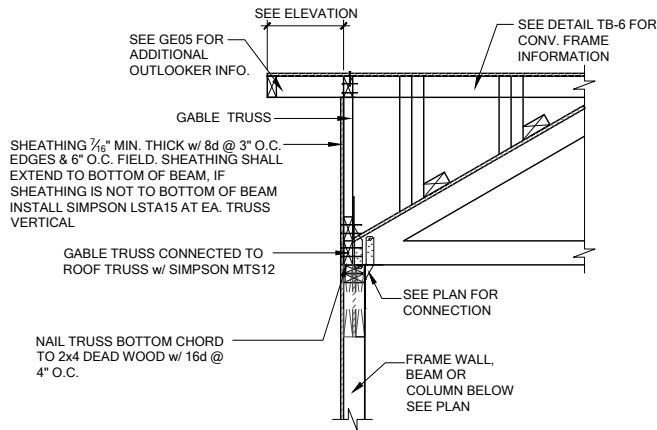
LD02 SHEAR TRANSFER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



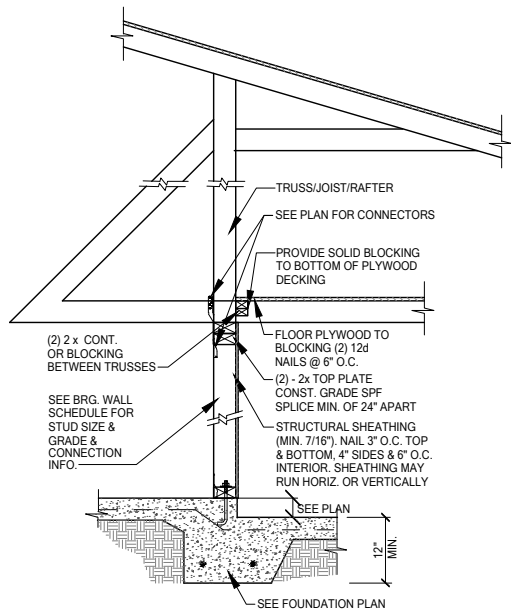
SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



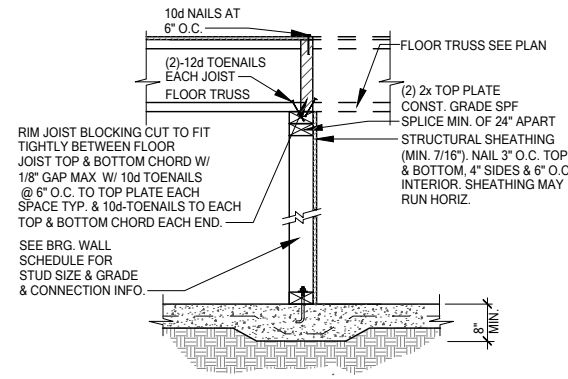
SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

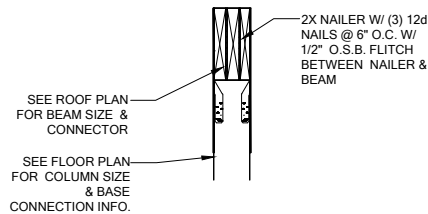


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

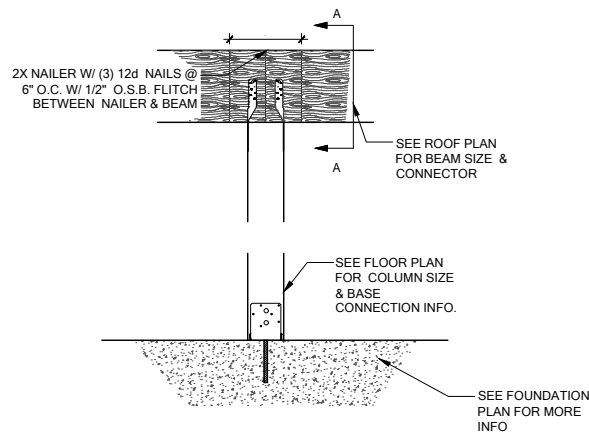


UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SECTION A-A
SCALE: 3/4" = 1'-0"



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17



DATE: January 20, 2022
DRAWING CONTRACT NO. 22-0017



LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FLOOR FRAMING DETAILS

SHEET NO: D5