ABBREVIATIONS

, (DD)	
A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
вот	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
НВ	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

area tabulation 'b'

GARAGE	451	SF
FRONT PORCH	85	SF
REAR PATIO	24	SF
FLOOR 1 LIVING	1,398	SF
TOTAL LIVING	1,398	SF

Carlisle

INDEX

SIM

VLT

ARCHITECTURAL

SIMILAR

TYPICAL

UNLESS NOTED OTHERWISE

- GENERAL NOTES & LEGENDS
- **EXTERIOR ELEVATIONS**
- SLAB PENETRATION PLAN
- FLOOR PLANS
- SECTIONS & DETAILS
- INTERIOR DETAILS
- **ROOF PLAN**
- ELECTRICAL PLANS
- CONSTRUCTION DETAILS

area tabulation 'a'

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF

5.7 SQUARE FEET

FOLLOW ALL APPLICABLE STATE AND LOCAL CODES. FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70





Reserve at Jewel Lake 452 SW Jewel Lake Drive Lake City, FL 32024

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RELEASE DATE: 01.11.2021 PLAN NUMBER: 33711398

DRAWING TITLE:
COVER SHEET MODEL: CARLISLE

SHEET NO:

37' - 1398 - LH Florida Region (Frame)

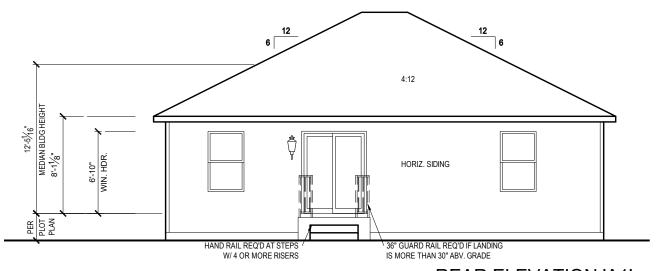
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\Box		/	•)		I V L	7

NUMBER	DATE	DESCRIPTION
01	2.16.2021	Revised 0.Bath door size to 2868
02	3.3.2021	Add elevations A1 & B1
03	6.4.2021	Added stem wall occasions A2/B2
04	06.10.2021	verify & notation of outlets 6'-0" max from wall break at O. Suite (E1.1)
05	07.06.21	Added floor break transition strips to plan
06	07.12.21	Added outlet to Owner's
07	07.21.21	Added elevations A4 & B4
08	08.04.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted
09	09.03.21	Added stemwall option to all elev's, called out gfi outlets within 6' of kitchen sink, revised attic calcs.

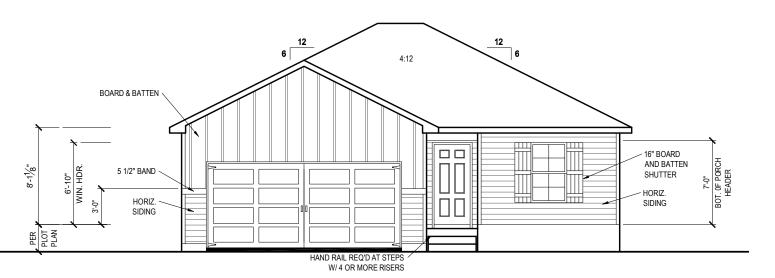
Keynotes | Legend

- CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS. CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP. STONE WAINSCOT WITH SLOPED STONE CAP.

- 3 1/2" VINYL TRIM SURROUND 36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'A1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







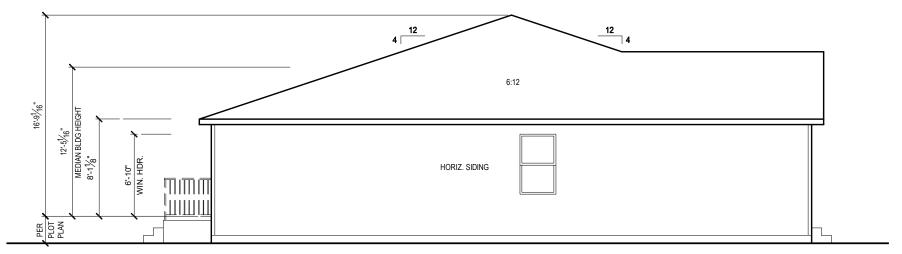
Reserve at Jewel Lake Lot 031 452 SW Jewel Lake Drive

Lake City, FL 32024

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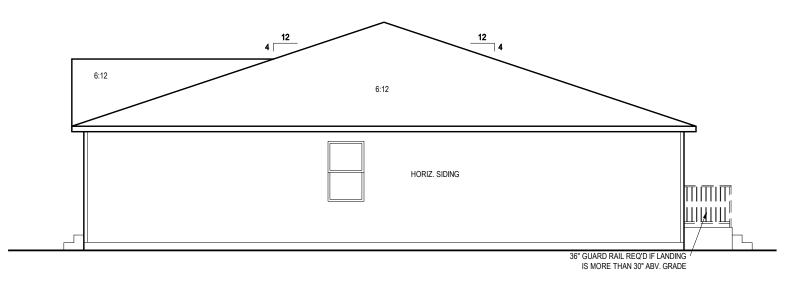
MODEL:	PLAN NUMBER:	permi
CARLISLE	33711398	ssion a Century (
DRAWING TITLE:	RELEASE DATE:	ınd c Commu
EXTERIOR ELEVATIONS - STEMWALL	01.11.2021	onsent Inities.
		of

1.1-A1s



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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RELEASE DATE: 01.11.2021 PLAN NUMBER: 33711398

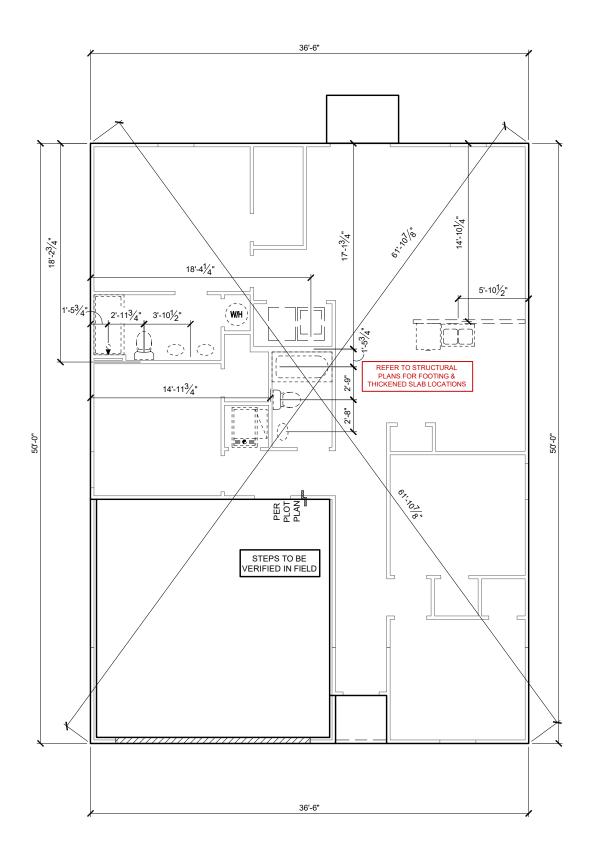
DRAWING TITLE: EXTERIOR ELEVATIONS - STEMWALL

MODEL: CARLISLE SHEET NO:

1.2-A1s

GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



SLAB PENETRATION PLAN 'A1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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Lake City, FL 32024

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MODEL:	PLAN NUMBER:	third permi
CARLISLE	33711398	party ission Century
		and
DRAWING TITLE:	RELEASE DATE:	witho d c ommu
SLAB PENETRATIONS PLAN	01.11.2021	onsent
		rit

SHEET NO:

2.1-A

NOTES & LEGENDS

- 1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
- 2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
- 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
- 4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL (PER STRUCTURALS)

KEYNOTES

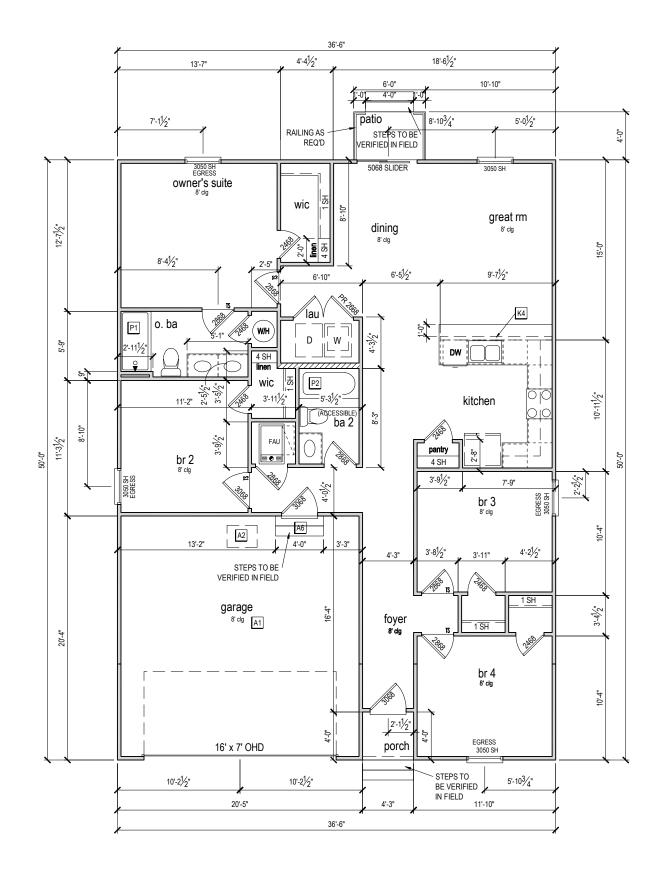
- A1 GARAGE CEILING 5/8" TYPE X DRYWALL
 VERTICAL SURFACE WALLS 1/2" DRYWALL
 A2 22"X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X
 AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT
 A3 PROVIDE 6" MIN. FLAT CLG AT A

- A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION
 A4 PULL DOWN STAIRS 25" x 50"
 A5 TEMPERED SAFETY GLASS PER IRC R308.4
 A6 HOUSE TO GARAGE DOOR SEPRARTION. PROVIDE APPROVED 20
 MINUTE RATED DOOR PER IRC 302.5.1
 A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION.
 VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
 A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
 A9 LOUVERED DOOR W/ GAS FURNACE

- D1 DRYWALL SOFFIT 12" DROP FROM CEILING LINE
- D2 DRYWALL SOFFIT 8" DROP FROM CEILING LINE
- K1 39" KNEE WALL WITH CAP PER SPECS
- K2 38" KNEE WALL WITH 1x CAP
- K3 46" KNEE WALL WITH CAP PER SPECS
- K4 34 1/2" KNEE WALL
- K5 42" KNEE WALL WITH 1x CAP K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
- P1 30" X 60" SHOWER ENCLOSURE PER SPECS P2 30"X60" TUB PER SPECS
- S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP
- S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD
- S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF



FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



1-14-2022



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RELEASE DATE: 01.11.2021 33711398 FLOOR PLAN - STEMWALL

CARLISLE FIRST

SHEET NO:

3.1-As

ATTIC VENT CALCULATION

ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

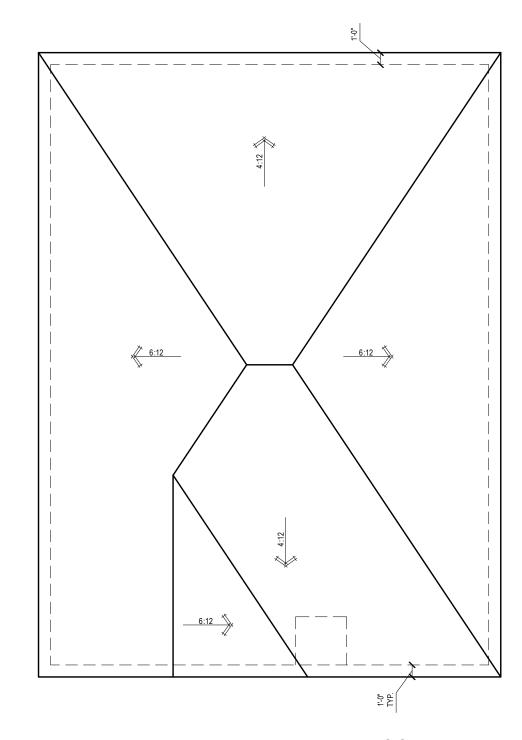
DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS						
ROOF AREA	2,002 SF					
TOTAL NET FREE AREA REQ'D (1 TO 300)	961.0 SQ. IN.					
MAIN HOUSE INLET (SOFFIT) VENTILATION	96.0 LF x	6.4 SQ. IN / LINEAR FT =	614.4 SQ. IN.			
POD VENT(S) REQUIRED WITH BASE HOUSE	7	VENTS AT 70.0 SQ. IN EA. =	490.0 SQ. IN.			
LOWER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	614.4 SQ. IN	55.6%				
UPPER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	490.0 SQ. IN	44.4%				

NOTE: TYPICAL VENTILATION INCLUDES: 1. SOFFIT VENTS

(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770* ATTIC VENT LOCATED 12" MIN. FROM RIDGE

(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'A'

1/4" = 1'-0" @ 22x34



1-14-2022



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_	Century Co	ommu	nities.	
PLAN NUMBER:	33711398	RELEASE DATE:	01.11.2021	
MODEL:	CARLISLE	DRAWING TITLE:	ROOF PLAN	

ELECTRICAL LEGEND

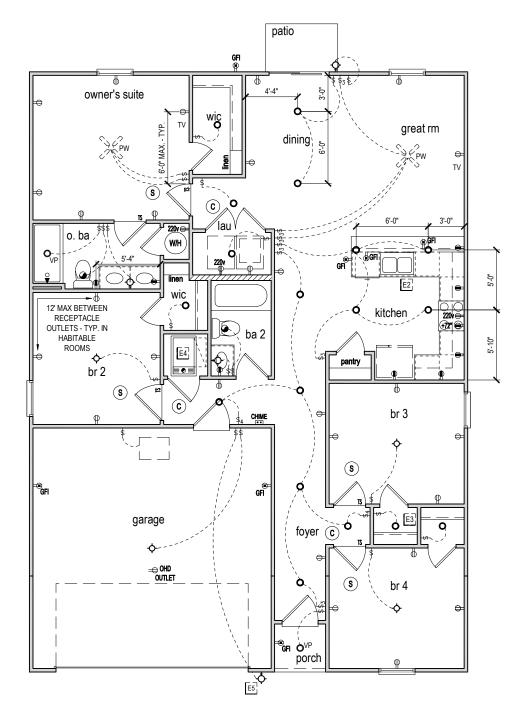
\$	SWITCH		\oplus	110v RECEPTACLE
\$3	3 WAY SWITCH		\rightleftharpoons	110v SWITCHED RECEPTACLE
\$4	1-		⊖ =	110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY
-⇔-	WALL MOUNTED LIGHT		_	110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL
			GFI ■	GFI OUTLET
	LED DOWNLIGHT VP=VAPOR PROTECTED		220v	220v RECEPTACLE
	DISCONNECT			110v FLOOR RECEPTACLE
l	CEILING FIXTURE OUTLET B	B = BRACE FOR FUTURE FAN	∕•∕	DISPOSAL
ΙŸ	H = HANGING		• •	CHIME
	P = OPT. PENDANT SMOKE DETECTOR SMOKE/CARBON MONOXIDE ALARM			BATH EXHAUST FAN
(s)				CEILING FAN PREWIRE WITH BRACING FOR
(c)				FUTURE FAN
			⟨ , , , , , ,	PW .

- PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM)
- HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

 DWGS. ARE DIAGRAMMATICAL 8 INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE ELECTRICAL DRAWNOS.

KEYNOTES

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



SHEET NO:

E1.1

REVISION SUMMARY

ABBREVIATIONS

A.B.	Anchor Bolt	Flr. Sys.	Floor System	PSF	Pounds per square foo
Abv.	Above	F.O.M.	Face Of Masonry	P.T.	Pressure Treated
Adj.	Adjustable	Ft.	Foot / Feet	Rad.	Radius
A.F.F.	Above Finished Floor	Ftg.	Footing	Req'd.	Required
ALT.	Alternate	Galv.	Galvanized	Rm.	Room
Bm.	Beam	G.C.	General Contractor	Rnd.	Round
B/Beam	Bottom of Beam	G.F.I.	Ground Fault Interrupter	S.F.	Square Ft.
Brg.	Bearing	G.T.	Girder Truss	SHT	Sheet
Cant.	Cantilever	Hdr.	Header	S.L.	Side Lights
Cir.	Circle	Hgt.	Height	S.P.F.	Spruce Pine Fir
Clg.	Ceiling	Int.	Interior	Sq.	Square
CJ	Control Joint	K/Wall	Kneewall	S.Y.P.	
Col.	Column	L.F.	Linear Ft.		Thicken
Cont.	Continuous	Mas.	Masonry		Top of Block
Dbl.	Double	Max	Maximum		Top of Masonry
Dia.	Diameter	Min	Minimum		Top of Plate
Ea.	Each	M.L.	Microlam		Transom Window
E.W.	Each Way	Mir.	Mirror	Typ.	Typical
Elec.	Electrical	Mono	Monolithic		Unless Noted Otherwis
Elev.	Elevation	N.T.S.	Not to Scale	Vert.	Vertical
E.O.R	Engineering or Record	O.C.	On center	V.L.	Versalam
Ext.	Exterior	Opn'g.	Opening	VTR	Vent through Roof
Exp.	Expansion	Opt.	Optional	W	Washer
F.B.C.	Florida Bldg. Code	Pc.	Piece	W/	With
Fin. Flr.	Finished Floor	P.L.	Parallam	W.A.	Wedge Anchor
Flr.	Floor	PLF	Pounds per linear foot	Wd	Wood
Fdn.	Foundation	Plt. Ht.	Plate Height	WP	Water Proof

CENTURY COMPLETE 37-1398 CARLISLE A LH

GENERAL STRUCTURAL NOTES

SECTION R318 PROTECTION AGAINST TERMITES

ESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVEI ETHODS OF TERMITE PROTECTION LABELED FOR USE A PREVENTIVE TREATMENT TO NEW

TERMITE SPECIFICATIONS

- METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.

 PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED
- PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

- - NOTICE TO BUILDER AND ALL SUBCONTRACTORS-

FIS THE INTENT OF THE ENGINEER LISTED IN THE TITLEBLOCK OF THESE DOCUMENTS THAT THESE OCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY TTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE

- JURIEU 10:
 REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER ARE NOT RESPONSIBLE FOR ANY PLAN ERFOMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER
- SHALL STRICTLY OBSERVE ALL APPLICATION CODES DURING THE COURSE OF CONSTRUCTION INCLUDING ALL STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS PRIOR TO
- COMMENCEMENT OF WORK.

 THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN:
 THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN:
 AND METHODS OF CONSTRUCTION, TECHNOLOGIES, OR THE CONTRACTION TO CARRY OUT THE
 WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OR RELATED CODES.
 THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM AND IS THE RESPONSIBILITY OF THE
 TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER
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- DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE
- ALL CUNSTRUCTION MUST BE IN A REACONDAING. THE INFORMATION FOUND IN THESE PLANS SHOULD DOCUMENTS. ANY QUESTIES HE IN A REACONDAING THE INFORMATION FOUND IN THESE PLANS SHOULD BE DIRECTED TO DUR QUALITY ASSURANCE MANSAGER AT 321-97-9491 IMMEDIATELY. NO BACK CHARGES WILL BE CONSIDERED FOR REIMBURSAMERT AT 321-97-9491 IMMEDIATELY. NO BACK ADVANCED NOTIFICATION AND APPROVAL BY THE ENGINEER. PAYMENTS WILL BE MADE IN ACCORDANCE TO THE TERMS OF THE AGREEMENT.

HOME MAINTENANCE & INSPECTIONS

YEARLY MAINTENANCE AND INSPECTIONS BY THE BUILDER/HOMEOWNER ARE NECESSARY FOR THE FUTURE LIFE OF THIS HOME. CARE MUST BE TAKEN TO CHECK WINDOWS AND DOORS FOR CALILKING REMOVE LEAVES AND DEBRIS OFF ROOFS, MAKE SURE THAT WATER FLOW IS AWAY FROM THE HOUSE AND HAVE YOUR HOME REPAINTED EVERY 3 - 5 YEARS TO PROTECT HOUSE AND HAVE YOUR HOME REPAIN LED EVERY 3 - 5 YEARS 10 PROTECT THE COATINGS. THE DESIGNER AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR THE UPKEEP OF THE HOME AND WILL NOT BE HELD LIABLE FOR INSTANCES THAT MAY OCCUR OVER THE NORMAL LIFE OF THE HOME WITHOUT PROPER MAINTENANCE.

CAST IN PLACE REINFORCED CONCRETE

- PLUS OR MINUS 1", AND HAVE 2 TO 5% AIR ENTRAINMENT, AND A MAXIMUM WATERICEMENT RATIO OF 0.63
 HONGS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS.
 HORIZONTAL FOOTING BARS SHALL BE BENT 25" AROUND CORNERS OR CORNER BARS WITH A 25" LAP PROVIDED EA WAY.
 CONCRETE COVER MIN 3" WHEN EXPOSED TO EARTH OR 1 12" TO FORM U.N.O.
 FIBER MESH LENGTH SHALL BE ½" TO 2", DOSAGE AMOUNT SHALL BE FROM 1.0 TO 1.5 LBS PER CUBIC YARD IN ACCORDANCE WITH THE
 MANUFACTURERS AND SHALL COMPLY WITH ASTMICT 1116
 ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST, SCALE & 01.8 SHALL MEET ASTM A615/
 ASTSM GRADE GO U.N.O. REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRECAST CONCEPTE PADS. STEEM GOR PRENTS CUSPORT. TOP
 REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS, DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN
- REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS. REINFORCING THE TOP COTTING REINFORCING. SPLICES IN REINFORCING PER PERMITTED SHALL BE AS PER DETAIL M99501.

 HIGH STRENGTH SIMPSON SET EPOXY-TIE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EPOXY, THEY MUST RIFST CONTRACT THE ENGINEER OF RECORD FOR WRITTEN APPROVED.

 WHERE PROJECT IS TO BE LOCATED IN ROWOM RIDON GAS PERMINDLASS, APPENDIX "F" OF THE FLORIDA BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE MATERIAL BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE MATERIAL BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE AMERICAN FOR THE CONCRETE STRENGTH AND ALL MOTES ON THESE PLANS THAT INDICATE 200 P.S.I. SHALL BE REPLACED WITH 3000 P.S.I. FOR THE CONCRETE STRENGTH.

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM C90-014, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (The 2000 PSI (The 2000 PSI (The 2000 PSI (The 2000 PSI CATE)) AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI (LIMP 8" TO ASTM C477-10 WITH A MAXIMUM AGGREGATE SIZE OF 308" AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI SILMP 8" TO 1" CONTINUOUS MASONEY NASPECTIONS ARE RECUIRED DURING CONSTRUCTION.

 GRADE 60 UN O. VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH COARSE GROUT.

 GRADE 60 UN O. VERTICAL REINFORCEMENT SHALL BE HEAD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 192 DIA OR 10FT WHICH EVER IS LESS. REINFORCING SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL WITH HIM 1/2" CLEARANCE TO INSIDE FACE.

 REINFORCING STEEL SHALL BE LAPPED PER DETAIL MS900TH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

 GROUT STOPS SHALL BE PROVIDED BELOW BOND BEAM PLASTIC SCREEN, METAL LATH STRIP OR CANITY CAPS MAY BE USED TO PREVENT THE FLOWF OF GROUT INTO CELLS BELOW. THE USE OF FELT PAPER AS A 5TO 19 FOR INSIDE THE RESPONSIBILITY OF THE CONTRACTOR TYPICAL FILLED CELL REINFORCING SIZE AND SPACING SHALL BE ADOVE AND BELOW ALL WALL OPENINGS.

 DO NOT APPLY UNIFORM LOADS TO MASONRY WALLS FOR (3) DAYS AND NO CONCENTRATED LOADS FOR (7) DAYS. PER CODE ACI 318-14

 WATER LOSS AND SETTLEMENT HAS OCCURRED. GROUT SHALL BE FLUSH WITH TO PO WALL.

- CBA-A OR CA-B REQUIRE HOT-DIPPED GALVANIZED OR STAINLESS STELE FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.

 ALL EXPOSED WOOD OR WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE THEATED.

 UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS
 WITHOUT WOODEN TOP PLATES.

 SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS

 SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS

 ALL ENGINEERED LUMBER TO HAVE THE FOLLOWING MIN VALUES U.N.O.

 PARALLAM COLUMNS: 13E Fb = 2400 PSI

 MIGROLAM (LV) BEAMS: SUPE 7-240 PSI

 MIGROLAM (LV) BEAMS: SUPE 7-240 PSI

 MIGROLAM FOR ADMINISTRATION OF SIMPLES OF

- 2. FLOOR SHEATHING: T&G AC GROUP 1 APA RATED (4824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FACE.
 WALL SHEATHING: J'_K: TSHUCUTURAL 10S BEXPOSURE 1 GROUP 1 SEPCIFIC GRAVITY, G=0.50, MIN.). A MINIMUM J'_K: SPACE IS RECOMMENDED BETWEEN PANELS AT EDGE AND END JOINTS TO ALLOW FOR EXPANSION. PER R60.3 SHEATHING SHALL NOT BE USED AS WEATHER RESISTANCE BARRIER UNLESS SPECIFIED.
 LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED TO WOOD SHEATHING WITH L'_K: LONG, 11 GAGE NAILS HAVING A J'_K: NEAD, OR 1 J'_K: LONG, 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1062 OR C1327, OR AS OTHERWISE APPROVED (RFE. 2020 FBC-R7103.7.1).

- STRUCTURAL STEEL MATERIAL SPECIFICATIONS: WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, Fy=50 KSI TUBE STEEL (HSS): ASTM A500, GRADE B, Fy = 46 KSI PIPE STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy=36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL
- STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy-36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL BOLTS TO BE A325 U.N.O.
 STRUCTURAL BOLTS SMALLER THAN 5/8* DIA. TO BE A307 THREADED ROD SHALL CONFORM TO A36 OR A307 ANCHOR BOLTS SHALL CONFORM TO A5TM F1554 ALL BOLTS CAST IN CONCRETE: ASTM A36 OR A370 FSHOP AND FIELD WELDS: E70XX ELECTRODES STEEL REINFORCEMENT SHOP DRAWINGS TO BE PROVIDED TO ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVED EXTRACTION STRUCTURAL BOLTS TO BE A325N MOLTS. ALL A325N BOLTS SHALL BE BROUGHT TO A "SNUG-TIGHT" CONDITION, AS DEFINED IN THE SPECIFICATION. SLIP CRITICAL (SC) BOLTS MUST BE FULLY TENSIONED PER SPECIFICATION STRUCTURAL BOLTS TO SHALL BOLTS TO AST AND A TO A STATE A THE STRUCTURAL BOLTS SHALL BOLTS THE AST AND A THE ADDRESS AND SHALL BOLTS SHALL BOLTS SHALL BOLTS THE ADDRESS AND SHALL BY THAN 56" DIA. TO BE A307 THERADED ROOS SHALL CONFORM TO A STATE FIRST ALL BOLTS CAST IN CONCRETE.
- WELDS SHALL BE $\frac{1}{16}$ " UNO.

 SHOP DRAWINGS OF ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. SHOP

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN
 ANCHORS PER STRUCTURAL PLAN
 PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 TRUSS MEMBERS AND CONNECTIONS SHALL BE FROPORTIONED WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LUFE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
 BRIDDING FOR PRE-ENGIEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
 TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE
 DESIGN SPECIFICATIONS FOR LIGHT WEIGHT METAL PLATE CONNECTED WOOD TRUSSES PER THE TRUSS PLATE INSTITUTE TPLATEST EDITION.
 PREF-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFICATIONS FOR CLORE AND SHOWN OF THE MANUFACTURER IN ACCORDANCE WITH SPECIFICATIONS AND SECTIONS OF A SHAD PLANS AND DETAILS SHOWN MEMBER SIZES BRACING, ANCHORAGE, CONNECTIONS, TRUSS
 SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWN MEMBER SIZES BRACING, ANCHORAGE, CONNECTIONS, TRUSS
 COCATIONS AND PERMANENT BRACING ADMINISTRATION SHOULD SHOW INFINITION FOR THE PERMANENT STRUCTURE FACE INJUNCTION.
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

- MISSED "J" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DETH'A TFLOOR STEPS.
 FOR MISSED VERT. DOWELS, DRILL A 3/4" DIAMETER HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE
- MANUFACTURERS INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN HE NORMAL WAY DURING BOND BEAM POUR.

 OR MORTAR JOINTS LESS THAN 1/4", PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO
- FOOTING).

 MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTSM16 TWIST STRAP WI (4) ½"x 2½" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1660#). IF CORNER STRAP IS MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS.

 MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS. CONNECTION
- MISSED, CONTRACTOR 13 OHISTARE (2.) SIMPSON RATIONAL WIND AT 12 MS 25 MS 21MS 11 MS 10 MS 21 MS 11 MS 10 MS 21 MS 11 MS 20 MS 21 MS 11 MS 20 MS 21 MS 11 MS 20 MS 21 MS IF STRAPS ARE MISSED UNDER GIRDER JAMB STUD LOCATIONS.

STRUCTURAL DESIGN CRITERIA

- FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
- NEPA 70-17 NATIONAL ELECTRICAL CODES (NEC 2017)
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13).
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2018 EDITION
- APA PLYWOOD DESIGN SPECIFICATION E30-16
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16

GENERAL ROOF LOADING

	SHINGLE	METAL	TILE	HEAVY
	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)
TOP CHORD LL	20	20	20	20
TOP CHORD DL	10	10	15	25
BOTTOM CHORD LL*	0	0	0	0
BOTTOM CHORD DL	10	10	10	10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT) ATTICS W/ LIMITED STORAGE ATTICS W/ HEAVY STORAGE * ATTICS W/ NO STORAGE (MON CONCURRENT)	20 50 10			

NOTE: LL REDUCTIONS ARE ALLOWED PER CODE BUT ONLY WITH WRITTEN APPROVAL FROM EOR OR INDICATED ON PLAN

GENERAL FLOOR LOADING

TOP CHORD LL TOP CHORD DL	40 (PSF) 10 (PSF)	COMMENTS:
BOTTOM CHORD LL BOTTOM CHORD DL	0 (PSF) 5 (PSF)	

SPECIAL FLOOR LOADING

COMMENTS:

d. A SINGLE CONCENTRATED LOAD
APPLIED IN ANY DIRECTION AT AN
POINT ALONG THE TOP.
f. BALUSTERS AND PANELS FILLERS
SHALL BE DESIGNED TO WITHSTAI LCONIES/ DECKS LCONIES OVER 100 SQ:FT GHT STORAGE JARDRAILS AND HANDRAILS ABITABLE ATTICS SERVED 30(PSF)

v/ FIXED STAIRS ASSENGER VEHICLE GARAGES

WIND LOADING CRITERIA

OTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND F

ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 60 ft

EFFECTIVE WIND AREA (SQ FEET)	(+) VALUE DENO (-) VALUE DENO	TES PRESSURE	WIND PRESSURE AND SUCTION DIAGRAM
AREA	4	(5)	_
10 - 19.99	(+) 25.5 (-) 26.6	(+) 25.5 (-) 33.6	
20 - 49.99	© (+) 24.4 (-) 26.6	① (+) 24.4 (-) 30.8	
50 - 99.99	(+) 22.8 (-) 23.8	(+) 22.8 (-) 28.0	
> 100	G (+) 21.7 (-) 23.8	(+) 21.7 (-) 26.6	4 (5)(5) 4 3
GARAGE DOORS*		SOFFIT	
9'-0" x 7'-0"	' 16'-0" x 7'-0"		l lejal
(+) 22.5 (-) 25.5	① (+) 21.7 (-) 24.1 (-)	(+) 25.5 (-) 33.6	DIAGRAM

GENERAL PRESSURE NOTES

ILES: MULTIPLY THE ABOVE PRESSURES BY 1.67 TO GET ULTIMATE WIND

OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREAS DESIGNATED AREAS WHERE THE ULTIMATE WIND SPEED IS 140 MPH OR

50	NOTES & SCHEDULES	
S1	FOUNDATION PLAN	
S2	ROOF FRAMING PLAN	
SN	NOTES & SCHEDULES	
D1	FOUNDATION DETAILS	
D2	FRAMING DETAILS	
D3	FRAMING DETAILS	
D4	FRAMING DETAILS	
D5	FRAMING DETAILS	



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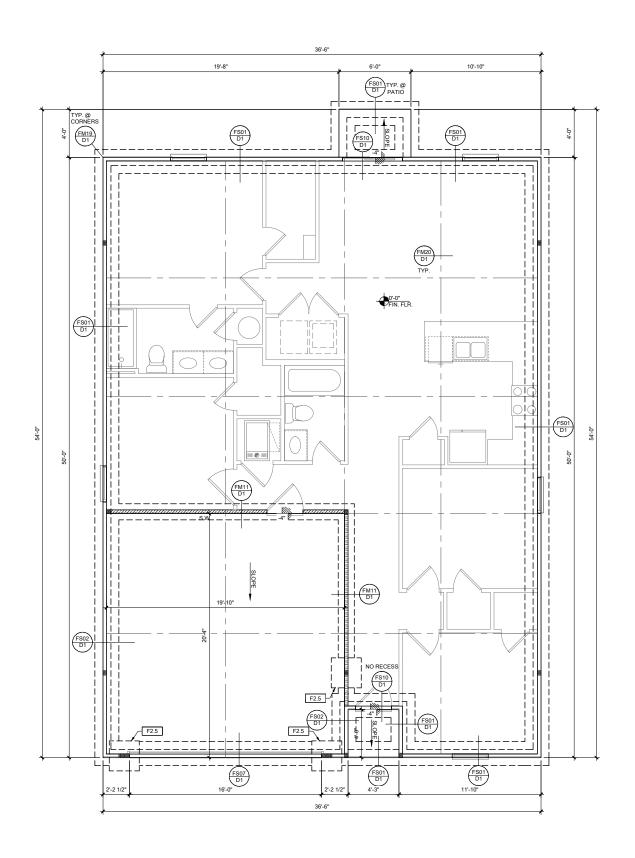


RESERVE @ JEWEL LAKI 452 SW JEWEL LAKE DR

PLAN NUMBER: 33711398

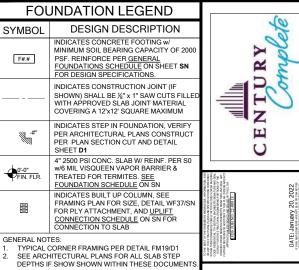
CARLISLI

SHEET



FOUNDATION PLAN A

SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17



PLAN KEY NOTES



LOT 31

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES
SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN
PROFESSIONAL FOR CLARIFICATION PRIOR TO
COMMENCEMENT OF CONSTRUCTION

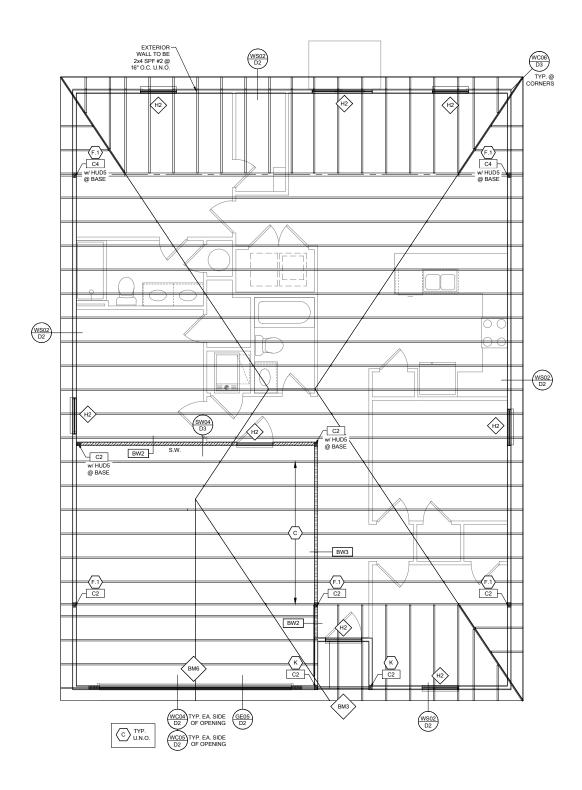
RESERVE @ JEWEL LAKE 452 SW JEWEL LAKE DR. LAKE CITY, FL 32024

WALL TYPE					
SYMBOL	DESIGN DESCRIPTION				
	2x_INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.				
	INDICATES BEARING WALL SEE <u>BEARING</u> WOOD BEARING SCHEDULE ON SN				
	2x WOOD FRAME EXTERIOR WALL				

DRAWING TITLE: FOUNDATION PLAN A & B CARLISLE

SHEET NO:

S1

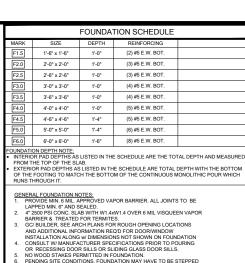


ROOF FRAMING PLAN A

SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17

ENGINEERED ROOF PER ASCE 7-16 ROOF DESIGN ALLOWABLE COMPONENTS AND SYMBOL **DESIGN DESCRIPTION RSH** CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 25 ft INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN , SEE ARCHITECTURAL PLANS FOR WALL WIDTH 2x4 MINIMUM U.O.N. BW# CENTURY WIND PRESSURE AND SUCTION (P (+) VALUE DENOTES PRESSURE (-) VALUE DENOTES SUCTION HIP ROOF >20 TO 27 DEG. INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SI C# FOR PLY ATTACHMENT AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB × GABLE -35.0 -35.0 -55.90 -55.90 ROOF NAILING SCHEDULE/ NAILING ZONES (SHINGLE AND TILE): ASTM F1667 RSRS-01 (8d) NAILS @ 6" O.C. ON EDGE AND 6" O.C IN FIELD INDICATES NO BOTTOM CONNECTOR C# * ZONE 2e, 2n, 2r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD ZONE 3, 3e, 3r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD INDICATES UPLIFT CONNECTION CONSTRUCTED PER DETAIL UPLIFT CONNECTOR SCHEDULE ON SHEET **SN** ROOF SHEATHING: SHINGLE: $\frac{7}{16}$ EXP. 1 ($\frac{24}{16}$) or $\frac{15}{32}$ EXP. 1 ($\frac{32}{16}$) (#) TILE: 15/32" EXP. 1 (32/16) NOTE: 1. PER CODE ASTM F1667 RSRS-01 REFERENCE TO 8d (2 ½* x 0.113") NAILS 2. WHERE THE SHEATHING THICKNESS IS GREATER THAN "½*," SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRS-03 10d (2½* x 0.131") NAILS OR ASTM F1667 RSRS-04 (3" x .120") NAILS 3. GABLES-DROP GABLE END 8 (1) ADDITIONAL PROPPED TRUSS 2x4 #2 SYP OUTLOCKER RAFTER W BLOCKING 0 16" OC. IF NO DROPPED GABLE END, ATTACH 2x4 #2 SYP BLOCKING @ 16" O.C FIRST 4 BAYS WITH (2) 12d NAILS EA. END. ATTACH ROOF SHEATHING TO RAFTERS W// BLOCKING PER NAILING SCHEDULE. FRAMING NOTES: AMINIG NOTES: SEE WIND SPEED CHART ON **SO** FOR WINDOW PRESSURES AT SECOND FLOOR FOR TYPICAL CORNER FRAMING GABLE ROOF > 20 TO 27 DEG. [4:12]-[6:12] SEE DETAIL FB06/D4 GENERAL NOTES: 1. THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL, RESONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION. SEE SHEET SN FOR DESIGN SCHEDULES AND NOTES FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES. PLAN KEY NOTES LOT 31 RESERVE @ JEWEL LAKE 452 SW JEWEL LAKE DR. LAKE CITY, FL 32024 BUILDER NOTE: IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE TRUSS MANUFACTURERS LAYOUT ----STOP-----AND CALL THE ENGINEER OF RECORD PRIOR TO PLACEMENT OF ANY TRUSSES. PLAN NUMBER: 33711398 **WALL TYPE** SYMBOL **DESIGN DESCRIPTION** 2x_INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS. INDICATES BEARING WALL SEE <u>BEARING</u> WOOD BEARING SCHEDULE ON SN 2x WOOD FRAME EXTERIOR WALL FRAMING PLAN A & B CARLISLE

SHEET NO:



- GO'S BUILDER, SEE ARCH PLANS FOR ROUGH OPENING LOCATIONS AND ADDITIONAL INFORMATION RECOP FOR DODG/WINDOW INSTALLATION ALONG WIDMENSIONS NOT SHOWN ON FOUNDATION CONSULT WITMAND-FACTURES SPECEPICATIONS PROPA TO POURING CONSULTS.

 NO WOOD STAKES PERMITTED IN FOUNDATION MAY HAVE TO BE STEPPED DOWN, SEE FM180H FOR ADDITIONAL INFORMATION, GC. TO DETERMINE STEP LOCATIONS, IF REQUIRED.

 STEEL BENDS AND LAP SPLICE SEE FM180H AND FM190H SEED STEPPED ADDITIONAL INFORMATION, GC. TO DETERMINE STEP LOCATIONS, IF REQUIRED.

 STEEL BENDS AND LAP SPLICE SEE FM180H AND FM190H ALL EQUIRMENT ANDION A PPULANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED A MIN OF 18". CONTRACTOR TO PROVIDE SUCH PLATFORM WILL ETHER MASONEY OR WOOD CONSTRUCTION ASSUMED ALLOWABLE SOIL BEARING PRESSURE AFTER FOR COMPACTION REQUIREMENTS). IF SOIL CONDITIONS ON THE PROJECT DO NOT MEET OR EXCEED THE CAPACITY, THE GENERAL CONTRACTOR SO RABLE CONTRACTOR TO SHALL CONTRACTOR TO SHALL CONTRACTOR SHALL SOIL BEAKENEY SHALLOWABLE FRIGHT OF THE PROJECT ON PROVIDE SHALL SOIL SHALLOWABLE SOIL BEAKENEY DESCRIPTION FOR COMPACT THE RESINEER FRIGHT OF FOR COMPACTION REQUIREMENTS). IF SOIL CONDITIONS ON THE PROJECT DO NOT MEET OR EXCEED THE CAPACITY, THE GENERAL CONTRACTOR SHALL CONTRACTOR SHALL SHALLOWABLE STEEN SHALLOWABLE SHAL
- NOT LESS THAN 12 INCHES (305mm) BELOW THE FINISHED GRADE OF GROUND SURFACE.

COLUMN SCHEDULE					
MARK	COLUMN SIZE	FIRST FLOOR BASE CONNECTIONS, SEE PLAN FOR SECOND FLOOR CONNECTIONS	UPLIFT(lb)		
C1	(3) 2x #2 SPF	(4)12d TOENAILS	NO UPLIFT		
C2	(3) 2x #2 SPF	DTT2Z W/ ½" ATR & (8) ¼" X 1 ½" SDS SCREWS	1835		
C3	(3) 2x #1 SYP	(4)12d TOENAILS	NO UPLIFT		
C4	(3) 2x #1 SYP	DTT2Z w/ ½" ATR & (8) ¼" x 1½" SDS SCREWS	1835		
C5	4x4 P.T.#2 SYP POST	ABU44 w/ 5/8" ATR & (12)16d NAILS FIRST/SECOND FLOOR CONN.	G = 6665 U = 1782		
C6	6x6 P.T. #2 SYP POST	ABU66 w/ 5/8" ATR & (12)16d NAILS FIRST/SECOND FLOOR CONN.	G = 12000 U = 2070		
C7	8x8 P.T. #2 SYP POST	ABU88 w/(2)5%" ATR & (18)16d FIRST/SECOND FLOOR CONN.	G = 24335 U = 2088		
C8	3.5" x 3.5" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU5-SDS2.5 w/ 5%" ATR AND (14) 1/4" x21/2" SDS WOOD SCREWS	5080		
C9	3.5" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU5-SDS2.5 w/ 5%" ATR AND (14) ½"x2 ½" SDS WOOD SCREWS	5080		
C10	3.5" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2½" SDS WOOD SCREWS	6372		
C11	5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082		
C12	5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082		
C13	5.25" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ¾" ATR AND (20) ¼"x2 ½" SDS WOOD SCREWS	7082		

2x4 STUDS,

PER PLAN

4 BEYOND AGAINST 2x8 STUD -

AT ALL EXTERIOR CONDITIONS —
ATTACH 2x STUDS TO TOP PLATE w/ 4-16d NAILS (2 ON EA SIDE)

2x8 STUDS, PER PLAN (SIM w/2x6 STUDS) -

PROVIDE 2x4 ON TOP OF 2x8 TO BLOCK — OUT TOP PLATE ATTACH w/ 2-ROWS OF

12d @ 3" O.C. (SOLID BLOCK w/ 2x6)

PIPE OR DUCT W PENETRATION
THRU TOP PLATE W MORE THAN
50% OF TOP PLATE WIDTH
INSTALL SIMPSON PSPINS162
W12-16d NAILS TOP AND BOTTOM
AT ALL PETERING CONSTITIONS

(WF17)

AT ALL EXTERIOR CONDITIONS ATTACH 2X STUDS TO TOP PLATE W/ (4) 16d NAILS (2 ON EA. SIDE) TYP

- ALL STRUCTURAL LUMBER TO BE SYP#2 OR SPF#2 UNO ON PLAN.
- ALL STRUCTURAL LUMBER TO BE SYPE? OR SPFE? UNO ON PLAN. MINIMUM BOLT EMBEDMENTS: "S'EMBEDMENT FOR 1/2" ATT. 6" EMBEDMENT FOR 1/2" ATT. 6" EMBEDMENT FOR 1/3" ATT. 8" EMBEDMENT FOR 1/3" ATT. 9" ATT.
- CONNECTIONS SHALL BE INSTALLED ON NARROW OR WIDE FACE PER SIMPSON TC-SCLCLM

TOP PLATE TRANSITION

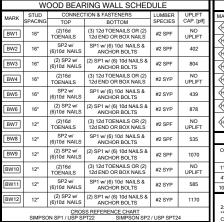
- TOP SPLICE

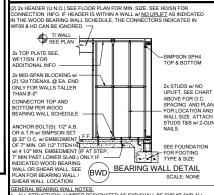
2x TOP PLATE WITH 2-ROWS

OF 12d @ 3" O.C., TYPICAL - TOP PLATE SPLICE

BOTTOM SPLICE OVER STUD

TOP PLATE SPLICE



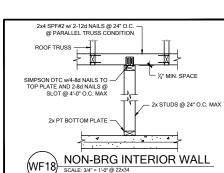


<u>NERAL BEARING WALL NOTES:</u> ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SYP #2 AND AL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 U.N.O.

STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 LN N.
SEE FLOOR PLAN FOR WALL SEZE, ASSUME 245 STUDS USED UNC)
CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED
OUTHACT E.O. R. FSP4S, SPS ON SPP8 CONDECTORS ARE SUBSTITUTED, TO
VERRY THEY MEET THE STRUCTURAL REQUIRELEMENT.
SEE STRUCTURAL REQUIRELEMENT.
SEE WIFE AND FIRST STRUCTURAL REQUIRELEMENT.
SEE WIFE AND FIRST SELOR CONNECTION TO BE IGNORED.
SEE WIFE AND FIRST SELOR CONNECTIONS, (NOTE: THIS IS FOR 2 STORY
PROJECTS ONLY)

LL TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WOOD

STUDS. IF THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WAI I S ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT, WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE DELIFT, THE STUDS ARE TOE NAILED TO THE PLATE AND THE ZX PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIRE THE ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDULE.



REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFO.

SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17

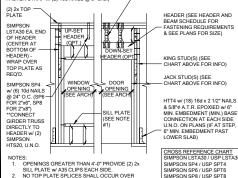
(WF37)

MULI-PLY FASTENING

HEADER NOTE VERIFY W/ PLAN CORRECT LENGTH OF HEADER REQUIRE IF HEADER IS ON THE 1ST FLOOR SEE PLAN FOR BEARING WALL TYPE AND FOLLOW INSTRUCTIONS WITHIN BEARIN WALLS CHEDULE FOR REQUIRED CORRECTIONS U.N.O. O 2) 2x8 #2 SYF (2) 2x10 #2 SYF 1/16" FLITCH PLAT CONNECTIONS. ALL HEADER JACK AND KING STUDS SHALL BE FASTENED TO EACH PER DETAIL **WF37/SN**. FASTEN ALL MULTI-PLY HEADERS TOGETHER W/(2) ROWS 2.0E Fb=2600 (2) 1 3/4" x 9 1/4" LVL PASTEN ALL MULTI-PLY THEADERS TOUGH THER W. (2) ROWS 12d COMMON NAILS AT 12" O.C. OR (3) ROWS IF 2x10 OR LARGER TYP. EACH SIDE OR (2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE. FASTEN ALL HEADERS TO KING STUDS W (3) 10d TOENAILS 2.0E Fb=2600 (3) 2x10 #2 SYP w/ 1" FLITCH PLATE SIZE 1'-0" - 3'-11" 4'-0" - 8'-11" (3)

HEADER SCHEDULE

"PHOVIDLE (3) IX CRIPPLE STUDS BELLOW ANY GIRCLER TRUSS BEARING OVER HEAD. CONNECT G.T. TO STUD W (2) SIMPSON HTS20 STRAPS AND CONNECT BOTTOM OF STUD TO HEADER W. (2) SIMPSON HTS20 STRAPS, U.N.O. (IF STUD IS LESS THAN 10" TALL THEN USE SIMPSON CSIS INSTALLED FORM BOTTOM OF HEADER, UP STUD OVER TOP PLATE & BACK DOWN OTHER SIDE OF WALL TO BOTTOM OF HEADER. FASTEN STRAP w/ (2) 10d NAILS @ 3" O.C.)



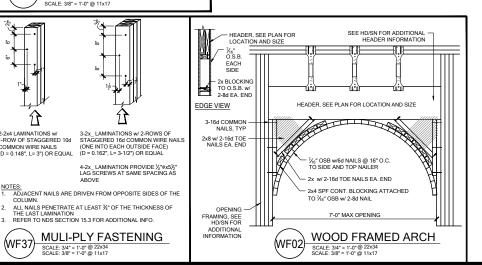
OPENINGS GREATER THAN 4'-0" PROVIDE (2) 2x SILL PLATE w/ A35 CLIPS EACH SIDE.
 NO TOP PLATE SPLICES SHALL OCCUR OVER

OR WITHIN 2 FEET OF HEADER.
HOLD DOWN CONNECTIONS NOT REQUIRED AT BEARING WALLS WITHOUT UPLIFT.

(HD) TYPICAL FRAMING CONNECTIONS AT OPENINGS
SCALE-NONE

ı								
ı	MARK	BEAM SIZE	FASTENING SCHEDULE					
,	BM1>	(2) 2x8 SYP #2 w/ 7/16" OSB FLITCH PLATE		(2) ROWS OF 124 @ 12* O.C. TYP. EACH SIDE		U.N.O. ON FRAMING PLAN		
	BM2	(2) 2x10 SYP #2 w/ 7/16" OSB FLITCH PLATE.						
1	ВМЗ	(2) 2x12 SYP #2 w/ 7/16" OSB FLITCH PLATE.			Æ		E	
	BM4	(2) 1 3/4"x11 1/4" LVL 2.0E Fb=2600	(2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C TYP. EACH SIDE OR (2) ROWS OF 121 NAILS @ 12" O.C. TYP. EACH SIDE) HTS20) HTW20	
	ВМ5	(2) 1 3/4"x11 7/8" LVL 2.0E Fb=2600		VECTOR	WOOD POST: (2) LSTA18 OR (2) HTS20 <u>CMU C</u> OLUMN: (2) HETA16	CTOR	OST: (2) LSTA18 OR (2) HTW20	
	Вм6	(2) 1 3/4"x16" LVL 2.0E Fb=2600		SIMPSON CONNECTOR	(2) LSTA	USP CONNECTOR	(2) LST/	
	ВМ7	(3) 2x10 SYP #2 w/ (2) 7/16" OSB FLITCH PLATES		SIMPS	CMU CC	INS	WOOD POST:	
	BM8	(3) 1 3/4"x9 1/4" LVL 2.0E Fb=2600			00M		W000	
	€M10							
		RAL BEAM NOTES:	ROBECT LENGTH OF REAMS DECLURED (MINI 4" DE	A DIN	C EAC			

VERIFY LIFT HAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EA END). SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS SEE AND ARE NOT TO BE DRILLED OR NOTCHED IN ANY WAY WITHOUT WRITTEN APPROVAL FROM THE E.O.R.



CONNECTOR & FASTENERS 535 565 H2.5A w/ (10)8d NAILS H10A w/(18)10d x 1 1/2" 1015 1040 104-2 w/(18)10d x 1 1/2" AT 2 PLY TRUSSES 930 1080 FRAME TO MASONRY / FRAME HU410 OPT HUC410 w/ (18) 16d & (10) 10d (12) BEAM TO MASONRY FRAME (12) 1/4" x 2 3/4" TITEN (TO MAS.) OR (12) 16d & (6) 10d (FOR FRAME) GT w/ (16) 1/4"x3" SDS WOOD SCREWS & X FRAME TO FRAME HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" Ø A.T.R.

SIMPSON - CONNECTOR SCHEDULE

ENERAL CONNECTOR NOTES:

CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS w/ (2) 12d TOENAILS.

ALL TRUSS TO TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER, U.N.O ON PLAN.

G.C. MAY USE EITHER SIMPSON OR USP CONNECTIONS, SEE FRAMING PLAN FOR CONNECTOR CALL

FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VERTICAL WEB w/ (2) ROWS

CONNECTION FOR ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS / LINTELS / ICF WALLS UNO ON PLAN CONNECTION AT 24" OR 32" O.C. PENDING VERTICALS FOR ALL FLOOR TRUSSES PARALLEL TO

CONSCINENCE AND ALL FLOOR TRUSSES PARALLEL TO
MASONRY WALLS SEE DETAIL FEATURE FOR MORE INFORMATION
ON THE MASONRY WALLS SEE DETAIL FEATURE FOR MORE INFORMATION
CONNECTION FOR ALL HIP JACK (COUNS FLACK) TO TO TOP OF MASONRY WALLSICE WALLESLITELS
CONNECTION FOR ALL HIP JACK (COUNS FLACK) TO TOP OF MASONRY AT 32° O.C MAX. w. (2) AT
EACH CONNECTION FOR THUS SEE THE MASONRY WALL SICE WALLES AND WALLES
AND ALL FLOOR TRUSSES TO THE FLOOR BEARING WOOD WALLEBAMS w. (2) 124 TO FENALS

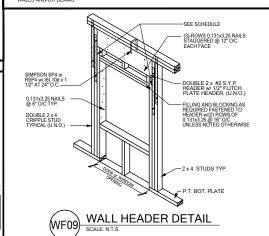
ON THE MASONRY WALLES AND THE MASONRY WALLEBAMS W. (2) 124 TO FENALS
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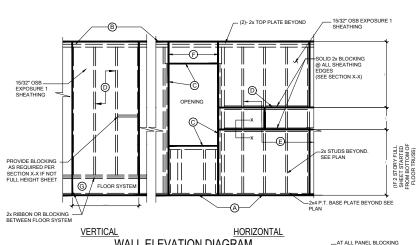
B) MINIMAL CONNECTOR UNO ON FRAMING PLAN

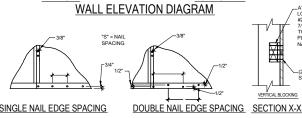
CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM

C MINIMAL CONNECTOR UNO ON FRAMING PLAN

CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS







_AT ALL PANEL BLOCKING LOCATIONS SHALL BE MIN 2 X 4 #2 SPF TURNED VERTICAL W/ 7/16" FLITCH PLATE TO W (2) 12d TOENAILS EA. END. NAIL FLITCH PLATE TO VERTICAL W/ (4) 8d NAILS -(2) 8d NAILS @ 3" O.C. STAGGERED FOR SHE VERTICAL BLOCKING

CH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE TACHED TO STUD AND OR BLOCKING AT ALL EDGES. A MINIMUM 1/6" ACE IS RECOMMENDED BETWEEN PANELS AT EDGES AND END NETRATE SURFACE MORE THAN %".

(A) NAIL AT BASE 2 ROWS @ 4" O.C. w/ 8d COMMON NAIL

(B) NAIL AT TOP PLATE TWO ROWS @ 4" O.C. w/ 8d COMMON NAIL

NAIL OPENING PERIMETER W/ (2) ROWS @ 4" O.C. W/ 8d COMMON NAIL

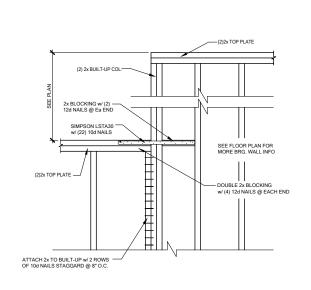
NAIL INTERIOR AT 6" O.C. w/ 8d COMMON NAIL.

E STAGGER ALL VERTICAL JOINTS & NAIL @ 4" O.C.

PLYWOOD SPLICES @ HEADER - NAIL SHEATHING TO HEADER w/ 8d COMMON NAILS @ 4* O.C. (2) ROWS @ TOP & BOTT.

 $\mbox{ \ \ }$ (2) 8d NAILS @ 3" O.C. TO EACH TRUSS END OR @ VERTICAL MEMBER IF GABLE END.

TB13\ WALL SHEATHING INSTALL & NAILING SCHEDULE



WALL STEP @ BRG. FRAME WALL SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17

NTURY

LOT 31 RESERVE @ JEWEL LAKE

452 SW JEWEL LAKE DR LAKE CITY, FL 32024

PLAN NUMBER: 33711398

CARLISLE

SHEET NO:

