DATE 08/03/2005 Columbia County	Building Permit PERMIT
This Permit Expires One Year APPLICANT GEORGE TURNER	0
ADDRESS 7378 SECRET WOODS TRAIL	JACKSONVILLE FL 32216
OWNER JACK KAEMMER	PHONE 904.219.0412
ADDRESS 193 NW COMPTON CT	LAKE CITY FL 32055
CONTRACTOR GEORGE TURNER	PHONE 904.545.1393
Street Have below the Book to the control of	ON CT,TR (1 BLOCK BEYOND SPRING
HOLLOW S/D), 3RD LOT ON R.	ON CI,IK (I BLOCK BETOND SPRING
	IMATED COST OF CONSTRUCTION .00
HEATED FLOOR AREA 1782.00 TOTAL AREA	HEIGHT 17.00 STORIES 1
FOUNDATION CONC WALLS FRAMED RO	OOF PITCH 7'12 FLOOR CONC
LAND USE & ZONING RSF-2	MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00	REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE X	DEVELOPMENT PERMIT NO.
PARCEL ID 24-3S-16-02275-067 SUBDIVISION	AZALEA CREEK
LOT 7 BLOCK PHASE UNIT	TOTAL ACRES .60
000000759 25.00 CBC1252136	177
000000759 25.00 CBC1252136 Culvert Permit No. Culvert Waiver Contractor's License Numb	Herega / cene
18"X32'MITERED 05-0685-N BLK	Applicant/Owner/Contractor
Driveway Connection Septic Tank Number LU & Zoning	checked by Approved for Issuance New Resident
COMMENTS: 1 FOOT ABOVE ROAD	, , , , , , , , , , , , , , , , , , , ,
30 St 5 C C C C C C C C C C C C C C C C C C	
NOC ON FILE.	
NOC ON FILE.	Check # or Cash 1241
	PEDADTMENT ONLY
FOR BUILDING & ZONING Temporary Power Foundation	DEPARTMENT ONLY (footer/Slab)
FOR BUILDING & ZONING Temporary Power Foundation	B DEPARTMENT ONLY (footer/Slab) Monolithic
FOR BUILDING & ZONING Temporary Power Foundation	Monolithic date/app. by (footer/Slab)
Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab date/app. by	B DEPARTMENT ONLY (footer/Slab) Monolithic
FOR BUILDING & ZONING Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab date/app. by Framing Rough-in plumbing above	Monolithic date/app. by Sheathing/Nailing date/app. by ve slab and below wood floor
FOR BUILDING & ZONING Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab date/app. by Framing Rough-in plumbing above date/app. by	Monolithic date/app. by Sheathing/Nailing date/app. by date/app. by
FOR BUILDING & ZONING Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab date/app. by Framing Rough-in plumbing above	Monolithic date/app. by Sheathing/Nailing date/app. by re slab and below wood floor Peri. beam (Lintel)
FOR BUILDING & ZONING Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab date/app. by Framing Rough-in plumbing above date/app. by Electrical rough-in Heat & Air Duct	Monolithic date/app. by Sheathing/Nailing date/app. by ge slab and below wood floor Peri. beam (Lintel) date/app. by date/app. by
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FOR BUILDING & ZONING Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab date/app. by Framing Rough-in plumbing above date/app. by Electrical rough-in Heat & Air Duct date/app. by Permanent power C.O. Final date/app. by M/H tie downs, blocking, electricity and plumbing Reconnection Pump pole date/app. by M/H Pole Travel Trailer date/app. by BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$ MISC. FEES \$	Monolithic date/app. by date/app. by

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

Columbia County Building Pe	ermit Application Revised 9-23-0
For Office Use Only Application # 0507-42 Date Re	ceived 7/14/05 By Permit # 758/13450
Application Approved by - Zoning Official BLK Date	3.08.05 Plans Examiner <u>0 K 37 / H</u> Date 7-15-05
.,	Land Use Plan Map Category RELLOW
Comments	Land Ose Plan Map Category
124	2.11
George Tulning	8 Jecent Rd Fut ECSIS 13
Applicants Name	327 (6 Phone 904-249-0412
Address 13357 SW 9/57 WAY- C	AKE Butler FL 32034
Owners Name Jack Katimmen	Phone 904-219-0412
	17,71 32055
Contractors Name George Urner	Inc Phone 904-545-139=
Address 7378 Secret Woods Toyal	Jacksonville FL 32216
Fee Simple Owner Name & Address	
Bonding Co. Name & Address	1 dute
Architect/Engineer Name & Address MEXT PLANS RE	SIDENTIAL XOMES, DAVE, 710 AShbury Hour Go.
Mortgage Lenders Name & Address (スタカ	31791
Circle the correct power company FL Power & Light Clay	Elec Suwannee Valley Elec Progression 5
Property ID Number 2435-16-03275-067	Estimated Cost of Construction 100 Construction
Subdivision Name HZAJEA Creek	1.1
Driving Directions 90 W to Lake Jeffres Rd-	Turn Right - an Approx 2 mi
forn right on compton ct (one b)	ock beyond Sound Hollow Sil
3rd Lot on right	The pering houses up
Type of Construction MOTULATS, ngle SAMILYN	lumber of Existing Dwellings on Property
Total Acreage _100 Lot Size // // 5 Do you need a - Culve	art Pormitti or Cultural Mr.
Actor distance of shochine from Property Lines - Front 404	t side 60+ tside //5+ book conf
Total Building Height Humber of Stories H	eated Floor Area 178259 Roof Pitch 7/12
170	
Application is hereby made to obtain a permit to do work and insinstallation has commenced prior to the issuance of a permit and all laws regulating construction in this jurisdiction.	stallations as indicated. I certify that no work or
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information compliance with all applicable laws and regulating construction	mation is accurate and all work will be done in
WARNING TO OWNER: YOUR EAST LIBE TO DECORD A MORNING	and zoning.
TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTELENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF	END TO OBTAIN FINANCING CONSULT WITH YOUR
LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE O	F COMMENCEMENT.
Devige a Com	n Tie
Owner Builder or Agent (Including Contractor) SHIELA DARLENE KAEMMER	Contractor Signature
STATE OF FLORIDA EXPIRES: June 24, 2008 Bonded Thru Budget Notary Services	Contractors License Number OBC 1852136 Competency Card Number_
COUNTY OF COLUMBIA	NOTARY STAMP/SEAL
Sworn to (or affirmed) and subscribed before me	0001 0 0 01
this	Shiele Darline Kaemme
Personally known_v_ or Produced Identification	Notary Signature
A coule	Ed 8-1-05- (JW)
_ A0NS	E. 8-1-05-CIW)

Return to: (enclose self-addressed stamped envelope)

Name:

Address:

This Instrument Prepared By: WILLIAM K. GORDON, ESQ. 303 State Road 26 Melrose, FL 32666 (352) 475-1357/fax(352) 475-5968 Inst:2004012827 Date:06/02/2004 Time:11:42

31238

0.70 Doc Stamp-Deed :

DC,P.DeWitt Cason,Columbia County B:1017 P:811

Property Appraisers Parcel Identification (Folio) Number(s):

WARRANTY DEED

This Warranty Deed made the 30th day of March, A.D. 2004 by PREFERRED MOBILE HOME SALES, INC., a dissolved Florida corporation, acting under Section 607.1405(1) Florida Statutes in winding up and liquidating the business and affairs, whose postoffice address is 8149 1 103rd Street, Jacksonville, FL 32210, hereinafter called the grantor, to JACK KAEMMER, and JACQUELYN KAEMMER, husband and wife, whose postoffice address is

PL OBOY 7064 Tacksonville

, hereinafter called

grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipts whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 7 of AZALEA CREEK SUBDIVISION as per the plat thereof recorded in Plat book 6 page 86 of the public records of Columbia County, Florida. Tax Parcel #_

THIS INSTRUMENT WAS PREPARED BY WILLIAM K. GORDON, ATTORNEY AT LAW. TITLE TO THE LANDS DESCRIBED HEREIN HAVE NOT BEEN EXAMINED BY ME AND NO OPINION AS TO MARKETABILITY OR CONDITION OF THE TITLE TO SUBJECT PROPERTY, QUANTITY OF LANDS INCLUDED THEREIN, LOCATION OF BOUNDARIES THEREOF, EXISTENCE OF LIENS, ENCUMBRANCES OR UNPAID TAXES IS MADE HEREOF.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

Inst:2004012827 Date:06/02/2004 Time:11:42 Doc Stamp-Deed : 0.70 _DC,P.DeWitt Cason,Columbia County B:1017 P:812

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor herby fully warrants title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1004.

IN WITNESS WHEREOF, the said grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Authorized Agent

GERALD J. KAEMMER, Auth. Agent

STATE OF FLORIDA COUNTY OF PUTNAM

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared JACK KAEMMER and GERALD J. KAEMMER to me known to be the person described in and who executed the foregoing instrument and he/she acknowledged before me that he/she executed the same or produced identification.

WITNESS my hand and official seal in the County and State last aforesaid this 30th day of March, A.D. 2004.

> , NOTARY State of FL: My Commission Expires:

THIS INSTRUMENT PREPARED BY

AND RETURN TO: WILLIAM K. GORDON, ESQ.

303 State Road 26 Melrose, FL 32666 (352) 475-1357 fax (352) 475-5968

WILLIAM K. GORDON MY COMMISSION # DD 042672 EXPIRES: August 3, 2005

file #04-025

COUNTY.

STATE OF FLORIDA, COUNTY OF COLUMBIA I HEREBY CERTIFY, that the above and foregoing is a true copy of the original filed in this office. P. DeWITT

Great Plains Residential Homes, Inc.

710 Ashbum Hwy, Sylvester, GA 31791 229-777-7812 (9398 fax)

6-29-05

To Whom It May Concern:

Mirror reversing any of our floor plans has no impact on structural integrity.

Sincerely,

Keith Larson, Eng. Mngr.

Z00/100 D

06/30/2005 THU 14:40 FAX 478 988 0652 CherryTree Mortgage

Columbia County Building Department Culvert Permit

Culvert Permit No. 000000759

DATE 08/03/	2005 PARCEL ID	# <u>24-3S-16-02275-067</u>		
APPLICANT	GEORGE TURNER	PHONE	904.545.1393	
ADDRESS 73	78 SECRET WOODS TRAIL	JACKSONVILL	FL	32216
OWNER JAC	K KAEMMER	PHONE	904.219.0412	
ADDRESS 193	NW COMPTON CT	LAKE CITY	FL	32055
CONTRACTOR	GEORGE TURNER	PHONE	904.545.1393	
LOCATION OF		TO COMPTON CT,TR (1 BLO	CK BEYOND SPRII	NG HOLLOW S.I
SUBDIVISION/	LOT/BLOCK/PHASE/UNIT AZAL	EA CREEK	7	
SIGNATURE _	1 Zenga	Low		
X	Culvert size will be 18 inches in dia driving surface. Both ends will be not thick reinforced concrete slab. INSTALLATION NOTE: Turnouts a) a majority of the current and expenses the concrete slab.	ameter with a total lenght on itered 4 foot with a 4:1 s will be required as follow kisting driveway turnouts a	slope and poured s: re paved, or;	24 feet of with a 4 inch
	b) the driveway to be served will Turnouts shall be concrete or pa concrete or paved driveway, wh current and existing paved or co	aved a minimum of 12 feet nichever is greater. The wic oncreted turnouts.	wide or the widt lth shall conform	h of the to the
	Culvert installation shall conform to	the approved site plan sta	ndards.	
	Department of Transportation Perm	it installation approved sta	ndards.	
	Other			
	FETY REQUIREMENTS SHOULD BE FOR	OLLOWED		S A SOLL

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



NOTICE OF COMMENCEMENT FORM COLUMBIA COUNTY, FLORIDA

THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.

FHE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 24-35-16-02275-067

1. 1	Description of property: (legal description of the property	and street address or 911 address)
	Lot 709 AZAleA (Vreek-plato	ook 6 Pa 81 - Nolimbia ()
	apart of the north 1/2 of	Sel 25 And part of Sell
	1/2 of sec 24 - Township:	3 South & Paris 1/2 6 1/21/2
	Mounty FL	2 SOUTH ATTIME TO E COLUMBIA
	193 NW Campton Ut 10	Kelity-32055
6	General description of improvement: Modular	266/14-32033
		,
3.	Owner Name & Address Jack Kne who	r. 15357 SW 91st War
	Lake Butler Fl 32054 In	terest in Property Our AP
4.	Name & Address of Fee Simple Owner (if other than owner	r):
,		
5.	Contractor Name George A Turner	10 Phone Number 904-545-1393
j	Address 2378 Secret Woods to	JANKSONVIlle FL 32016
6.	Surety Holders Name	Phone Number
	Address	
	Amount of Bond	016735 Date:07/14/2005 Time:15:08
7.	Lender Name	DC,F.Dewitt Cason,Columbia County B:1051 P:2558
	Address	_
8.	Persons within the State of Florida designated by the Own	ner upon whom notices or other documents may be
ser	Al/ A -	
		Phone Number
_	Address	
9.	In addition to himself/herself the owner designates	of
	to receive a copy of t	he Lienor's Notice as provided in Section 713.13 (1) -
1	(a) 7. Phone Number of the designed	
10	Expiration date of the Notice of Commencement (the exp (Unless a different date is specified)	ration date is 1 (one) year from the date of recording.
	(Unless a different date is specified)	6
NO	TICE AS PER CHAPTER 713, Florida Statutes:	
The	owner must sign the notice of commencement and no on	e else may be permitted to sign in his/her stead
	Λ , ,	
		Sworn to (or affirmed) and subscribed before
	Joseph X comme	Sworn to (or affirmed) and subscribed before day of
	Signature of owner	Sworn to (or affirmed) and subscribed before
	Signature of Owner Shiela Darlene Kaemmer	Sworn to (or affirmed) and subscribed before day of
	Signature of Owner SHIELA DARLENE KAEMMER MY COMMISSION # DD 322429 EXPIRES: June 24, 2008	Sworn to (or affirmed) and subscribed before day of
	Signature of Owner SHIELA DARLENE KAEMMER MY COMMISSION # DD 322429	Sworn to (or affirmed) and subscribed before day of guly 14 th, 2005 NOTARY STAMP/SEAL Shiela Darlere Kaemma
	Signature of Owner SHIELA DARLENE KAEMMER MY COMMISSION # DD 322429 EXPIRES: June 24, 2008	Sworn to (or affirmed) and subscribed before day of

STATE OF FLORIDA

THE ST

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CONSTRUCTION INDUSTRY LICENSING BOARD SEQ#L0409030010

BATCH NUMBER LICENSE NBR 09/03/2004 040170275 CBC1252136 The BUILDING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter
Expiration date: AUG 31, 2006

TURNER, GEORGE ALAN
GEORGE A TURNER INC
7378 SECRET WOODS TRAIL
JACKSONVILLE FL FL 32216

JEB BUSH GOVERNOR

DISPLAY AS REQUIRED BY LAW

GOD WE TR

DIANE CAR SECRETARY

AC#1591266

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CONSTRUCTION INDUSTRY LICENSING BOARD SEQ#L04090300141

BATCH NUMBER LICENSE NBR OF THE 09/03/2004 040170277 QB34100 The BUSINESS ORGANIZATION The BUSINESS ORGANIZATION
Named below IS QUALIFIED
Under the provisions of Chapter 39 Fs
Expiration date: AUG 31, 2005 C
(THIS IS NOT A LICENSE TO PERFORM WORK
COMPANY TO DO BUSINESS ONLY IRCRU HAS A OD WE THIS ALLOWS GEORGE A TURNER INC 7378 SECRET WOODS TRAIL JACKSONVILLE FL GOD WE TRUS FL 32216

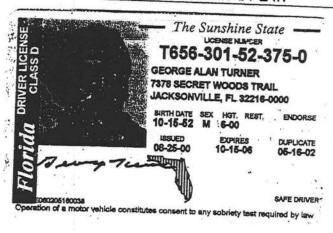
194

Jaking a

JEB BUSH GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR SECRETARY



A	CORD, CERTIFIC	ATE OF LIABIL	ITY INSUI	RANCE	To g rife		/14/2005
Jax 994	CER C'City Insurance Gro Beach Blvd.	up, Inc.	THIS CER' ONLY AN HOLDER.	TIFICATE IS ISSU D CONFERS N THIS CERTIFICA	JED AS A MATTER OF O RIGHTS UPON THI ATE DOES NOT AMEN AFFORDED BY THE PO	INFO E C D. E	ORMATION ERTIFICATE EXTEND OR
	ksonville, FL 32246 -998-1966		INCIDEDO	AFFORDING COV	/EDACE	١.	NAIC#
NSURE				MERICAN VE		-	NAIC#
	GEORGE A TURNER,	INC		NFINITY CO	DUM SELECTION SECTION	+	
	15255 NEW KINGS		INSURER C:		MERCIAL	+	
	JACKSONVILLE, FI		INSURER D:			+	
	904-545-1393	and the control of th	INSURER E:			1	
	RAGES						
MAY	POLICIES OF INSURANCE LISTED BEL REQUIREMENT, TERM OR CONDITIO PERTAIN, THE INSURANCE AFFORDE CIES. AGGREGATE LIMITS SHOWN MA	N OF ANY CONTRACT OR OTHE D BY THE POLICIES DESCRIBED	R DOCUMENT WITH HEREIN IS SUBJECT	RESPECT TO WHI	CH THIS CERTIFICATE MA	VRE	ISSUED OF
ISR ADI	PL TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMIT	s	
	GENERAL LIABILITY				EACH OCCURRENCE	\$	300,000
	X COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurence)	\$	EXCLUDED
	CLAIMSMADE X OCCUR				MED EXP (Any one person)	\$	5,000
A		g10511008244	04/11/04	04/11/05	PERSONAL & ADV INJURY	\$	300,000
		RENEWAL	04/11/05	04/11/06	GENERAL AGGREGATE	\$	600,000
	GEN'L AGGREGATE LIMIT APPLIES PER	2	S S	IN 6550	PRODUCTS - COMP/OP AGG	s	600,000
	X POLICY PRO- JECT LOC						
	ANYAUTO ANYAUTO				COMBINED SINGLE LIMIT (Ea accident)	s	
Б	ALL OWNED AUTOS SCHEDULED AUTOS	E00224E64724001	10/10/04	10/10/05	BODILY INJURY (Per person)	\$	10,000
B HIRED AUTOS 509234564724001 NON-OWNED AUTOS		10/18/04	10/18/05	BODILY INJURY (Per accident)	\$	20,000	
_	0.40.40.5.114.014.1754				PROPERTY DAMAGE (Per accident)	\$	10,000
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$	
	ANYAUTO				OTHER THAN EA ACC	\$	
+					AGG	\$	
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$	
	OCCUR CLAIMSMADE				AGGREGATE	\$	
	DED/107/01 5					\$	
	DEDUCTIBLE					\$	
10/	RETENTION \$				WCSTATU- OTH-	\$	
	ORKERS COMPENSATION AND MPLOYERS' LIABILITY				TORYLIMITS ER		
	Y PROPRIETOR/PARTNER/EXECUTIVE FICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$	
Ify	ves, describe under				E.L. DISEASE - EA EMPLOYEE		
_	PECIAL PROVISIONS below THER				E.L. DISEASE - POLICY LIMIT	\$	
					.1		
ESCRI	PTION OF OPERATIONS / LOCATIONS / VEHIC	L CLES / EXCLUSIONS ADDED BY ENDOR:	SEMENT / SPECIAL PROV	//ISIONS		/	
ERTI	FICATE HOLDER		CANCELLAT	ION			
	COLUMBIA COUNTY BI 135 NE HERNANDO LAKE CITY, FL 32	AVE #B21	SHOULD ANY O DATE THEREOF NOTICE TO THE	F THE ABOVE DESCRI F, THE ISSUING INSUF E CERTIFICATE HOLDE LIGATION OR LIABILITY VES.	BED POLICIES BE CANCELLED BER WILL ENDEAVOR TO MAIL R NAMED TO THE LEFT, BUT F OF ANY KIND UPON THE IN	10 AILUI	_ DAYS WRITTEN RE TO DO SO SHALL
	FAX (386) 758-216	0		///			
COR	D25(2001/08)		-	7	© ACORD CO	RPC	PRATION 1988
							The Res

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

licer of a apter by filing y not recover
--

CUT HERE

* Carry bottom portion on the jo. , keep upper portion for your records.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-(+

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949 PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: July 14, 2004	
ENHANCED 9-1-1 ADDRESS:	
193 NW COMPTON CT (LAKE CITY, FL 32055)	
Addressed Location 911 Phone Number: NOT AVAIL.	
OCCUPANT NAME: NOT AVAIL.	
OCCUPANT CURRENT MAILING ADDRESS:	
PROPERTY APPRAISER MAP SHEET NUMBER: 68D	
PROPERTY APPRAISER PARCEL NUMBER: 24-3S-16-02275-06	57
Other Contact Phone Number (If any):	
Building Permit Number (If known):	
Remarks: LOT 7 AZALEA CREEK S/D	
	*
Address Issued By: Columbia County 9-1-1 Addressing Department	
Department	00
	COLUMBIA COUN

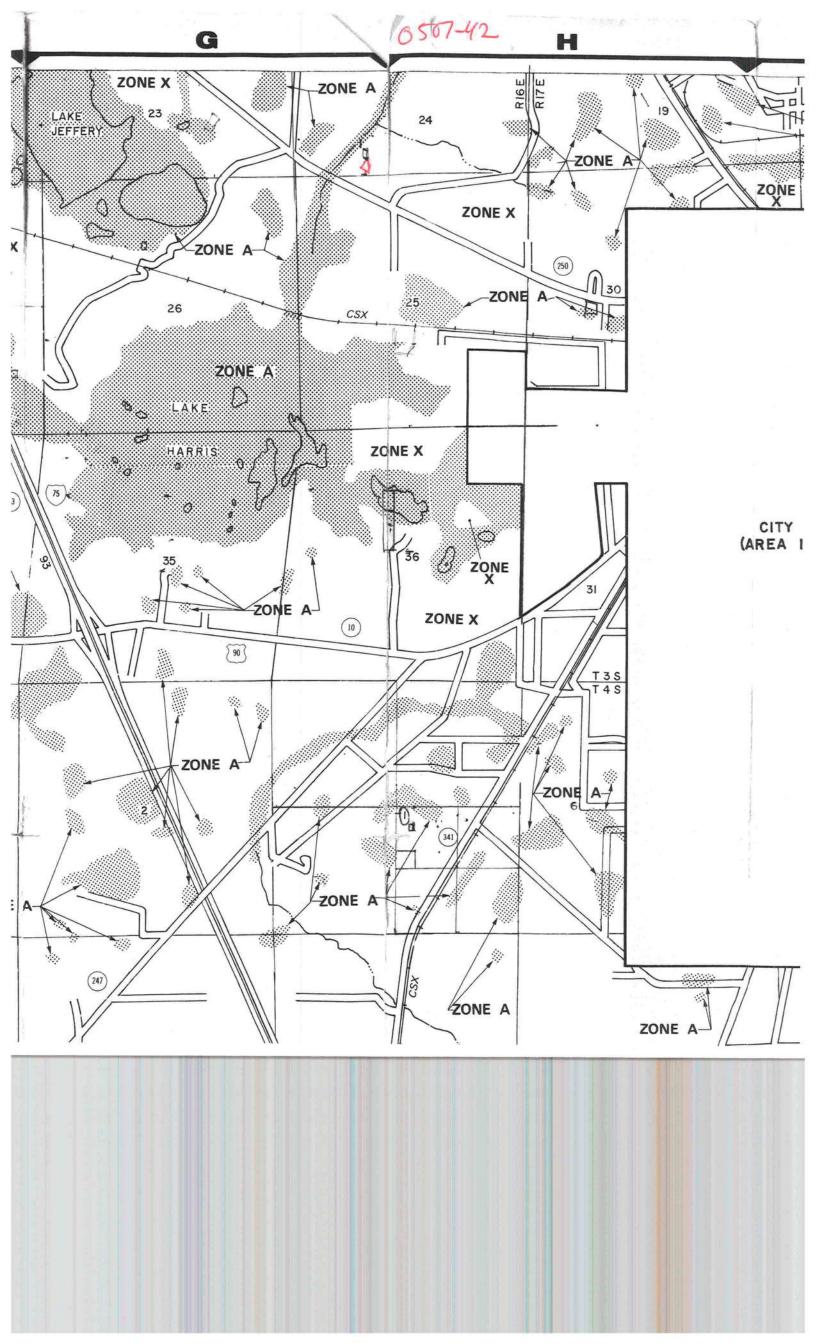


STATE OF FLORIDA DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 05-0685 N

---- PART II - SITE PLAN--Scale: Each block represents 5 feet and 1 inch = 50 feet. front of Property Compton Ct WELL 50 UNOCKUPIEd Rear of Property Votes: Site Plan submitted by: Plan Approved Not Approved County Health Department ALL CHANGES MUST BE APPROVED BY THE COUNTY H H 4015, 10/96 (Replaces HRS-H Form 4015 which may be used) lock Number: 5744-002-4015-6) Page 2 of 3



Weggie III

Columbia County Building Department Culvert Waiver

Culvert Waiver No. 000000759

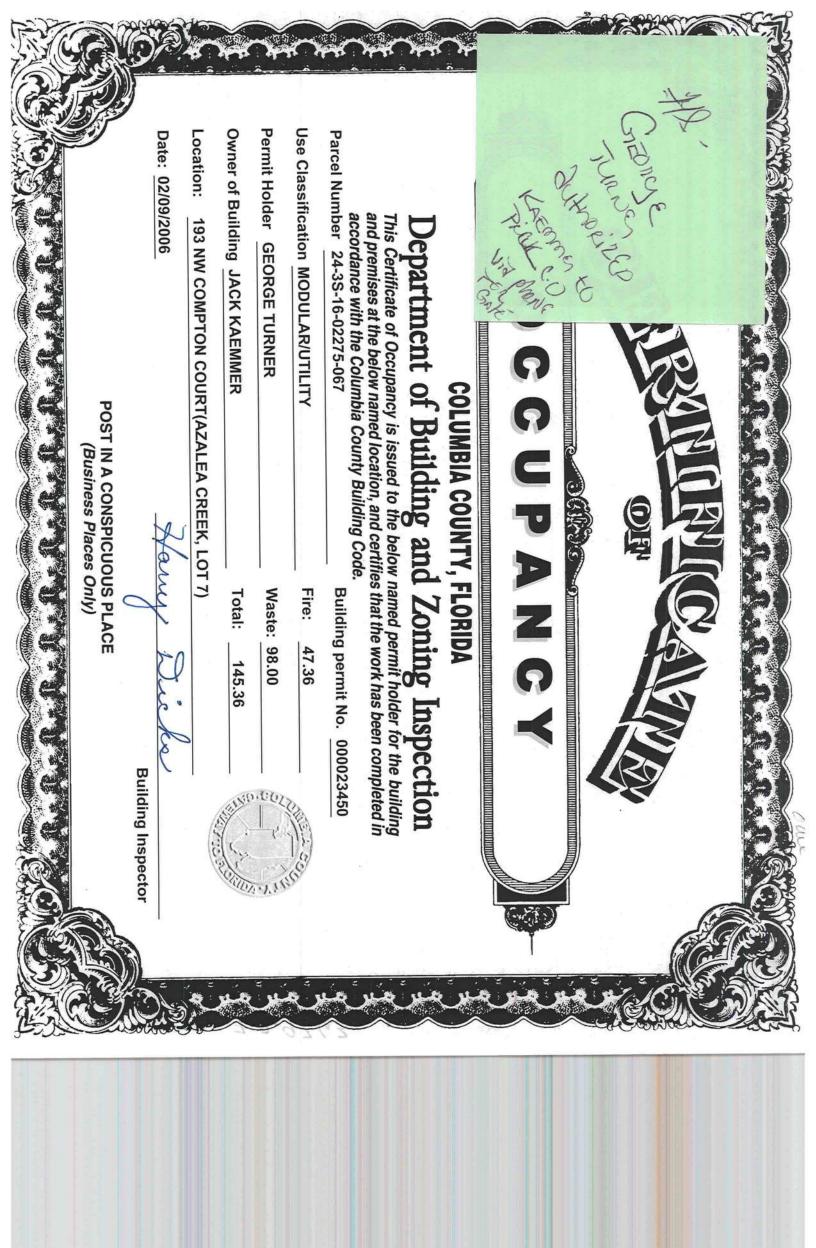
DATE: 11/18/2005 BUILDING I	PERMIT NO.	23450	_	
APPLICANT GEORGE TURNER		PHONE 9	04.545.1393	<u> </u>
ADDRESS 7378 SECRET WOODS TRAIL		JACKSONVILL	FL	32216
OWNER JACK KAEMMER	1	PHONE 90	4.219.0412	
ADDRESS 193 NW COMPTON CT	N .	LAKE CITY	FL	32055
CONTRACTOR GEORGE TURNER		PHONE 90	04.545.1393	
LOCATION OF PROPERTY LAKE JEFFERY	ROAD TO COM	PTON CT,TR (1 BLOCK	BEYOND SPRI	NG HOLLOW S.D)
IT'S THE 3RD LOT ON R.				
	4.4			
SUBDIVISION/LOT/BLOCK/PHASE/UNITAZ	ALEA CREEK		7	
PARCEL ID # 24-3S-16-02275-067				
COUNTY PUBLIC WORKS DEPARTMENT IN CONSIGNATURE: A SEPARATE CHECK IS REQUIRED MAKE CHECKS PAYABLE TO BCC	NECTION WIT		OSED APPLICA	ATION.
PUBLIC WORKS	DEPARTMEN	T USE ONLY		THE WAR IN THE
I HEREBY CERTIFY THAT I HAVE EXAMINED THI CULVERT WAIVER IS: APPROVED COMMENTS:	S APPLICATIO			CULVERT PERMI
-11	-		3 	-
SIGNED: Willia Martin	DA7	ге: <u>/2-8-0</u>	15	
ANY QUESTIONS PLEASE CONTACT THE PUBLIC	WORKS DEPA	RTMENT AT 386-752-5	955.	
135 NE Hernando Ave., Suite B-21 Lake City, FL 32055	9,149	V 2 1 2005	SUM	- 50b

Wellie

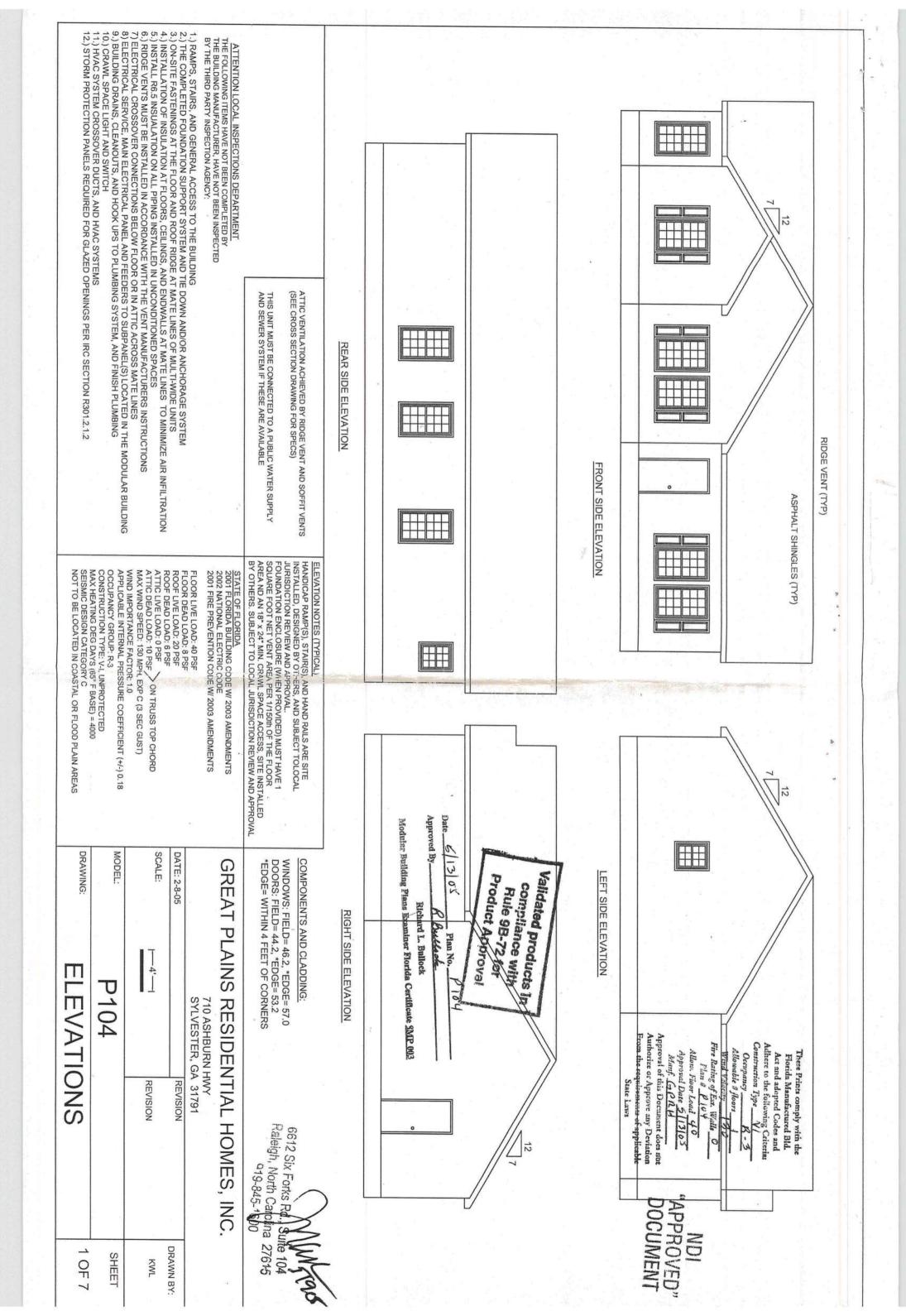
Columbia County Building Department Culvert Waiver

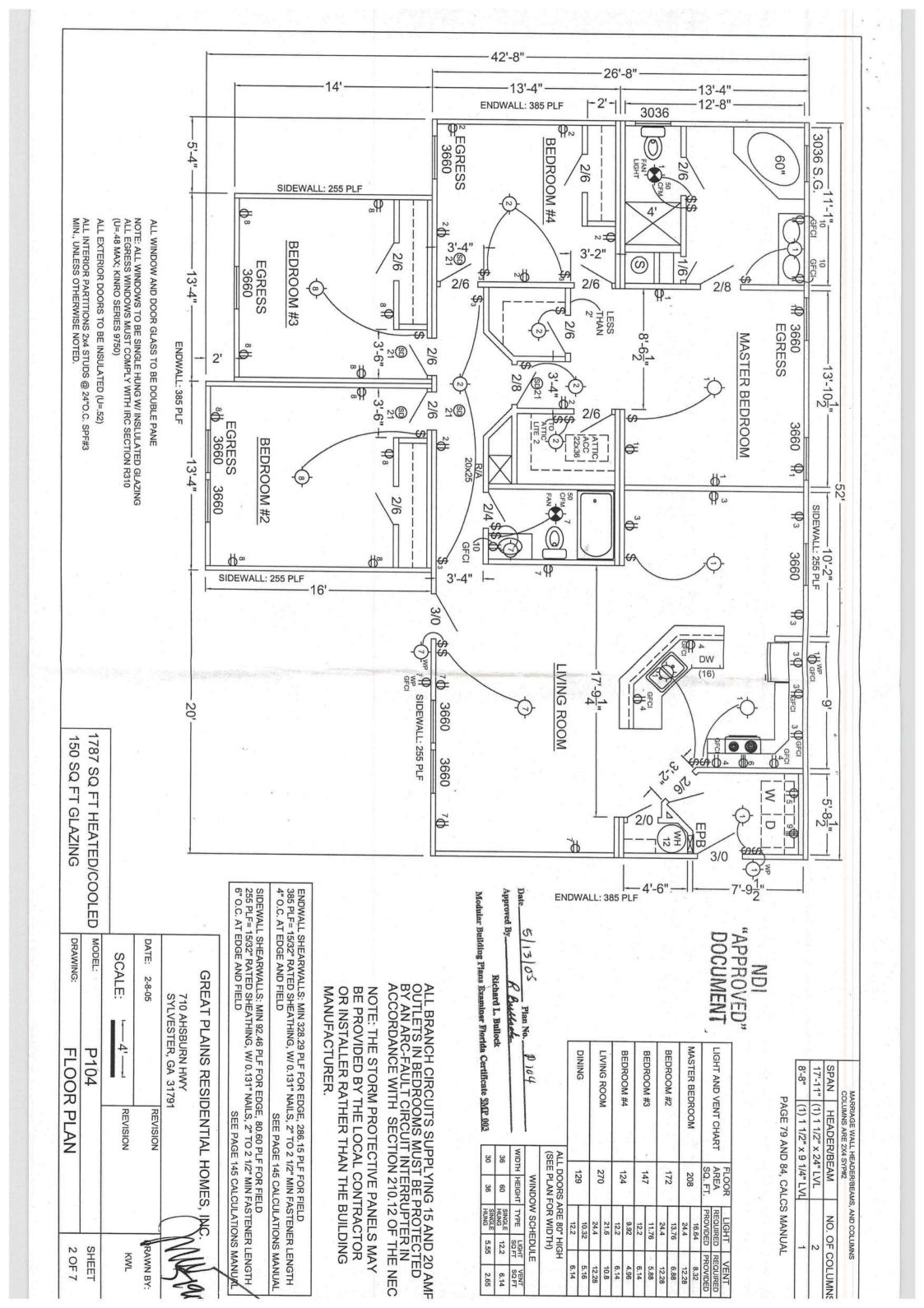
Culvert Waiver No. 000000759

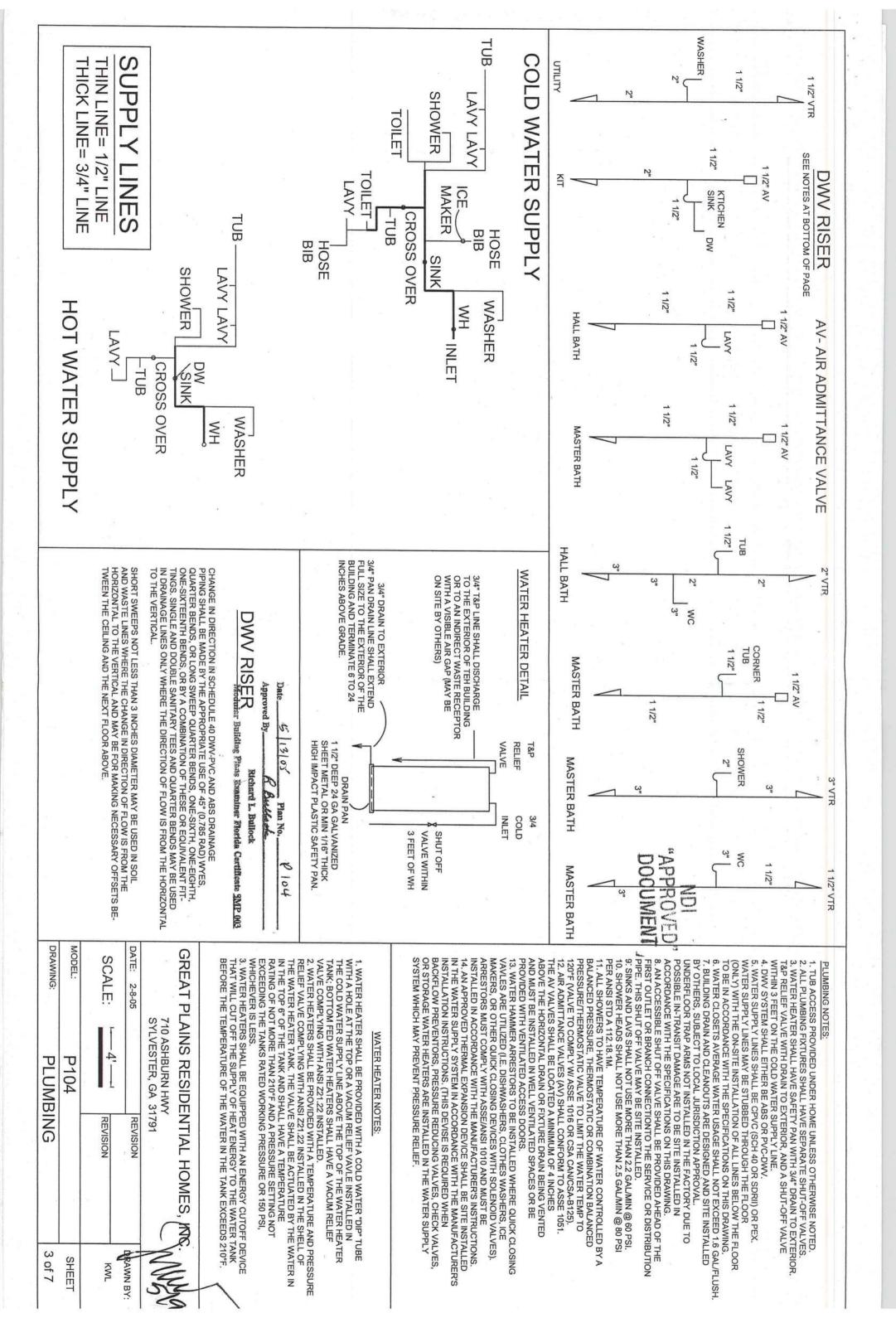
DATE: 11/18/2005 BUILDING PERMIT NO.	23450	<u></u>	
APPLICANT GEORGE TURNER	PHONE	904.545.1393	
ADDRESS 7378 SECRET WOODS TRAIL	JACKSONVILL	FL	32216
OWNER JACK KAEMMER	PHONE 9	904.219.0412	-
ADDRESS 193 NW COMPTON CT	LAKE CITY	FL	32055
CONTRACTOR GEORGE TURNER	PHONE	904.545.1393	
LOCATION OF PROPERTY LAKE JEFFERY ROAD TO COM	PTON CT,TR (1 BLOC	CK BEYOND SPRI	NG HOLLOW S.D)
IT'S THE 3RD LOT ON R.	90		10 To
	· ·		
SUBDIVISION/LOT/BLOCK/PHASE/UNITAZALEA CREEK	E - 1	7	
PARCEL ID # 24-3S-16-02275-067			
COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WIT		© [
A SEPARATE CHECK IS REQUIRED MAKE CHECKS PAYABLE TO BCC		Paid _50.0	0
A SEPARATE CHECK IS REQUIRED		Paid <u>50.0</u>	0
A SEPARATE CHECK IS REQUIRED MAKE CHECKS PAYABLE TO BCC	T USE ONLY		0
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A SEPARATE CHECK IS REQUIRED MAKE CHECKS PAYABLE TO BCC PUBLIC WORKS DEPARTMENT I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION CULVERT WAIVEP AS: APPROVED COMMENTS:	IT USE ONLY ON AND DETERMIN	ED - NEEDS A	
A SEPARATE CHECK IS REQUIRED MAKE CHECKS PAYABLE TO BCC PUBLIC WORKS DEPARTMENT I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION CULVERT WAIVEP AS: APPROVED COMMENTS: DA	ON AND DETERMIN NOT APPROV	ED - NEEDS A	CULVERT PERMI

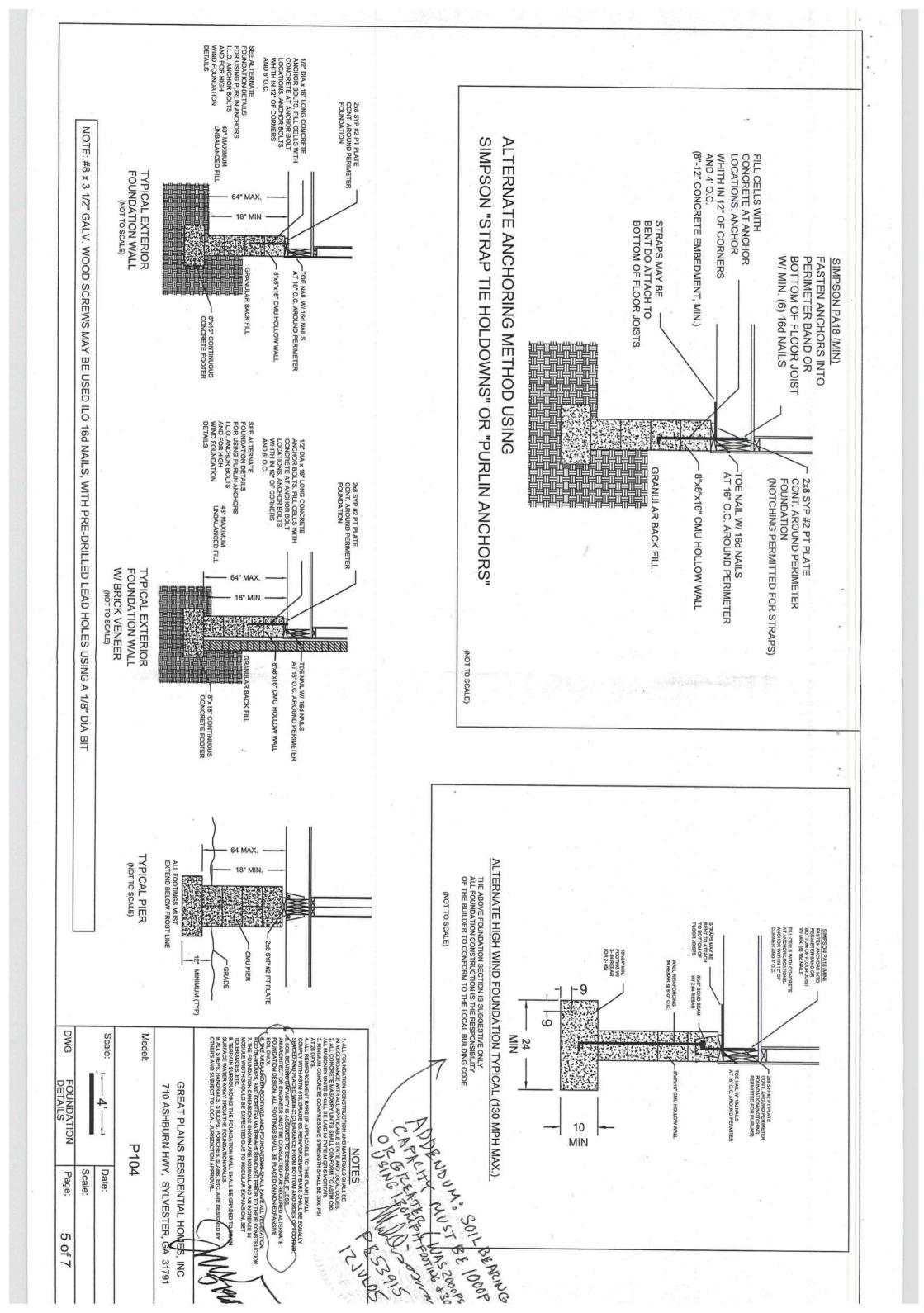


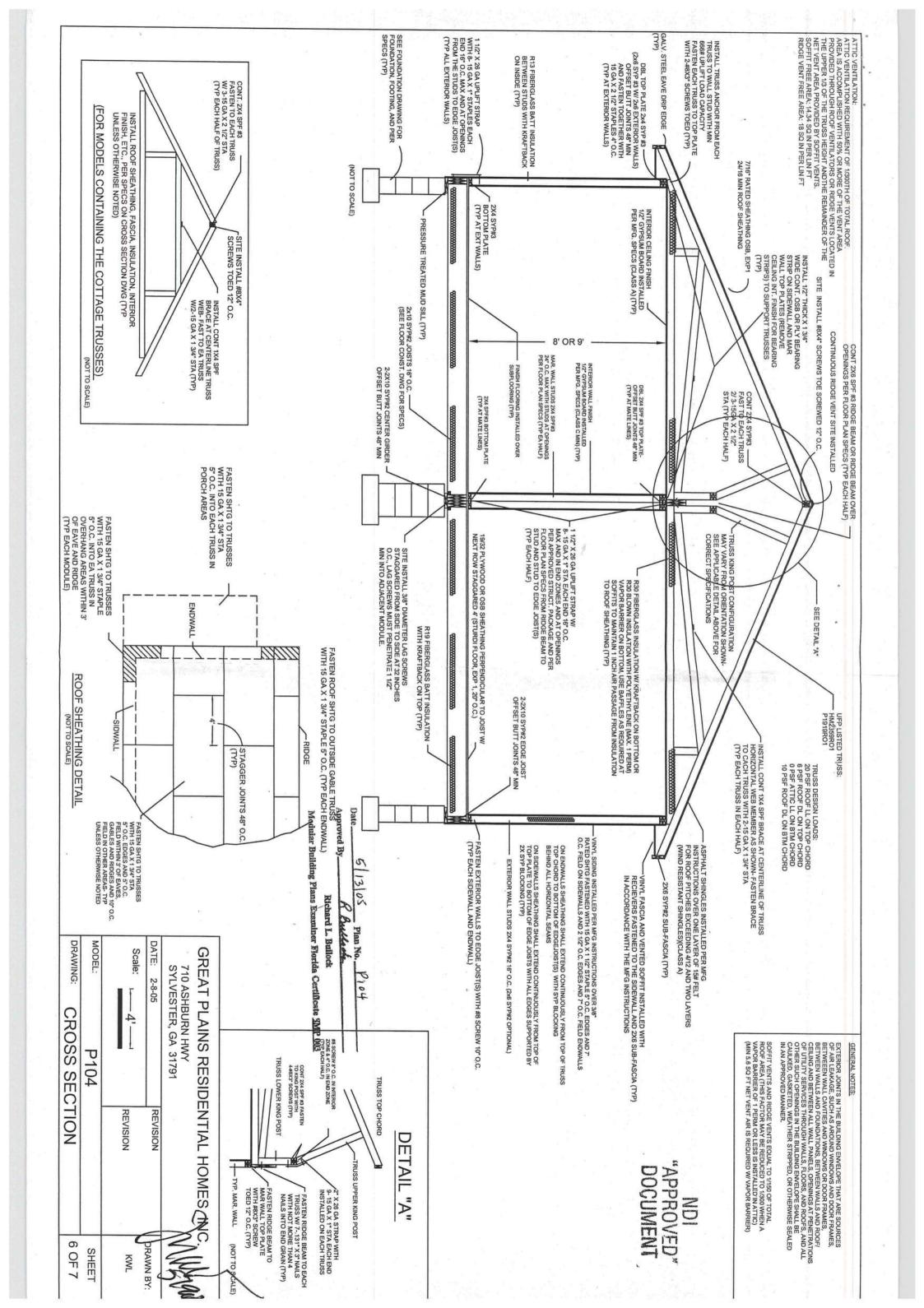
val due one (1) year from treatment date:	ORCH/REAR VTRY	FLOOR / LIVING AREA	CIRCLE ONE: COMMERCIAL	INAL PERIMETER GRADE	WASTE ARMS / DRIVE / WALKS	INT STRUCT / EXT BAND	WOOD TREATMENT	PRE-TREAT SLAB / PORCH / ENTRY	ADDRESS 93	BUILDER: 120198	What's Bugging You?	Pest
188 188 188 188		SQUARE FOOTAGE LINEAR FOOTAGE	CIAL RESIDENTIAL TYPE OF SLAB:				THOS PIENA!	0 -	SECTION C+ SUBDIVISION	PERMIT NUMBER:	FRE-TREAT LABEL	wall cells only
S SC FORM#MO8091		TAGE % GALLONS USED	-1				·5 Sy /27	% GALLONS EMPLOYEE	VISION AZGIER CIREK	234 SO www.turnerpest.com	Phone: (904) 355.5300 Fax: (904) 353.1488 Toll Free: (800) 253.1488	











ELECTRICAL NOTES:

3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKERS SHALL BE PERMITTED TO SERVE AS DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.

4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNGROUNDED CONCUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING DISCONNECT (MAIN CIRCUIT BREAKER) AND SHERGIZING THE ELECTRICAL SYSTEM, THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERRIFIED BY LOCAL ELECTRICAL CONSULTANT.

6. THE MAIN ELECTRICAL CONSULTANT.

7. ALL CIRCUITS CROSSING OVER MODULAR MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES, LOCATED IN THE FLOOR OR IN THE ATTIC.

8. ALL CIRCUITS TO BE COPPER NM EXCEPT HVAC AND RANGE CIRCUITS TO BE COPPER SE CABLE (75°C)

9. LIGHT AND SWITCH TO BE SITE-INSTALLED IN THE CRAWL SPACE ORDER OF INSTALLED GENERAL LIGHTING CIRCUITS)

10. RECEPTACLES INSTALLED BENERAL LIGHTING CIRCUITS)

10. RECEPTACLES INSTALLED IN WET LOCATIONS MUST BE IN A WEATHERPROOF ENCLOSURE WITH INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG CAP IS INSERTED OR HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXUTRES SHALL HAVE A MINIMUM CLEARANCE OF 8" FROM "STORAGE AREA" AS DEFINED BY NEC 410-8(a) ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NEC.

2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL

11. SMOKE DETECTORS MUST BE WIRED TO ACTIVATE ALL ALARMS SIMULTANEOUSLY IF ANY DETECTOR IS ACTIVATED. ALL SMOKE DETECTORS LOCATED WITHIN 20 FEET OF A COOKING APPLIANCE SHALL BE THE PHOTOELECTRIC TYPE.

12. ALL FANS MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING AND TERMINATE AT AN APPROVED VENT CAP. REMOVED.

SE CABLE CU 3/0-3

SERVICE DIAGRAM 200 AMP SERVICE

EXTEND THE COILED WIRE CAPBLE TO THE JBOX IN THE OTHER MODULE. CONNECT THE CABLE TO THE JBOX WITH A LISTED WIRE CONNECTOR. CONNECT EACH CONDUCTOR TO THE CORRESPONDING CONDUCTOR BASED BASED ON EACH CONDUCTORS WINSULATION COLOR (CONNECT THACK TO BLACK, ETC) AND CONNECT THE GROUNDING WIRE TO BOTH THE GROUNDING WIRE TO BOTH THE JBOX GROUNDING SCREW. IF MORE THAN ONE CIRCUIT IS TO BE CONNECTED IN THE SAME JUNCTION BOX, VERIFY THAT THE CORRECT CIRCUITS ARE BEING SPLICED TOGETHER BEFORE CONNECTING ANY WIRES TOGETHER.

SYSTEM. THESE SAME PROCEDURES SHOULD BE USED FOR ELECTRICAL CROSS OVER CONNECTIONS LOCATED IN THE ATTIC, INSPECT THE ATTIC, NEAR THE MATTE LINE FOR ALL SUCH REQUIRED ELECTRICAL CROSSOVER CONNECTIONS. THE DETAIL BELOW IS SHOWN FOR ELECTRICAL CROSS-OVER CONNECTIONS INSTALLED BELOW THE FLOOR SYSTEM. THESE SAME PROCEDURES SHOULD BE USED FI

WIRE CONDUTORS REQUIRED TO BE CONNECTED TO THE JBOX IN OTHER MODULE TO COMPLETE THE ELECTRICAL CROSSOVER CONNECTION (EXTRA WIRE TO BE COILED AND INSTALLED IN FRAMING CAVITY AT FACTORY TO ENABLE ON SITE CROSSOVER CONNECTION)

ELECTRICAL CROSS OVER DETAIL USE "UL LISTED" WIRE TO TWIST CONNECTORS (I.E. WIRE NUTS) TO CONNECT THE CURRENT CARRYING CONDUCTORS TOGETHER IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, USE AN APPROVED CRIMP TYPE CONNECTOR (NON-REMOVABLE CONNETOR) TO CONNECT THE GROUNDING WIRES TOGETHER. SUPPORT ALL CIRCUITS AND/OR INSTALL LISTED CABLE STAPLES OR FASTENINGS WITHIN 6" OF THE J BOX.

RE-INSTALL THE JUNCTION BOX COVER PLATE AND TEST EACH CIRCUIT AS REQUIRED BY THE LOCAL BUILDING OFFICIAL (HAVE ALL WORK INSPECTED AND APPROVED BY THE LOCAL BUILDING OFFICIAL BEFORE INSTALLING THE J BOX COVER OR TURNING ON THE POWER TO THE BUILDING OR CIRCUIT.)

WIRE CABLE MATE LINE I BOX LOCATION- INSPECT BELOW THE FLOOR TO DETERMINE THE REQUIRED CROSSOVER LOCATIONS FLOOR CONSTRUCTION

2" TYPE LB CONDUIT FITTING NSTALLED ON SITE PER NEC METER #2 COPPER GROUND WIRE OR RIGID NONMETALIC PER NEC CONDUITS MAY BE RIGID METAL STUB 1 1/2" EMPTY CONDUIT, FOR FUTURE FIXTURES SERVICE PANEL 2" CONDUIT DOCUMEN

ELECTRICAL LEGEND

-\$- \sim PANEL BOX **EXHAUST FAN** FLUORESCENT LIGHT INCANDESCENT LIGHT

(n) (8) CAN LIGHT SMOKE DETECTOR

DUPLEX RECPTACLE 240V RECEPT

SWITCH

21

SMOKE DETECTORS

14-2 W/ GND

15A, AFCI

16

DISHWASHER (OPT)

12-2 W/ GND

20A

10

BATH

DRYER

GENERAL LIGHTING GENERAL LIGHTING

14-2 W/ GND 14-2 W/ GND 8-3 W/ GND

15A, AFCI

30 2P

15A

40 2P 20A 20A

WATER HEATER

10-2 W/ GND

25 2P 20A

12-2 W/ GND 10-3 W/ GND

3 12

HVAC

5

WASHER

RANGE

3,4

SMALL APPLIANCE

12-2 W/ GND

14-2 W/ GND

12-2 W/ GND

CIR

DESCRIPTION

COND. SIZE (CU)

BREAKER

15A, AFCI

15A, AFCI

14-2 W/ GND

GENERAL LIGHTING GENERAL LIGHTING

ELECTRICAL CIRCUIT SCHEDULE

PANEL SIZING oved By.

(TYPICAL FOR HOMES UP TO 3000 SO FT) Plans Examine 9.00 KW = 3000 SQ FT.@ 3 WATTS/SQ FT

1.40KW = DISHWASHER 37.60KW = TOTAL 4.50KW = WATER HEATER 5.20KW = CLOTHES DRYER 3.00KW = (2) 20 AMP APPLIANCE CIRCUITS 1.50KW = LAUNDRY CIRCUIT 13.00KW = RANGE

10.00KW= FIRST 10 KW @ 100% 11.04KW = REMAINDER @ 40% (27.6)(.4) 20.90KW = ASSUMED HVAC 41.94KW = TOTAL

CALCULATED LOAD FOR SERVICE SIZE: 41,940 W / 240 VOLTS = 174.75 AMPERES

200 AMP SERVICE STANDARD

FOUNDATION NOTES:

1. FOUN (FOR REFERENCE ONLY) IDATION PLAN IS SHOWN AS TYPICAL STANDARD

3. SOIL 4. FOUNDATION WALL AND FOOTING SIZES ARE SUBJECT TO MIN. CONC. COMPRESSIVE STRENGTH 2500 PSI @ 28 DAYS BEARING CAPACITY 2000 PFS MIN. (ASSUMED)

BELOW 5. LOCA CHANGE DUE TO LOCAL CODES AND OR SOIL CONDITIONS. NATURAL GRADE TE ALL FOOTINGS BELOW FROST DEPTH AND MIN. 12"

6. WHEF DRAINAGE AT ALL TIMES. MEASURES SHALL BE TAKEN TO ASSURE POSITIVE THE OU **WE THE INTERIOR GROUND LEVEL IS BELOW** SIDE FINISH GRADE, ADEQUATE PRECAUTIONARY

"M" OR " 7. ALL CONCRETE BLOCKS SHALL BE LAID IN TYPE S" MORTAR.

" PPROVED W/ CORROSION RESISTANT WIRE MESH OF NOT LESS NET VENT AREA PER 1/150th OF THE FLOOR AREA SITE INSTALLED BY OTHERS. (SUBJECT TO AND AN MUST PROVIDE CROSS VENTILATION AND BE COVERED 8. FOUN LOCAL JURISDICTION AND APPROVAL). OPENING 18" X 24" MIN CRAWL SPACE ACCESS, DATION ENCLOSURE MUST HAVE (1) S.F.

9. INSTALL P.T. LUMBER ON ALL CONCRETE BLOCK PIERS.
10. CRAWL SPACE MIN. 18" FROM GRADE TO BOTTOM OF JOIST.
COVER GRADE W/ APPROVED VAPOR BARRIER. PROVIDED IN THIS DRAWING. MUST COMPLY WITH THE MINIMUM SPECIFICATIONS CLEARANCE (COVER) FROM THE BOTTOM OF THE FOOTING TO THE BOTTOM LAYER OF REBAR. ALL WITH AN fm' = 2000 PSI MIN (STD. WEIGHT BLOCKS) 13. ALL FOUNDATION AND/OR PIER CONSTRUCTION REBAR MUST BE LOCATED A MIN. 4 INCH CLEARANCE FROM THE SIDES OF THE FOOTING. EQUALLY SPACED AND PLACED WITH 3 INCHES OF A615, GRADE 60. REINFORCEMENT BARS SHALL BE 12. ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM 11. ALL CONCRETE BLOCKS MUST COMPLY WITH ASTM C90

Richard L. Bullock Fiorida Certificate 3MP 993 HVAC SYSTEM TO BE SITE **HVAC NOTE**

BUY OTHERS, SUBJECT TO REVIEW AND APPROVAL LOCAL BUILDING OFFICIAL INSTALLED AND DESIGNED

g

F7	7 OF 7	S	NOTES	DRAWING:
EET	SHEET		P104	MODEL:
٢	KWL	REVISION	Scale: 4'	o Ca
DRAWN BY:	DRAV	REVISION	: 2-8-05	DATE: 2-8-05
ž	2		SYLVESTER, GA 31791	S
Tax.	C.C.	ENTIAL HOMES, IN	GREAT PLAINS RESIDENTIAL HOMES, INC.	GRI 7

Project Name:

Address:

City, State:

P104

Lot: , Sub: , Plat:

PANAMA CITY, FL

Builder: Greong & TURNA

Permitting Office: Counnel

Permit Number:

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Owner: Great Plains Residential Homes, Inc. Climate Zone: North	Jurisdiction Number: 22/00 /
1. New construction or existing 2. Single family or multi-family 3. Number of units, if multi-family 4. Number of Bedrooms 5. Is this a worst case? 6. Conditioned floor area (ft²) 7. Glass area & type	12. Cooling systems a. Central Unit b. N/A c. N/A 13. Heating systems a. N/A C. N/A 14. Hot water systems a. Electric Resistance b. N/A c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) 15. HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
Glass/Floor Area: 0.08 Module: Bullding Plans Example: Florida Cortificate SMP 003 Total as-built po	13// 6.6.
I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code. PREPARED BY: DATE: I hereby certify that this building, as designed, is in compliance with the Florida Energy Code. DWNER/AGENT: DATE: EnergyGauge® (Vers	Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes. BUILDING OFFICIAL: DATE:

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot:, Sub:, Plat:, PANAMA CITY, FL,

PERMIT #:

BASE		AS-BUILT
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area	Type/SC	Overhang Ornt Len Hgt Area X SPM X SOF = Poin
.18 1787.0 20.04 6446.1	Double, Clear Double, Clear	N 0.3 0.3 135.0 19.20 0.71 184: N 0.0 0.0 15.0 19.20 1.00 28:
	As-Built Total:	150.0 213
WALL TYPES Area X BSPM = Points	Туре	R-Value Area X SPM = Point
Adjacent 0.0 0.00 0.0 Exterior 1515.0 1.70 2575.5	Frame, Wood, Exterior	13.0 1515.0 1.50 2273
Base Total: 1515.0 2575.5	As-Built Total:	1515.0 2277
DOOR TYPES Area X BSPM = Points	Туре	Area X SPM = Point
Adjacent 0.0 0.00 0.0 Exterior 40.0 6.10 244.1	Exterior Insulated	40.0 4.10 164
Base Total: 40.0 244.1	As-Built Total:	40.0 164
CEILING TYPES Area X BSPM = Points	Туре	R-Value Area X SPM X SCM = Point
Under Attic 1787.0 1.73 3091.5	Under Attic	30.0 1787.0 1.73 X 1.00 309
Base Total: 1787.0 3091.5	As-Built Total:	1787.0 3091
FLOOR TYPES Area X BSPM = Points	Туре	R-Value. Area X SPM = Point
Slab 0.0(p) 0.0 0.0 Raised 1787.0 -3.99 -7130.1	Raised Wood, Post or Pier	19.0 1787.0 0.77 1368
Base Total: -7130.1	As-Built Total:	1787.0 1368
INFILTRATION Area X BSPM = Points		Area X SPM = Point
1787.0 10.21 18245.3		1787.0 10.21 18245.
Summer Base Points: 23472.3	Summer As-Built	Points: 27272.
Total Summer X System = Cooling Points Multiplier Points	Total X Cap Component Ratio	X Duct X System X Credit = Cooling Multiplier Multiplier Multiplier Points (DM x DSM x AHU)
23472.3 0.4266 10013.3	27272.8 1.000 27272.8 1.00	(1.000 x 1.147 x 0.86) 0.341 1.000 9229.9 0.992 0.341 1.000 9229.9

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: , Plat: , PANAMA CITY, FL,

PERMIT #:

	BASE					AS-	BUI	LT	1010			
GLASS TYPES .18 X Condition Floor Are		= Points	Type/SC			rhang Len	Hgt	Area X	WF	PM X	WOF	= Points
.18 1787.	0 12.74	4097.9	Double, Clear Double, Clear		N N	0.3	0.3	135.0 15.0	24. 24.	58	1.02 1.00	3378.6 368.7
			As-Built Total:					150.0				3747.3
WALL TYPES	Area X BWP	PM = Points	Туре			R-	Value	Area	X	WPM	=	Points
Adjacent Exterior	0.0 0.0 1515.0 3.7		Frame, Wood, Exte	erior			13.0	1515.0		3.40		5151.0
Base Total:	1515.0	5605.5	As-Built Total:					1515.0				5151.0
DOOR TYPES	Area X BWP	M = Points	Туре					Area	Х	WPM	=	Points
Adjacent xterior	0.0 0.0 40.0 12.3		Exterior Insulated					40.0		8.40		336.2
Base Total:	40.0	492.2	As-Built Total:					40.0				336.2
CEILING TYPES	Area X BWP	M = Points	Туре		R	-Value	Ar	ea X W	РM	X WC	M =	Points
Under Attic	1787.0 2.0	5 3663.3	Under Attic		- Aradam		30.0	1787.0	2.05	X 1.00		3663.3
Base Total:	1787.0	3663.3	As-Built Total:					1787.0		***********		3663.3
FLOOR TYPES	Area X BWP	M = Points	Туре			R-	Value	Area	Х	WPM	=	Points
Slab Raised	0.0(p) 0.0 1787.0 0.9		Raised Wood, Pos	t or Pier			19.0	1787.0		0.88		1565.4
Base Total:		1715.5	As-Built Total:					1787.0				1565.4
INFILTRATION	Area X BWP	M = Points						Area	X	WPM	=	Points
	1787.0 -0.5	59 -1054.3	No.	r			1 - 1	1787.	0	-0.59		-1054.3
Winter Base	Points:	14520.2	Winter As-E	Built P	oints						13	408.9
Total Winter X Points	System = Multiplier	Heating Points	Total X Component	Cap Ratio		Itiplier	Mu	/stem X iltiplier		redit ultiplier		leating Points
14520.2	0.6274	9110.0	13408.9	1.00	1	.033		0.590	1	.000	8	166.1

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: , Plat: , PANAMA CITY, FL, PERMIT #:

	В	ASE				1		A	S-BUII	LT	11 AV 12 1 1 1 1	
WATER HEA Number of Bedrooms	XTING X	Multiplier	=	Total	Tank Volume	EF	Number of Bedrooms			Multiplier		: Total
3		2746.00		8238.0	50.0 As-Built To	0.88 otal:	3		1.00	2746.00	1.00	8238.0 8238.0

			2.5	CODE	C	OMPLI	ANCE	S7	TATUS	3		-	
1		BAS	SE						2.55	AS	BUILT		
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points
10013		9110	. *	8238		27361	9230		8166		8238		25634

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot:, Sub:, Plat:, PANAMA CITY, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum:.3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	0
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	12
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 85.4

The higher the score, the more efficient the home.

Great Plains Residential Homes, Inc., Lot: , Sub: , Plat: , PANAMA CITY, FL,

1		New construction or existing		New		12.	Cooling systems	
2		Single family or multi-family		Single family		a.	Central Unit	Cap: 20.0 kBtu/hr
3		Number of units, if multi-family		1				SEER: 10.00
4		Number of Bedrooms		3		b.	N/A	DEEK: 10.00
5.		Is this a worst case?		No	_			1.5
6.	63	Conditioned floor area (ft2)		1787 ft ²		c.	N/A	-
7.		Glass area & type	Single Pane	Double Pane	-			2
	a.	Clear glass, default U-factor	0.0 ft ²	150.0 ft²		13.	Heating systems	
	b.	Default tint, default U-factor	0.0 ft ²	0.0 ft ²			N/A	
	c.	Labeled U-factor or SHGC	0.0 ft ²	0.0 ft ²	Parameter Company			7
8.	6	Floor types		05304005-0	*	b.	N/A	1.12
	a.	Raised Wood, Post or Pier	R=	19.0, 1787.0ft²	- Carrier			
	b.	N/A				c.	N/A	
	c.	N/A						
9.		Wall types			-	14.	Hot water systems	e o
	a.	Frame, Wood, Exterior	R=1	3.0, 1515.0 ft ²	_	a.	Electric Resistance	Cap: 50.0 gallons
٠,	b.	N/A			-		1 E	EF: 0.88
	c.	N/A				b.	N/A	-
		N/A			-			a 3
	e.	N/A			_	c.	Conservation credits	
10	0.	0.71			_		(HR-Heat recovery, Solar	-
	a.	Under Attic	R=3	0.0, 1787.0 ft ²			DHP-Dedicated heat pump)	
	b.	N/A			_	15.	HVAC credits	
		N/A					(CF-Ceiling fan, CV-Cross ventilation,	-
1	1.	Ducts			_		HF-Whole house fan,	
		Sup: Con. Ret: Con. AH(Sealed):	Interior Sup.	R=6.0, 60.0 ft	_		PT-Programmable Thermostat,	
	b.	N/A			_		MZ-C-Multizone cooling,	
				* .			MZ-H-Multizone heating)	
		20						

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: Develope a Transce Date: 7-14-05

Address of New Home: 19314 W Cont Ton City/FL Zip: Loke city

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*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar **Mesignation), our home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

EnergyGauge® (Version: FLRCPB v3.4)



he Florida Department of Community Affairs Building Code Information System



SITE NAVIGATION

















Product Approval







Plan's Detail

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Plan Tracking #:	17079
Agency Plan #:	P104
Status:	Accepted

Insignias

Manufacturer: **Building Type:** Manufactured Buildings

Construction Type: Residential Occupancy: Allowable # of Floors: 1 Wind Velocity: 130 mph Fire Rating of Exterior Walls:

Maximum Floor Load: Live: 40 psf Dead: 8 psf Roof Load:

"U" Rating of Floor, Wall, and Roof: 0 Modules per Building: Square Footage: 1787 sq. ft.

Approved for Hurricane Protection Usage: Designed for use as a Hurricane Public Shelter: No

Plan Comments:

Agency To Review: Date Entered:

Original Plan Tracking #: **Attached Files**

VI

Great Plains Residential Homes, Inc.

0 hrs

Live: 20 psf Dead: 6 psf

No

these plans comply with the FBC changes as of June 30,2003. Richard Bullock#SMP003 calcs on file National Design and Inspection, Inc.

05/26/2005

0

Date	File
05/26/2005	plan_17079_great plainsp104page1.pdf
05/26/2005	plan_17079_great plainsp104page2.pdf
05/26/2005	plan_17079_great plainsp104page3.pdf
05/26/2005	plan_17079_great plainsp104page4.pdf
05/26/2005	plan_17079_great plainsp104page5.pdf
05/26/2005	plan 17079 great plainsp104page6 pdf

plan_17079_great plainsp104page7.pdf

Review results

05/26/2005

Back

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PRE-TREAT LABEL

23450

480 S. Edgewood Ave. Jacksonville, FL 32205-3775

Phone: (904) 355.5300 Fax: (904) 353.1488 Toll Free: (800) 225.5305

www.turnerpest.com

PERMIT NUMBER: 23450

ON CT	1250	TOWN OWN COMPTON	ADDRESS
SUBDIVISION ACOUEN CREEK	SECTION	ВLОСК	LOT NO.
PERMIT NUMBER:	1	BUILDER: CEOKE & JUNENER	BUILDER:
www.turnerpest.co		What's Bugging You?	What's Bu

ADDRESS_ LOT NO.

TREATED	USED	76	USED
06 0	HPERLIC	N.	40
	-7-06 (OG CHAEVIC	USED

TECH DOWN FRONT ENTRY PATIO / PORCH / REAR GARAGE FIRST FLOOR / LIVING AREA TOTAL TREATED このないだりまし SQUARE FOOTAGE LINEAR FOOTAGE % GALLONS USED

Annual renewal due one (1) year from treatment date

FORM#M06091