

DA 08

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000026929

APPLICANT GREG LIMKEMAN PHONE 904 866-7998
ADDRESS 7024 SW SABASTIAN AVE JACKSONVILLE FL 32217
OWNER NITA HILTON PHONE 407 230-0576
ADDRESS 163 SW PRETORIA CT LAKE CITY FL 32024
CONTRACTOR CHARLES ROGERS PHONE 813 752-1368
LOCATION OF PROPERTY 47S, TR ON CR 240, TL ON PURITAN PLACE, TL ON PRETORIA,
1ST LOT ON LEFT
TYPE DEVELOPMENT MODULAR ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X PP DEVELOPMENT PERMIT NO.

PARCEL ID 09-5S-16-03498-201 SUBDIVISION OAKFIELD ACRES
LOT 1 BLOCK PHASE UNIT TOTAL ACRES 4.01

CBC1253434
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
PRIVATE 08-214 BK JH Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 5476

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00
INSPECTORS OFFICE Ashe Tedder CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

5475 - Impact
5476 - Permi.

For Office Use Only Application # 0804-08 Date Received 4/2/08 By UH Permit # 26929
 Zoning Official BLK Date 10.04.08 Flood Zone X Revivator FEMA Map # N/A Zoning A-3
 Land Use A-3 Elevation N/A MFE 1st shore River N/A Plans Examiner OKSH Date 4-4-
 Comments 7

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Authorization from Contractor
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. 08-0214-N Lab Fax 904-730-7234

Name Authorized Person Signing Permit Wayne Linkeman Phone 904-866-7898

Address 7024 San Sebastian Av. Jacksonville, FL. 32217

Owners Name MITO A. HILTON Phone 407-230-0576

911 Address 163 S.W. Pretoria Court Lake City FL 32024

Contractors Name Charles P. Rogers Phone 813-752-1368

Address 605 South Frontage Rd. Plant City, FL. 33566

Fee Simple Owner Name & Address Same as owner

Bonding Co. Name & Address -

Architect/Engineer Name & Address -

Mortgage Lenders Name & Address -

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 09-55-16-03498-201 Estimated Cost of Construction \$250,000.00

Subdivision Name Oakfield Acres Lot 1 Block - Unit - Phase 4

Driving Directions Highway 41 South to Highway 47 to Hwy. 240 then right 1.6 miles to S.W. Pretoria place then left to S.W. Pretoria Ct then left to site on left. 2nd lot on left on corner
 Number of Existing Dwellings on Property None

Construction of Modular Home Total Acreage 4.01 Lot Size 345' x 446'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 18'

Actual Distance of Structure from Property Lines - Front 280' Side 70' Side 225' Rear 140'

Number of Stories 1 Heated Floor Area 2544 Total Floor Area 2640 Roof Pitch 5/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Spoke to Wayne
4/10/08

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

X Nita A. Hilton
Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

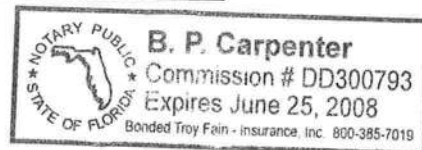
X Chad P. Hooper
Contractor's Signature (Permitee)

Contractor's License Number CBG 1253434
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to be by the Contractor and subscribed before me this 14 day of MARCH 200
Personally known X or Produced Identification _____

B. P. Carpenter
State of Florida Notary Signature (For the Contractor)

SEAL:



ATS
13774Doc 3028028 Date: 12/31/2003 Time: 10:38
Stamp-Deed : 161.00
DC, P. Dewitt Cason, Columbia County B: 1003 P: 1308**Warranty Deed***Individual to Individual***THIS WARRANTY DEED made the 29th day of December, 2003**Russell Benjamin Brondo, and his wife, Betty Jean Brondo
hereinafter called the grantor, toWilliam L. Hilton, and his wife, Nita A. Hilton
whose post office address is: 1018 Royalton Road, Orlando, FL 32825
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R03498-201

Lot 1, Phase 2, Oakfield Acres, a subdivision as per plat thereof recorded in Plat Book 6, Page 18-18A, of the Public Records of Columbia County, Florida.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Lyndi Skinner

Witness:

LYNDI SKINNER

Sylvia Gaskins

Witness:

Sylvia Gaskins

Russell Benjamin Brondo

Russell Benjamin Brondo

Betty Jean Brondo

Betty Jean Brondo

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 29th day of December, 2003 by Russell Benjamin Brondo, and his wife, Betty Jean Brondo personally known to me or, if not personally known to me

Hilton

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R03498-201

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IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Lynndi Skinner
Witness: LYNNDI SKINNER
Sylvia Gaskins
Witness: Sylvia Gaskins

Russell Benjamin Brondo
Russell Benjamin Brondo
Betty Jean Brondo
Betty Jean Brondo

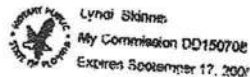
STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 29th day of December, 2003 by Russell Benjamin Brondo, and his wife, Betty Jean Brondo personally known to me or, if not personally known to me, who produced Driver's License No. _____ for identification and who did not take an oath.

Prepared by:
Michael H. Harrell
Abstract & Title Services, Inc.
382 SW Baya Dr.
Lake City, FL 32025

Lynndi Skinner
Notary Public

(Notary Seal)



Hilton

Palm Harbor Construction



605 S Frontage Road
Plant City, FL 33563
Phone: 813-752-1368
Fax: 813-659-1224
CBC1253434
IH0000607

POWER OF ATTORNEY

March 14, 2008

Columbia County Building Department

To Whom It May Concern:

I, Charles P. Rogers, do hereby give my permission to Wayne Limkeman to register my license, to apply for, sign for and pick up a permit on my behalf for the property at 163 SW Pretoria Court in Lake City, Parcel #R03498-201.

Thank You,

Charles P. Rogers
CBC1253434

State of Florida
County of Hillsborough

Subscribed and sworn to before me this 14 day of MARCH, 2008, by Charles P. Rogers., who is personally known to me.

Notary Public:

Notary Seal:

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ronn_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 2/7/2008 DATE ISSUED: 2/8/2008

ENHANCED 9-1-1 ADDRESS:

163 SW PRETORIA CT

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

09-5S-16-03498-201

Remarks:

LOT 1 OAKFIELD ACRES PHASE 11

Address Issued By: 
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

Approved Address

1141

FEB 08 2008

911Addressing/GIS Dept

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2102-0719F FMX466T5	Builder: <i>Charles Rogers</i>
Address: <i>163 S.W. Retovna Ex.</i>	Permitting Office: <i>Columbia Co.</i>
City, State: <i>Lake City, FL</i>	Permit Number: <i>26929</i>
Owner: <i>Nita A. Hilton</i>	Jurisdiction Number: <i>221050</i>
Climate Zone: North	

1. New construction or existing New <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family Single family <input type="checkbox"/>	a. Central Unit Cap: 54.1 kBtu/hr
3. Number of units, if multi-family 1 <input type="checkbox"/>	SEER: 13.00 <input type="checkbox"/>
4. Number of Bedrooms 4 <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? Yes <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) 2544 ft² <input type="checkbox"/>	13. Heating systems
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump Cap: 33.6 kBtu/hr
a. U-factor: Description Area	HSPF: 7.70 <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Single, U=0.4) 324.8 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 324.8 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance Cap: 50.0 gallons
a. Raised Wood, Stem Wall R=11.0, 880.0 ft² <input type="checkbox"/>	EF: 0.91 <input type="checkbox"/>
b. Raised Wood, Stem Wall R=11.0, 880.0 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. 1 Others 784.0 ft² <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior R=11.0, 1496.0 ft² <input type="checkbox"/>	DHP-Dedicated heat pump)
b. Frame, Wood, Exterior R=11.0, 160.0 ft² <input type="checkbox"/>	15. HVAC credits PT, <input type="checkbox"/>
c. Frame, Wood, Exterior R=11.0, 15.0 ft² <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic R=30.0, 784.0 ft² <input type="checkbox"/>	MZ-H-Multizone heating)
b. Under Attic R=30.0, 880.0 ft² <input type="checkbox"/>	
c. Under Attic R=30.0, 880.0 ft² <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Con. AH: Interior Sup. R=6.0, 350.0 ft <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.13

Total as-built points: 27034

Total base points: 33127

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*

DATE: APPROVED MAR 26 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: *Wayne A. Simblman*

DATE: 4/2/08

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: *[Signature]* Date: APPROVED BY SCOTT S. FRANCIS

DATE: 4/2/08

SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA.

Modular Building Plans Examiner
Florida License No. SMP-42



Palm Harbor Construction

605 S Frontage Road
Plant City, FL 33563
Phone: 813-752-1368
Fax: 813-659-1224
CBC1253434
IH0000607

POWER OF ATTORNEY

April 16, 2008

Lake City County
File No. 0804-08 Hilton

To Whom It May Concern:

I, Charles P. Rogers, do hereby give my permission to Greg Limkeman to apply for, sign for and pick up a permit on my behalf for the property at 163 Pretoria Ave. Lake City.

Thank You,

Charles P. Rogers
CBC1253434

State of Florida
County of Hillsborough

Subscribed and sworn to before me this 16 day of April, 2008, by Charles P. Rogers, who is personally known to me.

Notary Public Charlene A. Palko

Notary Seal:



NOTICE OF COMMENCEMENT

Tax Parcel Identification Number 09-55-16-03478-201

Inst: 200812006512 Date: 4/2/2008 Time: 12:09 PM

14 DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1147 P: 407

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (legal description): Lot 1 Oakfield Acres Phase 2
a) Street (job) Address: 163 S.W. Letonia Court
2. General description of improvements: Install Modular Home
3. Owner Information
a) Name and address: Nita A. Hilton
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property _____
4. Contractor Information
a) Name and address: Charles P. Rogers 605 South Frontage Rd. Plant City, FL
b) Telephone No.: 813-752-1368 Fax No. (Opt.): 813-769-8489 33566
5. Surety Information
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. X Nita A. Hilton
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Nita A. Hilton
Print Name

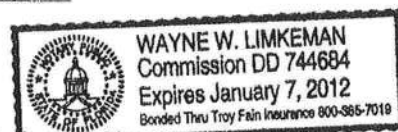
The foregoing instrument was acknowledged before me, a Florida Notary, this 1st day of February, 2008, by:
Nita A. Hilton as owner (type of authority, e.g. officer, trustee, attorney

fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification X Type FL. Not. License

Notary Signature Wayne W. Limkeman Notary Stamp or Seal: _____

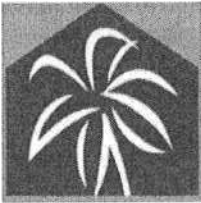
—AND—



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

Palm Harbor Construction



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Thank You,

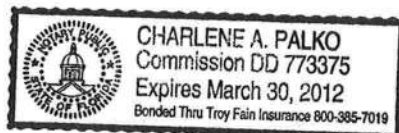
Charles P. Rogers
CBC1253434

State of Florida
County of Hillsborough

Subscribed and sworn to before me this 16 day of April, 2008, by Charles P. Rogers., who is personally known to me.

Notary Public:

Notary Seal:



COLUMBIA COUNTY OFFICE OF OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 09-5S-16-03498-201

Building permit No. 000026929

Use Classification MODULAR

Fire: 25.68

Permit Holder CHARLES ROGERS

Waste: 67.00

Owner of Building NITA HILTON

Total: 92.68

Location: 163 SW PRETORIA COURT, LAKE CITY, FL

Date: 06/25/2008




Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

FLORIDA
STRUCTURAL LOAD LIMITATIONS:

1. FLOOR LIVE LOAD 40 PSF	
2. ROOF LIVE LOAD 20 PSF	
3. WIND LOAD: 150 mph WIND SPEED (3 sec gusts/Refer to FloorPlan)	
4. $I_w = 1.0$ WIND IMPORTANCE FACTOR	
5. BUILDING CATEGORY II, ENCLOSED.	
6. $G_{CPI} = 0.18$ INTERNAL PRESSURE COEFFICIENT(ENCLOSED)	
7. D.W.P FOR C/C PSF	
8. $E =$ elevated set	
9. FLOOD LOAD: THIS BUILDING MAY BE LOCATED IN A FLOOD HAZARD AREA PROVIDED NO MODULAR PORTION OF THE BUILDING IS LOCATED BELOW A BASE FLOOD ELEVATION.	

- General Notes - 2004 Florida Building Code, 2005, 2006, 2007 supplements.
- Designs per the Florida Building Code in effect at time of production.
 - Calculations are based on Exposure 'C'.
 - Reserved.
 - Occupancy is Residential (R-3)
 - Construction is type V-B.
 - Occupant load is based upon one person for each 200 sq. ft. of floor area.
 - Floor Live Load = 40 p.s.f.
 - Roof Live Load = 20 p.s.f.
 - Wind speed = 150 mph (3 sec. gusts) Exposure 'C'. See details in this approved package for specifics.
 - All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
 - All materials covered by the Florida Building Commission chapter 9B-72 rules shall have current Florida Product Approvals.
 - Minimum corridor width is 36 inches.
 - Windows, glass and doors shall comply with AAMA / NW-701 / LS-2.97
 - Unless specifically noted on the approved plans and details, this building is NOT designed (nor intended) to be located in "High Velocity Hurricane Zones".
 - It is the responsibility of the contractor and/or retailer to verify that each home is installed in the region for which it has been designed and constructed and that NO home is installed into "High Velocity Hurricane Zones", "Coastal High Hazard Areas", "Regulatory Flood Plain Areas" and/or "V-Zone Areas" unless specifically designed, engineered and constructed to comply with the Florida Building Codes governing those specific zones, areas or regions. Palm Harbor Homes and its third party approval agency(s), along with the architect and/or the engineer of the building plans, shall not be held responsible or liable, if a contractor and/or retailer installs a home into a region for which it has not been designed and/or constructed. The contractor and/or retailer shall bear sole responsibility.
 - Data plate, state label shall be located on the inside cover of or near the electrical panel.
 - Raised seal prints are on file in the office of HWC, Inc.
 - Plan review and inspection required by Chapter 633 F.S. to be handled by local fire inspector.
 - This building is designed for a permanent foundation and is NOT intended to be moved once so installed.

Mechanical Notes - 2004 FBC, Residential: 2005, 2006, 2007 supplements.

- All supply air registers are adjustable, except where otherwise specified on the plans.
- Interior doors shall be undercut 1 1/2" above the finished floor for return air and/or as noted on the floor plan.
- Restroom vent fans shall provide 50 cfm minimum of ventilation.
- Vent fans shall be ducted to the exterior of home.
- HVAC equipment shall be equipped with outside fresh air intakes providing 20 cfm for each occupant OR 50 cfm for each water closet and/or each urinal, whichever is greater. This is required to be installed on-site, by others.
- ALL ducts and duct system components installed in the attic area with insulation shall have a minimum R-value of R-6.0.
- ALL ducts and duct system components installed on the exterior of the building (including the crawl space below), shall have a minimum R-value of R-8.0.
- ALL HVAC components installed on-site, shall be installed by a licensed HVAC contractor.

Attention Local Building Inspections Department:

The following items have not been completed by the manufacturer, have not been inspected by HWC and are not certified by the State of Florida, Department of Community Affairs Inspectors (Iabel). Note: This list does not necessarily limit the items, work and/or materials that may be required for a complete installation. ALL SITE INSTALLED ITEMS ARE SUBJECT TO APPROVAL BY THE LOCAL JURISDICTION HAVING AUTHORITY. Code compliance for those site installed items shall be determined at the local level and are the responsibility of the licensed contractor installing the building and NOT Palm Harbor Homes.

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CODE SUMMARY

STATE:	FLORIDA
RESIDENTIAL: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.	FIRE PREVENTION: 2004 FL FIRE PREVENTION LIFE SAFETY: 2003 NFPA 101 LIFE SAFETY CODE
ELECTRICAL: 2005 N.E.C.	MECHANICAL: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.
PLUMBING: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.	ACCESSIBILITY: 2004 FBC CHAPTER 11 2004 FL ACCESSIBILITY CODE W/05, 06, 07 SUPPL.
ENERGY: 2004 FL ENERGY EFFICIENCY CODE W/05, 06, 07 SUPPL.	

Plumbing Systems - 2004 FBC, Residential: 2005, 2006, 2007 supplements.

- All systems shall be constructed with the materials listed in FBC, Residential - Plumbing with materials listed in chapters 25 through 32.
- DWV systems may be ABS OR PVC piping.
- Tub access provided under home, unless otherwise noted.
- Building drain and clean-outs, when designed and site installed by others, are subject to local jurisdiction approval.
- Water heater shall have a safety pan with 1 inch minimum drain to the exterior.
- Water heater T & P relief valve to drain to exterior.
- Thermal Expansion device, if required by water heater installation instructions, and if NOT shown on the approved plumbing plan, shall be designed and installed on-site, by others and is subject to local approval.
- All plumbing fixtures to have separate shutoff valves.
- Shutoff valve to be installed within three feet of the fresh water inlet to the home (site installed, by others).
- Water supply pipes installed in an wall exposed to the exterior shall be located on the heated side of the wall insulation. Water lines located in unconditioned spaces to be insulated with minimum R-6.5 insulation.
- Water supply lines shall be PEX, polybutylene, CPVC or copper.
- ALL supply 'crossover' piping to be connected on-site by others.
- Shower stalls shall be covered with a nonabsorbent material to a height of 72 inches above finished floor (may be on-site).
- Showers shall be controlled by an approved mixing valve with a maximum outlet temperature of 120° F (48.8° C).
- ALL on-site plumbing shall be installed by a licensed plumbing contractor. ALL on-site plumbing is subject to inspection and approval by the local authority having jurisdiction.
- Water hammer arrestors are required with quick closing valves.

Site Installed Items:

(This list contains examples and shall not be considered all inclusive)

- The complete foundation and tie-down systems.
- Ramps, stairs and general access to the building.
- Building drains, clean-outs and hookup to the plumbing system.
- Any portable fire extinguisher(s) that may be required.
- Electrical service hookup (including feeders) to the building.
- The main electrical panel and sub-feeders (multi-section units).
- Structural and aesthetic interconnections between modules (multi-section units).
- Exterior siding and/or roofing may be installed in the factory or left off to be installed on-site, by others.
- Exterior wall finish and soffit materials.
- Window protection, storm shutters.
- Bottom of floor wind protection (when required).
- Crossover duct and connections (HVAC).
- HVAC disconnect.
- Fireplace chimney.
- Gable wall framing, chimney.
- HVAC equipment.
- Combustion Gas Venting, Combustion Air Intake.

INDEX of Drawing Package

DESCRIPTION	PAGE(S)
Cover Sheet	CS-1
Exterior Elevations	FP-2 TO FP-2.4
Floor Plan	FP-3
Floor Plan Notes	FP-3.1
Floor Seawall Notes	FP-3.2
Electrical Plan	FP-4
Electrical Notes	FP-4.1
Drain/Waste/Vent System	FP-5
Water Supply Cold	FP-6
Water Supply Hot	FP-6.1
Roof Plan - And Duct Layout	FP-7
Gas Line Layout	FP-9
Typ. Foundation Layout	F-1 to F-4

Date: 3.26.08
Approved By: SCOTT S. FRANCIS
Plan No. 2102-0719

Modular Building Plans Examiner
Florida License No. SMP-42

ATTACHMENTS:

HVAC Load Calculations
Florida Energy Calculations

Approximate Square Footage of Building:
2640 Square Feet

Palm Harbor Homes
605 South Frontage Road
Plant City, FL 33563
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The 1st letter of the model number designates the State.
The 2nd is a series designation and can change without reapproval.

LISTING
AGENCY
APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY (150 (3 sec))	
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0719F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	3.26.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

State:

Palm
Harb
Home

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Plant
Location:
PLANT CIT

06/09

By:
Date:
032308

Series:
DESIGNER

Model
Number:
FMX466T5

Page
Number:
CS-1

Designation:

Rev. By: -
Revision: -

Approvals

P.E.

3rd Party:

FILE COPY

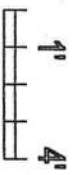
2102-0719

These plans comply with the Florida
Manufactured Building Act of 1979. Owner's
Code and reference to the following statute:

QWERTY

DATE LINE

LINE



STEEL EXTERIOR DOORS
FIBERGLASS SHINGLES "CLASS A"
LOW-E INSULATED WINDOWS
STEEL EXTERIOR DOORS

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Harbor
Homes

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Plant City, FL 33563

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[illegible]

**LISTING
AGENCY
APPROVAL**

These plans were prepared by the undersigned and are hereby approved for the listing of the building.

DATE: 3/26/04

APPROVAL DATE: 3/26/04

APPROVAL SIGNATURE: [Signature]

AGENCY: [Blank]

AGENCY TYPE: [Blank]

AGENCY NO.: [Blank]

AGENCY ADDRESS: [Blank]

AGENCY CITY: [Blank]

AGENCY STATE: [Blank]

AGENCY ZIP: [Blank]

AGENCY PHONE: [Blank]

AGENCY FAX: [Blank]

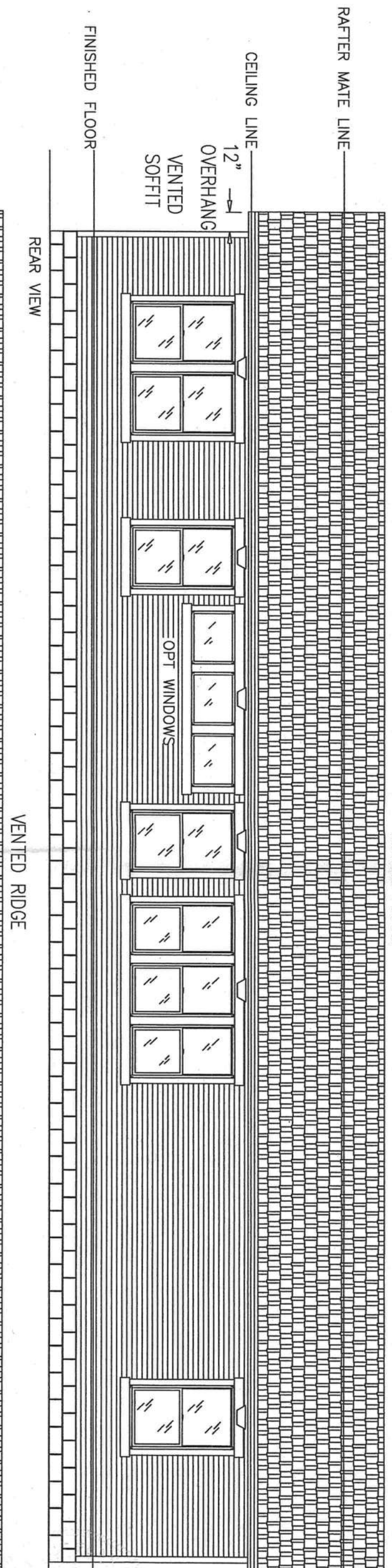
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AGENCY WEBSITE: [Blank]

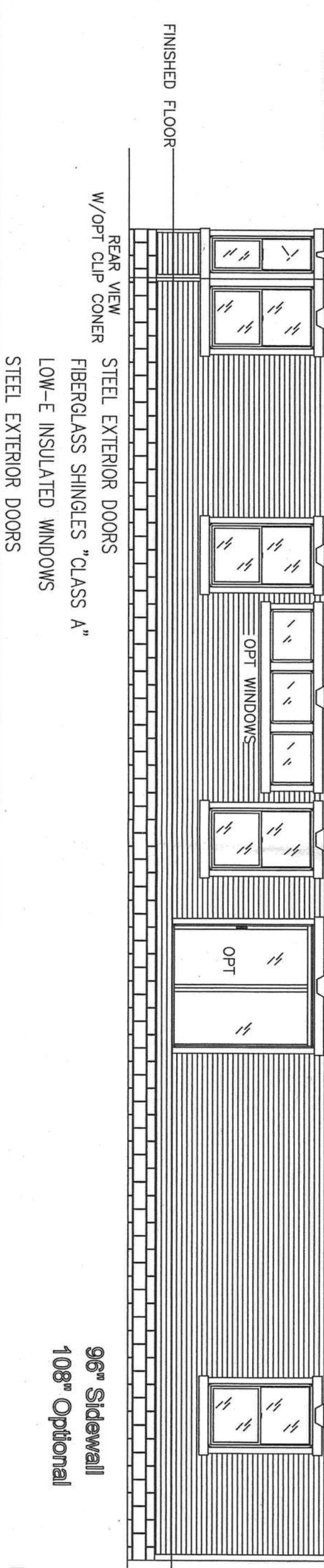
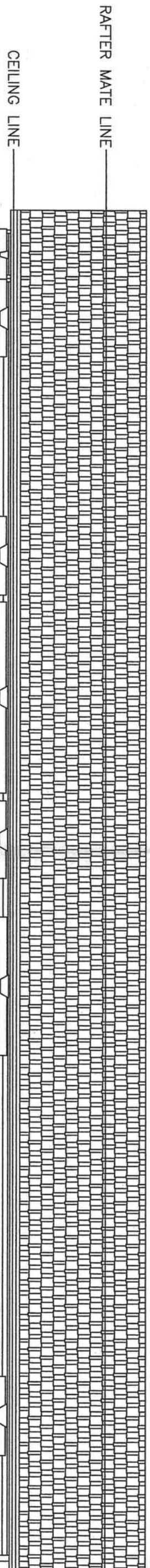
AGENCY COMMENTS: [Blank]

AGENCY ZONE: NO

VENTED RIDGE



FWG
COA # 1005



96" Sidewall
108" Optional

1' 4'

REAR VIEW
STEEL EXTERIOR DOORS
FIBERGLASS SHINGLES "CLASS A"
LOW-E INSULATED WINDOWS
STEEL EXTERIOR DOORS

- Notes:**
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
 2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
 3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
 4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
 5. This building may be mirrored about the length of its axis without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).

Robert E. Greco
Registered Architect
400 Grand Street
Clearwater, Florida 34615
Phone: 727.791.8774
Fax: 727.791.8862

Third Party:
Hibon, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 34768

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Plant City, FL 33563
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Model Number: FMX466T5
Exterior Elevations
Model Name: HACIENDA II+24
Model Number: HWC-Plan Number 2102-0719F
Model Name: Florida Modular
Model Number: FP-2.1

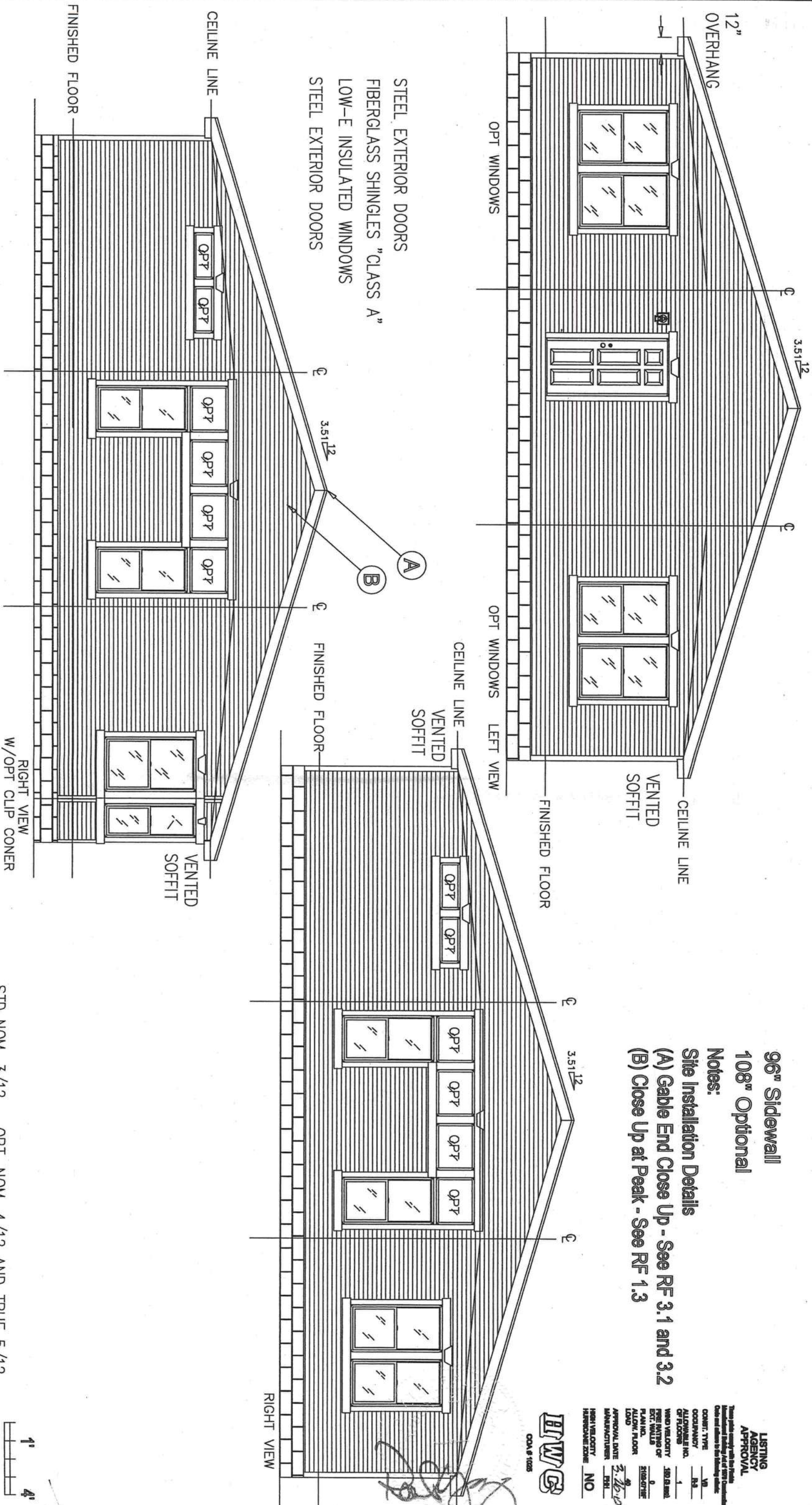
**LISTING
AGENCY
APPROVAL**

These jobs comply with the Federal
Manufacturing Building Act of 1975. Construction
Costs and others to the following table:

Site Installation Details

(A) Gable End Close Up - See RF 3.1 and 3.2
(B) Close Up at Peak - See RF 1.3

APPROVAL DATE	3.16
MANUFACTURER	PHI
HIGH VELOCITY HURDCANE ZONE	NO



- Notes:**
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
 2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
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 4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
 5. This building may be mirrored about the length of it's ends without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).

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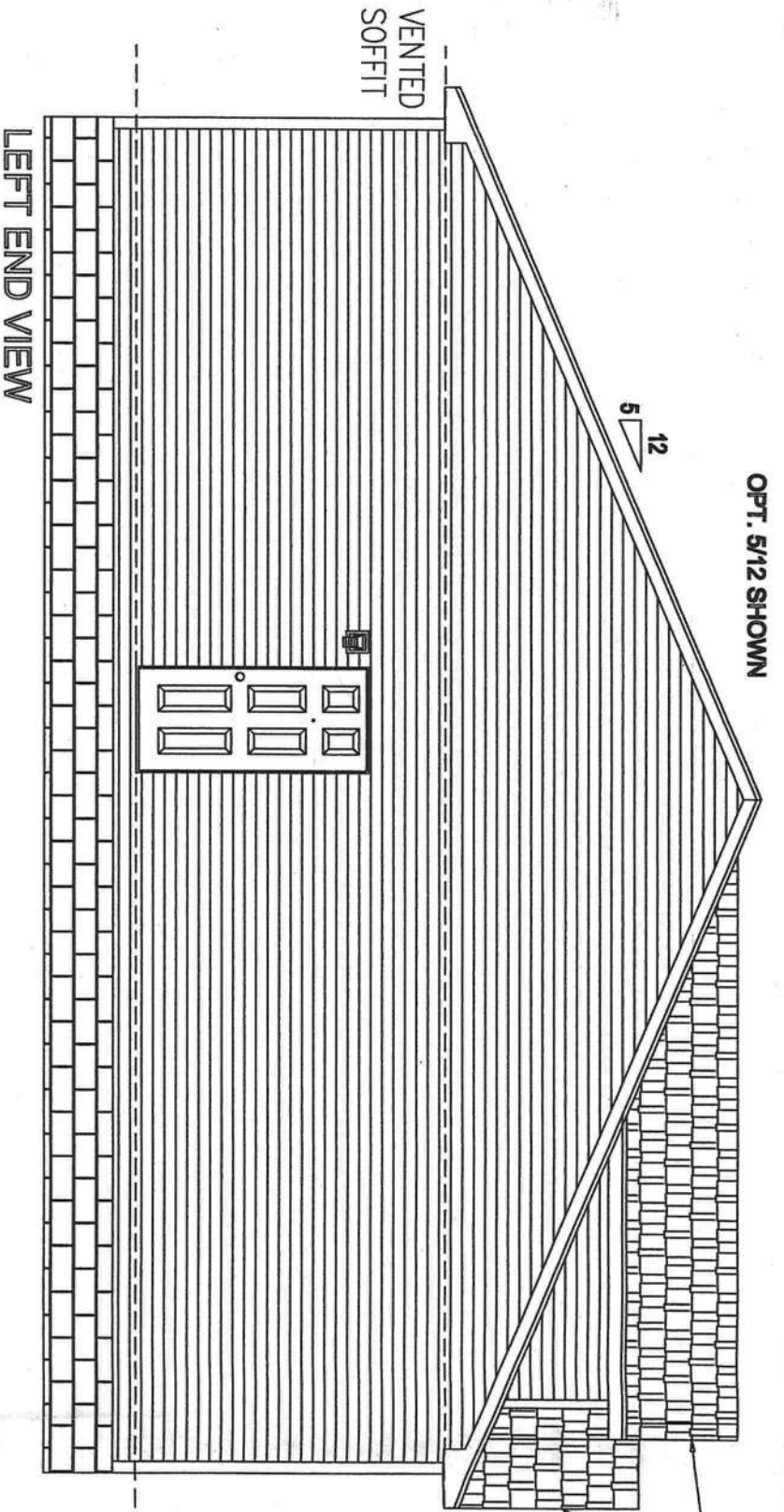
STD NOM. 3/12 – OPT. NOM. 4/12 AND TRUE 5/12



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Plant City, FL 33563
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Model Number:		Page Description:	
FMX466T5		Exterior Elevations	
Drawn By: BBS	Model Number:	Model Design Codes:	
Date: 08/22/06	HACIENDA II+24	150 mph HWC-Plan Number 2102-0719F	
Details: 3 1/8" = 1'-0"	Florida Modular		
Date:	Preamble Log Description of Preamble	Notes	
		FP-2	

OPT. 5/12 SHOWN



LEFT END VIEW

SITE INSTALLED AND DESIGNED BY OTHERS

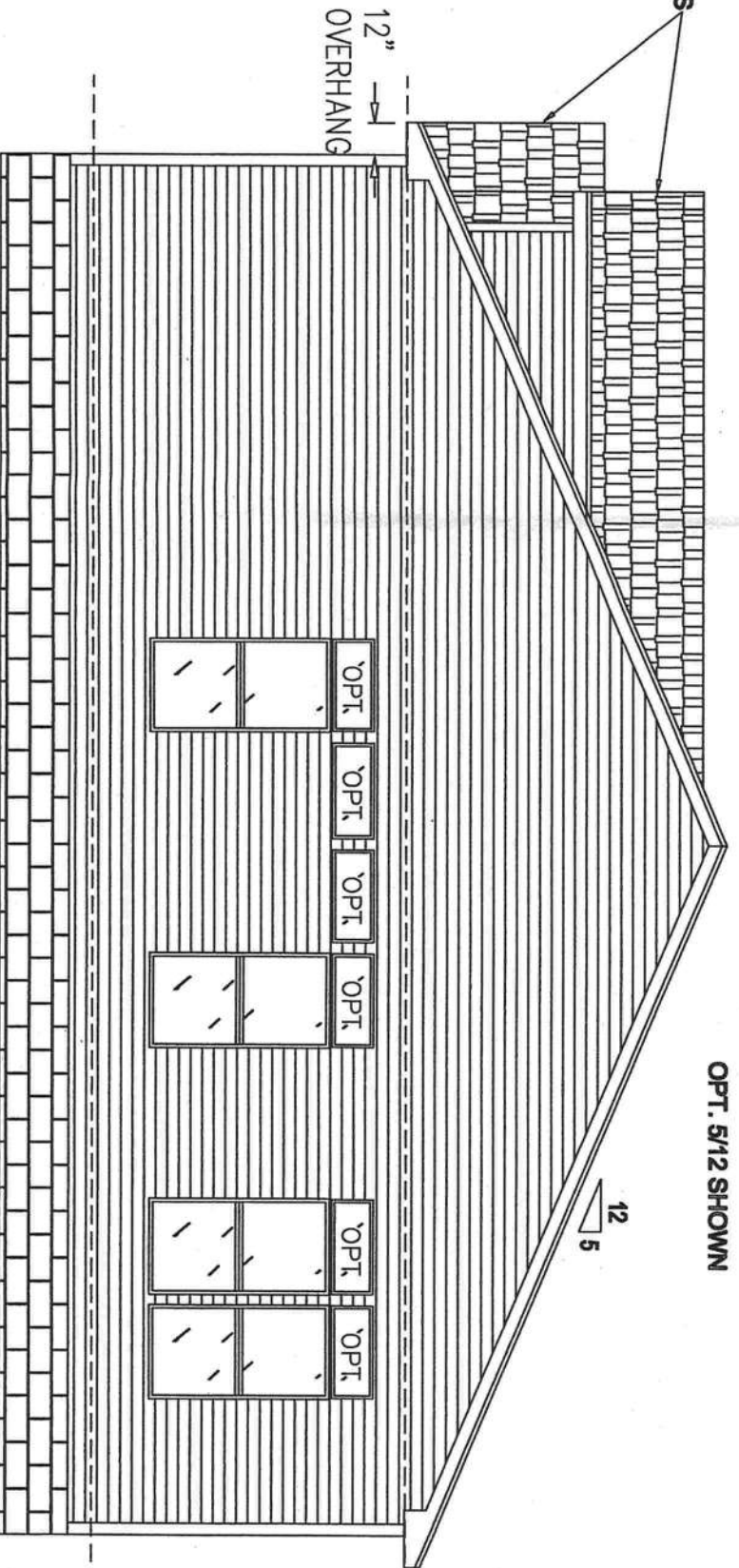
SITE INSTALLED AND DESIGNED BY OTHERS

108" CEILING LINE

FINISHED FLOOR LINE

STEEL EXTERIOR DOORS
FIBERGLASS SHINGLES "CLASS A"
LOW-E INSULATED WINDOWS
STEEL EXTERIOR DOORS

OPT. 5/12 SHOWN



RIGHT END VIEW (w/ OPT. HORIZONS SHOWN)

12" OVERHANG

108" CEILING LINE

FINISHED FLOOR LINE

1' 4'

1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 1 1/4" wide.
3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
5. This building may be mirrored about the length of its ends without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).

These details and elevations are considered and approved by the architect for specific purposes and shall not be copied or otherwise reproduced and/or delivered to others for use as a basis for construction without the written consent of the architect.

Robert E. Gregg
Registered Architect
605 South Frontage Road
Plant City, Florida 33563
Phone: 727.798.8774
Fax: 727.791.8242

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33766

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Homes
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Plant City, FL 33563
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Model Number	Page Description
FMX466T5	Exterior Elevations
Drawn By: JB	Model Name: HACIENDA II+24
Date: 03/22/06	Model Design Office: 150 mph
Scale: 3/16" = 1'-0"	Product Line: Florida Modular
	Model Number: HWC-Plan Number 2102-0719F
	Model Name: FP-2.4

LISTING
AGENCY
APPROVAL

These plans comply with the Florida
Manufactured Building Act of 1975. The
plans and details are the property of the
listing office.

CONTRACT TYPE	VS
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 mph
FREE INTAKE OF AIR	0
PLAN NO.	2102-0719F
PLAN FLOOR	LOAD
APPROVAL DATE	3/26/06
MANUFACTURER	FBI
HIGH VELOCITY	NO
HANDLING ZONE	NO

COA # 1025

APPROVED-MAR 26 2008


Shear Wall Table Notes:

Numbers shown in table column headings (1) through (9) for one story, (1) through (11) for 2 story, correspond with note numbers. Refer to floor plan(s) for shear wall locations corresponding to alpha-numeric designation in 1st column of table.

- Design Shear Values are based on the WFCM - 2001 Edition. All values for DSV and fastening is based on S-P-F lumber, unless otherwise specified.
 - Indicates whether sheathing is required one side only with interior covering, or required both sides of wall with interior covering over sheathing.
 - Nails may either be 6d Common (0.131x1 5/8) or 8d Common (0.131x 1 3/4). 8d nails yield better DSV's.
 - Edge / Field spacing. Edge fastening is into each framing member. When sheathing overlap onto rim joist is not used and 2/12 shearwall sheathing fastening is required, it also requires double top and bottom plates.
 - Number and minimum length of each shear wall section within each end wall.
 - Indicates number of framing members required each end of each shear section. Minimum framing as indicated in table header.
 - Indicates the number of rows of nails spaced @ 2" o.c., through the sheathing overlap onto the floor framing.
 - Alternatively, screws may be used at x/y, where x=number of rows and y=number of screws per foot for each row. Connection is through the bottom plate into floor joists with minimum 2-1/2" penetration. When double plates are required per Note (6), make sure to increase fastener length.
 - Top plate to rafter or ceiling joist is the spacing (inches o/c) with #8 screws or 0.131" diameter nails with 1-3/8" minimum penetration into receiving member.
 - For 2 story only: The 2x , factory installed bearing plate at each end at the very top of the lower story must be fastened to the ceiling framing with #10 x 3" screws spaced (inches on center) per table. Factory installed. Note: column 10 is not displayed for one story or cape applications.
 - For 2 stories, on-site connection is required between the upper and lower story using #10x3" screws (loed), installed through the upper story end joist into the lower story, factory installed 2x bearing plate of the lower story, spaced per column 11.
- Special Note:** With hinged roof, the truss above the end wall (shear wall) must be sheathed after erection. In the case of a porch, the truss above the end wall at the main roof to porch transition, must be sheathed for a minimum of 48" length, anywhere along the truss and fastened to truss chords with 8d common nails spaced per column "Porch Truss". Sheathing in spaces between the chords greater than 24" must be stiffened with a 2x3 vertical member, fastened to sheathing with the same nails at 2" o.c.

Shear Wall General Notes:

- LSAB1 and 2 represent longitudinal shear sections for unit with A and B end shearwalls, LSCD1 and 2 represent longitudinal shear sections for unit with C and D end shearwalls, respectively. The table notes above (except (6)) apply.
- How to read Roof Diaphragm Connection Table: Check "Dbl Fast'g" column. If "N/A" is displayed, no special fastening required in End Zone. Use the required spacing column for at least the distance tabulated in the first non-zero column, then the spacing in that column is required to the distance in the next column to the right and so forth or the Req'd Spacing can be used throughout. If double fastening is required for any of the shear wall conditions (A,B,C or D), the fastening must be maintained to the first truss at or beyond the distance shown in the first column (A) of the single fastener spacing table, for the respective shear wall, or, when that column is zero, to the first non-zero distance of any of the other columns (B to E) to a distance of any of the other tabulated fastening requirements (Columns B to E).
- When Roof Diaphragm construction requires special fastening within the end zone(s), the fastening displayed is doubled, ie: 2 fasteners @ each location. Example: Dbl@6/6 means 2 fasteners each at 6" o.c. field and 2 each at 6" o.c. perimeter. The fastening is required within distance from the roof end as displayed (ft) or next truss. 'N/A' means the end zone fastening is the same as normal.

Robert E. Gregg Registered Architect 600 Central Express Clearwater, Florida 34615 Phone: 727.798.8774 Fax: 727.798.8802		Third Party: Hibdon, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 34615	
		605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
FMX466T5		Floor Plan	
Design By: JBBS Date: 02/22/06 Scale: 3/16" = 1'-0"	Project Name: HACIENDA II+24	Project No.: 2102-0719F	Project Name: Florida Modular
Project Name: 150 mph		Project Name: HWC-PLAN NUMBER	
Project Name: FP-3.4		Project Name: 2102-0719F	



COA # 1025

APPROVED MAR 26 2008

LISTING
AGENCY
APPROVAL

These plans comply with the Florida Building Code and all other applicable codes and are hereby approved for construction.

CONTRACT TYPE	NO
OCCUPANCY	NO
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 mph
FIRE RATING OF EXT. WALLS	2 1/2 hr
PLAN NO.	2102-0719F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	3/26/06
MANUFACTURER	HWC
HIGH VELOCITY HARBORZONE ZONE	NO

Shear Wall Requirements

Wind Speed: 150		Side Wall		HT: 108		Exposure: C		Max Elev: 36		Framing: 2x6	
Shear Wall	Mfr. Sheathed Plf Sides # (1)	(2)	Nails (3)	Spacing (4)	SW Sections (5)	End Stud (6)	Rows of Nails in Overlap (7)	#10 Screws / Each Row (8)	Top Plate Ft to Rafter (9)	Porch Truss	
A1	683	1	8d	3/12	45	2	7	or 2/5	2 1/4	N/A	
A2	683	1	8d	3/12	42	2	8	or 2/8	2 1/4	N/A	
B1	792	1	8d	2/12	39	2	9	or 3/6	2	N/A	
B2	792	1	8d	2/12	36	2	11	or 2/8	2	N/A	
LSAB1	379	1	8d	6/12	97	N/A	2	or 1/2	4 1/8	N/A	
LSAB2	379	1	8d	6/12	55	N/A	3	or 1/5	4 1/8	N/A	
C1	900	1	8d	2/12	66	3	7	or 2/7	1 3/4	N/A	
D1	792	1	8d	2/12	39	2	9	or 3/6	2	N/A	
D2	792	1	8d	2/12	36	2	11	or 2/8	2	N/A	
LSCD1	289	1	8d	6/12	100.5	N/A	2	or 1/2	5 1/2	N/A	
LSCD2	289	1	8d	6/12	98.5	N/A	2	or 1/3	5 1/2	N/A	

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections

Shear Wall	Dbl 683/6 Spacing	Req'd	A	B	C	D	E
			3/3	4/4	3/12	6/6	6/12
A	Dbl 683/6 see Dbl.col 5	10	15	16	20		
B	Dbl 683/6 see Dbl.col 5	10	15	16	20		
C	Dbl 683/6 see Dbl.col 5	10	15	16	20		
D	Dbl 683/6 see Dbl.col 5	10	15	16	20		

Shear Wall Requirements

Wind Speed: 150			Side Wall HT: 108			Exposure: C			Max Elev: 120			Framing: 2x6		
Shear Wall	Min. P/LF (1)	Sheathed Sides # (2)	Nails (3)	Spacing (4)	SW Sections (5)	End Stud # (6)	Rows of Nails in Stud # (7)	#10 Screws /Ft (8)	Top Plate to Rafter (9)	Porch Truss				
A1	714	1	8d	3/12	45	2	7	or 2/6	2 1/4	N/A				
A2	714	1	8d	3/12	42	2	8	or 3/6	2 1/4	N/A				
B1	829	1	8d	2/12	39	3	10	or 3/6	1 7/8	N/A				
B2	829	1	8d	2/12	36	3	11	or 2/8	1 7/8	N/A				
LSAB1	396	1	8d	6/12	97	N/A	2	or 1/2	4	N/A				
LSAB2	396	1	8d	6/12	55	N/A	4	or 1/5	4	N/A				
C1	942	1	8d	2/12	66	3	7	or 2/7	1 5/8	N/A				
D1	829	1	8d	2/12	39	3	10	or 3/6	1 7/8	N/A				
D2	829	1	8d	2/12	36	3	11	or 2/8	1 7/8	N/A				
LSOD1	303	1	8d	6/12	100.5	N/A	2	or 1/2	5 1/4	N/A				
LSOD2	303	1	8d	6/12	98.5	N/A	2	or 1/3	5 1/4	N/A				

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections

Shear Wall	Dbl Fastg	Reg'd Spacing	A	B	C	D	E
			3/3	4/4	3/12	6/6	6/12
A	Dbl 63/12	see Dbl col	6	11	16	17	20
B	Dbl 63/12	see Dbl col	6	11	16	17	20
C	Dbl 63/12	see Dbl col	6	11	16	17	20
D	Dbl 63/12	see Dbl col	6	11	16	17	20

General Notes:

- Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 150 mph.
- The building may be constructed in an exact mirror image about its axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
- Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum sheath requirements shall be maintained).
- All designs and calculations are based on Exposure 'C'.
- This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
- Minimum corridor width is 36".
- All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
- Windows, glass and doors shall comply with AAMA / NWDA 101 / I.S.2-97
- This building is designed for a permanent foundation and is NOT a HUD building.
- Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed.
- Please refer to the cover sheet of this package for additional notes and requirements.
- This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).

Robert E. Grogg
Registered Architect
600 Colonial Blvd
Clearwater, Florida 34629
Phone: 727.796.8774
Fax: 727.791.2845

Third Party:
Hibon, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33768

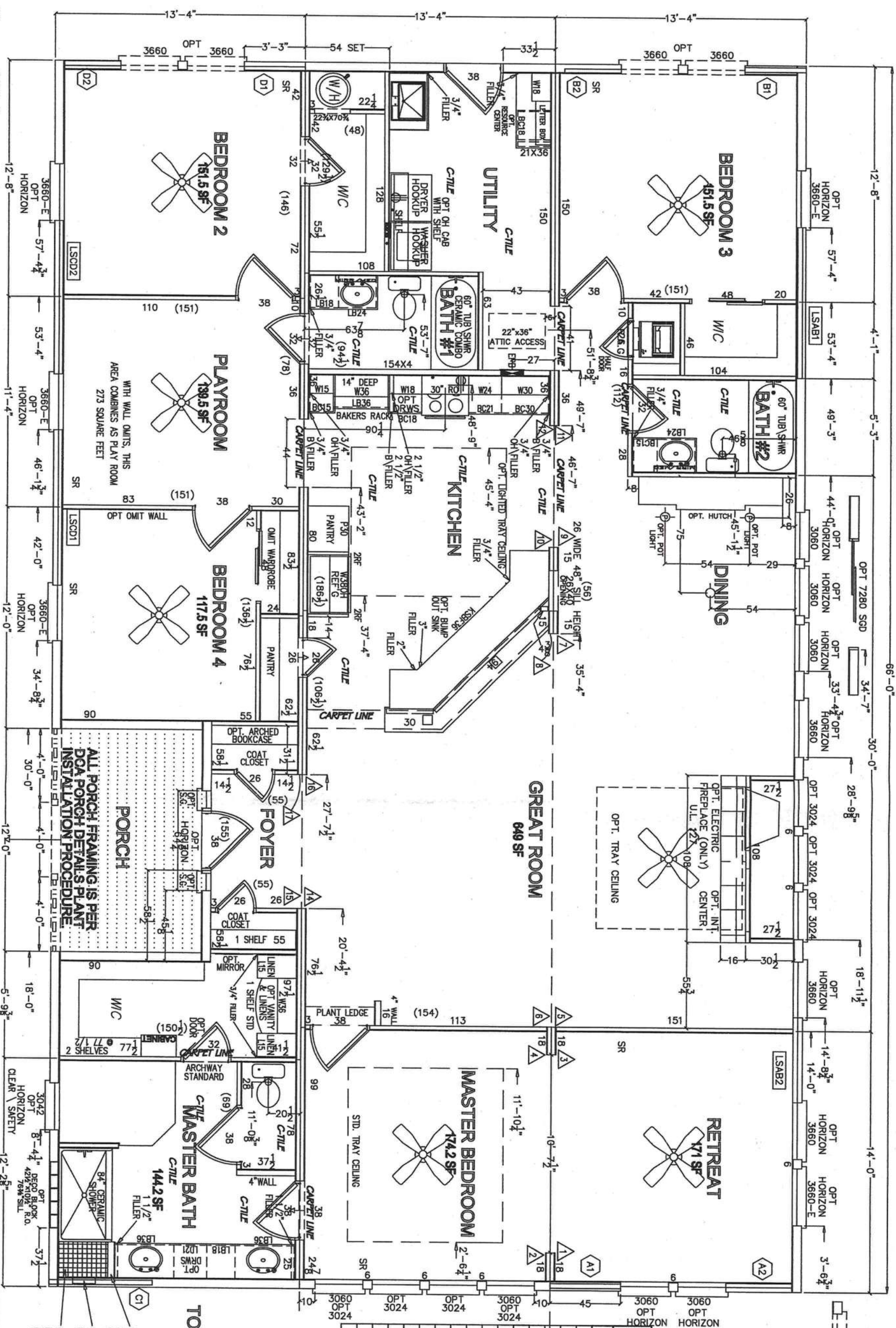
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Plant City, FL 33563
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Project Name	FMX466T5	Project Description	Floor Plan
Owner	JBRB	Architect	HACIENDA II+24
Date	03/22/06	Product Line	Florida Modular
Size	3116' ± 1'-0"	Model	150 mph HWC-PLAN NUMBEI 2102-0719F
		Notes	FP-3

APPROVED MAR 28 2006



These plans were prepared by the Florida
Department of Building and Safety
and are subject to the following conditions:
CONTRACT TYPE: V-B
OCCUPANCY: R-3
ALLOWABLE NO. OF FLOORS: 1
WIND VELOCITY: 130 (ASCE)
FIRE RATING OF EXT. WALLS: 0
PLAN NO.: 2102-0719F
ALLOW. FLOOR LOAD:
APPROVAL DATE: 3/26/06
APPROVAL SIGNATURE: HWC
HIGH VELOCITY HURRICANE ZONE: NO



General Notes:

1. Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 150 mph.
2. The building may be constructed in an exact mirror image about its axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum sheave/wall requirements shall be maintained).
4. All designs and calculations are based on Exposure "C".
5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
6. Minimum corridor width is 36".

NO.	26 GA STRAP TYPE	STUD			FLOOR				
		LENGTH	SIZE	BLK	WIDTH	SPAN	LOC		
1	2	1	3	105	2x3	N	160	10'-8"	16
2	2	1	3	105	2x3	N	160	10'-8"	16
3	2	1	3	105	2x3	N	160	10'-8"	16
4	2	1	3	105	2x3	N	160	10'-8"	16
5	4	1	5	105	2x3	N	160	21'-3"	31
6	4	1	5	105	2x3	N	160	21'-3"	31
7	4	1	5	105	2x3	N	160	21'-3"	31
8	4	1	5	105	2x3	N	160	21'-3"	31
9	2	1	2	105	2x3	N	160	6'-7"	98
10	2	1	2	105	2x3	N	160	6'-7"	98
11	2	1	2	105	2x3	N	160	6'-7"	98
12	2	1	2	105	2x3	N	160	6'-7"	98
14	2	1	2	105	2x3	N	160	7'-3"	104
15	2	1	2	105	2x3	N	160	7'-3"	104
16	2	1	2	105	2x3	N	160	7'-3"	104
17	2	1	2	105	2x3	N	160	7'-3"	104

[illegible]

HWG
COA # 1025

TOTAL AC
2544 SF
PORCH
96 SF

TOTAL PROJECT
2640 SF

— 22½"x42.4" WALL
WITH "SPECIAL" GLASS
WALL INSTALLED ABOVE
— OPT SHAMPOO
NITCHE 14½" WIDE
— STANDARD SEAT
HEIGHT (PLATFORM)
(CERAMIC TILE SEAT)

OPT 3012
SILL HEIGHT 83 1/2"

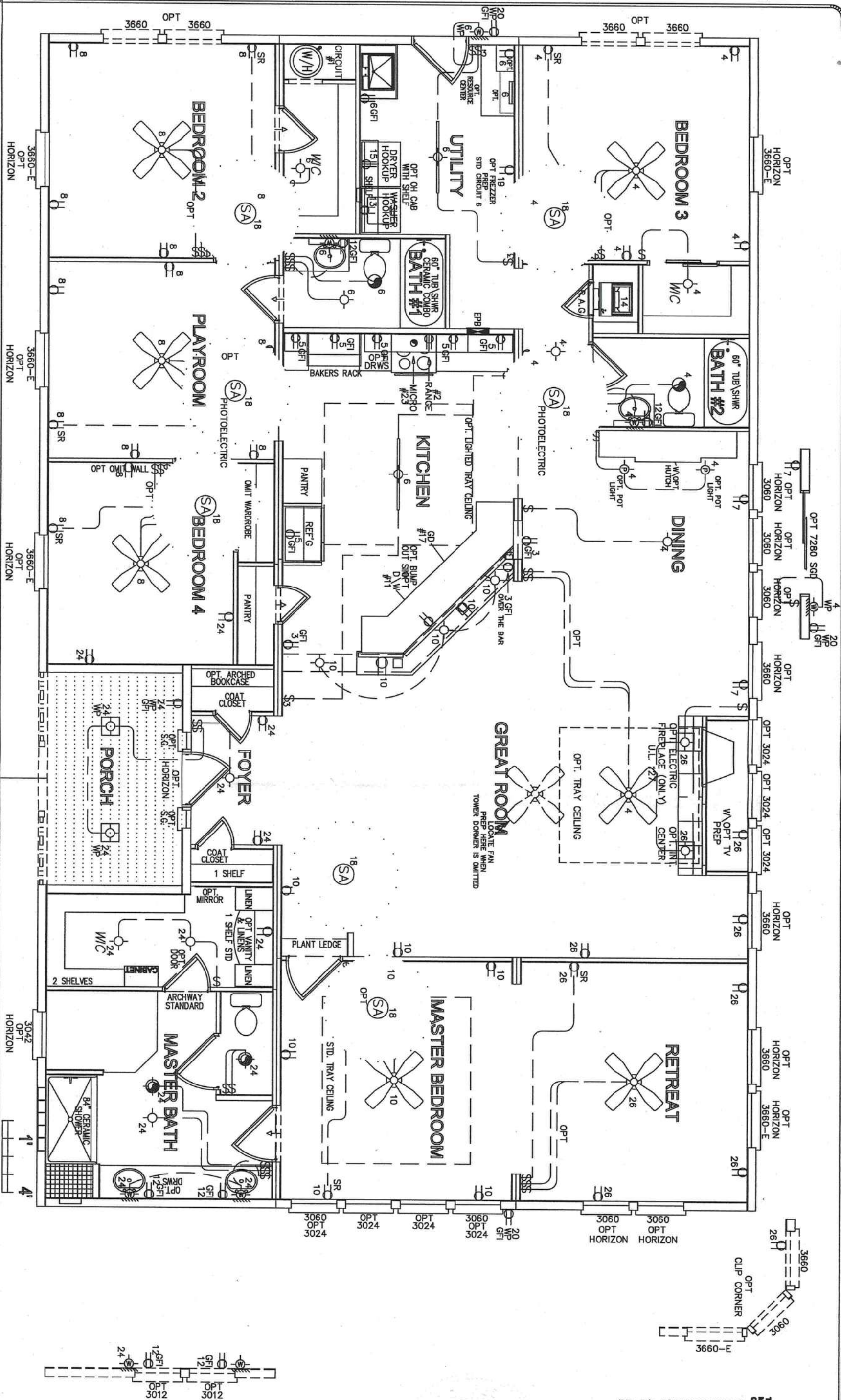
OPT 3012

C1

[illegible]

Electrical Notes:

1. All electrical work shall be in accordance with the applicable edition of the National Electrical Code (NEC) as adopted by the State of Florida, at the time of construction of the building.
2. When light fixtures are installed, they shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
3. When electrical outlets are installed, they shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
4. When electrical switches are installed, they shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
5. When electrical wiring is installed, it shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
6. When electrical conduits are installed, they shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
7. All electrical work shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
8. All electrical work shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
9. All electrical work shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.
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20. All electrical work shall be installed in accordance with the applicable edition of the NEC and the manufacturer's instructions.



Robert E. Gregg
Registered Architect
600 Cleveland Street
Clearwater, Florida 34616
Phone: 727/798-1774
Fax: 727/798-1802

Third Party:
Hibon, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 34766

FMX466T5

Hacienda II+24

Florida Modular

150 mph

HWC-PLAN NUMBER

2102-0719F

Electrical Layout

FP-4

LISTING

AGENCY

APPROVAL

APPROVED MAR 26 2008

COA # 1005

NO

AF = ARC FAULT

AMP. WIRE SIZE		DESCRIPTION	CIR. NO.	PANEL SPACE		CIR. NO.	DESCRIPTION	AMP. WIRE SIZE	
25 2	12-2*	WATER HEATER (4500W/240V)	1	*	*	2	RANGE OR OVEN	PER MFG	
20	12-2*	APPLIANCE	3	*	*	4 AF	GEN. LIGHTING	15	14-2*
20	12-2*	APPLIANCE	5	*	*	6 AF	GEN. LIGHTING	15	14-2*
20	12-2*	APPLIANCE	7	*	*	8 AF	GEN. LIGHTING	15	14-2*
20	12-2*	UNUSED	9	*	*	10 AF	GEN. LIGHTING	15	14-2*
15	14-2*	OPT. D.W.	11	*	*	12	BATH G.F.I.	20	12-2*
20	12-2*	LAUNDRY	13	*	*	14	OPT. ELECTRIC HEAT-A/C		PER MFG
30 2	10-3*	CLOTHES DRYER	15	*	*				
15	14-2*	OPT. DISPOSAL	17	*	*	16	COOK-TOP		PER MFG
20	12-2*	OPT. FREEZER	19	*	*	18 AF	SMOKE DETECTOR	15	14-3*
15	14-2*	OPT JACUZZI G.F.I.	21	*	*	20	EXTERIOR GFI	20	12-2*
20	12-2*	OPT MICROWAVE	23	*	*	24 AF	GEN. LIGHTING	15	14-2*
20	12-2*	OPT 1/2 HRS	25	*	*	26 AF	GEN. LIGHTING	15	14-2*

DESCRIPTION

DESCRIPTION	KVA
FLOOR AREA (2464 SF x 3 VA.) / 1000 =	7.6 KVA
((3) SMALL APPLIANCES AT 1500 VA. / 1000 =	4.5 KVA
RANGE AT 8.0 KW. =	8.0 KVA
WATER HEATER AT 5.5 KW. =	5.5 KVA
DISHWASHER AT 1.4 KW. = Opt	1.4 KVA
WASHER AT 1500 VA. / 1000 =	1.5 KVA
DRYER AT 5.0 KW. =	5.0 KVA
GARBAGE DISPOSAL AT 1.4 KW.=	1.5 KVA
WALL OVEN AT 8.0 K.W. =	0.0 KVA
MICROWAVE AT 1500 VA. / 1000 =	1.5 KVA
OPT FREEZER AT 1500 VA. / 1000 =	1.5 KVA
OPT JACUZZI AT 1500 VA. / 1000 =	1.5 KVA
TOTAL LOAD	39.5 KVA
FIRST 10 KVA AT 100%	10.0 KVA
REMAINDER AT 40%	11.8 KVA
HVAC AT 100% ASSUMED	15.8 KVA

NOTE:
LOCAL SITE ELECTRIC/HVAC CONTRACTOR
TO VERIFY ADEQUACY OF HVAC ELECT.
LOAD IN PANEL CALCULATIONS

TOTAL ÷ 240
x 1000 = 156.7
INSTALL 200 MIN
AMP PANEL
120/240 V., 1ø

LISTING AGENCY APPROVAL	
This listing agency will be held responsible for the accuracy of all information furnished by it.	
Date and time of listing: _____	
COINTEL TYPE	VS
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY FREE RATING OF EXT. WALLS	100 mph
FLOOR NO.	0
FLOOR, FLOOR LOAD	250 psf
APPROVAL DATE	3/12/67
MANAGER'S SIGNATURE	P.H.I.
HIGH WIND VELOCITY REASONING	NO

COA # 1025

RECEIVED MAR 26 1968

[illegible]

	GENERAL LIGHTING		MAIN PANEL BOX				EXHAUST-,CEIL'G FAN
	SMALL APPLIANCE		WALL MOUNTED FIXTURE				HEAT TAPE RECEPT
	GFI PROTECTED		CEILING MOUNTED FIXTURE				LIGHTED EXHAUST-,CEIL'G FAN
	240V APPLIANCE		WHOLE HOUSE FAN				OPT CEILING FAN PREP.
	SMOKE ALARM		THERMOSTAT				
	RECESSED LIGHT						

Robert E. Gregg
Registered Architect
650 Creative Street
Clearwater, Florida 34615
Phone: 727.793.5774
Fax: 727.791.8942

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33756



605 South Frontage Road
Plant City, FL 33563
© COPYRIGHT 2004

Model Number:	FMX466T5
Page Description:	Electrical Layout

Model Name:	HACIENDA II+24	Model Design Color:	150 mph
Item No.:	RCIBB		
Date:	07/28/05		
Order:	032206		
Size:	3'x6" = 1'-0"	Florida Modular	HWCP-PLAN NUMBER 2102-0719F

FP-4.

LISTING AGENCY APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	RS-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY FIRE RATING OF EXT. WALLS	150 (3 sec)
PLAN NO.	0
ALLOW. FLOOR LOAD	2102-0719F
APPROVAL DATE	5.26.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

PHH
COA # 1026

APPROVED MAR 26 2008

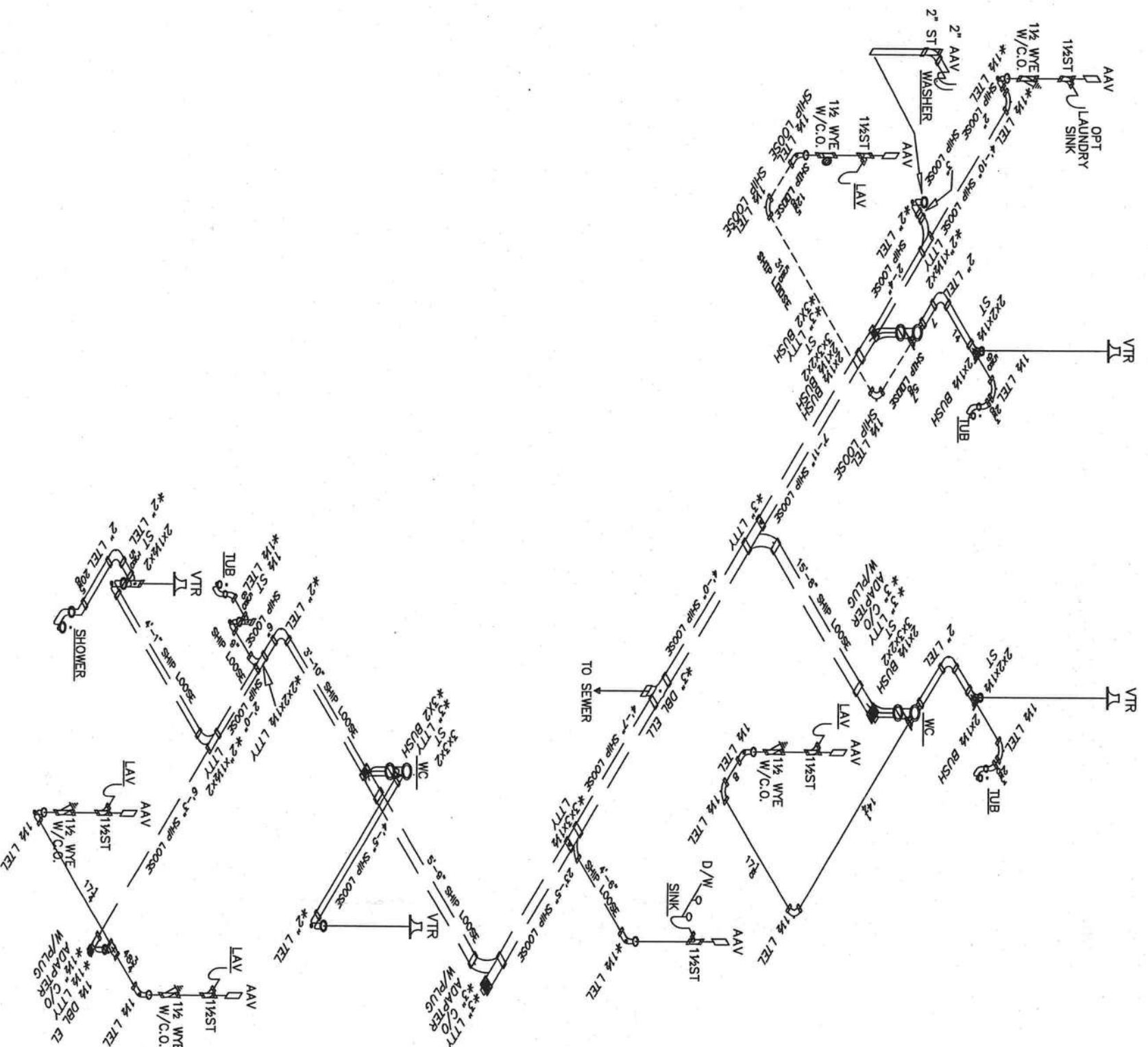
*SHIP LOOSE FITTINGS

MODEL FMX46475
QUANTITY/CHK

1 1/2" LTEL	4	0
1 1/2" LTTY	1	
2" LTEL	3	
2x1 1/2x2" LTTY	2	
2x2x1 1/2" LTTY	1	
3" LTTY	5	
3x2 BUSHING	2	
3x3x1x1/2 LTTY	1	
3x3x3 DOUBLE ELL	1	
3" CLEANOUT/W/PLUG	2	
1 1/2" CLEANOUT/W/PLUG	1	

1 1/2" PIPE	22 FT
2" PIPE	15 FT
3" PIPE	65 FT

DWV PIPING IS CPVC SCHEDULE 4
AAV=AIR ADMITTANCE VALVE
3" PIPE
2" PIPE
1 1/2" PIPE



Robert E. Gregg
Registered Architect
600 Central Blvd.
Clearwater, Florida 34615
Phone: 727/798.0714
Fax: 727/791.8842

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 34766

**Palm
Harbor
Homes**

605 South Frontage Road
Plant City, FL 33563
© COPYRIGHT 2004

Model Name:	FMX46475	Drain Lines
Drawn By:	RC	Hacienda II+24
Check:	07/31/08	Florida Modular
Scale:	N.T.S.	150 mph 2102-0719F
Date:		
Drawn By:		
Check:		
Scale:		
Date:		

FP-5

NOTES:

- 1.) WATER SUPPLY PIPING SHALL BE TYPE 1/2" COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE. WATER HAMMER ARRESTORS NOT REQUIRED WITH NON-METALLIC WATER LINES.
- 2.) INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.
- 3.) EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS (WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.
- 4.) SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.
- 5.) MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.
- 6.) WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.
- 7.) WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.
- 8.) VALVES SERVING INDIVIDUAL FIXTURES, APPLIANCES, RISERS AND BRANCHES SHALL BE INSTALLED PER P2903.9.3

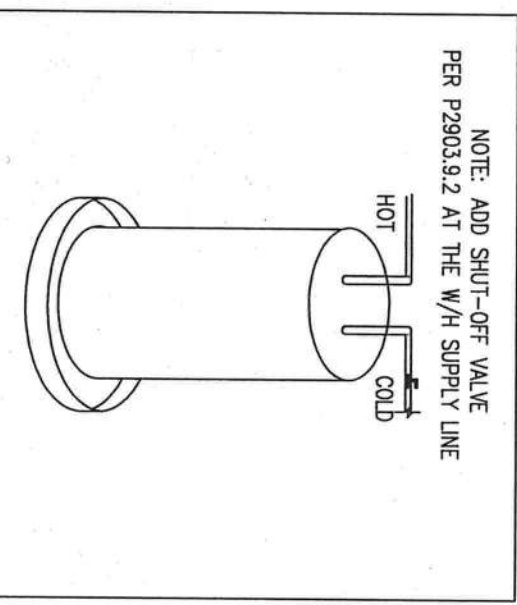
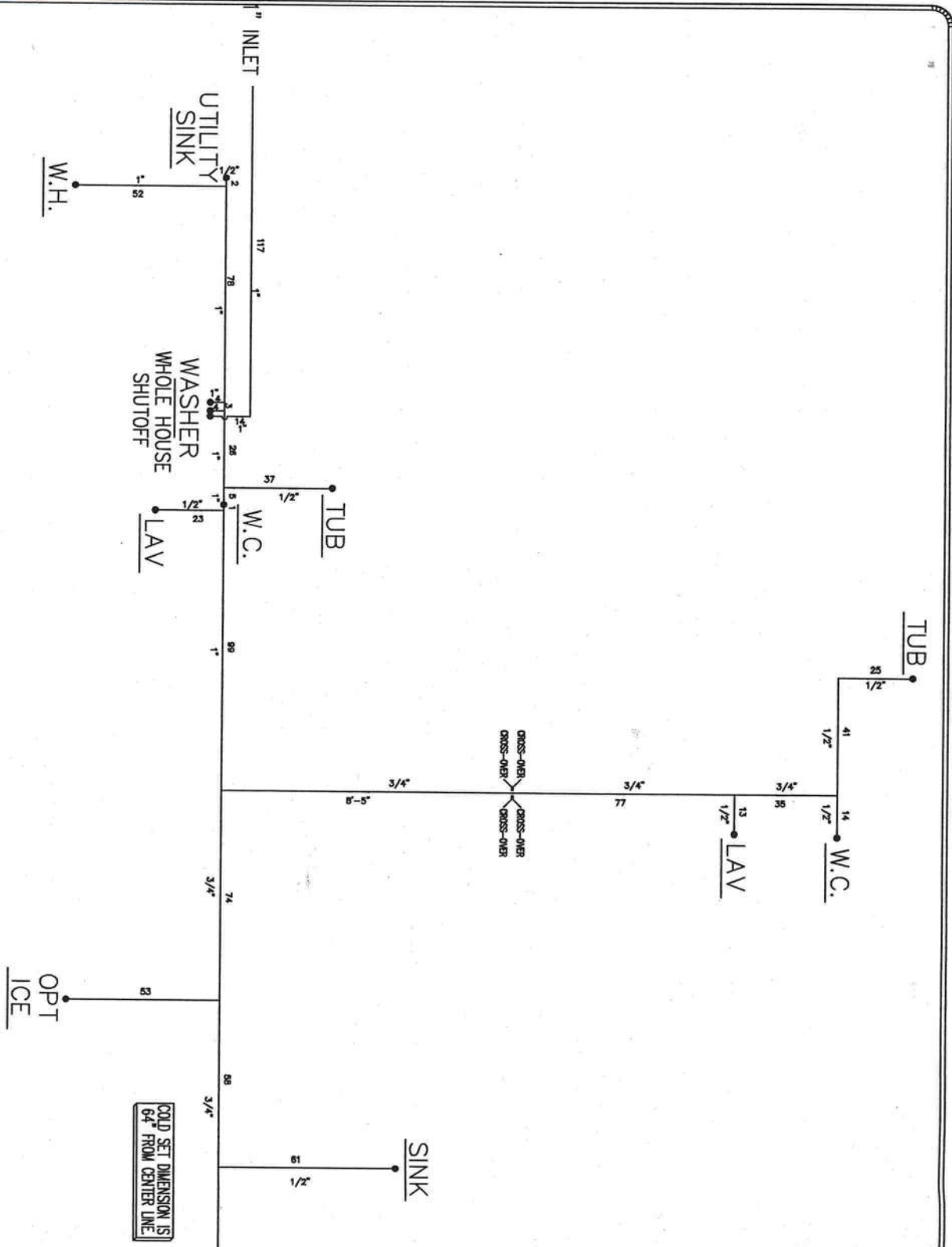
**LISTING
AGENCY
APPROVAL**

These plans comply with the Florida Building Code, Chapter 6, Part 1, and the International Building Code, 2006 Edition, and all other applicable codes and standards.

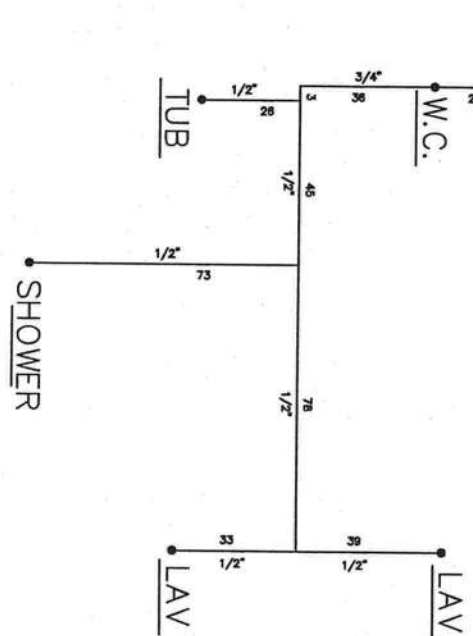
CONTRACT TYPE	VB
OCCUPANCY	RS
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0719F
ALLOW. FLOOR LOAD	
APPROVAL DATE	3-26-08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

COA # 1025

APPROVED MAR 26 2008



NOTE: INSTALL WATER HEATER PAN PER P2801.5 OF THE IRC



DESIGN BASED ON 40 TO 49 PSI PRESSURE RANGE & MDL = 50FT.
ALL PIPING MATERIAL IS CROSSLINKED POLYETHYLENE (PEX) TUBING

ALL WATER LINES ARE TO BE SECURED 32" O.C.

ON SITE CONNECTION BY OTHERS. MASTER SHUT OFF VALVE AT INLET, SHUT OFF VALVE AT EACH FIXTURE. CROSS-LINKED POLYETHYLENE (PEX) HOT-AND COLD-WATER DISTRIBUTION SYSTEM WITH COPPER OR BRASS FITTINGS W/SOLDERLESS CONNECTIONS.

Robert E. Grogg Registered Architect 680 Cleveland Street Clearwater, Florida 34615 Phone: 727/798-8774 Fax: 727/797-1802		Palm Harbor Homes 605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
FMX466T5 Water Supply Cold	HACIENDA II+24 Florida Modular	150 mph HWC-PLAN NUMBER 2102-0719F	FP-6

These details and notes are considered part of the contract documents. These details are provided by the architect for the contractor's use and are not to be construed as a warranty or endorsement of any product or brand name mentioned herein.

NOTES:

- 1.) WATER SUPPLY PIPING SHALL BE TYPE "1" COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE. WATER HAMMER ARRESTORS NOT REQUIRED WITH NON-METALLIC WATER LINES.
- 2.) INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.
- 3.) EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.
- 4.) SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.
- 5.) MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.
- 6.) WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.
- 7.) WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.
- 8.) VALVES SERVING INDIVIDUAL FIXTURES, APPLIANCES, RISERS AND BRANCHES SHALL BE INSTALLED PER P2803.9.3

LISTING
AGENCY
APPROVAL

These plans comply with the Florida Building Code, Building Part of the International Building Code and all other applicable codes and standards to the following extent:

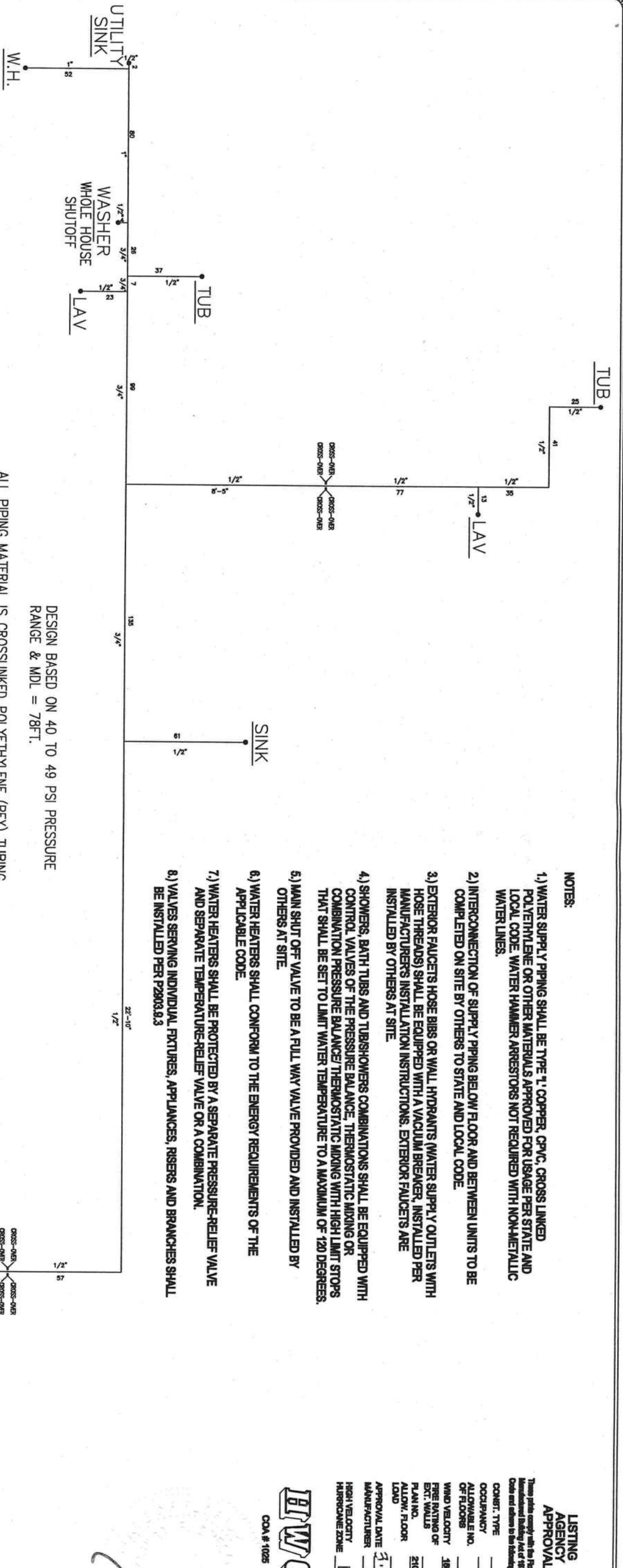
CONVERT. TYPE: VR
OCCUPANCY: R-3
ALLOWABLE NO. OF FLOORS: 1
WIND VELOCITY: 160 (2 mph)
FIRE RATING OF EXT. WALLS: 0
PLAN NO.: 2102-0719F
ALLOW. FLOOR LOAD: 40
APPROVAL DATE: 3.26.08
MANUFACTURER: PHI
HIGH VELOCITY HURRICANE ZONE: NO



COA # 1026

[Handwritten signature]

APPROVED MAR 28 2008

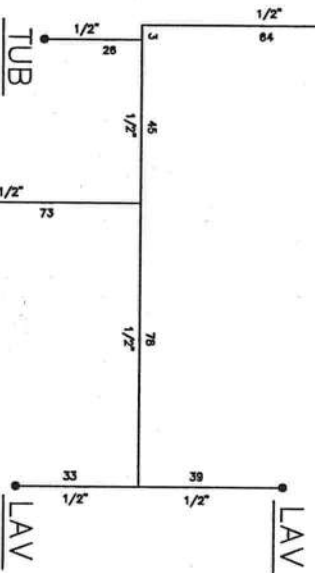


DESIGN BASED ON 40 TO 49 PSI PRESSURE
RANGE & MDL = 78FT.

ALL PIPING MATERIAL IS CROSSLINKED POLYETHYLENE (PEX) TUBING

ALL WATER LINES ARE TO
BE SECURED 32" O.C.

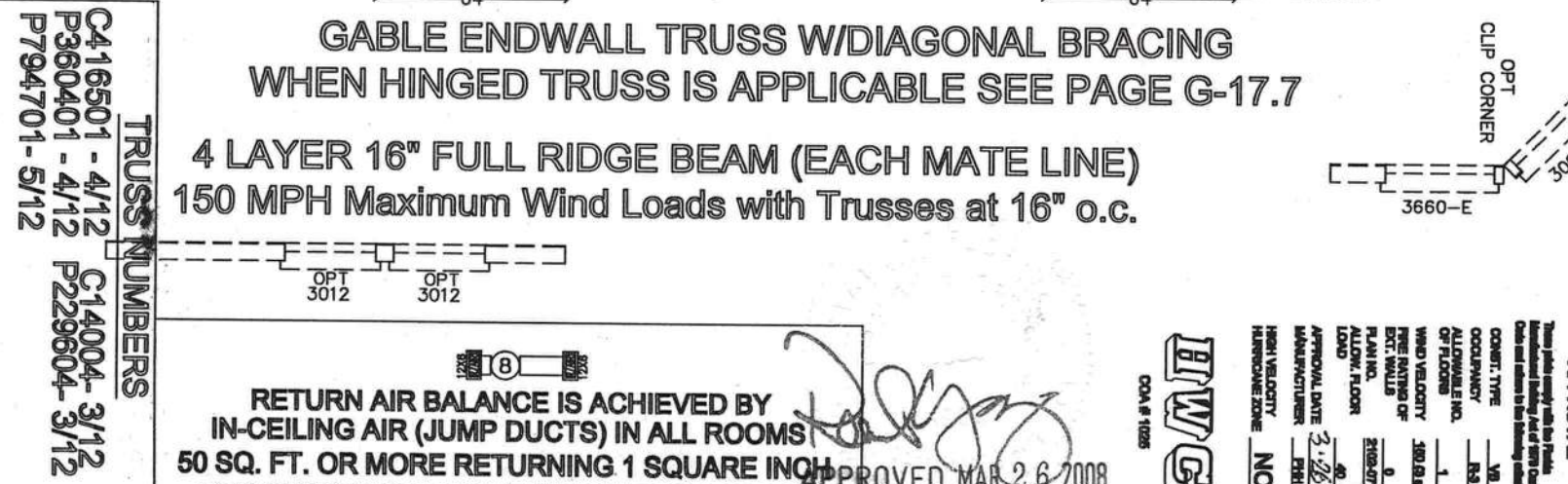
ON SITE CONNECTION BY OTHERS.
MASTER SHUT OFF VALVE AT
INLET, SHUT OFF VALVE AT EACH
FIXTURE. CROSS-LINKED
POLYETHYLENE (PEX) HOT-AND
COLD-WATER DISTRIBUTION
SYSTEM WITH COPPER OR BRASS
FITTINGS W/SODERLESS
CONNECTIONS.



Robert E. Grogg Registered Architect 600 Cleveland Street Clearwater, Florida 34615 Phone: 727.794.8774 Fax: 727.794.8842		Third Party: Hibdon, Warner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 34768	
Project: 605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004		Project: 605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
Project No.: FMX466T5	Project Name: Water Supply Hot	Project No.: HWC-PLAN NUMBER 2102-0719F	Project Name: Florida Modular
Date: 07/31/06	Revision: N.T.S.	Date: 07/31/06	Revision: N.T.S.
Project No.: FMX466T5		Project Name: Water Supply Hot	
Date: 07/31/06		Revision: N.T.S.	
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Project No.: FMX466T5		Project Name: Water Supply Hot	
Date: 07/31/06		Revision: N.T.S.	
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Project No.: FMX466T5		Project Name: Water Supply Hot	
Date: 07/31/06			

DOUBLE TRUSSES OF IN- END ZONES

1



1. Roof trusses installed at 16" o.c. maximum spacing are allowed in buildings designed to comply with a maximum 150 mph wind load.
2. All flex duct in Class 1, U.L. 181 with minimum R-8 insulation (in attic with insulation).
3. All flex duct installed below the building shall be Class 1, U.L. 181 exterior rated duct with a minimum R-8 insulation.
4. Return air balance (from room to room) may be achieved through the installation of "jump ducts" (in ceiling return air pathways), undercut doors, and/or return air grills.
5. All gable endwalls shall be braced in accordance with Palm Harbor Home's Florida Modular Construction Manual.
6. All exhaust fans/vents shall be ducted to the exterior of the structure.
7. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.

**ALL PORCH FRAMING IS PER
FACTORY MODULAR DESIGN MANUAL
"B" SECTION**

DOUBLE TRUSSES IN END ZONES

4 LAYER 16" FULL RIDGE BEAM (EACH MATE LINE)
150 MPH Maximum Wind Loads with Trusses at 16" o.c.

RETURN AIR BALANCE IS ACHIEVED BY
IN-CEILING AIR (JUMP DUCTS) IN ALL ROOMS
50 SQ. FT. OR MORE RETURNING 1 SQUARE INCH

TRUSS NUMBERS

C416501 - 4/12	C14004-3/12
P360401 - 4/12	P229604-3/12
P794701-5/12	

FMX466T5 Roof Layout - 16" O.C.

HACIENDA 11+24



Palm
Harbor
Homes

605 South Frontage Road
Plant City, FL 33563

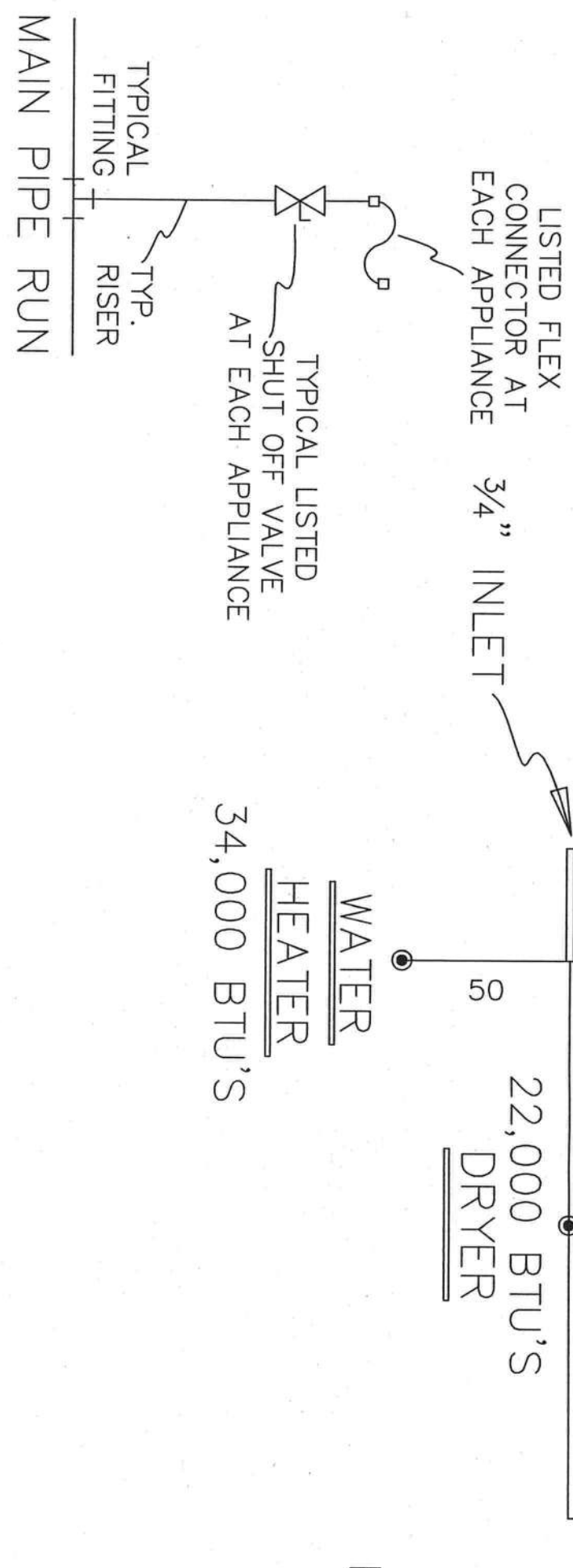
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FMX466T5	Roof Layout - 16" O.C.
Drawn By: JB	Model Name: HACIENDA II+24
Date: 06/18/07	Model Design Code: 150 mph HWC-PLAN NUMBER 2102-0719E
Size: 34'x16' x 1'-0"	Florida Modular

FP-7

60,000 BTU'S
RANGE

THIS DETAIL IS
FOR ALL APPLIANCE
INSTALLATIONS
IN THIS MODEL



MAXIMUM OVERALL
DEVELOPED LENGTH
22'-0"
TOTAL BTU'S
116,000

● = TYPICAL 1/2" PIPE
RISER @ EACH APPLIANCE

IRON PIPING
1/2" PIPE
3/4" PIPE

COMBUSTION GAS EXHAUST VENTING AND COMBUSTION AIR INTAKE
SHALL BE PER MANUFACTURER'S RECOMMENDATIONS

Robert E. Gregg
Registered Architect
600 Quince Road
Clearwater, Florida 34615
Phone: 727.791.8774
Fax: 727.791.8842

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 34615



Model Number		Project Description		Gas Lines	
FMX466T5		HACIENDA II+24		150 mph	
Drawn By:	RC	Model Name:	Florida Modular	Model Design Code:	HWC-PLAN NUMBER 2102-0719F
Date:	07/31/08	Scale:	N.T.S.	Notes:	
Drawn By:		Project Description:		Notes:	
				FP-9	

LISTING
AGENCY
APPROVAL
IWC
COA # 1025
APPROVED MAR 26 2008

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3'-0" MAX. TYP.
EACH CORNER

STEM WALL DETAIL - SIDEWALL AND ENDWALL

66'-0"

NOTE:
VENT SPACING MAY VARY DUE TO
SITE CONSIDERATIONS, AS LONG AS,
ADEQUATE VENTILATION IS PROVIDED.
SEE NOTE 8 ON F-2

■ = FILLED DOWN CELL

REFER TO DETAILS ON F-2 AND F-3 PAGE

B

Typical Stem Wall Opening Locations

CENTERLINE TIE-DOWN
NOT TO EXCEED 4'-6" O.C.

A/C UNIT OPENING
LOCATION BY CONTRACTOR
MINIMUM 32" X 24"
DO NOT LOCATE
UNDER SHEARWALL

MINIMUM 18" X 24"
CRAWL SPACE ACCESS
REQUIRED - W/ COVER
LOCATION BY CONTRACTOR
(LOCATION MAY VARY)

Typical Stem Wall Opening Locations

STEM WALL DETAIL - CONTINUOUS CENTER LINE

EXTERIOR (ENDWALL) TIE-DOWN
NOT TO EXCEED 4'-0" O.C.

INDICATES THE SHEARWALL LOCATIONS
SEE SHEAR WALL SUMMARY FOR ANCHORAGE AND
FOUNDATION REQUIREMENTS AT SHEAR WALL LOCATIONS
SHOWN.

MUST PROVIDE
ADEQUATE DRAINAGE
AND VENTILATION
IN PORCH AREA

EXTERIOR (SIDEWALL) TIE-DOWN
NOT TO EXCEED 4'-0" O.C.

NOTE TO CONTRACTORS:
WIDTHS SHOWN ON FOUNDATION PLAN (TYPICALLY PAGE F-1) MAY NOT MATCH FLOOR PLAN PAGE (TYPICALLY PAGE
FP-3). THIS FOUNDATION HAS BEEN DESIGNED TO BE (1") WIDER PER MODULE THAN FLOOR PLAN TO ACCOMMODATE FOR
GROWTH OF MODULE WIDTH DUE TO CENTERLINE STRAPPING, CENTERLINE SHEATHINGS, AND EXTERIOR SHEATHINGS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LENGTH, WIDTH, AND OTHER STANDARD OR OPTIONAL
FEATURES SUCH AS BAYS, OFFSETS, PORCHES, ETC., AGAINST THE FACTORY SERIALIZED PRINT BEFORE FOUNDATION
CONSTRUCTION BEGINS. CONTACT YOUR FACTORY REPRESENTATIVE FOR A SERIALIZED COPY OF YOUR PROJECT.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE FOUNDATION WIND LOADING CRITERIA MEETS OR EXCEEDS
THOSE OF THE HOME AS ORDERED. BY SERIAL NUMBER, FROM THE FACTORY.

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Robert E. Gregg
Registered Architect
630 Chestnut Street
Chelmsford, Florida 33756
Phone: 727.766.8774
Fax: 727.761.6862



605 South Frontage Road
Plant City, FL 33563
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Model Number:
FMX466T5

Foundation

Drawn By:
JB

Date:
05/16/07

Scale:
3/16" = 1'-0"

Revision Log
Description of Revision
Name

150 mph
2102-0719F

F-1

APPROVED MAR 26 2008

SIDE WALLS			
Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	SEE PAGE F-3	SEE PAGE F-3	SEE PAGE F-3
Interior Zone =	SEE PAGE F-3	SEE PAGE F-3	SEE PAGE F-3

Rim to Sill Plate: 7.33 inches o/c
Anchor Spacing Along Side Walls: SEE PAGE F-3

SHEAR WALLS

A & B		Wind Speed: 140 Exposure: C				Side Wall HT(m.): 108 Max Elev(m.): 36		Framing: 2x6	
		A	B	C	D	E	F	G	
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll	Moment at Bottom of Unit Floor		
A	37	18	44	7	13	N/A	42387		
B	37	18	44	7	13	N/A	42387		
C	37	18	44	7	13	N/A	42387		
D	37	18	44	7	13	N/A	42387		

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 32.7 Deep	4	BY OTHERS
Interior Zone =	12 Wide x 20.7 Deep	3	BY OTHERS

Rim to Sill Plate: 7 inches o/c.
Anchor Spacing Along Side Walls: 38.89 inches o/c.

SHEAR WALLS

	A	B	C	D	E	F	G
Wind Speed:	140 Exposure:C	Slope Wall HT(In.):	108 Max Elev(In.):	120 Framing:2x6			
	Elevated Stilt Foundation — Designed by Others						
A & B							
	A	B	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Rail	Moment at Bottom of Unit Floor
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)					
A	N/A	N/A	N/A	N/A	N/A	N/A	44,359
B	N/A	N/A	N/A	N/A	N/A	N/A	44,359
C	N/A	N/A	N/A	N/A	N/A	N/A	44,359
D	N/A	N/A	N/A	N/A	N/A	N/A	44,359

COMPONENTS BEGINS, UNTIL A MINIMUM OF 70 % OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH HAS BEEN

UNTIL THE 28 DAY DURATION HAS ELAPSED FOR ACHIEVING FULL STRENGTH.

STANDARD FASTENING OF HOUSE TO FOUNDATION - ALL SEISMIC ZONES TOENAIL PERIMETER JOIST TO SILL PLATE WITH 16d NAILS PER CHARTS ON PAGES FP-7.2 & 7.3. FOR SEISMIC ZONES DD AND ABOVE - ADD 4" STRIP OF SHEATHING (MIN.) & FASTEN WITH .099 NAILS @4" O.C. INTO PERIMETER JOIST AND SILL PLATE.

- 1) CRAWL SPACE ACCESS OPENING MUST BE 24" WIDE X 18" HIGH OR AS MANDATED BY LOCAL CODES. ACCESS MAY BE LOCATED ANYWHERE EXCEPT UNDER DOORS, PORCHES AND SHEAR WALLS.
- 2) CRAWL SPACE VENTILATION OPENINGS REQUIRED WITHIN 36" OF EACH CORNER OR AS MANDATED FBC RESIDENTIAL.
- 3) UNLESS OTHERWISE SPECIFIED, FOOTERS ALONG CENTERLINE ARE 24x24x8 MIN.
- 4) MINIMUM CONCRETE COMPRESSIVE STRENGTH (fc) IS 3000 PSI AFTER 28 DAYS.
- 5) MINIMUM CLEARANCE IN CRAWL SPACE IS 18" BETWEEN GROUND AND WOOD FRAMING.
- 6) FOUNDATION WALLS ARE POURED CONCRETE OR FULLY MORTARED CONCRETE BLOCK (CMU).
- 7) DESIGN BASED ON 30 PSF ROOF LIVE LOAD & 40 PSF/FLOOR LIVE LOAD.
- 8) LOCAL SITE CONDITIONS WHICH VARY SUBSTANTIALLY FROM ASSUMPTIONS NOTED ON THIS DRAWING, MAY AT THE DISCRETION OF THE LOCAL BUILDING OFFICIAL, REQUIRE A FOUNDATION DESIGNED BY A PROFESSIONAL ENGINEER WHO IS FAMILIAR WITH THE SPECIFIC SITE CONDITIONS.

SIDE WALLS			
Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	SEE PAGE F-3	SEE PAGE F-3	SEE PAGE F-3
Interior Zone =	SEE PAGE F-3	SEE PAGE F-3	SEE PAGE F-3

Rim to Sill Plate: 8.5 inches o/c.
Anchor Spacing Along Side Walls: SEE PAGE F-3

Wind Speed: 130 Exposure: C		Side Wall HT(m.): 108		Max Eley(m.): 36		Framing: 2x6	
A & B							
A	B	C	D	E	F	G	
Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Rail	Moment at Bottom of Unit Floor	
A	35	16	50	6	15	N/A	36557
B	35	16	50	6	15	N/A	36557
C	35	16	50	6	15	N/A	36557
D	35	16	50	6	15	N/A	36557

15

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 32.7 Deep	4	BY OTHERS
Interior Zone =	12 Wide x 20.7 Deep	3	BY OTHERS

Rim to Sill Plate: 7 inches o/c.
Anchor Spacing Along Side Walls: 38.89 inches o/c.

Wind Speed:140 Exposure:C Side Wall HT(In.):108 Max Elev(In.):120 Framing:2x6							
Elevated Stilt Foundation – Designed by Others							
	A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MMS Conn (In o.c.)	Sheathing Strip to Sill and Roll	Moment at Bottom of Unit Floor
A	N/A	N/A	N/A	N/A	N/A	N/A	44,369
B	N/A	N/A	N/A	N/A	N/A	N/A	44,369
C	N/A	N/A	N/A	N/A	N/A	N/A	44,369
D	N/A	N/A	N/A	N/A	N/A	N/A	44,369

Robert E. Gregg
Registered Architect
630 Chestnut Street
Clearwater, Florida 33758
Phone: 727.786.8774
FAX: 727.791.6942



605 South Frontage Road
Plant City, FL 33563

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[illegible]

ADDONVER MAD 2 6 2000

Notes:

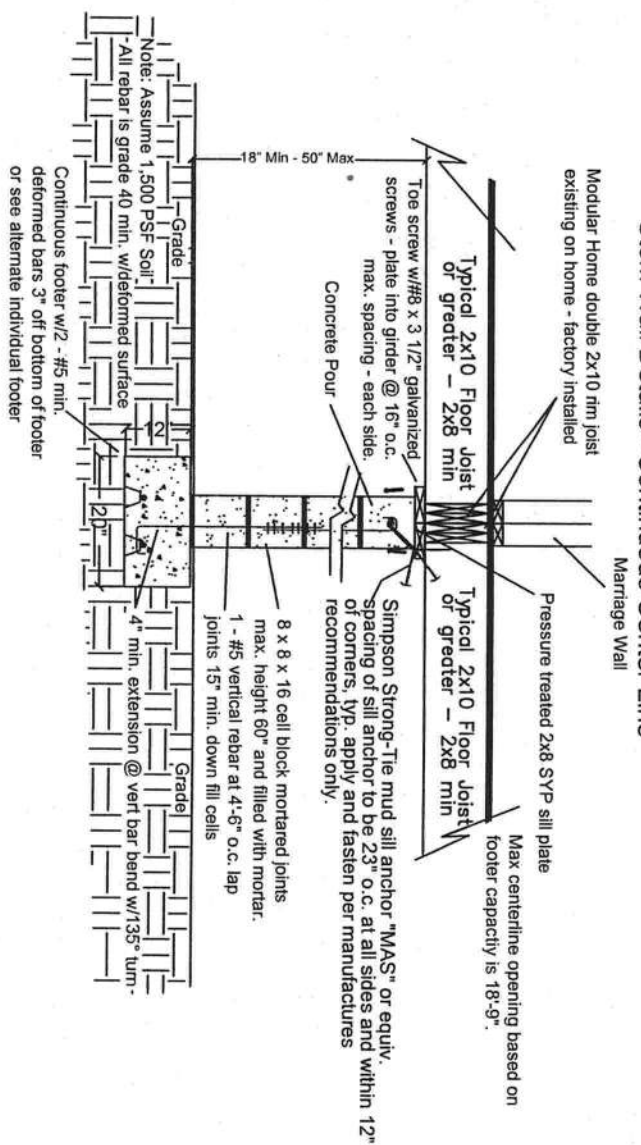
1. Foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
2. Lots shall be provided with drainage and shall be graded so as to drain surface water away from foundation walls - by lot owner.
3. Materials shall conform to applicable standards and codes.
4. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with code - 3000 psi concrete minimum.
5. All exterior walls, bearing walls, columns, and piers shall be supported on continuous solid concrete footings which shall be of sufficient design to support safely the loads imposed as determined from the character of the soil and shall in all cases extend below the frost line.
6. Foundation walls shall be constructed in accordance with the code and not less than as shown on the drawings.
7. Foundations shall extend not less than 12 inches below the finished natural grade or engineered fill and in no case less than the frost line depth. Footings on soil with lower allowable soil pressure shall be designed in accordance with accepted engineering practice. However, where there is evidence that the ground water table can rise to within 8 inches of the finished grade at the building site, the building official may require that the grade on the under - floor space be as high as the outside finished grade, unless an approved drainage system is provided. Termite shields and/or protection shall be provided as per code. Local and state requirements for footings may exceed that shown on drawings. If any questions, contact your local building inspectors department.
8. Crawls spaces under buildings without basements shall be ventilated by approved mechanical means or by openings in the foundation walls. Openings shall be arranged to provide cross ventilation and shall be covered with corrosion-resistant wire mesh of not less than 1/4 inch nor more than 1/2 inch in any dimension. Openings in foundation walls shall have a net area of not less than 1 sq.ft. for each 150 sq.ft. of crawl space. Crawl space access of minimum 18" x 24" is required.
9. Mortar shall be type "M" or "S"
10. Proper support and tying down of your home are very important. Walls shall be as shown on the plan as prescribed on other details. The construction is designed for a continuous support at the perimeter and the center-line. Alternate foundations to the stem wall set included may be installed if a continuous support is provided to include a minimum of 1 1/2" of the bearing for the end of each floor joist, and the alternate foundation is designed by a registered professional engineer. The foundation and anchorage to the foundation of the unit to the foundation must be capable of withstanding uplift loads of 515#/ft along the sidewalks and center-line wall and 590#/ft sliding combined load - 2004 FBC, Residential Code w 2005\ 2006 suppl and 2007 SUPPLEMENT.
11. Minimum soil bearing capacity shall be 1500 PSF.
12. For 20 PSF live roof loads only.
13. If site conditions vary from those listed or if a different setup is desired, consult a professional engineer for a new or altered design.
14. Soil bearing to be determined by test or by building official having jurisdiction at the set up site.

Foundation Systems:

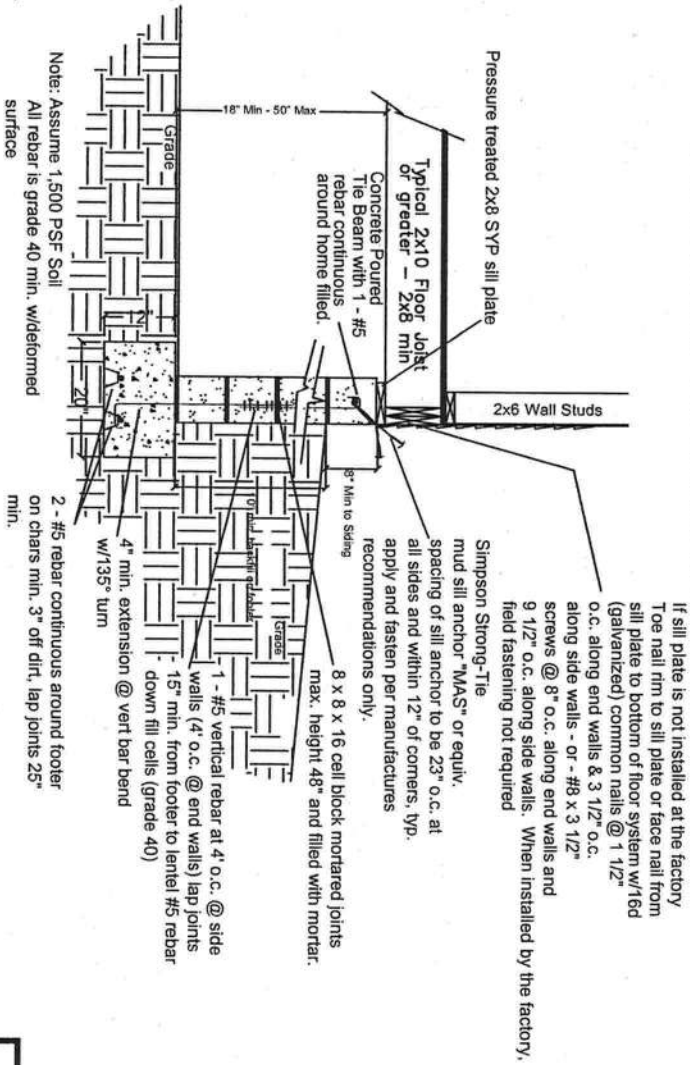
In accordance with the requirements of the Florida Department of Community Affairs, these building plans DO NOT contain Foundation support and tie-down system details (any foundations that are included in the plan are considered options only).

1. Unless otherwise specified in this package, Palm Harbor Homes, Plant City, Florida, REQUIRES that ALL modular buildings be installed on a continuous permanent stem wall foundation. It is the responsibility of the contractor and/or retailer to verify that any foundation systems are in compliance with ALL applicable codes for the area in which the building is being installed. Palm Harbor Homes is NOT responsible for verifying local foundation requirements. When Palm Harbor Homes and/or its engineer provide a foundation plan, the contractor and/or retailer shall maintain responsibility for verifying compliance to local codes.
2. Homes may be "set" when the foundation system is designed by a local Registered Professional Engineer (RPE). All still foundation systems shall provide support to the buildings structural components in the same manner as prescribed by the details for stem-wall foundations. The down methods to be designed by others. The maximum mean roof height (MRH), as prescribed on this plan, shall not be exceeded. (See General Notes above).
3. When foundation plans are designed by others, Palm Harbor Homes and its third party approval agency(s) along with the architect and/or the engineer of the building plans shall not be held responsible or liable for the foundation design and/or consequential performance of the superstructures structural components and systems relating thereto.
4. In ALL cases (regardless of who designs the foundation) the following requirements shall be met:
 - a. The foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
 - b. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with the Florida Building Code - 3000 p.s.i. concrete minimum.
 - c. Foundation and anchorage of the building to the foundation shall be capable of withstanding a minimum of 515#/ft uplift along the sidewalks and the marriage line(s) and a minimum of 590#/ft sliding load over ALL connection point (foundation walls).
5. ALL foundation systems shall be designed by a Registered Professional Engineer or Architect licensed for the area in which the building is being installed.
6. ALL foundation and tie-down systems are subject to approval and inspection by the local jurisdiction having authority. It is the responsibility of the contractor and/or retailer to ensure compliance to applicable codes, obtain required permits and schedule required inspections.
7. ALL modular buildings shall be installed (set-up) by a licensed building contractor.
8. The licensed building contractor is responsible for verifying that the size, shape, height etc... of any supplied details or plans corresponds with the building being installed.

Stem Wall Details - Continuous Center Line



Stem Wall Details - Side and End Walls

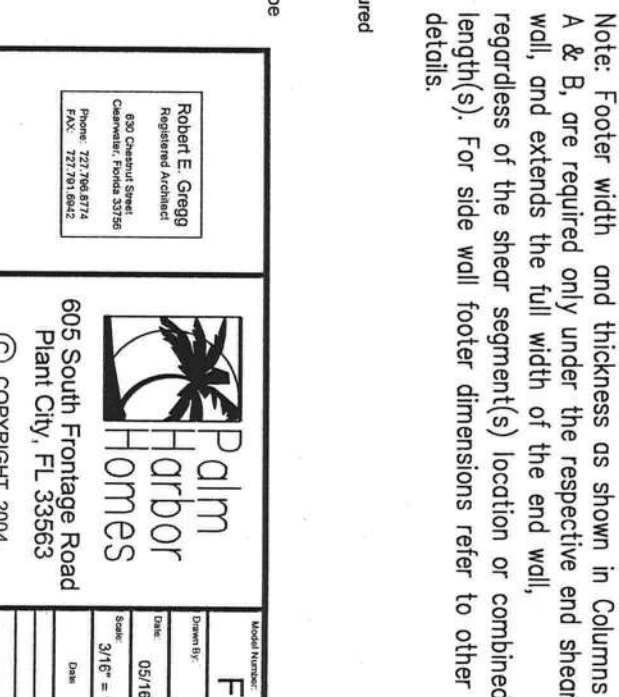


1

7

- 1
tion

1. Introduction



tion
650 mph
5-0719F
F-4

0804-08

FEEs:

	CODE	UNIT
ROAD IMPACT FEE 10100003632400	210	1
EMS IMPACT FEE 10300003632210		
FIRE PROTECTION IMPACT FEE 10200003632220		
CORRECTIONS IMPACT FEE 00100003632200		
SCHOOL IMPACT FEE 00100003632900		
TOTAL FEES CHARGED		
CHECK NUMBER		

\$1,046.00 ✓

\$29.88 ✓

\$78.63 ✓

\$409.16 ✓

\$1,500.00 ✓

\$306.26 ✓

\$3,036.67