

Issue Per Randy on 5-11-12

Columbia County Building Permit Application

For Office Use Only Application # 1203-34 Date Received 3/14 By TW Permit # 30163
Zoning Official BLK Date 20 March 2012 Flood Zone X Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE 14th St River N/A Plans Examiner T.C. Date 3/9/12
Comments SE 0504
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☒ Well letter ☐ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Com. letter
IMPACT FEES: EMS SRWMD Fire SRWMD Corr SRWMD Sub VF Fc... SRWMD
Road/Code SRWMD School SRWMD = TOTAL (Suspended) SRWMD App Fee Paid SRWMD

Septic Permit No. 110161-N Fax 386-758-2160

Name Authorized Person Signing Permit Tommy Matthews Phone 386-758-1039

Address P.O. Box 1529, Lake City, FL 32056

Owners Name Columbia County Board of Commissioners Phone 386-755-4100

911 Address 431 S.W. Birley Ave, L. C. FL 32014

Contractors Name Tommy Matthews Phone 386-758-1039

Address P.O. Box 1529, Lake City, FL 32056

Fee Simple Owner Name & Address Columbia County Bld. of Com. P.O. Box 1529 Lake City, FL 32056

Bonding Co. Name & Address ---

Architect/Engineer Name & Address Freeman Design Group 128 S.W. Nassau St. Lake City, FL 32025

Mortgage Lenders Name & Address CAPN

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 32-35-16-02420-00 Estimated Cost of Construction \$500,000

Subdivision Name --- Lot --- Block --- Unit --- Phase ---

Driving Directions U.S. 90 West to Birley Rd., Turn Lt., Less than one mile on Lt.

Number of Existing Dwellings on Property 0

Construction of Wood Frame - Community Center Total Acreage 9.39 Lot Size 1066' x 836'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height ---

Actual Distance of Structure from Property Lines - Front 450' Side 250' Side 250' Rear 534'

Number of Stories 1 Heated Floor Area 6,864 Total Floor Area 8,028 Roof Pitch 6:12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.
Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

TW SIDE w/ Tommy 3-21-12

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

✓ Contractor's License Number CGC022001
Columbia County
Competency Card Number #1162

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 3 day of March 2012.
Personally known ✓ or Produced Identification _____

State of Florida Notary Signature (For the Contractor)

SEAL:



NOTICE OF COMMENCEMENT

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): _____
a) Street (Job) Address: 431 SW Birley
b) Tax Parcel Identification Number 32-3S-16-02420-00
2. General description of improvements: Community Center
3. Owner Information
a) Name and address: Columbia County Board of Commissioners, P.O. Box 1529, Lake City, FL. 32056
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property _____
4. Contractor Information
a) Name and address: Tommy Matthews
b) Telephone No.: 386-758-1039 Fax No. (Opt.) 386-758-2160
5. Surety Information
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: Tommy Matthews
b) Telephone No.: 386-386-758-1039 Fax No. (Opt.) 386-758-2160
8. In addition to himself, owner designates the following person to receive a copy of the Lien or's Notice as provided in Section 713.13(1)(b).
Florida Statutes:
a) Name and address: Ray Hill
b) Telephone No.: 386-719-2028 Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY: A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

—AND—

10. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

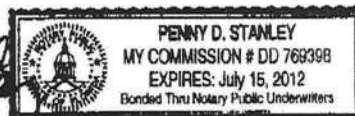
11. _____
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager

_____ Dale Williams
Print Name

12. The foregoing instrument was acknowledged before me, a Florida Notary, this 6th day of March, 2012, by:

_____ as _____ (type of authority, e.g. officer, trustee, attorney)
fact for Columbia County Board of Comm. (name of party on behalf of whom instrument was executed).
Personally Known ☒ OR Produced Identification _____ Type _____

Penny D. Stanley
Penny D. Stanley



Rec 18,50
Doc 1589,70
(2)

Prepared by and return to:

Marlin M Feagle

Attorney at Law

Feagle & Feagle, Attorneys, P.A.

153 NE Madison Street Post Office Box 1653

Lake City, FL 32056-1653

386-752-7191

File Number: BCCGuynn

Will Call No.:

Inst:200912014651 Date:8/31/2009 Time:3:34 PM
Doc Stamp-Deed:1589,70

DC.P DeWitt Cason, Columbia County Page 1 of 2 B:1180 P:10

Parcel Identification No. 32-3S-16-02420-001

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 24th day of August, 2009 between **Dorothy P. Guynn, an unmarried widow** whose post office address is 433 NW DeSoto Street, Lake City, FL 32055 of the County of Columbia, State of Florida, grantor*, and **Columbia County, Florida, a political subdivision of the State of Florida** whose post office address is Post Office Box 1529, Lake City, FL 32056-1529 of the County of Columbia, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Columbia County, Florida**, to-wit:


Commence at the Northwest corner of the Northeast 1/4 of Section 32, Township 3 South, Range 16 East, Columbia County, Florida and run S 04 deg. 20'57" W along the West line of said Northeast 1/4 a distance of 725.00 feet; thence S 78 deg. 53'31" E 4.25 feet to a point on the Easterly right-of-way line of SW Birley Avenue and the POINT OF BEGINNING; thence continue S 78 deg. 53'31" E 769.72 feet; thence N 89 deg. 47'33" E 310.38 feet; thence S 04 deg. 19'49" W 836.70 feet; thence N 79 deg. 40'13" W along a line 30.00 feet North of and parallel to the North line of a 30.00 foot ingress/egress easement a distance of 1066.43 feet to a point on the Easterly right-of-way line of SW Birley Avenue; thence N 03 deg. 22'41" E along said Easterly right-of-way line 791.63 feet to the POINT OF BEGINNING. Containing 19.39 acres, more or less.

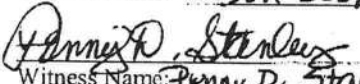
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

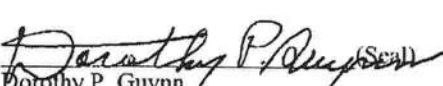
* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: Ben Scott

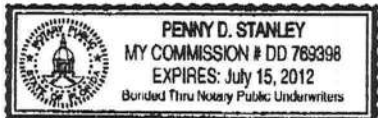

Witness Name: Penny D. Stanley


Dorothy P. Guynn (Seal)

State of Florida
County of Columbia

The foregoing instrument was acknowledged before me this 24th day of August, 2009 by Dorothy P. Guynn, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]



Penny D. Stanley
Notary Public

Printed Name: Penny D. Stanley

My Commission Expires: 7-15-2012

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

RECREATION CENTER

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

RESOLUTION NO. BA SE 0504

A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING WITH APPROPRIATE CONDITIONS AND SAFEGUARDS A SPECIAL EXCEPTION AS AUTHORIZED UNDER SECTION 4.5.7 OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW A COMMUNITY CENTER AS A PUBLIC BUILDING AND FACILITY WITHIN AN AGRICULTURE-3 (A-3) ZONING DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) the proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) the proposed use is compatible with the established land use pattern;
- (c) the proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;
- (d) the proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) the proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) the proposed use will not create a drainage problem;

- (g) the proposed use will not seriously reduce light and air to adjacent areas;
- (h) the proposed use will not adversely affect property values in the adjacent areas;
- (i) the proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) the proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition, SE 0504, by GTC Design Group, as agent for the Board of County Commissioners, to request a special exception be granted as provided for in Section 4.5.7 of the Land Development Regulations to allow for a community center as a public building and facility within an AGRICULTURE-3 (A-3) zoning district in accordance with a site plan dated May 11, 2010 submitted as part of a petition dated May 10, 2010, the Board of Adjustment hereby grants a special exception, as described above, subject to the appropriate conditions and safeguards hereinafter specified, to be located on property described, as follows:

A parcel of land lying within Section 32, Township 3 South, Range 16 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Northwest corner of the Northeast 1/4 of said Section 32; thence South 04°20'57" West, along the West line of the Northeast 1/4 of said Section 32, a distance of 725.00 feet; thence South 78°53'31" East 4.25 feet to the Easterly right-of-way line of Southwest Birley Avenue and the Point of Beginning; thence continue South 78°53'31" East 769.72 feet; thence North 89°47'33" East 310.38 feet; thence South 04°19'49" West 836.70 feet; thence North 79°40'13" West, along a line 30.00 feet North of and parallel to the North line of a 30.00 foot ingress/egress easement, a distance of 1,066.43 feet to the Easterly right-of-way line of said Southwest Birley Avenue; thence North 03°22'41" East, along the Easterly right-of-way line of said Southwest Birley Avenue, 791.63 feet to the Point of Beginning.

Containing 19.39 acres, more or less.

Section 2. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

Section 3. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within eighteen (18) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within eighteen (18) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

Section 4. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.

Section 5. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 6. This resolution shall become effective upon adoption.

PASSED AND DULY ADOPTED, in regular session with a quorum present and voting,
by the Board of Adjustment this 24TH day of JUNE 2010.

Attest:

BOARD OF ADJUSTMENT OF
COLUMBIA COUNTY, FLORIDA



Brian L. Kepner
Secretary to the Board of Adjustment



Jock Phelps, Chairman



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

RECEIVED

JUN 22 2010

Board of County Commissioners
Columbia County

June 21, 2010

*Copy to John C. -
file:*

GPB

Mr. Brian L. Kepner
Columbia County
Post Office Box 1529
Lake City, FL 32056-1529

Subject: Requested Comments on Westside Community Center, SE0504,
ERP10-0043, Columbia County

Dear Mr. Kepner:

This letter is in reference to your letter received June 15, 2010, by the Suwannee River Water Management District (District) requesting comments from our staff.

The above mentioned proposed project has been issued an Environmental Resource Permit (ERP) from the District according to Chapters 40B-4 and 40B-400, Florida Administrative Code (F.A.C.).

This project was issued an ERP on March 15, 2010. A copy of the permit is enclosed.

Sincerely,

Leroy Marshall II
Leroy Marshall II, P.E., CFM
Water Resource Engineer

LM/rl

Enclosure

cc: Columbia County Board of County Commissioners
Chad Williams

DON QUINCEY, JR.
Chairman
Chiefland, Florida

N. DAVID FLAGG
Vice Chairman
Gainesville, Florida

CARL E. MEECE
Secretary/Treasurer
O'Brien, Florida

ALPHONAS ALEXANDER
Madison, Florida

C. LINDEN DAVIDSON
Lamont, Florida

RAY CURTIS
Perry, Florida

HEATH DAVIS
Cedar Key, Florida

JAMES L. FRALEIGH
Madison, Florida

GUY N. WILLIAMS
Lake City, Florida

DAVID STILL
Executive Director
Lake City, Florida

Water for Nature, Water for People

RECYCLED PAPER

9225 CR 49 • LIVE OAK, FLORIDA 32060 • TELEPHONE 386/362-1001 • 800/226-1066 (FL) • FAX 386/362-1056
mysuwanneeriver.com



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

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NOTICED GENERAL PERMIT

PERMITTEE:

COLUMBIA COUNTY BOARD OF COMMISSIONERS
PO BOX 1529
LAKE CITY, FL 32056

PERMIT NUMBER: ERP10-0043

DATE ISSUED: 03/15/2010

DATE EXPIRES: 03/15/2013

COUNTY: COLUMBIA

TRS: S32/T3S/R16E

PROJECT: WESTSIDE COMMUNITY CENTER

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

LISA ROBERTS

COLUMBIA COUNTY BOARD OF COMMISSIONERS
POST OFFICE BOX 1529
LAKE CITY, FL 32056-1529

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource noticed general permit is in effect for the permitted activity description below:

Construction and operation of a surfacewater management system serving 0.18 acres of impervious surface on a total project area of 19.40 acres in a manner consistent with the application package submitted by GTC Design Group on March 4, 2010.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A noticed general permit authorizes the construction, operation, maintenance, alteration,

abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

General Conditions for All Noticed General Permits:

1. The terms, conditions, requirements, limitations, and restrictions set forth in this section are general permit conditions and are binding upon the permittee for all noticed general permits in Part II of this chapter. These conditions are enforceable under Part IV of chapter 373, F.S.
2. The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit. A violation of the permit is a violation of Part IV of chapter 373, F.S., and may result in suspension or revocation of the permittee's right to conduct such activity under the general permit. The District may also begin legal proceedings seeking penalties or other remedies as provided by law for any violation of these conditions.
3. This general permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.
4. This general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit and Part II of this chapter.
5. This general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to human health or welfare, animal, plant or aquatic life, or property. It does not allow the permittee to cause pollution in contravention of Florida Statutes and District rules.
6. The permittee is hereby advised that s.253.77, F.S., states that a person may not commence any excavation, construction or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

7. The authorization to conduct activities pursuant to general permit may be modified, suspended or revoked in accordance with chapter 120, and s.373.429, F.S.

8. This permit shall not be transferred to a third party except pursuant to s.40B-4.1130, F.A.C. The permittee transferring the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located.

9. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to insure conformity with the plans and specifications approved by the permit.

10. The permittee shall maintain any permitted system in accordance with the plans submitted to the District and authorized by this general permit.

11. A permittee's right to conduct a specific noticed activity under this noticed general permit is authorized for the duration on the front of this permit.

12. Construction, alteration, operation, maintenance, removal and abandonment approved by this general permit shall be conducted in a manner which does not cause violations of state water quality standards, including any antidegradation provisions of s.62-4.242(1)(a) and (b), 62-4.242(2) and (3), and 62-302.300, F.A.C., and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. The permittee shall implement best management practices for erosion, turbidity and other pollution control to prevent violation of state water quality standards. Temporary erosion control measures such as sodding, mulching, and seeding shall be implemented and shall be maintained on all erodible ground areas prior to and during construction. Permanent erosion control measures such as sodding and planting of wetland species shall be completed within seven days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands or other surface waters exists due to the permitted activity. Turbidity barriers shall remain in place and shall be maintained in a functional condition at all locations until construction is completed and soils are stabilized and vegetation has been established. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

13. The permittee shall hold and save the District harmless from any and all damages, claims or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the general permit.

14. The permittee shall immediately notify the District in writing of any previously submitted

Permit No.: ERP10-0043

Project: WESTSIDE COMMUNITY CENTER

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7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.


11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

COLUMBIA COUNTY BOARD OF COMMISSIONERS
PO BOX 1529
LAKE CITY, FL 32056

At 4:00 p.m. this 15 day of March, 2010.



Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49

Permit No.: ERP10-0043

Project: WESTSIDE COMMUNITY CENTER

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Live Oak, Florida 32060
386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP10-0043

Sheet without paved areas

Sheet ①

Bill Ford
Executive Director

Elm Health Director

11.81

3/25/11



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

PERMIT #: **12-SC-1309380**
APPLICATION #: **AP999346**
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____
DOCUMENT #: **PR841846**

11-161

CONSTRUCTION PERMIT FOR: OSTDS New
APPLICANT: COLUMBIA COUNTY BOARD OF COMMISSIONERS
PROPERTY ADDRESS: 431 SW BIRLEY Ave Lake City, FL 32024
LOT: _____ BLOCK: _____ SUBDIVISION: _____
PROPERTY ID #: 02420-001 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1,650] GALLONS / GPD _____ septic tank _____ CAPACITY
A [1,650] GALLONS / GPD _____ septic tank _____ CAPACITY
N [750] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [0] GALLONS DOSING TANK CAPACITY [0.00] GALLONS @ [0] DOSES PER 24 HRS #Pumps []

D [938] SQUARE FEET _____ drainfield _____ SYSTEM
R [938] SQUARE FEET _____ drainfield _____ SYSTEM
A TYPE SYSTEM: [X] STANDARD [] FILLED [] MOUND [] _____
I CONFIGURATION: [X] TRENCH [] BED [] _____

N
F LOCATION OF BENCHMARK: surveyors BM, nail in 26" oak W of site
I ELEVATION OF PROPOSED SYSTEM SITE [53.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [83.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [0.00] INCHES EXCAVATION REQUIRED: [0.00] INCHES

O
T
H
E
R
1. split into two separate systems per engineer flow split.
2. Waterline must run over the top of the sewage transmission line. Waterline is to be double sleeved to 10' out on both sides past the sewage transmission line. Waterline must be 90ed up and over sewage transmission line to 1 foot above the sewage transmission line and still meet building code standards for minimum depth.
3. Approximately 150' and 125' of solid pipe required for sewage transmission line.
4. Plumbing is to be held as high as possible out of the building (using the benchmark numbers). (Comments)
Continued on Page 2.)

SPECIFICATIONS BY: Sallie A Ford TITLE: Environmental Health Director

APPROVED BY: _____ TITLE: Environmental Health Director Columbia CHD

DATE ISSUED: 04/18/2011 EXPIRATION DATE: 10/18/2012

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)

Incorporated: 64E-6.003, FAC

v 1.1.4

AP999346

SE841891

It is also recommended to install plumbing first, septics second, and pavement last, sectioning off the septics to traffic to make sure flow will match.

NOTICE OF RIGHTS

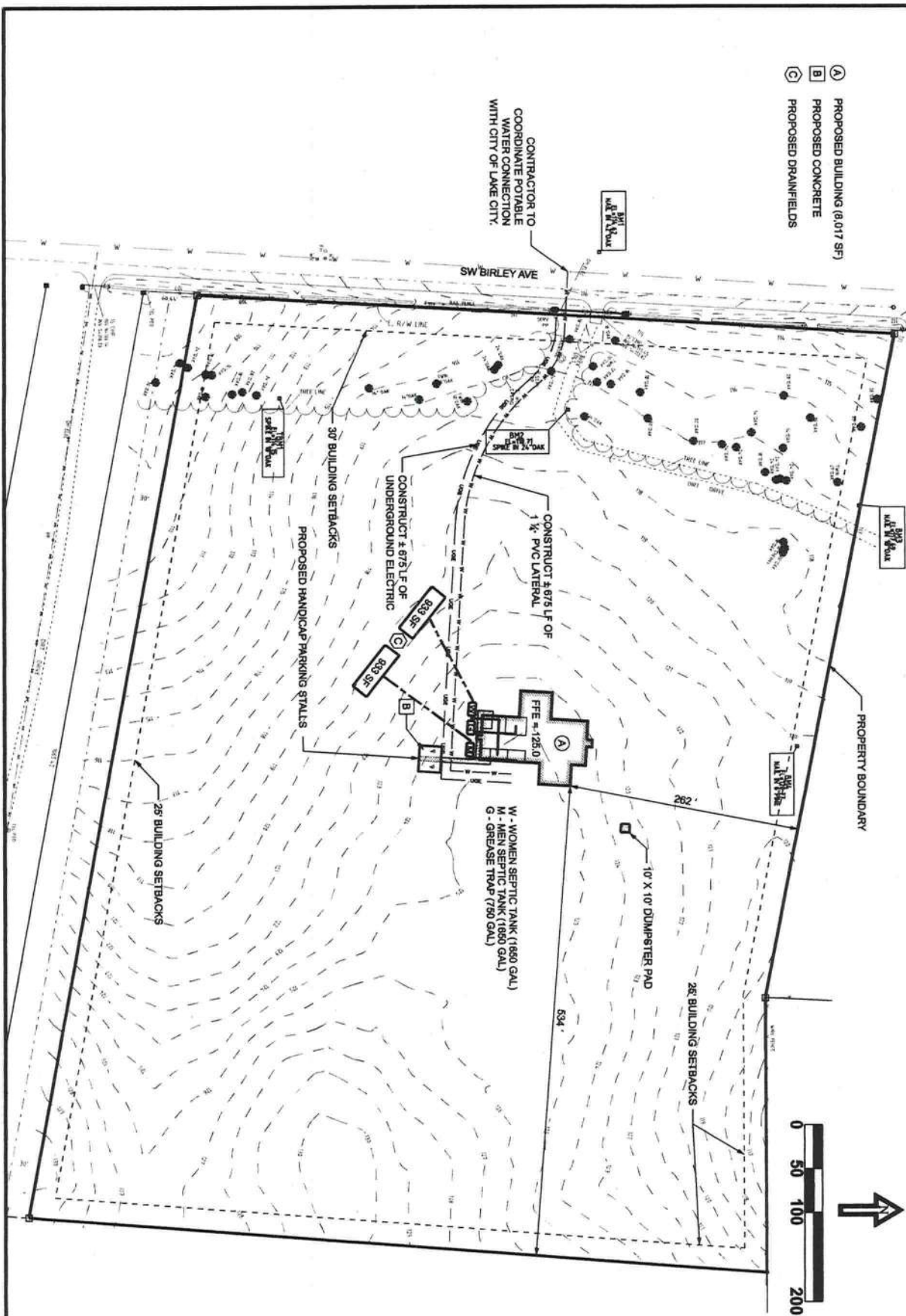
A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.

- (A) PROPOSED BUILDING (8,017 SF)
- (B) PROPOSED CONCRETE
- (C) PROPOSED DRAINFIELDS



WESTSIDE COMMUNITY CENTER
SW BIRLEY AVE
SITE PLAN



GTC Design Group, LLC, 176 NW LAKE JEFFREY RD
 Auth. # 9401
 Structural / Civil Engineers
 www.gtcdesigngroup.com

P.O. BOX 187
 130 W HOWARD ST
 LAKE CITY, FL 32055
 PHONE: (850) 362-3678
 FAX: (850) 362-4133

DATE	REVISION NOTES

BY MC	CHECKED BY CW
PROJECT NUMBER PF09-094	SHEET 3

Permit No.: ERP10-0043

Project: WESTSIDE COMMUNITY CENTER

Page 4 of 7

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information that is later discovered to be inaccurate.

15. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.

16. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by *[Signature]* Date Approved 3/15/10
District Staff



NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.

2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.

3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.

4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.

6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER #1203-34 CONTRACTOR Tommy Matthews PHONE 386-623-6371

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL 564	Print Name <u>WALTER GRAHAM</u> License #: <u>EC #0000683</u>	Signature <u>[Signature]</u> Phone #: <u>386-752-6082</u>
<input checked="" type="checkbox"/> MECHANICAL/ A/C 837	Print Name <u>Chris Williams</u> License #: <u>CAC057795</u>	Signature <u>[Signature]</u> Phone #: <u>386 752-5841</u>
<input checked="" type="checkbox"/> PLUMBING/ GAS 1018	Print Name <u>George Decker</u> License #: <u>CFC1427733</u>	Signature <u>[Signature]</u> Phone #: <u>386-438-1635</u>
<input type="checkbox"/> ROOFING	Print Name <u>C</u> License #: <u>- - - - -</u>	Signature <u>- - - - -</u> Phone #: <u>- - - - -</u>
<input type="checkbox"/> SHEET METAL	Print Name <u>- - - - -</u> License #: <u>- - - - -</u>	Signature <u>- - - - -</u> Phone #: <u>- - - - -</u>
<input type="checkbox"/> FIRE SYSTEM/ SPRINKLER	Print Name <u>- - - - -</u> License #: <u>- - - - -</u>	Signature <u>- - - - -</u> Phone #: <u>- - - - -</u>
<input type="checkbox"/> SOLAR	Print Name <u>- - - - -</u> License #: <u>- - - - -</u>	Signature <u>- - - - -</u> Phone #: <u>- - - - -</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<input checked="" type="checkbox"/> MASON	<u>CGC040581</u>	<u>JERRY [Signature]</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> CONCRETE FINISHER	<u>000063</u>	<u>[Signature]</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> FRAMING <u>1377</u>	<u>CGC1516042</u>	<u>Kevin Bedenbaugh</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> INSULATION <u>539</u>	<u>CGC006209</u>	<u>Mike Todd</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> STUCCO <u>1539</u>	<u>"</u>	<u>"</u>	<u>"</u>
<input checked="" type="checkbox"/> DRYWALL <u>1539</u>	<u>"</u>	<u>"</u>	<u>"</u>
<input checked="" type="checkbox"/> PLASTER <u>Siding</u>	<u>CC000166</u>	<u>MICHAEL Z. NICHOLSON</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> CABINET INSTALLER <u>377</u>	<u>CGC1516042</u>	<u>KEVIN BEDENBAUGH</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> PAINTING	<u>72</u>	<u>[Signature]</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> ACOUSTICAL CEILING	<u>000323</u>	<u>J.M. STEINER</u>	<u>[Signature]</u>
<input type="checkbox"/> GLASS	<u>NA</u>	<u>NA</u>	<u>NA</u>
<input type="checkbox"/> CERAMIC TILE	<u>C</u>	<u>"</u>	<u>NA</u>
<input type="checkbox"/> FLOOR COVERING	<u>C</u>	<u>"</u>	<u>"</u>
<input checked="" type="checkbox"/> ALUM/VINYL SIDING <u>539</u>	<u>SCC049025</u>	<u>Todd L Hunt</u>	<u>[Signature]</u>
<input type="checkbox"/> GARAGE DOOR	<u>NA</u>	<u>NA</u>	<u>NA</u>
<input type="checkbox"/> METAL BLDG ERECTOR	<u>NA</u>	<u>NA</u>	<u>NA</u>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER #1203-34CONTRACTOR Tommy MatthewsPHONE 386-623-6371

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Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
→ CERAMIC TILE	1263	Marc A Van	✓
→ FLOOR COVERING	710	Marc A Van	✓
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

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ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
✓ ROOFING 572	Print Name <u>JOHN W. O'NEAL</u> License #: <u>CCC016346</u>	Signature <u>[Signature]</u> Phone #: <u>386-752-7578</u>
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

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APPLICATION NUMBER #1203-34 CONTRACTOR Tommy Matthews PHONE 386-623-6371

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

3867005671

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MECHANICAL/ A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING	42	William R Davis	William R Davis
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

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Engineers

Planners

Materials
Testing



#030163

5/22/12

Columbia County Building and Zoning
135 NE Hernando Street
Lake City, FL. 32025

Re: Westside Community Center

Natural Grade of fill below footings shall be compacted to 95% modified proctor (ASTM D-1557), in lieu of 98% modified proctor as indicated on sheet S-1 of the construction documents.

If you have any more questions, please do not hesitate to call me at (386) 758-4209.

Sincerely,

A handwritten signature in cursive script that reads "William H. Freeman".

William H. Freeman

PE # 56001

#30163

01.23.2011



#30163

01.23.2011



30163

01.23.2011



#30163

01.23.2011





Right-Suite® Universal Short Form
Entire House
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Outside db	(°F)	Htg	Clg
Outside RH	(%)	33	92
Outside wb	(°F)	-	51
Daily range	(°F)	-	76
Moisture diff.	(gr/lb)	-	18
			48

Inside db	(°F)	Htg	Clg
Inside RH	(%)	70	75
Inside wb	(°F)	-	50
Design TD	(°F)	-	63
		37	17

Heating Equipment

Make	n/a
Model	n/a
Type	n/a
Efficiency	n/a
Heating Input	0 MBtuh
Heating Output	0 MBtuh
Humidifier	0 gpd
Leaving Air Temp	0 °F
Actual Heating Fan	0 cfm

Cooling Equipment

Make	n/a
Model	n/a
Type	n/a
COP / EER / SEER	0
Sensible Cooling	0 MBtuh
Latent Cooling	0 MBtuh
Total Cooling	0 MBtuh
Leaving Air Temp	0 °F
Actual Cooling Fan	0 cfm

Equipment Location	Entire House
System Type	n/a
Fan Motor Heat Type	n/a
Fan & Motor Combined Efficiency	0 %
Static Pressure Across Fan	0 in H2O

NAME	Area ft²	Heat Loss	Sensible Gain	Latent Gain	Htg cfm	Clg cfm	Time
AH-1,2,3	4927	212050	128912	54063	5139	5139	Jul 1600 LDT
AH- 4	999	3866	8772	2294	233	233	Jul 1600 LDT
AH- 5	862	3609	6655	1698	184	184	Jul 1600 LDT
Entire House	6788	219526	144339	58055	5556	5556	Jul 1600 LDT



Coburn & Associates, Inc.
P.O. Box 577
High Springs Florida 32655-0577
(386) 454-3748 • Fax 386-454-2652
EB #0003687
Richard P. Coburn P.E. #32820



Right-Suite® Universal 7.1.25 RSU02666

... Settings\Richard Coburn\My Documents\Wrightsoft HVAC\1009.rup Calc = CLTD Orientation = N

2012-Mar-13 11:59:42

Page 1



Right-Suite® Universal Load Summary
Entire House
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Zone: Entire House

COOLING LOAD

1. DESIGN CONDITIONS	at Jul 1600 LDT	Peak load at Jul 1600 LDT		
Inside: 75 °F	Outside: 92 °F	TD: 17 °F		
RH: 51 %	MoistDiff: 48.5 gr/lb	Mult: 0	Ins.wb 63 °F	
			Sensible	Latent
2. SOLAR RADIATION THROUGH GLASS			1037	-
3. TRANSMISSION GAINS	Sensible		22555	-
Walls:	2761		-	-
Glass:	479		-	-
Doors:	260		-	-
Partitions:	0		-	-
Floors:	0		-	-
Ceilings:	19055		-	-
4. INTERNAL HEAT GAIN	Sensible	Latent	88875	41475
Occupants:	88875	41475	-	-
Lights:	0	-	-	-
Motors:	0	-	-	-
Appliances:	0	0	-	-
5. INFILTRATION:	Outside air cfm:	505	9156	16580
6. SUBTOTAL: Space load	Sensible	Latent	121622	58055
Envelope	121622	58055	-	-
Less external	0	-	-	-
Redistribution	0	0	-	-
7. SUPPLY DUCT			0	-
8. SUBTOTAL: Space load + supply duct			121622	-
Actual cfm:	5556 at supply TD:	20	-	-
9. VENTILATION:	Make-up air cfm:	0	0	0
10. RETURN AIR LOAD:	Lighting + plenum (net)		22717	-
11. RETURN DUCT			0	-
12. TOTAL LOADS ON EQUIPMENT			144339	58055

HEATING LOAD

13. DESIGN CONDITIONS		Mult: 0		
Inside: 70 °F	Outside: 33 °F	TD: 37 °F		
14. TRANSMISSION LOSSES			23383	
Walls:	10009		-	
Glass:	1264		-	
Doors:	686		-	
Partitions:	0		-	
Floors:	2780		-	
Ceilings:	8644		-	
15. INFILTRATION:	Outside air cfm:	0	0	
16. SUBTOTAL: Space load			23383	
Envelope	23383		-	
Less external	0		-	
Less transfer	0		-	
Redistribution	0		-	
17. SUPPLY DUCT:			0	
18. VENTILATION:	Make-up air cfm:	3440	138217	
19. HUMIDIFICATION			57926	
Piping			0	
20. RETURN DUCT			0	
21. TOTAL HEATING LOAD ON EQUIPMENT			219526	



Right-Suite® Universal Short Form
AH-1,2,3
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Outside db	(°F)	Htg	Clg
Outside RH	(%)	33	92
Outside wb	(°F)	-	51
Daily range	(°F)	-	76
Moisture diff.	(gr/lb)	-	18
		-	48

Inside db	(°F)	Htg	Clg
Inside RH	(%)	70	75
Inside wb	(°F)	-	50
Design TD	(°F)	-	63
		37	17

Heating Equipment

Make	
Model	
Type	Gas furnace
Efficiency	80 AFUE
Heating Input	0 MBtuh
Heating Output	0 MBtuh
Humidifier	155.0 gpd
Leaving Air Temp	70.0 °F
Actual Heating Fan	5139 cfm

Cooling Equipment

Make	
Model	
Type	Split air conditioner
COP / EER / SEER	0
Sensible Cooling	0 MBtuh
Latent Cooling	0 MBtuh
Total Cooling	0 MBtuh
Leaving Air Temp	55.0 °F
Actual Cooling Fan	5139 cfm

Equipment Location	AH-1,2,3
System Type	PEAKCV
Fan Motor Heat Type	PACKAGE
Fan & Motor Combined Efficiency	0 %
Static Pressure Across Fan	0 in H2O

NAME	Area ft²	Heat Loss	Sensible Gain	Latent Gain	Htg cfm	Clg cfm	Time
ACTIVITY AREA 101	4218	208548	124005	52340	4008	4975	Jul 1600 LDT
MEN RR 105	240	914	1485	472	295	48	Jul 1600 LDT
WOMEN RR 106	231	881	1448	455	285	46	Jul 1600 LDT
MEN RR 107	142	1231	1266	608	398	48	Jul 1600 LDT
MECH 108	96	476	709	188	154	22	Jul 1600 LDT
AH-1,2,3	4927	212050	128912	54063	5139	5139	Jul 1600 LDT



Right-Suite® Universal 7.1.25 RSU02666

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Right-Suite® Universal Load Summary
AH-1,2,3
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Zone: AH-1,2,3

COOLING LOAD

1. DESIGN CONDITIONS	at Jul 1600 LDT	Peak load at Jul 1600 LDT		
Inside: 75 °F	Outside: 92 °F	TD: 17 °F		
RH: 51 %	MoistDiff: 48.5 gr/lb	Mult: 0	Ins.wb 63 °F	
			Sensible	Latent
2. SOLAR RADIATION THROUGH GLASS			691	-
3. TRANSMISSION GAINS	Sensible		16012	-
Walls:	1641		-	-
Glass:	319		-	-
Doors:	223		-	-
Partitions:	0		-	-
Floors:	0		-	-
Ceilings:	13829		-	-
4. INTERNAL HEAT GAIN	Sensible	Latent	88875	41475
Occupants:	88875	41475	-	-
Lights:	0	-	-	-
Motors:	0	-	-	-
Appliances:	0	0	-	-
5. INFILTRATION:	Outside air cfm:	384	6952	12588
6. SUBTOTAL: Space load	Sensible	Latent	112530	54063
Envelope	112530	54063	-	-
Less external	0	-	-	-
Redistribution	0	0	-	-
7. SUPPLY DUCT			0	-
8. SUBTOTAL: Space load + supply duct			112530	-
Actual cfm:	5139 at supply TD:	20	-	-
9. VENTILATION:	Make-up air cfm:	0	0	0
10. RETURN AIR LOAD:	Lighting + plenum (net)		16382	-
11. RETURN DUCT			0	-
12. TOTAL LOADS ON EQUIPMENT			128912	54063

HEATING LOAD

13. DESIGN CONDITIONS		Mult: 0		
Inside: 70 °F	Outside: 33 °F	TD: 37 °F		
14. TRANSMISSION LOSSES			15908	
Walls:	6010		-	
Glass:	843		-	
Doors:	588		-	
Partitions:	0		-	
Floors:	2193		-	
Ceilings:	6273		-	
15. INFILTRATION:	Outside air cfm:	0	0	
16. SUBTOTAL: Space load			15908	
Envelope	15908		-	
Less external	0		-	
Less transfer	0		-	
Redistribution	0		-	
17. SUPPLY DUCT:			0	
18. VENTILATION:	Make-up air cfm:	3440	138217	
19. HUMIDIFICATION			57926	
Piping			0	
20. RETURN DUCT			0	
21. TOTAL HEATING LOAD ON EQUIPMENT			212050	



Right-Suite® Universal Short Form
AH- 4
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Outside db	(°F)	Htg	Clg
Outside RH	(%)	33	92
Outside wb	(°F)	-	51
Daily range	(°F)	-	76
Moisture diff.	(gr/lb)	-	18
		-	48

Inside db	(°F)	Htg	Clg
Inside RH	(%)	70	75
Inside wb	(°F)	-	50
Design TD	(°F)	-	63
		37	17

Heating Equipment

Make	
Model	
Type	Gas furnace
Efficiency	80 AFUE
Heating Input	0 MBtuh
Heating Output	0 MBtuh
Humidifier	0 gpd
Leaving Air Temp	70.0 °F
Actual Heating Fan	233 cfm

Cooling Equipment

Make	
Model	
Type	Split air conditioner
COP / EER / SEER	0
Sensible Cooling	0 MBtuh
Latent Cooling	0 MBtuh
Total Cooling	0 MBtuh
Leaving Air Temp	55.0 °F
Actual Cooling Fan	233 cfm

Equipment Location	AH- 4
System Type	PEAKCV
Fan Motor Heat Type	PACKAGE
Fan & Motor Combined Efficiency	0 %
Static Pressure Across Fan	0 in H2O

NAME	Area ft²	Heat Loss	Sensible Gain	Latent Gain	Htg cfm	Clg cfm	Time
SERVING AREA 103	474	1772	4422	933	107	112	Jul 1600 LDT
OFFICE 104	301	885	2556	593	53	57	Jul 1600 LDT
WOMEN RR 110	148	914	1206	619	55	46	Jul 1600 LDT
MECH 109	76	295	588	149	18	17	Jul 1600 LDT
AH- 4	999	3866	8772	2294	233	233	Jul 1600 LDT





Right-Suite® Universal Load Summary
AH- 4
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Zone: AH- 4

COOLING LOAD

1. DESIGN CONDITIONS	at Jul 1600 LDT	Peak load at Jul 1700 LDT		
Inside: 75 °F	Outside: 92 °F	TD: 17 °F		
RH: 51 %	MoistDiff: 48.5 gr/lb	Mult: 0	Ins.wb 63 °F	
			Sensible	Latent
2. SOLAR RADIATION THROUGH GLASS			346	-
3. TRANSMISSION GAINS	Sensible		3447	-
Walls:	448		-	-
Glass:	160		-	-
Doors:	37		-	-
Partitions:	0		-	-
Floors:	0		-	-
Ceilings:	2802		-	-
4. INTERNAL HEAT GAIN	Sensible	Latent	0	0
Occupants:	0	0	-	-
Lights:	0	-	-	-
Motors:	0	-	-	-
Appliances:	0	0	-	-
5. INFILTRATION:	Outside air cfm:	70	1267	2294
6. SUBTOTAL: Space load	Sensible	Latent	5059	2294
Envelope	5059	2294	-	-
Less external	0	-	-	-
Redistribution	0	0	-	-
7. SUPPLY DUCT			0	-
8. SUBTOTAL: Space load + supply duct			5059	-
Actual cfm:	233 at supply TD:	20	-	-
9. VENTILATION:	Make-up air cfm:	0	0	0
10. RETURN AIR LOAD:	Lighting + plenum (net)		3713	-
11. RETURN DUCT			0	-
12. TOTAL LOADS ON EQUIPMENT			8772	2294

HEATING LOAD

13. DESIGN CONDITIONS		Mult: 0		
Inside: 70 °F	Outside: 33 °F	TD: 37 °F		
14. TRANSMISSION LOSSES			3866	
Walls:	1761		-	
Glass:	421		-	
Doors:	98		-	
Partitions:	0		-	
Floors:	315		-	
Ceilings:	1271		-	
15. INFILTRATION:	Outside air cfm:	0	0	
16. SUBTOTAL: Space load			3866	
Envelope	3866		-	
Less external	0		-	
Less transfer	0		-	
Redistribution	0		-	
17. SUPPLY DUCT:			0	
18. VENTILATION:	Make-up air cfm:	0	0	
19. HUMIDIFICATION			0	
Piping			0	
20. RETURN DUCT			0	
21. TOTAL HEATING LOAD ON EQUIPMENT			3866	



Right-Suite® Universal Short Form
AH- 5
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Outside db	(°F)	Htg	Clg
Outside RH	(%)	33	92
Outside wb	(°F)	-	51
Daily range	(°F)	-	76
Moisture diff.	(gr/lb)	-	18
			48

Inside db	(°F)	Htg	Clg
Inside RH	(%)	70	75
Inside wb	(°F)	-	50
Design TD	(°F)	-	63
		37	17

Heating Equipment

Make	
Model	
Type	Gas furnace
Efficiency	80 AFUE
Heating Input	0 MBtuh
Heating Output	0 MBtuh
Humidifier	0 gpd
Leaving Air Temp	70.0 °F
Actual Heating Fan	184 cfm

Cooling Equipment

Make	
Model	
Type	Split air conditioner
COP / EER / SEER	0
Sensible Cooling	0 MBtuh
Latent Cooling	0 MBtuh
Total Cooling	0 MBtuh
Leaving Air Temp	55.0 °F
Actual Cooling Fan	184 cfm

Equipment Location	AH- 5
System Type	PEAKCV
Fan Motor Heat Type	PACKAGE
Fan & Motor Combined Efficiency	0 %
Static Pressure Across Fan	0 in H2O

NAME	Area ft²	Heat Loss	Sensible Gain	Latent Gain	Htg cfm	Clg cfm	Time
STORAGE 102	862	3609	6655	1698	184	184	Jul 1600 LDT
AH- 5	862	3609	6655	1698	184	184	Jul 1600 LDT





Right-Suite® Universal Load Summary
AH- 5
COBURN & ASSOCIATES

Job: 1009
Date: Mar 13, 2012
By: CA STAFF

P.O. BOX 577, HIGH SPRINGS, FL 32655 Phone: (386)454-3748

Project Information

For: WEST SIDE COMMUNICATION CENTER
LAKE CITY, FL

Zone: AH- 5

COOLING LOAD

1. DESIGN CONDITIONS	at Jul 1600 LDT	Peak load at Jul 1600 LDT		
Inside: 75 °F	Outside: 92 °F	TD: 17 °F		
RH: 51 %	MoistDiff: 48.5 gr/lb	Mult: 0	Ins.wb 63 °F	
			Sensible	Latent
2. SOLAR RADIATION THROUGH GLASS			0	-
3. TRANSMISSION GAINS	Sensible		3096	-
Walls:	673		-	-
Glass:	0		-	-
Doors:	0		-	-
Partitions:	0		-	-
Floors:	0		-	-
Ceilings:	2423		-	-
4. INTERNAL HEAT GAIN	Sensible	Latent	0	0
Occupants:	0	0	-	-
Lights:	0	-	-	-
Motors:	0	-	-	-
Appliances:	0	0	-	-
5. INFILTRATION:	Outside air cfm:	52	938	1698
6. SUBTOTAL: Space load	Sensible	Latent	4033	1698
Envelope	4033	1698	-	-
Less external	0	-	-	-
Redistribution	0	0	-	-
7. SUPPLY DUCT			0	-
8. SUBTOTAL: Space load + supply duct			4033	-
Actual cfm:	184 at supply TD:	20	-	-
9. VENTILATION:	Make-up air cfm:	0	0	0
10. RETURN AIR LOAD:	Lighting + plenum (net)		2621	-
11. RETURN DUCT			0	-
12. TOTAL LOADS ON EQUIPMENT			6655	1698

HEATING LOAD

13. DESIGN CONDITIONS		Mult: 0		
Inside: 70 °F	Outside: 33 °F	TD: 37 °F		
14. TRANSMISSION LOSSES			3609	
Walls:	2237		-	
Glass:	0		-	
Doors:	0		-	
Partitions:	0		-	
Floors:	272		-	
Ceilings:	1099		-	
15. INFILTRATION:	Outside air cfm:	0	0	
16. SUBTOTAL: Space load			3609	
Envelope	3609		-	
Less external	0		-	
Less transfer	0		-	
Redistribution	0		-	
17. SUPPLY DUCT:			0	
18. VENTILATION:	Make-up air cfm:	0	0	
19. HUMIDIFICATION			0	
Piping			0	
20. RETURN DUCT			0	
21. TOTAL HEATING LOAD ON EQUIPMENT			3609	



Right-Suite® Universal 7.1.25 RSU02666

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Florida Energy Efficiency Code For Building Construction
Florida Department of Community Affairs
EnergyGauge Summit® Fla/Com-2008, Effective: March 1, 2009 -- Form 400A-2008
Method A: Whole Building Performance Method for Commercial Buildings

PROJECT SUMMARY

Short Desc: COMMUNICATION CENTER

Description: WEST SIDE COMMUNICA

Owner: Enter Owner's name here

Address1: Enter Address here

City: LAKE CITY

Address2: Enter Address here

State: FL

Zip: 0

Type: Town Hall

Class: New Finished building

Jurisdiction: LAKE CITY, COLUMBIA COUNTY, FL (221200)

Conditioned Area: 6792 SF

Conditioned & UnConditioned Area: 6792 SF

No of Stories: 1

Area entered from Plans 0 SF

Permit No: 0

Max Tonnage 10.3

If different, write in: _____



Coburn & Associates, Inc.
P.O. Box 577
High Springs Florida 32655-0577
(386) 454-3748 • Fax 386-454-2652
EB # 0003687, 32820
Richard E. Coburn P.E. #32820



Compliance Summary

Component	Design	Criteria	Result
Gross Energy Cost (in \$)	4,692.0	4,790.0	PASSED
LIGHTING CONTROLS			PASSES
EXTERNAL LIGHTING			PASSES
HVAC SYSTEM			PASSES
PLANT			None Entered
WATER HEATING SYSTEMS			PASSES
PIPING SYSTEMS			PASSES
Met all required compliance from Check List?			Yes/No/NA
IMPORTANT MESSAGE Info 5009 -- -- -- An input report of this design building must be submitted along with this Compliance Report			

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: COBURN & ASSOCIATES

Building Official: _____

Date: 3-14-12

Date: _____

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent: _____

Date: _____

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the FLorida Energy Efficiency Code

Architect: _____

Reg No: _____

Electrical Designer: _____

Reg No: _____

Lighting Designer: _____

Reg No: _____

Mechanical Designer: COBURN & ASSOCIATES

Reg No: E32820

Plumbing Designer: _____

Reg No: _____

(*) Signature is required where Florida Law requires design to be performed by registered design professionals.



Project: COMMUNICATION CENTER
 Title: WEST SIDE COMMUNICATION CENTER
 Type: Town Hall
 (WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

Building End Uses

	1) Proposed	2) Baseline
Total	298.80	357.50
	\$4,692	\$5,635
ELECTRICITY(MBtu/kWh/\$)	298.80	357.50
	87542	104746
	\$4,692	\$5,635
AREA LIGHTS	64.60	83.80
	18941	24565
	\$1,015	\$1,322
MISC EQUIPMT	78.60	78.60
	23023	23023
	\$1,234	\$1,239
PUMPS & MISC	0.40	0.40
	127	124
	\$7	\$7
SPACE COOL	82.80	105.60
	24252	30936
	\$1,300	\$1,664
SPACE HEAT	10.40	12.70
	3045	3716
	\$163	\$200
VENT FANS	62.00	76.40
	18154	22382
	\$973	\$1,204

Passing requires Proposed Building cost to be at most 85%
 of Baseline cost. This Proposed Building is at 83.3%

PASSES

Project: COMMUNICATION CENTER
 Title: WEST SIDE COMMUNICATION CENTER
 Type: Town Hall
 (WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

External Lighting Compliance

Description	Category	Tradable?	Allowance (W/Unit)	Area or Length or No. of Units (Sqft or ft)	ELPA (W)	CLP (W)
Ext Light 1	Main entries	Yes	30.00	48.0	1,440	64
Ext Light 2	Main entries	Yes	30.00	48.0	1,440	64
Ext Light 3	Main entries	Yes	30.00	1,080.0	32,400	384

Tradable Surfaces: 512 (W) Allowance for Tradable: 37044 (W)

PASSES

All External Lighting: 512 (W)

Compliance check includes a 5% excess allowance of 1764.00(W)

Project: COMMUNICATION CENTER
 Title: WEST SIDE COMMUNICATION CENTER
 Type: Town Hall
 (WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	Design CP	Min CP	Compli- ance
ACTIVITY AREA	15	Conference/meeting (Multiple Functions)	4,218	3	2	PASSES
MENS RR 105	6	Toilet and Washroom	240	1	1	PASSES
WOMENS RR 106	6	Toilet and Washroom	231	1	1	PASSES
MENS RR 107	6	Toilet and Washroom	142	1	1	PASSES
MECH 108	1	Electrical Mechanical Equipment Room - General	96	1	1	PASSES
SERVING AREA	7	Food Service - Kitchen	480	1	1	PASSES
OFFICE	17	Office - Enclosed	301	1	1	PASSES
WOMENS RR 110	6	Toilet and Washroom	148	1	1	PASSES
MECH 109	1	Electrical Mechanical Equipment Room - General	76	1	1	PASSES
STORAGE 102	3	Storage & Warehouse - Bulky Active Storage	860	1	1	PASSES

PASSES

Project: COMMUNICATION CENTER
Title: WEST SIDE COMMUNICATION CENTER
Type: Town Hall
(WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

System Report Compliance

AH-1 **System 1** **Constant Volume Packaged System--902** **No. of Units**
1

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled 65000 to 135000 Btu/h Cooling Capacity		11.00	10.10	11.80		PASSES
Heating System	Heat Pumps Air Cooled (Heating Mode) 65000 to 135000 Btu/h Clg Cap		3.30	3.20			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES

AH-2,3 **System 2** **Constant Volume Air Cooled Single Package System < 65000 Btu/hr** **No. of Units**
2

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled Single Pkg < 65000 Btu/h Cooling Capacity		13.00	12.23			PASSES
Heating System	Heat Pumps Air Cooled (Heating Mode) Single Pkg < 65000 Btu/h Cooling Capacity		8.00	7.70			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES

AH-4 **System 3** **Constant Volume Air Cooled Single Package System < 65000 Btu/hr** **No. of Units**
1

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled Single Pkg < 65000 Btu/h Cooling Capacity		13.00	12.23			PASSES
Heating System	Heat Pumps Air Cooled (Heating Mode) Single Pkg < 65000 Btu/h Cooling Capacity		7.70	7.70			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES

AH-5 System 4		Constant Volume Air Cooled Single Package System < 65000 Btu/hr					No. of Units 1	
Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance	
Cooling System	Air Conditioners Air Cooled Single Pkg < 65000 Btu/h Cooling Capacity		13.00	12.23			PASSES	
Heating System	Heat Pumps Air Cooled (Heating Mode) Single Pkg < 65000 Btu/h Cooling Capacity		7.70	7.70			PASSES	
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES	
							PASSES	

Plant Compliance								
Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance
							None	

Project: COMMUNICATION CENTER
Title: WEST SIDE COMMUNICATION CENTER
Type: Town Hall
(WEA File: FL JACKSONVILLE INTL ARPT.tm3)

Water Heater Compliance								
Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance	
Water Heater 1	Electric water heater	<= 12 [kW]	90.00	0.89			PASSES	
							PASSES	

Project: COMMUNICATION CENTER
Title: WEST SIDE COMMUNICATION CENTER
Type: Town Hall
(WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
Domestic and Service Hot Water Systems	0.25	False	105.00	0.28	1.00	0.50	PASSES

PASSES

Project: COMMUNICATION CENTER
Title: WEST SIDE COMMUNICATION CENTER
Type: Town Hall
(WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Report	13-101	Input Report Print-Out from EnergyGauge FlaCom attached	<input type="checkbox"/>
Operations Manual	13-102.1, 13-410, 13-413	Operations manual provided to owner	<input type="checkbox"/>
Windows & Doors	13-406.AB.1.1	Glazed swinging entrance & revolving doors: max. 1.0 cfm/ft ² ; all other products: 0.4 cfm/ft ²	<input type="checkbox"/>
Joints/Cracks	13-406.AB.1.2	To be caulked, gasketed, weather-stripped or otherwise sealed	<input type="checkbox"/>
Dropped Ceiling Cavity	13-406.AB.3	Vented: seal & insulated ceiling. Unvented seal & insulate roof & side walls	<input type="checkbox"/>
System	13-407	HVAC Load sizing has been performed	<input type="checkbox"/>
Reheat	13-407.B	Electric resistance reheat prohibited	<input type="checkbox"/>
HVAC Efficiency	13-407, 13-408	Minimum efficiencies: Cooling Tables 13-407.AB.3.2.1A-D; Heating Tables 13-407.AB.3.2.1B, 13-407.AB.3.2.1D, 13-408.AB.3.2.1E, 13-408.AB.3.2F	<input type="checkbox"/>
HVAC Controls	13-407.AB.2	Zone controls prevent reheat (exceptions); simultaneous heating and cooling in each zone; combined HAC deadband of at least 5°F (exceptions)	<input type="checkbox"/>
Ventilation Controls	13-409.AB.3	Motorized dampers reqd, except gravity dampers OK in: 1) exhaust systems and 2) systems with design outside air intake or exhaust capacity ≤300 cfm	<input type="checkbox"/>
ADS	13-410	Duct sizing and Design have been performed	<input type="checkbox"/>
HVAC Ducts	13-410.AB	Air ducts, fittings, mechanical equipment & plenum chambers shall be mechanically attached, sealed, insulated & installed per Sec. 13-410 Air Distribution Systems	<input type="checkbox"/>
Balancing	13-410.AB.4	HVAC distribution system(s) tested & balanced. Report in construction documents	<input type="checkbox"/>
Piping Insulation	13-411.AB	In accordance with Table 13-411.AB.2	<input type="checkbox"/>
Water Heaters	13-412.AB	Performance requirements in accordance with Table 13-412.AB.3. Heat trap required	<input type="checkbox"/>
Swimming Pools	13-412.AB.2.6	Cover on heated swimming pools: Time switch (exceptions); Readily accessible on/off switch	<input type="checkbox"/>
Hot Water Pipe Insulation	13-411.AB.3	Table 13-411.AB.2 for circulating systems, first 8 feet of outlet pipe from storage tank and between inlet pipe and heat trap	<input type="checkbox"/>
Water Fixtures	13-412.AB.2.5	Shower hot water flow restricted to 2.5 gpm at 80 psi. Public lavatory fixture hot water flow 0.5 gpm max; if self-closing valve 0.25 gallon recirculating, 0.5 gallon non recirculating	<input type="checkbox"/>
Motors	13-414	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting Controls	13-415.AB	Automatic control required for interior lighting in buildings >5,000 s.f.; Space control; Exterior photo sensor; Tandom wiring with 1 or 3 linear fluuorescent lamps>30W	<input type="checkbox"/>

Troy Crews

WESTSIDE COMMUNITY CENTER

TRUSS REVISION

PERMIT NUMBER # 30163

T. Matthews

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1UO2487-Z0225132732



Truss Fabricator: **Anderson Truss Company**
Job Identification: **REPAIR / 12-0510LD -COLUMBIA (Lake City, FL)**
Truss Count: **2**
Model Code: **Florida Building Code 2007 and 2009 Supplement**
Truss Criteria: **FBC2007Res/TPI-2002(STD)**
Engineering Software: **Alpine Software, Version 10.03.**
Structural Engineer of Record: **The identity of the structural EOR did not exist as of**
Address: **the seal date per section 61615-31.003(5a) of the FAC**
Minimum Design Loads: **Roof - 40.0 PSF @ 1.25 Duration**
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Douglas Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: -

#	Ref	Description	Drawing#	Date
1	27523--A1		12207001	07/25/12
2	27523--AV1		12207002	07/25/12

Repair Charge: \$48.75 per Customer Agreement.
Amount to be invoiced separately.

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Page 1 of 1 Document ID:1UO2487-Z0225132732

Truss Fabricator: **Anderson Truss Company**
Job Identification: **REPAIR / 12-0510LD -COLUMBIA (Lake City, FL)**
Truss Count: **2**
Model Code: **Florida Building Code 2007 and 2009 Supplement**
Truss Criteria: **FBC2007Res/TPI-2002(STD)**
Engineering Software: **Alpine Software, Version 10.03.**
Structural Engineer of Record:
Address:
Minimum Design Loads: **Roof - 40.0 PSF @ 1.25 Duration**
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Revised Trusses

#	Ref	Description	Drawing#	Date
1	27523--A1		12207001	07/25/12
2	27523--AV1		12207002	07/25/12



-Truss Design Engineer-
Douglas Fleming

1950 Marley Drive
Haines City, FL 33844

Repair Charge: \$48.75 per Customer Agreement.
Amount to be invoiced separately.

(REPAIR / 12-0510LD -COLUMBIA - A1)

This truss is repaired to remove 3" from the right end as shown.

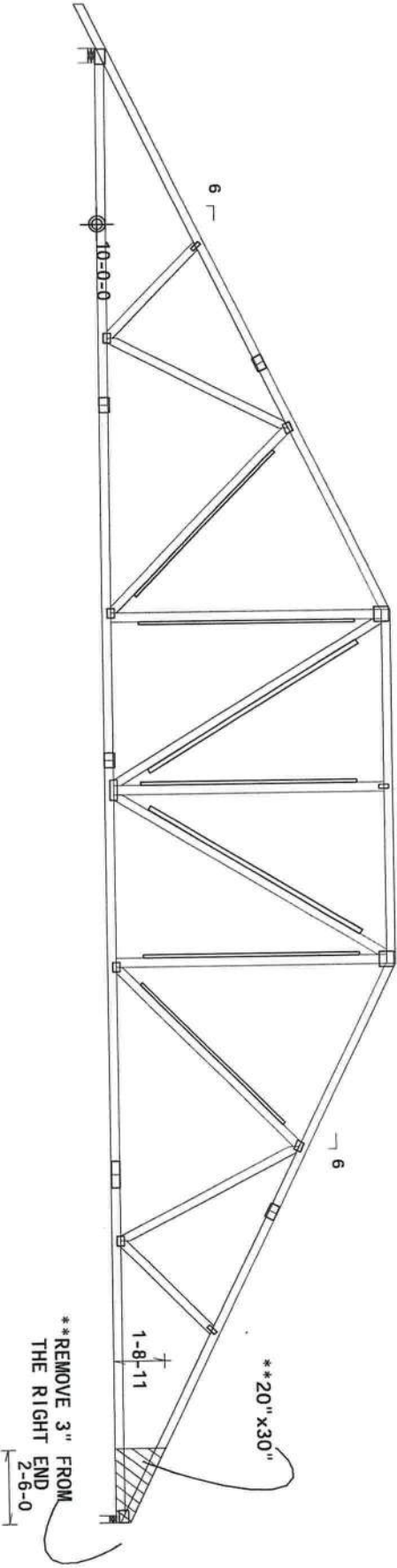
Refer to drawing R487 12165002 for plates and other data not given here.

Repair(s) must comply with Alpine designs & specifications

Shore Truss and any supported spans in proper position as repair is being made.

CAREFULLY REMOVE UNWANTED PORTION OF TRUSS SHOWN. REMAINING PORTIONS OF TRUSS AND ALPINE PLATES MUST REMAIN FULLY EMBEDDED & FREE FROM DAMAGE.

(2) NEW 1/2"X(SIZE SHOWN) TRIMMED TO FIT APA RATED 32/16 SHEATHING (PLYWOOD OR OSB) ATTACH ONE GUSSET TO EACH FACE OF THE TRUSS WITH 2 ROWS OF 0.113"X2.0" NAILS SPACED 3" OC. PER ROW THROUGHOUT ALL MEMBERS, WITHOUT SPLITTING THE LUMBER.



1-6-0
R=2152 U=0 W=6"
RL=225/-233

R=2046 U=0 W=3"
(3" Effective Contact)

PLT TYP. 20 Gauge HS, Wave

Design Crit: FBC2007Res/TP1-2002 (STD)
FT/RT=10%(0%)/0(0)

TRUSS REPAIR

ALPINE

Alpine Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

DAMAGED TRUSSES MUST BE CAREFULLY EVALUATED TO DETERMINE THE EXTENT OF DAMAGE AND THE FEASIBILITY OF REPAIR. IN SOME CASES THE PRUDENT SOLUTION IS TO SCRAP THE DAMAGED TRUSSES AND REBUILD. INTERNAL WOOD FIBER DAMAGE AND EXCESSIVE CONNECTOR STRESS FROM BENDING OR SHOCK CANNOT BE READILY DETECTED. THEREFORE, IT IS VITAL THAT THE TRUSS FABRICATOR AND BUILDING CONTRACTOR CONSIDER THE CAUSE OF THE DAMAGE IN THEIR DECISION WHETHER TO REPAIR OR REBUILD.

REPAIR WORK SHOWN ON THIS DRAWING APPLIES ONLY TO THOSE SECTIONS OF THE TRUSS REPORTED BY THE TRUSS MANUFACTURER TO HAVE BEEN DAMAGED. A QUALIFIED THIRD PARTY INSPECTOR SHALL CHECK TRUSSES TO DETERMINE THE EXTENT OF ANY FURTHER DAMAGE. IF ANY, AND VERIFY THAT REPAIRS HAVE BEEN PERFORMED AS INDICATED ON THIS DRAWING.



TC LL	20.0 PSF	REF	R487--	27523
TC DL	10.0 PSF	DATE	07/25/12	
BC DL	10.0 PSF	DRW	HCUSR487	12207001
BC LL	0.0 PSF	HC-ENG	DF/DF	
TOT. LD.	40.0 PSF	SEGN-	5207	REV
DUR. FAC.	1.25			
SPACING	24.0"	JREF	1U02487_Z02	

Scale = .1875"/Ft.

This truss is repaired to remove 3" from the right end as shown.

Refer to drawing R487 12165027 for plates and other data not given here.

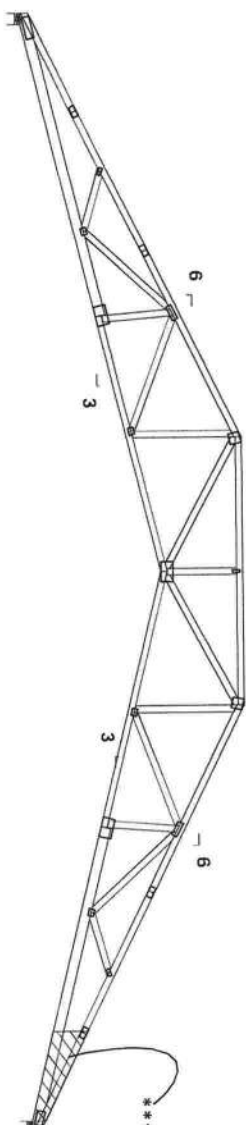
Repair(s) must comply with Alpine designs & specifications

Shore Truss and any supported spans in proper position as repair is being made.

++ CAREFULLY REMOVE UNWANTED PORTION OF TRUSS SHOWN.
REMAINING PORTIONS OF TRUSS AND ALPINE PLATES MUST REMAIN
FULLY EMBEDDED & FREE FROM DAMAGE.

3" OC, PER ROW THROUGHOUT ALL MEMBERS, WITHOUT SPLITTING THE LUMBER.

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR



0-5-11

10-0-0

*REMOVE 3" FROM THE RIGHT END



R=2064 U=186 W=6"
RL=214/-212

P=2062 U=185 W=3'

PLT TYP. 20 Gauge HS, Wave

Design Crit: FBC2007Res/TP1-2002(STD)
FT/RT=10%(0%)/0(0)

10.03.01.0909.17

QTY 1

Scale = .125"/Ft.

TRUSS REPAIR

ALPINE

ITW Building Components Group Inc
Haines City, FL 33844
FL COA #0278

DAMAGED TRUSSES MUST BE CAREFULLY EVALUATED TO DETERMINE THE EXTENT OF DAMAGE AND THE FEASIBILITY OF REPAIR. IN SOME CASES THE PRUDENT SOLUTION IS TO SCAP THE DAMAGED TRUSSES AND REBUILD. INTERNAL WOOD FIBER DAMAGE AND EXCESSIVE CONNECTOR STRESS FROM BENDING OR SHOCK CANNOT BE REALLY DETECTED. THEREFORE, IT IS VITAL THAT THE TRUSS MANUFACTURER AND BUILDING CONTRACTOR CONSIDER THE CAUSE OF THE DAMAGE IN THEIR DECISION WHETHER TO REPAIR OR REBUILD.

10.03.07.0909.17 QTY
No. 66648
R-2062 U-1
DOUGLAS FLEMING
STATE OF FLORIDA
PROFESSIONAL ENGINEER
07/25/2012

FL/-/4/-/-/R/-		Scale = .125"/Ft.
TC LL	20.0 PSF	REF R487-- 27523
TC DL	10.0 PSF	DATE 07/25/12
BC DL	10.0 PSF	DRW HCSUR487 12207002
BC LL	0.0 PSF	HC-ENG DF/DF
TOT. LD.	40.0 PSF	SEQN- 5215 REV
DUR. FAC.	1.25	
SPACING	24.0"	JREF- 1U02487_Z02

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1UNV487-Z0117170247



Truss Fabricator: **Anderson Truss Company**
Job Identification: **12-051old--Columbia County comission WESTSIDE COMMUNITY CENTER -- Lake City, FL**
Truss Count: **2**
Model Code: **Florida Building Code 2007 and 2009 Supplement**
Truss Criteria: **FBC2007Res/TPI-2002(STD)**
Engineering Software: **Alpine Software, Version 10.03.**
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61G15-31.003(5a) of the FAC**
Address:
Minimum Design Loads: **Roof - 40.0 PSF @ 1.25 Duration**
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. **Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1**
2. **The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.**
3. **As shown on attached drawings; the drawing number is preceded by: HCUSR487**

Douglas Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: -

#	Ref	Description	Drawing#	Date
1	07618-rev A1	- modifie	12199001	07/17/12
2	07619-revAV1	- modiffi	12199002	07/17/12

ALPINE

Top chord 2x4 SP M-30
Bot chord 2x4 SP #1 :B1 2x6 SP #1 Dense:
:B4 2x6 SP M-26:
Webs 2x4 SP #3

110 mph wind, 15.10 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf, lw=1.00 GCpl(+/-)=0.18

Calculated horizontal deflection of 1.25" exceeds TPI limit of 1.25" due to total load. Building designer must determine that this movement is acceptable.

Calculated vertical deflection is 0.94" due to live load and 1.00" due to dead load at $X = 25-0-0$.

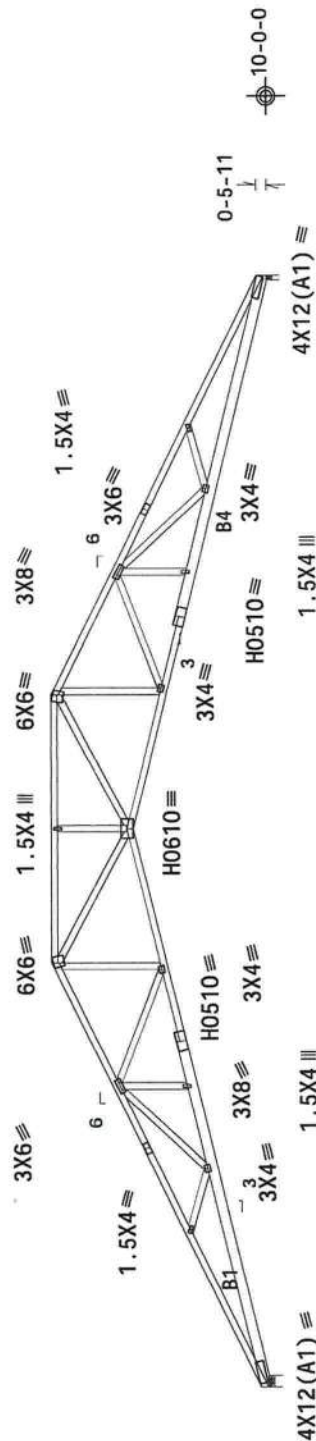
This design is based on lumber values in effect prior to June 1, 2012 and shall only be used on projects designed and permitted prior to this date unless specifically approved in writing by the building authority having jurisdiction, the building designer and the project owner.

Wind loads and reactions based on MWFRS with additional C&C member design.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



R=2066 U=186 W=6"
RL=214/-212

R=2062 U=185 W=2.5"

Diagram showing the layout of the bridge deck with dimensions and support locations:

- 19-0-0
- 12-0-0
- 18-9-0
- 25-0-0
- 24-9-0
- 49-9-0 Over 2 Supports

PLT TYP. 20 Gauge HS.Wave

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

Scale = .125"/Ft.

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844

Phone: 888-333-3333

Fax: 888-333-3333

Website: www.alpineinc.com

STATE OF FLORIDA

PROFESSIONAL ENGINEER

No. 66848

07/17/2012

****WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET**

FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WITCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. All trusses noted otherwise, top chord shall have permanent lateral bracing per BCSI. All locations shown for permanent lateral bracing shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from the design or any field changes in connection with ANSI/TPI 1, or for handling, shipping, installing or bracing of trusses. Apply plates to each face of truss and position as shown above and on the Job or Details, unless noted otherwise. Refer to drawings 180A-Z for standard plate positions. A seal or this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: general notes page, ITW-BCG: www.itwbcg.com ITW: www.tpiwrit.org WITCA: www.sbcindustry.com

****IMPORTANT****

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WITCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. All trusses noted otherwise, top chord shall have permanent lateral bracing per BCSI. All locations shown for permanent lateral bracing shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

TC LL	20.0 PSF	REF	R487--	7619
TC DL	10.0 PSF	DATE	07/17/12	
BC DL	10.0 PSF	DRW	HCUSR487	12199002
BC LL	0.0 PSF	HC-ENG	DF/DF	
TOT. LD.	40.0 PSF	SEQN-	13064	
DUR. FAC.	1.25			
SPACING	24.0"	JREF-	1UNV487_Z01	

Tommy Matthews

From: Bill Freeman [bill@coastal-engineer.com]
Sent: Friday, July 20, 2012 8:56 AM
To: Tommy Matthews
Cc: Randy Jones
Subject: West Side Community Center
Attachments: LVL bearing.pdf

Tommy,

If you look at the Garage Door Span Chart at the bottom, look in the first column and go down to the 32' roof opening. Then go accross to the 9' rough opening. It requires either 1 - 14" LVL with 4.5" bearing (indicated by the "+" mark) or 2-9 1/2" LVL or 3-7 1/4" LVL , both with onyl 3" bearing. 3" bearing is standard unless the chart has a "+" mark, that indicates 4 1/2" bearing required. Feel free to contact me if you have any further questions.

Bill Freeman

2.0E GP Lam® LVL Window and Patio Door Headers, Roof Only

Roof Applications

This table shows the size (e.g.: 2-11 1/4" = 2 plies of 1 3/4" x 11 1/4") of headers needed to support various roof truss spans with 2' soffit. If the soffit is greater than 2', additional design is necessary.



Roof Loading		Snow (115%)												Non-Snow (125%)											
		25 psf LL + 20 psf DL					40 psf LL + 20 psf DL					20 psf LL + 15 psf DL					20 psf LL + 25 psf DL								
Rough Opening		6'	8'	9'	10'	12'	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'				
Roof Truss Span with 2' Soffit Assumed	20'	1-7 1/4" 2-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	2-14" 3-11 1/4"	1-7 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-14" 3-9 1/4"	1-7 1/4" 2-7 1/4"	1-9 1/4" 2-9 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	1-7 1/4" 2-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	1-14" 2-9 1/4"	2-14" 3-11 1/4"			
	24'	1-7 1/4" 3-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-11 1/4"	1-14" 2-11 1/4"	2-14" 3-11 1/4"	1-7 1/4" 3-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	2-11 1/4" 3-9 1/4"	2-14"	1-7 1/4" 2-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	2-11 1/4" 3-11 1/4"	1-7 1/4" 3-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	2-14" 3-9 1/4"	2-14" 3-11 1/4"			
	28'	1-7 1/4" 3-7 1/4"	1-11 1/4" 2-9 1/4"	1-11 1/4" 2-11 1/4"	1-14" 2-11 1/4"	2-14" 3-11 1/4"	1-9 1/4" 2-7 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-11 1/4" 3-11 1/4"	2-16" 3-14"	1-7 1/4" 3-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	2-14" 3-11 1/4"	1-7 1/4" 3-7 1/4"	1-11 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-14" 3-9 1/4"	2-14" 3-11 1/4"			
	32'	1-7 1/4" 3-7 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	2-11 1/4" 3-9 1/4"	2-14"	1-9 1/4" 2-7 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-11 1/4" 3-11 1/4"	2-16" 3-14"	1-7 1/4" 3-7 1/4"	1-9 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-14" 3-9 1/4"	1-7 1/4" 3-7 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-9 1/4"	2-11 1/4" 3-9 1/4"	2-14" 3-9 1/4"	2-14"			
	36'	1-9 1/4" 2-7 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-11 1/4" 3-9 1/4"	2-18" 3-14"	1-9 1/4" 2-7 1/4"	1-11 1/4" 2-9 1/4"	2-11 1/4" 3-9 1/4"	2-14" 3-11 1/4"	2-18" 3-14"	1-7 1/4" 3-7 1/4"	1-11 1/4" 2-9 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-14" 3-9 1/4"	1-9 1/4" 2-7 1/4"	1-11 1/4" 2-9 1/4"	1-14" 2-11 1/4"	2-11 1/4" 3-9 1/4"	2-16" 3-14"	2-16" 3-14"			

+ See note 1.

NOTES:

- Required bearing length (based on 625 psi) is 3.0" unless the subscript + is shown. In that case, 4.5" is required.
- All headers require full-width bearing support, e.g., 2x6 for 5 1/4", 3-ply members. The adequacy of supporting columns to be verified by others.
- Deflection is limited to L/240 at live load and the lesser of L/180 or 5/16" at total load.
- Roof live and dead loads shown are applied vertically to the horizontal projection.
- When using a single ply 1 1/4", consider the effect on hanger capacity, and the available bearing surface the LVL provides to other framing elements.
- A single 3/8" thick ply can be substituted for any two 1/4" thick plies.
- For multiple ply fasteners, see pages 51-53.

2.0E GP Lam LVL Garage Door Headers, Roof Only

Roof Applications

This table shows the size (e.g.: 2-11 1/4" = 2 plies of 1 3/4" x 11 1/4") of headers needed to support various roof truss spans with 2' soffit. If the soffit is greater than 2', additional design is necessary.



Roof Loading		Snow (115%)												Non-Snow (125%)											
		25 psf LL + 20 psf DL				30 psf LL + 20 psf DL				40 psf LL + 20 psf DL				20 psf LL + 15 psf DL				20 psf LL + 20 psf DL				20 psf LL + 25 psf DL			
Rough Opening		9'3"	16'3"	18'3"	9'3"	16'3"	18'3"	9'3"	16'3"	18'3"	9'3"	16'3"	18'3"	9'3"	16'3"	18'3"	9'3"	16'3"	18'3"	9'3"	16'3"	18'3"	9'3"	16'3"	18'3"
Roof Truss Span with 2' Soffit Assumed	20'	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-14"	2-14"	1-11 1/4"	2-9 1/4"	2-14"	2-16"	2-16"	2-16"	1-9 1/4"	1-14"	2-11 1/4"	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-11 1/4"	2-14"
	24'	1-9 1/4"	2-14"	2-14"	1-11 1/4"	2-14"	2-16"	2-9 1/4"	2-14"	2-16"	2-16"	2-16"	2-16"	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-11 1/4"	2-14"
	28'	1-11 1/4"	2-14"	2-16"	1-11 1/4"	2-14"	2-16"	2-9 1/4"	2-14"	2-16"	2-18"	2-18"	2-18"	1-9 1/4"	2-11 1/4"	2-14"	1-9 1/4"	2-11 1/4"	2-14"	1-11 1/4"	2-9 1/4"	2-14"	1-11 1/4"	2-9 1/4"	2-16"
	32'	1-11 1/4"	2-14"	2-16"	1-11 1/4"	2-16"	2-16"	2-9 1/4"	2-14"	2-16"	2-18"	2-18"	2-18"	1-9 1/4"	2-14"	2-14"	1-11 1/4"	2-9 1/4"	2-14"	1-11 1/4"	2-9 1/4"	2-14"	1-11 1/4"	2-9 1/4"	2-16"
	36'	1-11 1/4"	2-16"	2-16"	1-14"	2-16"	2-18"	2-9 1/4"	2-14"	2-18"	2-18"	2-18"	2-18"	1-9 1/4"	2-14"	2-16"	1-11 1/4"	2-9 1/4"	2-14"	1-11 1/4"	2-9 1/4"	2-14"	1-11 1/4"	2-9 1/4"	2-16"

+ See note 1.

NOTES:

- Required bearing length (based on 625 psi) is 3.0" unless the subscript + is shown. In that case, 4.5" is required.
- All headers require full-width bearing support, e.g., 2x6 for 5 1/4", 3-ply members. The adequacy of supporting columns to be verified by others.
- Deflection is limited to L/240 at live load and L/180 at total load.
- Roof live and dead loads shown are applied vertically to the horizontal projection.
- When using a single ply 1 1/4", consider the effect on hanger capacity, and the available bearing surface the LVL provides to other framing elements.
- A single 3/8" thick ply can be substituted for any two 1/4" thick plies.
- For multiple ply fasteners, see pages 51-53.

1000



Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SFL BAY

City: LAKE CITY **Phone:** 386 752 1703

Site Location: Subdivision WESTSIDE COMM CENTER

Lot # _____ **Block #** _____ **Permit #** 30163

Address: 431 SW BIRLEY AVE

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ _____

Type treatment:

☒ Soil

Area Treated	Square feet	Linear feet	Gallons Applied
<u>COMM. CENTER</u>	<u>6851</u>	<u>386</u>	<u>450</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

6-19-12
Date

2:23
Time

DAVID FULLER
Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SE Baya Dr

City Lake City

Phone 752-1703

Site Location: Subdivision _____

Lot # _____ Block# _____

Permit # 30163

Address 431 SW Birley Rd L.C.

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ _____

Type treatment:

☒ Soil

Area Treated

Square feet

Linear feet

Gallons Applied

Entry Pads

1750

183

90

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

10-2-12

Date

2:43

Time

F082 B.H.

Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink