

COLUMBIA COUNTY  
**BUILDING PERMIT / APPLICATION**  
This Permit Expires One Year From Date of Issue

Permit

No. 20308

DATE 1-10-03

NEW RESIDENT \_\_\_\_\_

APPLICANT'S NAME & ADDRESS DENNIS SANDLIN PHONE 497-3508

OWNER'S NAME & ADDRESS SAME AS APPLICANT PHONE \_\_\_\_\_

CONTRACTOR'S NAME CHESTER KNOWLES PHONE \_\_\_\_\_

LOCATION OF PROPERTY 47S, TR ON WILSON SPRINGS RD, TR ON SW NEWARK, TL ON SW BRIDGE LANE,  
TR ON RENO ST, 3RD ON RIGHT

TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION \$ \_\_\_\_\_

FLOOR AREA \_\_\_\_\_ HEIGHT \_\_\_\_\_ STORIES \_\_\_\_\_ WALLS \_\_\_\_\_

FOUNDATION \_\_\_\_\_ ROOF (type & pitch) \_\_\_\_\_ FLOOR \_\_\_\_\_

LAND USE & ZONING ESA MAX. HEIGHT \_\_\_\_\_

MINIMUM SET BACK: STREET - FRONT / SIDE 30 REAR 25 SIDE 25

NO. EX. D. U. \_\_\_\_\_ FLOOD ZONE AE CERT. DATE \_\_\_\_\_ DEV. PERMIT F023-03-002 <sup>AL</sup>

LEGAL DESCRIPTION (acres)  
00-00-00-00880-001 THREE RIVERS ESTATES, LOT 26

I certify that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction and that all the foregoing information is accurate and all work will be done in compliance with all applicable laws regulating construction and zoning.

IH0000509

Contractor's License Number

Dennis C Sandlin  
Applicant / Owner / Contractor

02-0942-N

Septic Tank Number

GT/RJ

LU & Zoning checked by

Approved for issuance by

**FOR BUILDING & ZONING DEPARTMENT ONLY**

(Footer / Slab)

Temporary Power _____	Foundation _____	Monolithic _____
date / app. by _____	date / app. by _____	date / app. by _____
Under slab rough-in plumbing _____	slab _____	framing _____
date / app. by _____	date / app. by _____	date / app. by _____
Rough-in plumbing above slab and below wood floor _____		
Electrical rough-in _____	Heat and Air Duct _____	date / app. by _____
date / app. by _____	date / app. by _____	Peri. beam _____
Permanent power _____	Final _____	date / app. by _____
date / app. by _____	date / app. by _____	Pool _____
		date / app. by _____

COMMENTS: FINISHED FLOOR ELEVATION BEFORE POWER IS CALLED IN, FIRE, 51.03, WASTE 137.25,  
TOTAL #313.28

**OTHER TYPES OF INSPECTIONS**

Culvert _____	M / H tie downs, blocking, electricity and plumbing _____
date / app. by _____	date / app. by _____
Utility Pole _____	Pump pole _____
date / app. by _____	Reconnection _____
BUILDING PERMIT FEE \$ <u>100.00</u> <sup>CK#231</sup>	ZONING CERT. FEE \$ <u>25.00</u> OTHER \$ _____
INSPECTORS OFFICE <u>[Signature]</u>	CLERKS OFFICE <u>CN</u>

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

**This Permit Must Be Prominently Posted on Premises During Construction**

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with all Deed Restrictions.

## APPLICATION FOR DEVELOPMENT PERMIT

PERMIT NO. F023-03-002  
(COUNTY NO. & SEQUENCE)DATE: 1-10-03APPLICANT: Dennis SandlinADDRESS: Reno St 351 SWTELEPHONE: (386) 497-3508OWNER: Dennis SandlinADDRESS: Reno St 351 SWTELEPHONE: SameNEW SUBDIVISION No (YES/NO) IF YES, RECORD THE ENGINEER'S  
REGISTRATION NO. P.E. NO. \_\_\_\_\_TRS 00-00-00SUBDIVISION Three Rivers Estates LOT/BLOCK: Lot 26DU mobile home WORK \_\_\_\_\_RIVER: Santa Fe RIVER MILE \_\_\_\_\_

PLAN \_\_\_\_\_ (YES/NO) WELL PERMIT NO. \_\_\_\_\_

SUR-ELEVATION \_\_\_\_\_ SANITARY PERMIT NO. 02-0942-NSURVEYOR NO. Dale Johns BUILDING PERMIT NO. 20308OFFICIAL 100-YEAR ELEVATION 35' MSL (SRWMD)REQUIRED LOWEST HABITABLE FLOOR ELEVATION 36' MSL (SRWMD)PERMIT APPROVED Dale Tedder 1-10-03  
ADMINISTRATOR SIGNATURE DATE

EXPIRATION DATE OF PERMIT \_\_\_\_\_

VIOLATIONS: \_\_\_\_\_ FINAL INSPECTION DATE: \_\_\_\_\_

COMMENTS: Waiting on finished floor elevation  
One ft. rise on file - finished floor on file



FEDERAL EMERGENCY MANAGEMENT AGENCY  
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077  
Expires July 31, 2002

# ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

## SECTION A - PROPERTY OWNER INFORMATION

BUILDING OWNER'S NAME Dennis Sandlin			For Insurance Company Use: Policy Number		
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 351 SW Reno Way			Company NAIC Number		
CITY Ft. White	STATE FL	ZIP CODE 32038			
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 26, Unit 12, Three Rivers Estates, Columbia County, Florida					
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) Residential					
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ###.####")		HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983		SOURCE: <input type="checkbox"/> GPS (Type): <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other: _____	

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Columbia County 120070		B2. COUNTY NAME Columbia		B3. STATE FL	
B4. MAP AND PANEL NUMBER 120070 0255	B5. SUFFIX B	B6. FIRM INDEX DATE 01-06-1988	B7. FIRM PANEL EFFECTIVE/REVISED DATE 01-06-1988	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 35

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.

☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe): \_\_\_\_\_

B11. Indicate the elevation datum used for the BFE in B9: ☒ NGVD 1929

☐ NAVD 1988 ☐ Other (Describe): \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date \_\_\_\_\_

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 5 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO

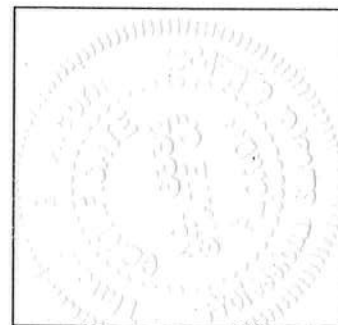
Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.

Datum NGVD1929 Conversion/Comments \_\_\_\_\_

Elevation reference mark used BM29-A Does the elevation reference mark used appear on the FIRM? ☐ Yes ☒ No

- o a) Top of bottom floor (including basement or enclosure) 36. 86 ft.(m)
- o b) Top of next higher floor \_\_\_\_\_ ft.(m)
- o c) Bottom of lowest horizontal structural member (V zones only) \_\_\_\_\_ ft.(m)
- o d) Attached garage (top of slab) \_\_\_\_\_ ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) \_\_\_\_\_ ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 31. 2 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 32. 1 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade \_\_\_\_\_
- o i) Total area of all permanent openings (flood vents) in C3.h 0 sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date



## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.

I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.

I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME Timothy B. Alcorn

LICENSE NUMBER 6332

TITLE Professional Surveyor and Mapper

COMPANY NAME Bailey, Bishop & Lane, Inc.

ADDRESS  
P.O. Box 3717

CITY  
Lake City

STATE  
FL

ZIP CODE  
32056-3717

SIGNATURE

*Timothy B. Alcorn*

DATE

*2-6-03*

TELEPHONE  
(386) 752-5640

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 351 SW Reno Way			Policy Number
CITY Ft White	STATE FL	ZIP CODE 32038	Company NAIC Number

### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

#### COMMENTS

Finished floor elevation based on a 60 penny nail in a 30" oak tree on property at 32.10'. This Benchmark is based on Bennett Wattles Benchmark 29-A, a nail in the east side of a power pole at the west side of California Rd. adjacent to lots 11 & 12 of

Three Rivers Estates Unit 12, elevation 32.73'

Structure is a raised mobile home on concrete blocks.

☐ Check here if attachments

### SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

E1. Building Diagram Number (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

E2. The top of the bottom floor (including basement or enclosure) of the building is \_\_\_ ft.(m) \_\_\_ in.(cm) ☐ above or ☐ below (check one) the highest adjacent grade. (Use natural grade, if available).

E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is \_\_\_ ft.(m) \_\_\_ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.

E4. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?

☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

### SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, C, and E are correct to the best of my knowledge.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS CITY STATE ZIP CODE

SIGNATURE DATE TELEPHONE

COMMENTS

☐ Check here if attachments

### SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

G1. ☐ The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is:

\_\_\_ ft.(m) Datum: \_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site is:

\_\_\_ ft.(m) Datum: \_\_\_

LOCAL OFFICIAL'S NAME TITLE

COMMUNITY NAME TELEPHONE

SIGNATURE DATE

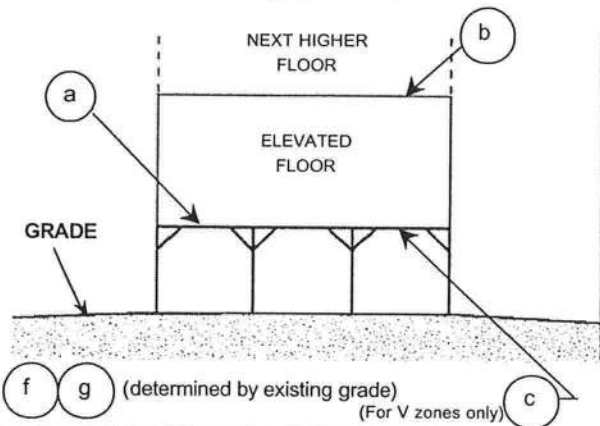
COMMENTS

☐ Check here if attachments

**DIAGRAM 5**

All buildings elevated on piers, posts, piles, columns, or parallel shear walls. No obstructions below the elevated floor.

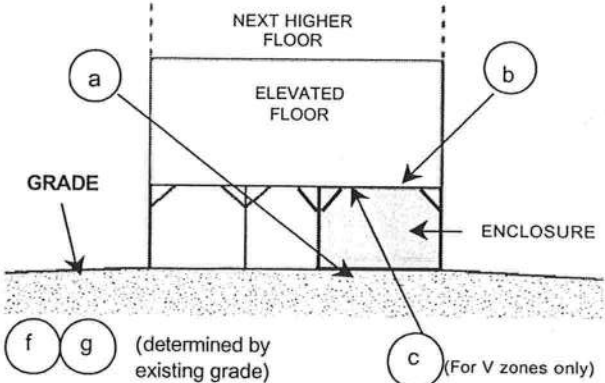
**Distinguishing Feature** – For all zones, the area below the elevated floor is open, with no obstruction to flow of flood waters (open lattice work and/or readily removable insect screening is permissible).



**DIAGRAM 6**

All buildings elevated on piers, posts, piles, columns, or parallel shear walls with full or partial enclosure below the elevated floor.

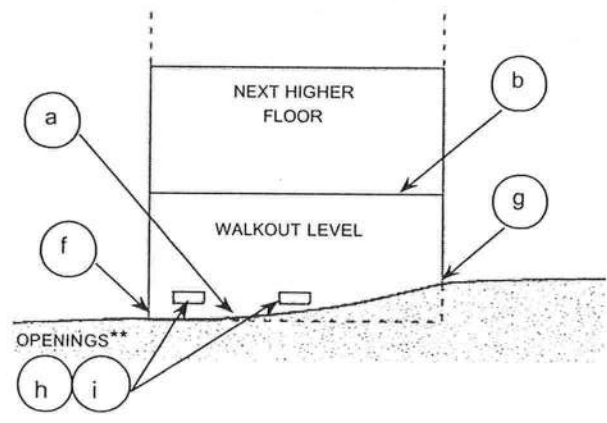
**Distinguishing Feature** – For all zones, the area below the elevated floor is enclosed, either partially or fully. In A Zones, the partially or fully enclosed area below the elevated floor is with or without openings\*\* present in the walls of the enclosure. Indicate information about openings in Section C, Building Elevation Information (Survey Required).



**DIAGRAM 7**

All buildings elevated on full-story foundation walls with a partially or fully enclosed area below the elevated floor. This includes walkout levels, where at least one side is at or above grade. The principal use of this building is located in the elevated floors of the building.

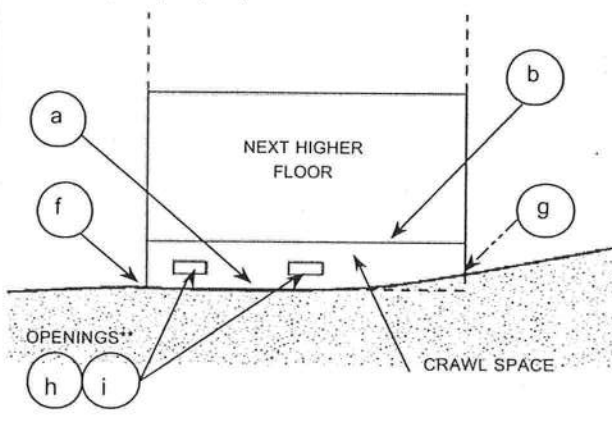
**Distinguishing Feature** – For all zones, the area below the elevated floor is enclosed, either partially or fully. In A Zones, the partially or fully enclosed area below the elevated floor is with or without openings\*\* present in the walls of the enclosure. Indicate information about openings in Section C, Building Elevation Information (Survey Required).



**DIAGRAM 8**

All buildings elevated on a crawl space with the floor of the crawl space at or above grade on at least one side, with or without an attached garage.

**Distinguishing Feature** – For all zones, the area below the first floor is enclosed by solid or partial perimeter walls. In all A zones, the crawl space is with or without openings\*\* present in the walls of the crawl space. Indicate information about the openings in Section C, Building Elevation Information (Survey Required).



\*\* An "opening" (flood vent) is defined as a permanent opening in a wall that allows for the free passage of water automatically in both directions without human intervention. Under the NFIP, a minimum of two openings is required for enclosures or crawl spaces with a total net area of not less than one square inch for every square foot of area enclosed. Each opening must be on different sides of the enclosed area. If a building has more than one enclosed area, each area must have openings on exterior walls to allow floodwater to directly enter. The bottom of the openings must be no higher than one foot above the grade underneath the flood vents. Alternatively, you may submit a certification by a registered professional engineer or architect that the design will allow for the automatic equalization of hydrostatic flood forces on exterior walls. A window, a door, or a garage door is not considered an opening.

# ONE FOOT RISE CERTIFICATION

PROPERTY DESCRIPTION: LOT 26 THREE RIVERS ESTATES UNIT 12

OWNER: Dennis Sandlin

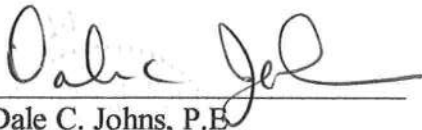
BASE FLOOD ELEVATION: 35.0

COMMUNITY-PANEL NUMBER: 120070 0225 B

PROJECT: Min. Finished Floor 36.0

Up to 14 X 62 mobile home located on piers in accordance with  
current building code.

I hereby certify that construction of the proposed will cause less than one foot increase in flood  
elevations of the Suwannee River floodplain.



Dale C. Johns, P.E.

Date: 10-Dec-03

PE number 45263

RT 15 Box 3838

Lake city, Florida 32024

(386)961-8903

BASE FLOOD ELEVATION = 35.0

BASIN AREA AT 35' BASE FLOOD >2000 ACRES

PROPOSED BUILDING TYPE = MANUFACTURED HOME 14 X 62

PROPOSED BUILDING ENCROACHMENT =  
Up to 72 PIERS AT 12"X16"EA= 96 SQ. FT.

GROUND ELEVATION AT BUILDING = 32.3' AVE.

This project is in the staging area of the river and no step backwater calculations are necessary. This area would "back up" from the River without experiencing any horizontal movement of water. The calculations are based on the on the removal of floodplain volume due to construction of the foundation system.

$$\text{PERCENT FLOODPLAIN AREA REMOVED} = \frac{96/43560}{2000} = 0.00011\%$$

$$\text{FLOODPLAIN LEVEL INCREASE} = \frac{90 \times 2.7}{2000 \times 43560} = 0.000003 \text{ FT.}$$



PREMIT APPLICATION/MANUFACTURED HOME INSTALLATION

Applicant Dennis C. Sandlin  
Address Reno St 351 SW  
FT White, FL

Permit # 20308  
Owner Name Same  
Address \_\_\_\_\_

Name of Licensed Dealer/Installer Jessie L. "Chester" Knowles  
License Number I40000509 Installation Decal # 191218  
Manufacturers Name Oakwood

Roof Zone South Wind Zone TL  
Number of Sections 1 Width 14 Length 66 Box Year 98 Serial # 4772

Installation Standard Used ( Check One )

MANUFACTURERS MANUAL \_\_\_\_\_ 15C-1 ☒

SITE PREPARATION :

Debris and Organic Removal ☒ Compacted Fill \_\_\_\_\_  
Water Drainage: Natural ☒ Swale \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_

SUPPLY A FOUNDATION PLAN DRAWN TO SCALE

See Foundation Plan Example:

Anchors

1. Use manufactures set-up manual if available
2. If not available use the following;
  - a. Frame ties shall be a maximum of 5' 4" apart
  - b. Over the roof ties when required a 60ft. home or less shall have 3.61 ft. or above shall have four when required.







LETTER OF AGENT AUTHORIZATION

FEB. 02 2002 11:40AM P2

OK 2/19/02

This is to certify that I personally authorize Dennis C. Suddlin to apply and obtain permits pertaining to the placement of mobile home on 351 SW RENO ST. FT WHITE, FL property which property ID # is LOT 48 Section 8B also known as LOT 26.

Authorized signature:

Jessie L. "Chester" Knowles UNIT 12  
THREE RIVERS  
ESTATES, INC.

Company Name:

Florida's Finest

License Number:

IH 0000 509

Date:

7-5-02

State of Florida

County of

Levy

Sworn to and subscribed before me this

5<sup>th</sup>

day of

July

2002

by Jessie L. "Chester" Knowles

Personally known to me

or have produced identification ☒

Type of identification

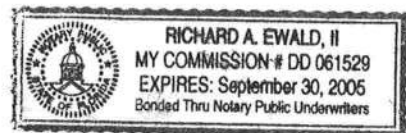
Personally Known

Richard A. Ewald II

Notary of the Public

Seal:

36 ft



00-00-06-0088n-n61

**Minimum Permitting Requirements** : A building permit by the local building authority must be obtained prior to the installation of any new or used mobile/manufactured home. The building permit application shall include, but not limited to a scale drawing of all pier block locations and foundation or footer dimensions and the soil load bearing capacity at the installation site. The soil load bearing capacity can be determined by a penetrometer test performed by a licensed installer, a general soil load bearing capacity declaration by a local building official or a test performed by a geotechnical testing company. When the soil load bearing capacity is not known, pier placement shall be based on soil load bearing capacity of 1,000 psf. ( See example of pocket penetrometer test )

Probe indicates 5' Anchors all locations!

Jessie L. Morales

### POCKET PENETROMETER TEST

1.0  
X

1.0  
X

1.0  
X

1. Test the perimeter of the home at six (6) locations
2. Take the reading at the depth of the footer
3. Using 500 lb. increment, take the lowest reading and round down to that increment

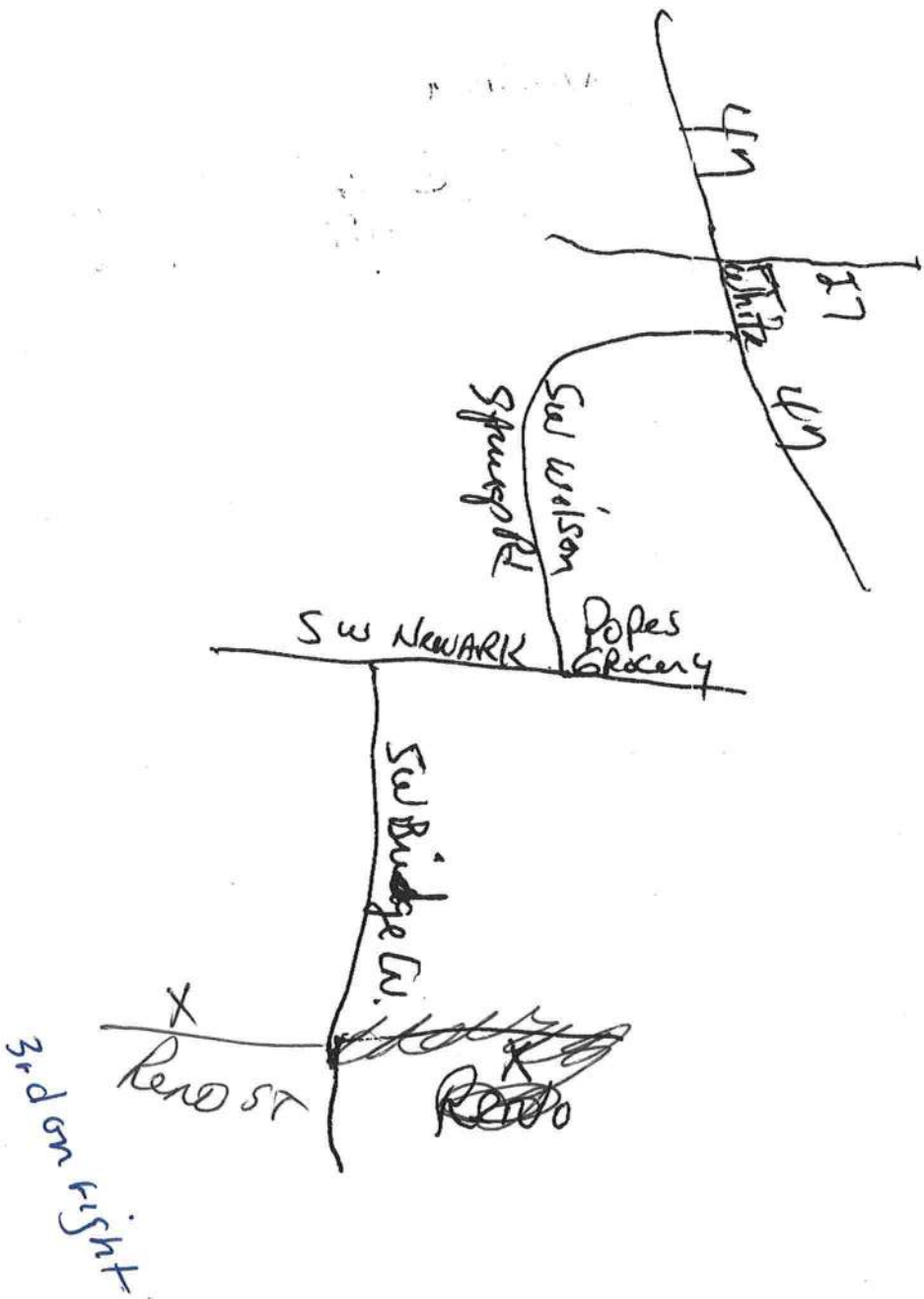
X  
1.0

X  
1.0

X  
1.0

X - Test locations around perimeter of home

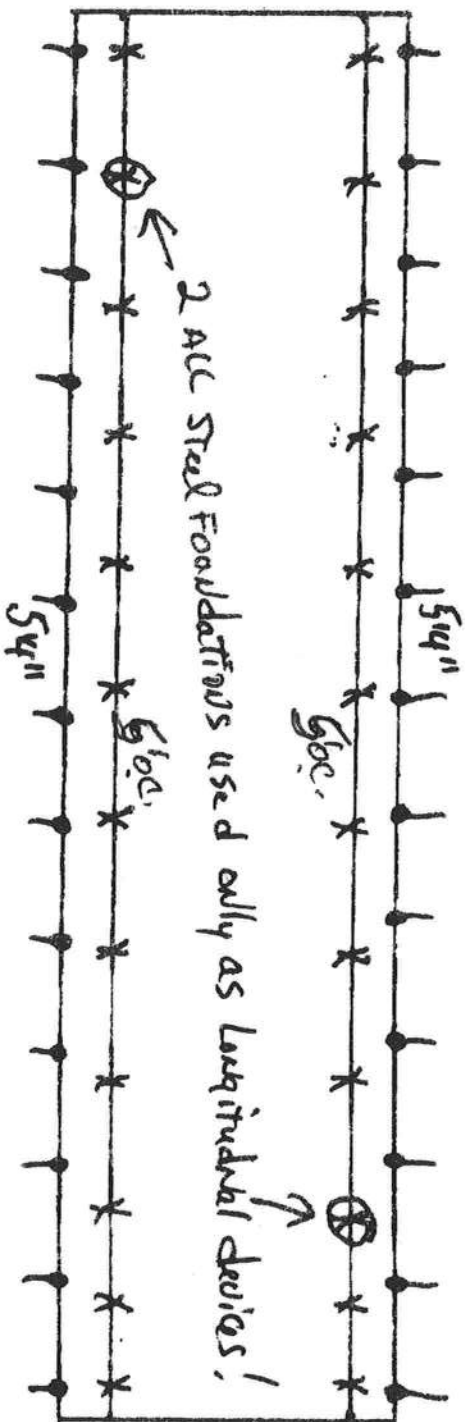
14x 26  
Oakwood  
Dahl's





Dennis E. Sapping  
 Oakwood 14x10 (14x66 Box)  
 Serial # 47712

Decal # 191218



- ⊗ indicates 2 all steel Foundations used only as longitudinal blocking devices.
- ⊙ indicates 5' tubes 5'4" O.C. max. all locations.
- X perforated walls 10' lowest point allowing I beam pins  $5' \pm$  O.C. using  $17 \times 25$  " ABS pads.

17x25