

3/2005

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023225

APPLICANT ROBERT MCINTOSH PHONE 386.754.8678  
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055  
OWNER BERGE & KAREN MARCARIAN PHONE 754.8678  
ADDRESS 597 NW FAIRWAY DRIVE LAKE CITY FL 32055  
CONTRACTOR MICHAEL DELAHOZ PHONE 386.754.8678

LOCATION OF PROPERTY 90-W TO NW COMMERCE BLVD,TR GO TO FAIWAY DRIVE,TR, 3RD OR 4TH ON R.

TYPE DEVELOPMENT SCREEN/POOL ENCL. ESTIMATED COST OF CONSTRUCTION 8378.00

HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT 12.00 STORIES                     

FOUNDATION CONC WALLS                      ROOF PITCH                      FLOOR                     

LAND USE & ZONING RSF-2 MAX. HEIGHT                     

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE                      DEVELOPMENT PERMIT NO.                     

PARCEL ID 26-3S-16-02309-015 SUBDIVISION FAIRWAY VIEW

LOT 15 BLOCK                      PHASE                      UNIT 1 TOTAL ACRES .51

                                          SCC056689 *Robert McIntosh*  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING X-05-0160 BLK N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 2395

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                    date/app. by                      date/app. by                      date/app. by  
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                    date/app. by                      date/app. by                      date/app. by  
Framing                      Rough-in plumbing above slab and below wood floor                       
                    date/app. by                      date/app. by  
Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
                    date/app. by                      date/app. by                      date/app. by  
Permanent power                      C.O. Final                      Culvert                       
                    date/app. by                      date/app. by                      date/app. by  
M/H tie downs, blocking, electricity and plumbing                      Pool                       
                    date/app. by                      date/app. by  
Reconnection                      Pump pole                      Utility Pole                       
                    date/app. by                      date/app. by                      date/app. by  
M/H Pole                      Travel Trailer                      Re-roof                       
                    date/app. by                      date/app. by                      date/app. by

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ .00 SURCHARGE FEE \$ .00

MISC. FEES \$ .00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$                      WASTE FEE \$                     

FLOOD ZONE DEVELOPMENT FEE \$                      CULVERT FEE \$                      TOTAL FEE 95.00

INSPECTORS OFFICE *[Signature]* CLERKS OFFICE *CX*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



## Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0505-100 Date Received 5/25/05 By JW Permit # 23225  
Application Approved by - Zoning Official BLK Date 03.06.05 Plans Examiner OK JH Date 5-26-05  
Flood Zone N/A Development Permit N/A Zoning RSF-2 Land Use Plan Map Category Res. In Dev.  
Comments - C/C# 2395 -

Applicants Name Robert McIntosh Phone 386-754-8678  
Address 289 NW Corinth Dr Lake City FL 32055  
Owners Name Berge Marcarian & Karen Hassabian Phone 758-8019  
911 Address 597 NW Fairway Dr. Lake City, FL 32055  
Contractors Name Mike De la Hoz Phone 386-754-8678  
Address 289 NW Corinth Dr Lake City FL 32055 POB 521136  
Fee Simple Owner Name & Address N/A Sanford, FL 32752  
Bonding Co. Name & Address N/A  
Architect/Engineer Name & Address Gordon Sheppardson 1025 S. Semoran Blvd Winter Park, FL  
Mortgage Lenders Name & Address N/A  
Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
Property ID Number 26-35-16-02309-015 Estimated Cost of Construction 8378.00  
Subdivision Name Fairway View Lot 15 Block      Unit 1 Phase       
Driving Directions West 90 to NW Commerce Blvd, right on Fairway Dr; 3rd on 4th  
House # 597 ON R.

Type of Construction Screened Pool Enclosure Number of Existing Dwellings on Property 1  
Total Acreage      Lot Size 150 x 150 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
Actual Distance of Structure from Property Lines - Front 95' Side 14' Side 87' Rear 15'5"  
Total Building Height 12' Number of Stories 1 Heated Floor Area      Roof Pitch     

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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Robert McIntosh  
Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA  
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this 24 day of May 2005.

Personally known ✓ or Produced Identification     

Michael L. H.  
Contractor Signature  
Contractors License Number SC056689  
Competency Card Number     

NOTARY STAMP/SEALED  
  
Nadean G.S. McIntosh  
Commission # DD371494  
Expires November 14, 2008  
Bonded Tray Fain - Insurance, Inc. 800-365-7119

Nadean G.S. McIntosh  
Notary Signature



EX 0916 PG 1111

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID 00-639  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

OFFICIAL RECORDS

00-21753

FILED AND RECORDED IN PUBLIC  
RECORDS OF COLUMBIA COUNTY, FL

00 DEC 18 PM 2:19

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Documentary Stamp 1015.00  
Intangible Tax 15  
P. DeWitt Cason  
Clerk of Court  
By TRK D.C.

Property Appraiser's  
Identification Number 26-3S-16-02309-015

## WARRANTY DEED

THIS INDENTURE, made this 15th day of December, 2000, BETWEEN PATRICIA A. CALDWELL f/k/a PATRICIA A. CHAMBERS, of the County of Columbia, State of Florida, grantor\*, and BERGE MARCARIAN and KAREN N. KASSABIAN, Husband and Wife whose post office address is Route 13, Box 433, Lake City, Florida 32055, of the County of Columbia, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 15, FAIRWAY VIEW SUBDIVISION, UNIT I, a subdivision according to the plat thereof as recorded in Plat Book 3, Pages 97-99 of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

N.B.: Neither the Grantor nor any member of her family live or reside on the property described herein or any land adjacent thereto or claim any part thereof or any land adjacent thereto as their homestead.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all

PATRICIA A. CALDWELL f/k/a PATRICIA A. CHAMBERS, of the County of Columbia, State of Florida, grantor\*, and BERGE MARCARIAN and KAREN N. KASSABIAN, Husband and Wife whose post office address is Route 13, Box 433, Lake City, Florida 32055, of the County of Columbia, State of Florida, grantee\*.

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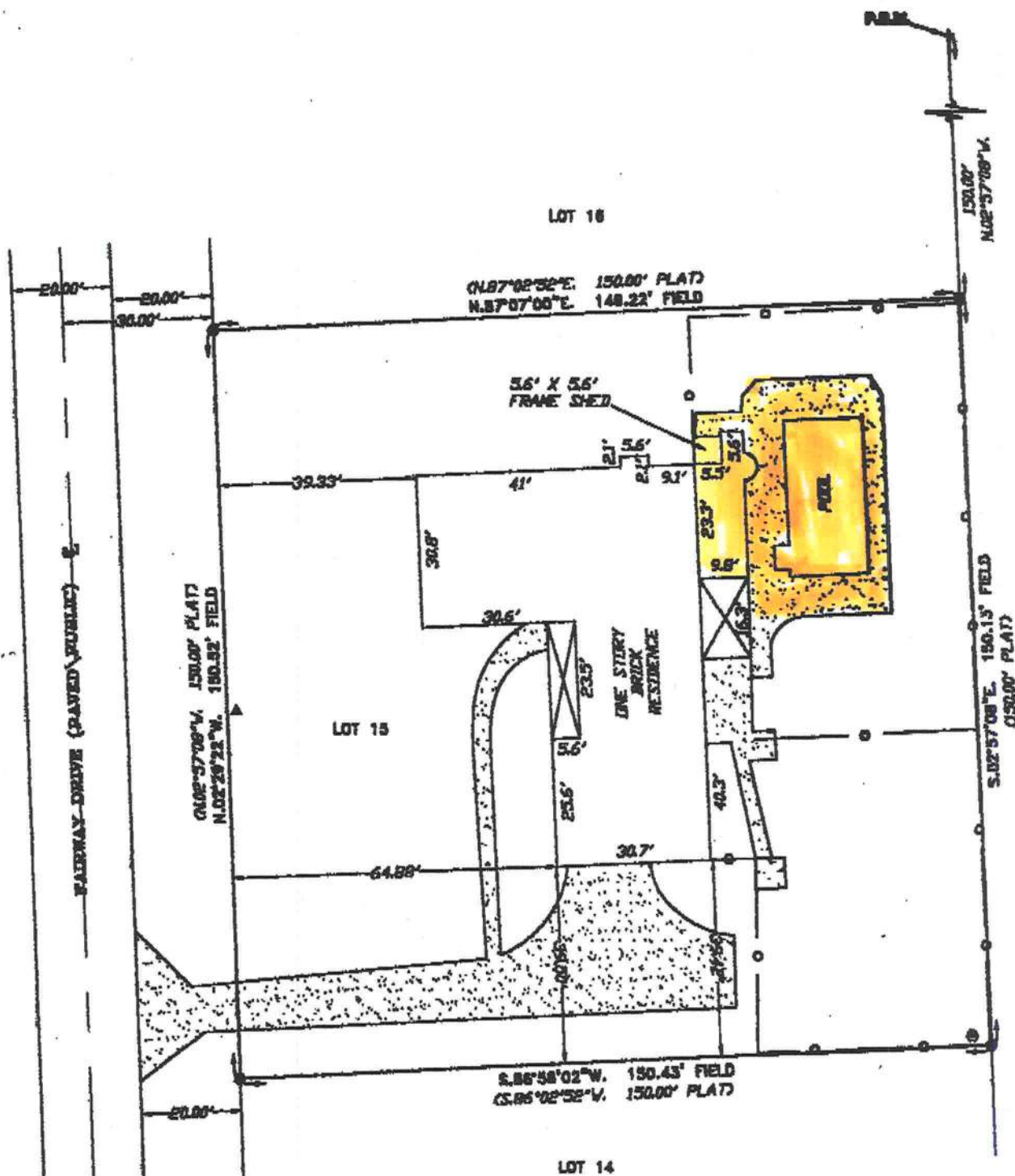
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and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

\*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.





## CERTIFIED TO:

BERGE MARCARIAN  
KAREN M. KASSABIAN  
TAYLOR, BEAN & WHITAKER MORTGAGE CORPORATION  
TERRY MCDAYVID, ATTORNEY AT LAW  
ATTORNEYS' TITLE INSURANCE FUND, INC.  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
FIRST AMERICAN TITLE INSURANCE CO.

FIELD BOOK 223

PAGE(S) 31

## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY PERSONAL CHARGE AND IN ACCORDANCE WITH THE TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS IN CHAPTER 6007-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 6007-6.

12/07/00

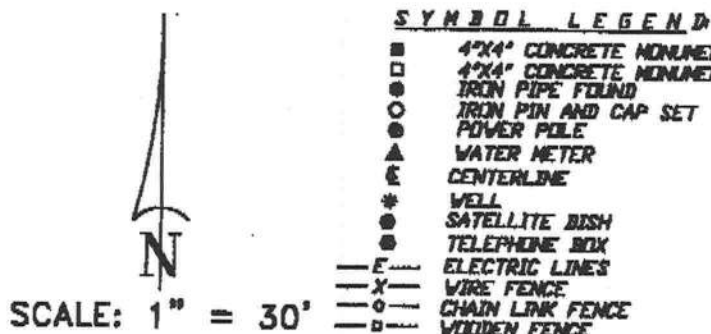
12/08/00

FIELD SURVEY DATE

RECORD DATE

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE OFFICIAL RAISED SEAL OF A FLORIDA SURVEYOR, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY.

**BOUNDARY SURVEY IN SECTION 26 , TOWNSHIP 3 SOUTH,  
RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.**



**DESCRIPTION**

LOT 15 OF "FAIRWAY VIEW, UNIT 1" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 97 THRU 99 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

**SURVEYOR'S NOTES:**

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 120070 0175 & HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREIN.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREIN.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

THIS MEETS THE MINIMUM  
REQUIREMENTS AND MAPS  
OF FLORIDA STATUTES.

SEALED  
1987  
A LICENSED SURVEYOR AND  
THIS IS NOT VALID



**BRITT SURVEYING**

LAND SURVEYORS AND MAPPERS

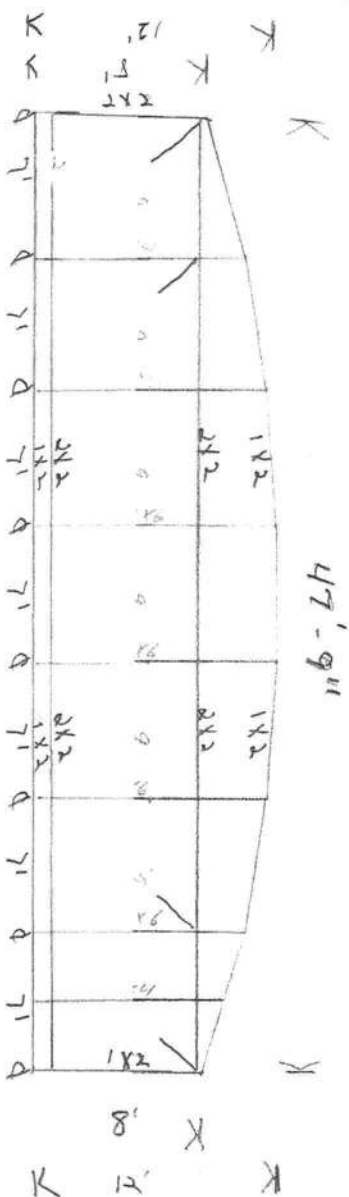
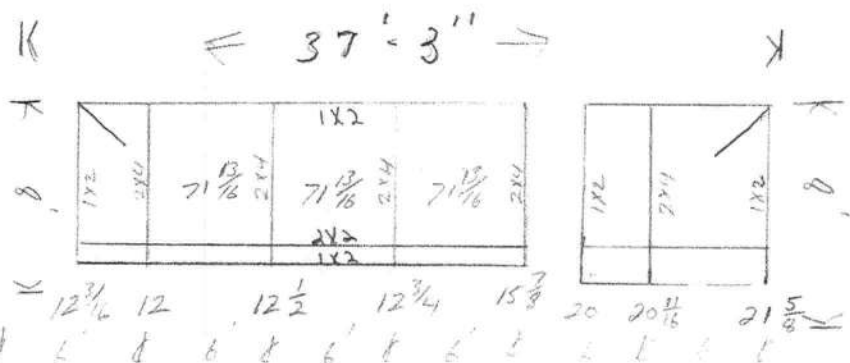
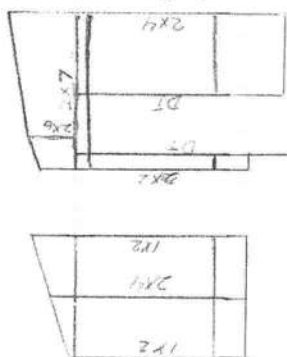
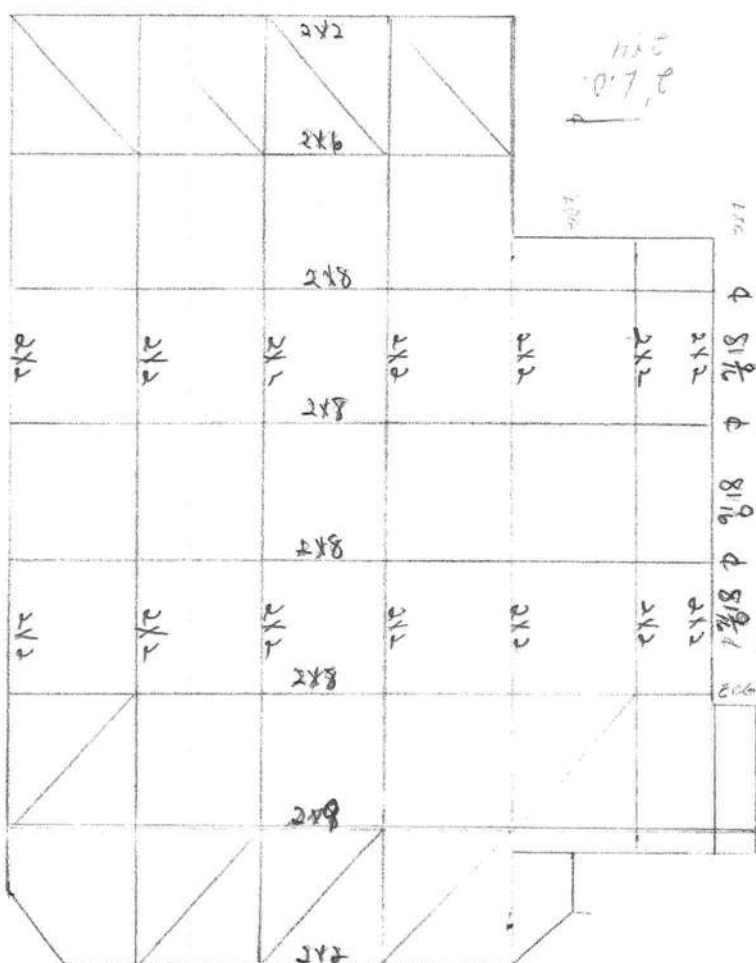
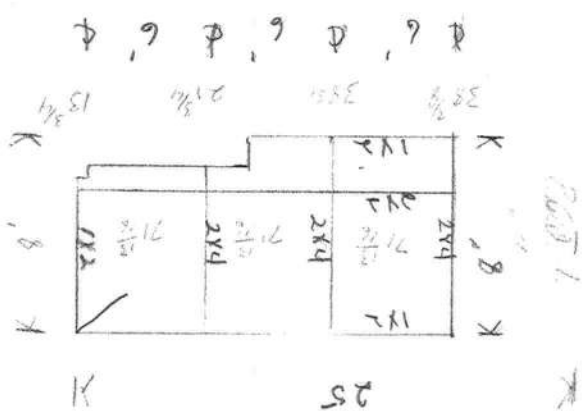
1426 WEST DUVAL STREET LAKE CITY, FLORIDA 32055

(904)752-7163 FAX (904)752-3573

WORK ORDER # L-11005



# Mascatian - Bronze Dome



NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 26-35-16-02309-015

1. Description of property: (legal description of the property and street address or 911 address)  
lot 15 of Fairway View, Unit 1<sup>st</sup> as per Plat thereof recorded  
in Plat Book 3, pg 97 Thru 99  
597 NW Fairway Lake City, FL
2. General description of improvement: Screened Pool Enclosure
3. Owner Name & Address owner Berge & Karen Marcarian  
597 NW Fairway Lake City, FL Interest in Property owner
4. Name & Address of Fee Simple Owner (if other than owner): N/A
5. Contractor Name Mike DelaHoz Phone Number 386-754-8678  
Address 289 NW Corinth Dr, Lake City, FL 32055
6. Surety Holders Name N/A Phone Number \_\_\_\_\_  
Address \_\_\_\_\_  
Amount of Bond \_\_\_\_\_  
Inst: 2005012198 Date: 05/25/2005 Time: 10:06  
YMK DC, P. Dewitt Cason, Columbia County B: 1046 P: 2765
7. Lender Name N/A  
Address \_\_\_\_\_
8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:  
Name N/A Phone Number \_\_\_\_\_  
Address \_\_\_\_\_
9. In addition to himself/herself the owner designates Florida Pool Enclosure of  
289 NW Corinth Dr Lake City 32055 to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -  
(a) 7. Phone Number of the designee 386-754-8678
10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,  
(Unless a different date is specified) \_\_\_\_\_

**NOTICE AS PER CHAPTER 713, Florida Statutes:**

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

[Signature]  
Signature of Owner

Sworn to (or affirmed) and subscribed before  
day of May 18, 2005

NOTARY STAMP

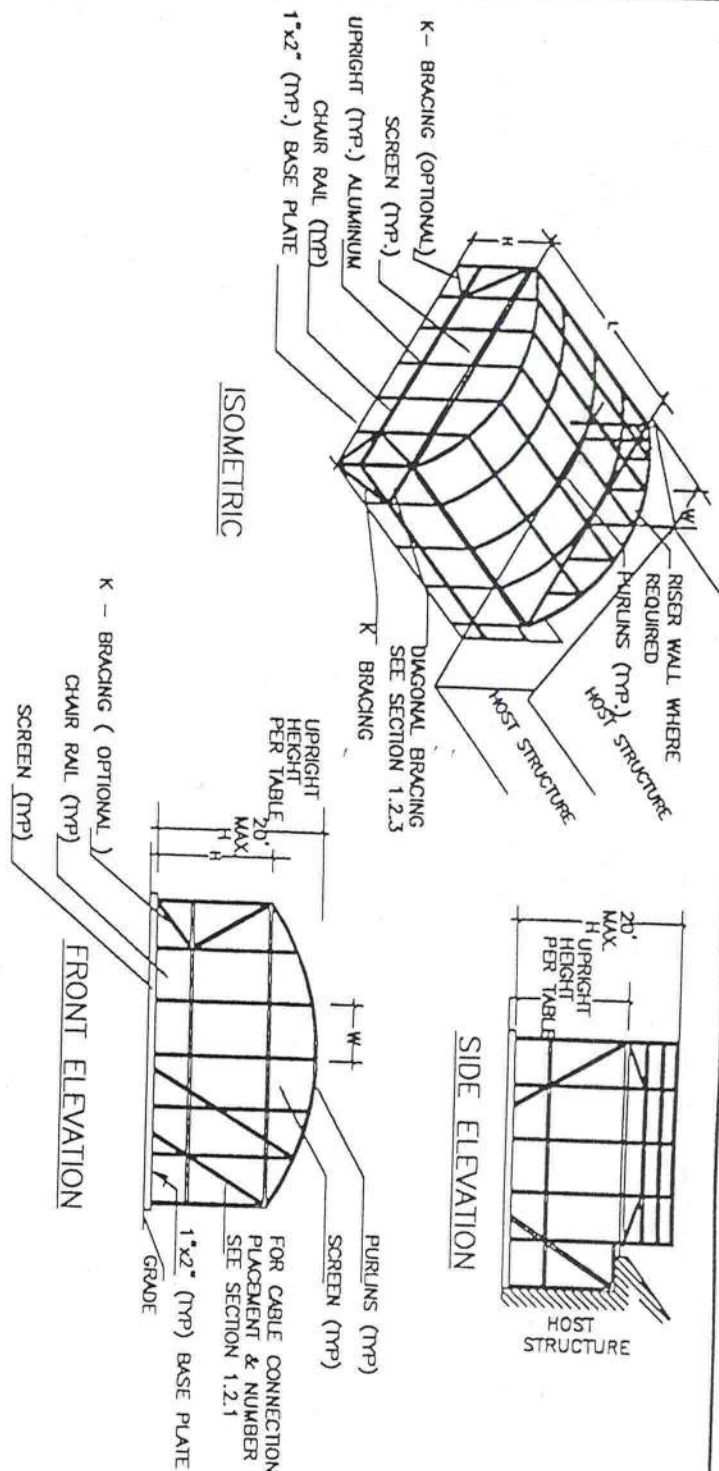


Nadean G.S. McIntosh  
Commission # DD371494  
Expires November 14, 2008  
Bonded Troy Fain - Insurance, Inc. 880-385-7018

[Signature]  
Signature of Notary



SECTION 1.1.1	DOME	SCREEN ENCLOSURES
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TYPICAL DOME ROOF  
 (STANDARDS)  
 APPLIES

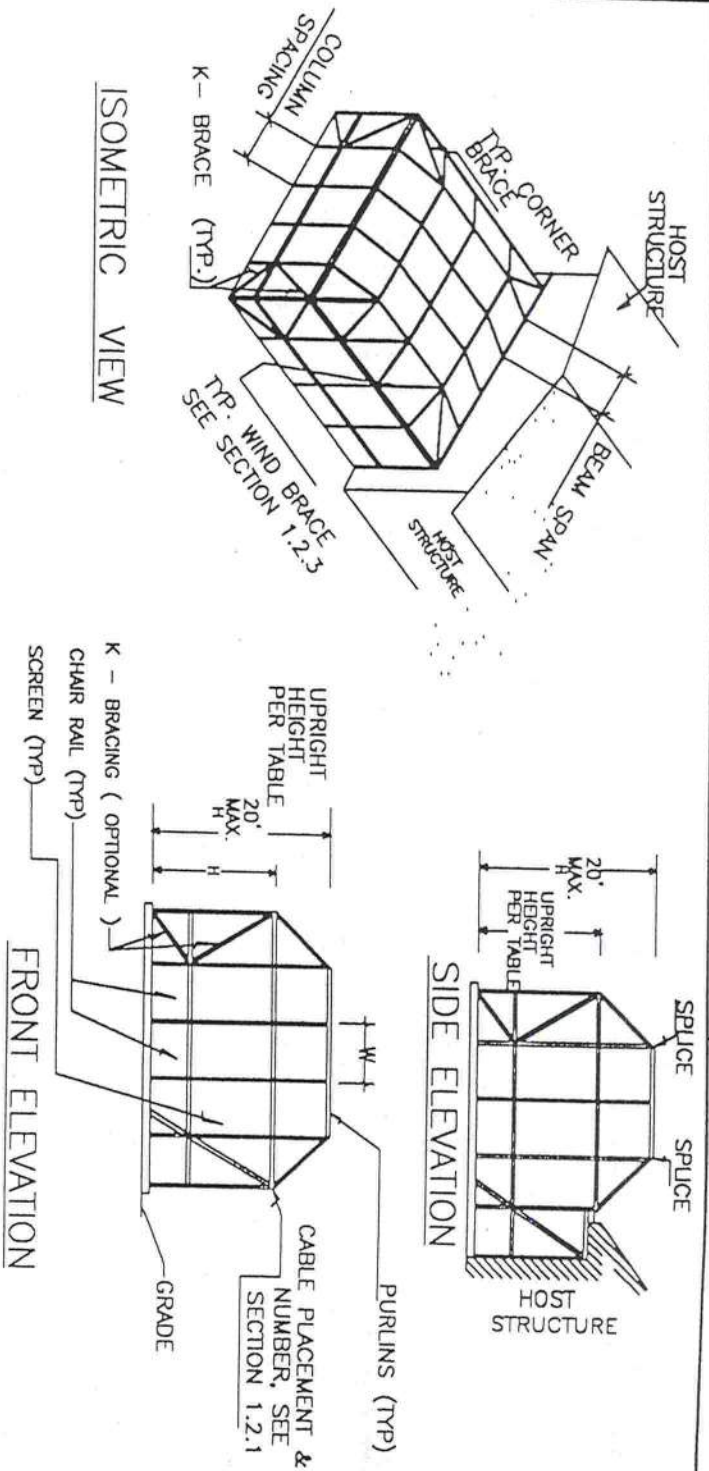
- DESIGN CONFORMS TO THE FLORIDA BUILDING CODE 2001 AS AMENDED AND ASCE 7-98 FOR THE WIND LOAD ON THE ATTACHED TABLES.
- ALL SCREEN ENCLOSURES GREATER THAN 20'-0" MAX. HEIGHT OR GREATER THAN 40' SPAN, PROJECTION FROM THE HOST STRUCTURE WILL REQUIRE SITE SPECIFIC ENGINEERING IN AREA WHERE SCREEN ENCLOSURE MASTER FILING IS IN EFFECT.
- STRUCTURAL DETAIL DRAWING SHALL RELATE TO 6063-T6 OR 6061-T5 ALUMINUM EXTRUSIONS, WITH AN ACTUAL WALL THICKNESS OF NOT LESS THAN 0.040 INCH
- ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKAL-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER - WHITE METHACRYLATE LIQUEUR.
- ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR HEAVY- BODIED BITUMINOUS PAINT, OR THE WOOD OR THE ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH HIGH QUALITY CAULKING COMPOUND
- ALL FASTENERS WILL BE 24" C - C MAX. UNLESS OTHERWISE NOTED

THIS PAGE MAY NOT BE USED WITHOUT A SIGNED AND SEALED INDEX PAGE

FLULINE INC.  
 1025 S. SEMORAN BLVD., SUITE 1093  
 WINTER PARK FL 32792  
 TEL. (407) 678-7500  
 FAX (407) 678-9188  
 E-MAIL

GORDON H SHEPARDSON P.E.  
 FLORIDA P.E. 16333

SECTION 1.1.2	MANSARD	SCREEN ENCLOSURES
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TYPICAL MANSARD SCREEN ENCLOSURE  
 (STANDARDS)  
 APPLIES

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 E-MAIL

JUN 10 2004

GORDON H SHEPARDSON P.E.  
 FLORIDA P.E. 16333



SECTION 1.1.3	SPLICE GABLE	SCREEN ENCLOSURES	
<p>NOTE: SPLICE (USE COLLAR TIE.)</p>			
<p>TYPICAL SPLICE GABLE ROOF</p>			
<p>(STANDARDS)</p>			
<p>APPLIES</p>			
<ol style="list-style-type: none"> <li>DESIGN CONFORMS TO THE FLORIDA BUILDING CODE 2001 AS AMENDED AND ASCE 7-98 FOR THE WIND LOAD ON THE ATTACHED TABLES.</li> <li>ALL SCREEN ENCLOSURES GREATER THAN 20'-0" MAX. HEIGHT OR GREATER THAN 40' SPAN, PROJECTION FROM THE HOST STRUCTURE WILL REQUIRE SITE SPECIFIC ENGINEERING IN AREA WHERE SCREEN ENCLOSURE MASTER FILING IS IN EFFECT.</li> <li>STRUCTURAL DETAIL DRAWING SHALL RELATE TO 6063-T6 OR 6061-T5 ALUMINUM EXTRUSIONS, WITH AN ACTUAL WALL THICKNESS OF NOT LESS THAN 0.040 INCH</li> <li>ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKALI-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER - WHITE METHACRYLATE LIQUEUR.</li> <li>ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR HEAVY - BODIED BITUMINOUS PAINT, OR THE WOOD OR THE ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH HIGH QUALITY CAULKING COMPOUND</li> <li>ALL FASTENERS WILL BE 24" C - C MAX. UNLESS OTHERWISE NOTED</li> </ol>			
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<p>GORDON H. SHEPARDSON P.E. FLORIDA P.E. 10333</p>			

SECTION 1.1.4	FLAT	SCREEN ENCLOSURES	
<p>TYPICAL FLAT ROOF</p>			
<p>(STANDARDS)</p>			
<p>APPLIES</p>			
<ol style="list-style-type: none"> <li>DESIGN CONFORMS TO THE FLORIDA BUILDING CODE 2001 AS AMENDED AND ASCE 7-98 FOR THE WIND LOAD ON THE ATTACHED TABLES.</li> <li>ALL SCREEN ENCLOSURES GREATER THAN 20'-0" MAX. HEIGHT OR GREATER THAN 40' SPAN, PROJECTION FROM THE HOST STRUCTURE WILL REQUIRE SITE SPECIFIC ENGINEERING IN AREA WHERE SCREEN ENCLOSURE MASTER FILING IS IN EFFECT.</li> <li>STRUCTURAL DETAIL DRAWING SHALL RELATE TO 6063-T6 OR 6061-T5 ALUMINUM EXTRUSIONS, WITH AN ACTUAL WALL THICKNESS OF NOT LESS THAN 0.040 INCH</li> <li>ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKALI-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER - WHITE METHACRYLATE LIQUEUR.</li> <li>ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR HEAVY - BODIED BITUMINOUS PAINT, OR THE WOOD OR THE ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH HIGH QUALITY CAULKING COMPOUND</li> <li>ALL FASTENERS WILL BE 24" C - C MAX. UNLESS OTHERWISE NOTED</li> </ol>			
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<p>GORDON H. SHEPARDSON P.E. FLORIDA P.E. 10333</p>			

JUN 10 2004

APPLIES



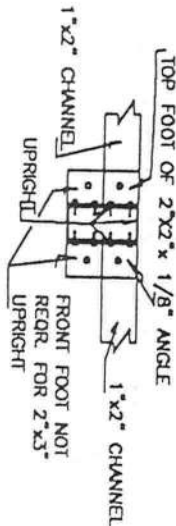




SECTION 1.2.3

DETAILS

SCREEN ENCLOSURES

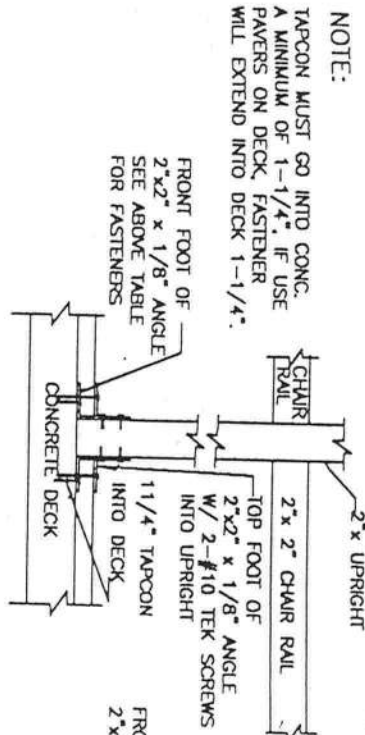


PLAN VIEW  
(N.T.S.)

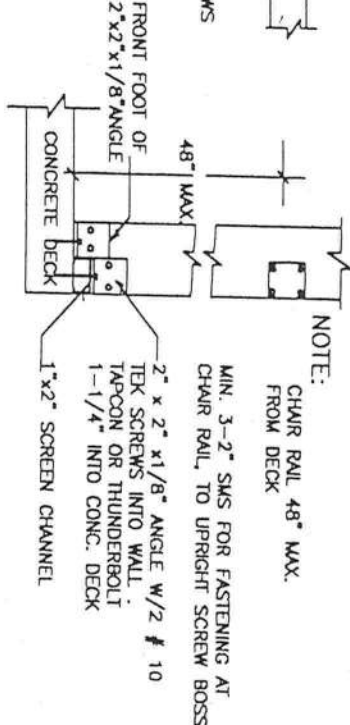
NOTE:  
USED WITH ALL  
SCREEN TYPES

FRONT FOOT TABLE									
UPRIGHT SIZES	x4	x5	x6	x7	x8	x9	x10		
1/4" TAPCON EACH SIDE	1	2	2	3	3	4	4		
1/2" TAPCON EACH SIDE	2	4	4	6	6	8	8		
CHECK ONE									

SELECT LOADEARING UPRIGHT SIZES



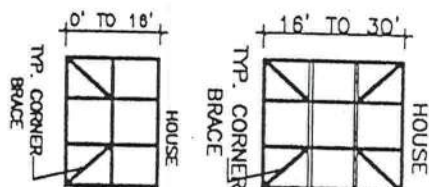
FRONT ELEVATION



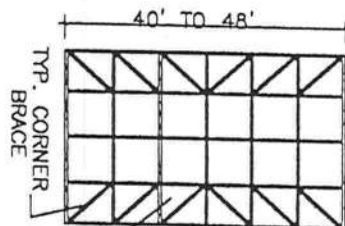
SIDE ELEVATION

TYPICAL DECK PLATE & POST CONNECTION

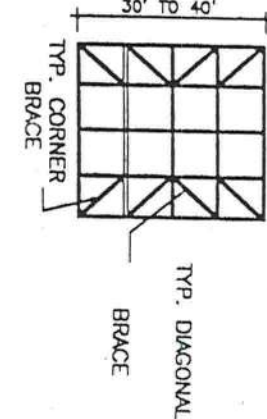
APPLIES



HOUSE  
TYP. CORNER  
BRACE



HOUSE  
TYP. CORNER  
BRACE



HOUSE  
TYP. CORNER  
BRACE

NOTE:  
WIND BRACING SHALL NOT BE  
REQUIRED WHERE BEAMS AND PURLINS  
ARE LATERALLY SUPPORTED BY  
CONNECTION TO HOST STRUCTURE.

WIND BRACING DETAIL

APPLIES

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WINTER PARK FL 32792  
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FLORIDA P.E. 10333

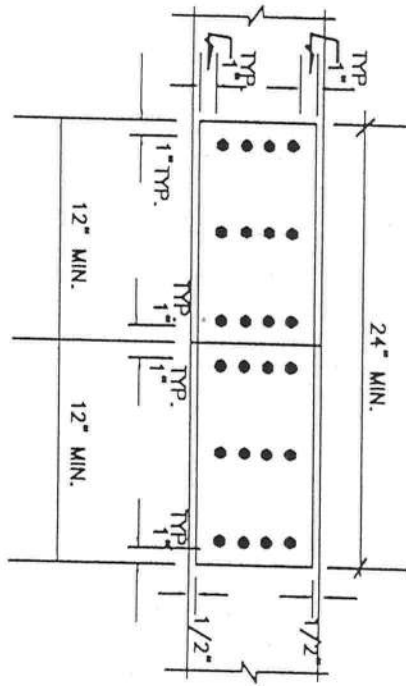
SECTION 1.2.4

DETAILS

SCREEN ENCLOSURES

SPLICE PLATE SHALL BE MIN. 24 INCHES LONG,  
1 INCH LESS HEIGHT THAN THE BEAM THE SAME  
THICKNESS AS THE SPLICE BEAM, AND LOCATED NO  
GREATER THAN 1/3 THE BEAM LENGTH FROM THE END  
AND LOCATED ON OPPOSITE ENDS OF THE MATED BEAM

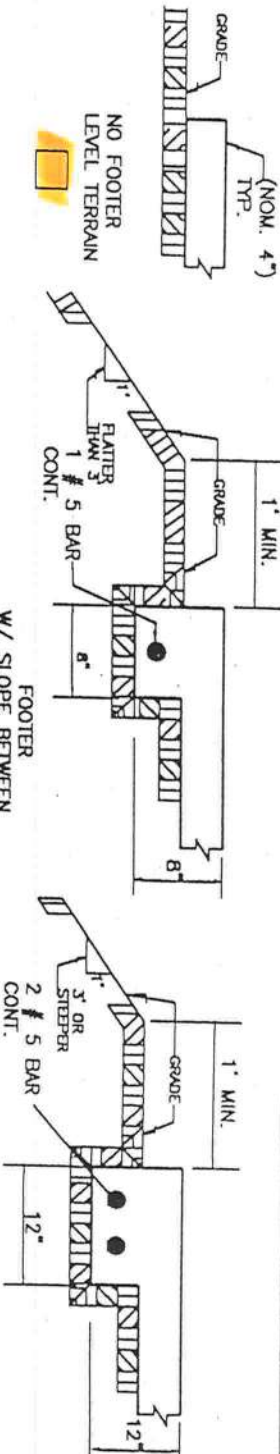
MINIMUM 12-# 10 TEK SCREWS ON EACH SIDE OF  
THE CUT EVENLY SPACED WITH 1 INCH CLEARANCE  
AT THE CUT AND ALL SIDES OF THE INTERNAL SPLICE  
PLATE



SPLICE FOR BEAM SHALL BE ON  
OPPOSITE ENDS OF THE MATED BEAM.

BEAM SPLICE

APPLIES



2 foot knee wall concrete block  
WHERE THERE IS NO DECK USED 8"x8" CONCRETE RIBBON  
FOOTER W/ 1#5 REBAR CONTINUOUS TO SUPPORT UP TO  
2" x 6" UPRIGHT

FOOTER WHEN SLOPE  
1" IN 3" OR STEEPER  
OR WHEN DECK EXTENDS  
33' OR MORE PERPENDICULAR  
TO THE SUPPORTING STRUCTURE.

TYPICAL SCREEN DECK FOOTER DETAIL

APPLIES

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## SECTION 1.2.5

## DETAILS

## SCREEN ENCLOSURES

2"x2" PURLINS ATTACH TO BEAMS WITH MIN.(3) #10x1-1/2" S.M.S. INTO SCREW BOSSSES.

ALTERNATE SLOPED BEAM

1"x2" SNAP SECTIONS ATTACHED TO 2"x2"W/ #10 x 1-1/2" S.M.S. @ 24" O.C. OR CONTINUOUS SNAP SECTIONS

BEAM OVERLAP CONNECTION OR GUSSET PLATE

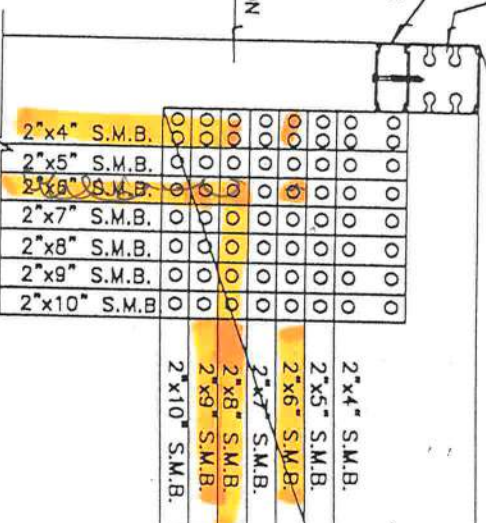


TABLE OF 2-1 #10 TEK SCREWS  
X- NO CONNECTION ALLOWED

UPRIGHT		BEAMS								
		2x4	2x5	2x6	2x7	2x8	2x9	2x10		
2x4	4	6	8	10	X	X	X	X		
2x5	6	9	12	15	18	X	X	X		
2x6	8	12	16	20	24	28	X	X		
2x7	10	15	20	25	30	35	X	X		
2x8	12	18	24	30	36	42	48	X		
2x9	14	21	28	35	42	49	56	X		
2x10	16	24	32	40	48	56	64	X		

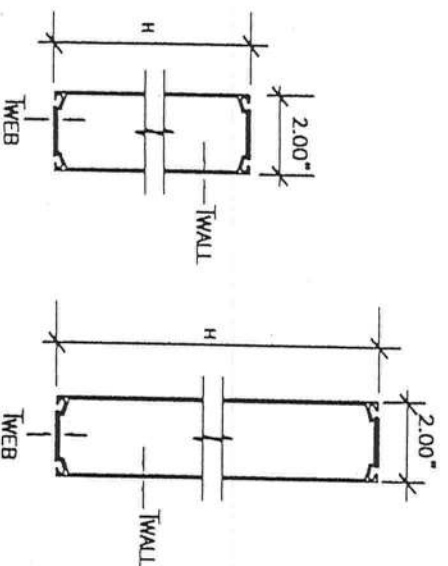
## BEAM OVERLAP OR GUSSET PLATE CONNECTION

APPLIES

## ALUMINUM

## PHYSICAL PROPERTIES

2xH	TWALL	TWEB	SECTION MODULUS (IN <sup>3</sup> )
2x4	0.044	0.100	0.959
2x5	0.050	0.100	1.468
2x6	0.050	0.120	1.965
2x7	0.055	0.120	3.119
2x8	0.072	0.224	4.157
2x9	0.072	0.224	5.910
2x10	0.092	0.369	8.531



## HOLLOW BEAM TABLE

## SNAP EXTRUSION

## SELF MATING BEAM

## ALUMINUM PHYSICAL PROPERTIES

APPLIES

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FLORIDA P.E. 10333

## SECTION 1.2.6

## DETAILS

## SCREEN ENCLOSURES

1/4"x2" LAG SCREWS @ 24" O.C. MAX.

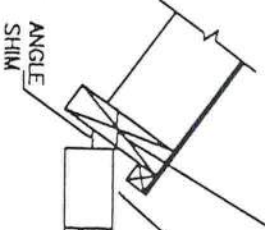
3/4"x3/4" ALUMINUM FERRULE

3/8"x8" LAG SCREW, TYP. 1 EACH SIDE OF BEAM

SCREEN ROOF BEAM

2"x2"x0.125 ANGLE W/ 4#10 TEK. EACH SIDE OF BEAM

OPTIONAL 1"x2" FOR GUTTER WITH SPLINE GROOVE



1/4"x2" LAG SCREWS @ 24" O.C. MAX.

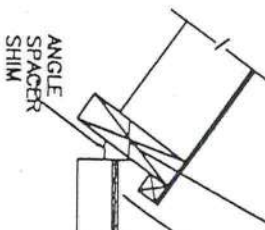
3/4"x3/4" ALUMINUM FERRULE

3/8"x8" LAG SCREW, TYP. 1 EACH SIDE OF BEAM

SCREEN ROOF BEAM

2"x2"x0.125 ANGLE W/ 4#10 TEK. EACH SIDE OF BEAM

OPTIONAL 1"x2" FOR GUTTER WITH SPLINE GROOVE



1/4"x2" LAG SCREWS @ 24" O.C. MAX.

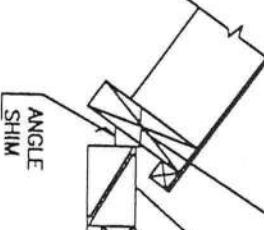
3/4"x3/4" ALUMINUM FERRULE

3/8"x8" LAG SCREW, TYP. 1 EACH SIDE OF BEAM

SCREEN ROOF BEAM

2"x2"x0.125 ANGLE W/ 4#10 TEK. EACH SIDE OF BEAM

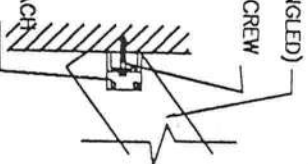
OPTIONAL 1"x2" FOR GUTTER WITH SPLINE GROOVE



1-1/4"x2" LAG. EACH SIDE OF BEAM. 24" O.C. ALONG 1"x2" SCREEN CHANNEL. 2"x2"x1/4" THRU-BOLTS. SIDE OF BEAM W/

1"x2" OR 2"x2" PURLIN WITH TAPCON OR #10-3" SCREW THRU 24" O.C. WITH 1 TAPCON OR #10-3" SCREW THRU 2"x2" ANGLE INTO WALL ON EACH SIDE OF BEAM

2"x2"x1/4" THRU-BOLTS. SIDE OF BEAM W/



## BEAM TO STRUCTURAL GUTTER DETAILS &amp; TO FASCIA / WALL

APPLIES

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E-MAIL

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FLORIDA P.E. 10333







SECTIONSPANTABLES

SCREEN ENCLOSURES

DOME-FLAT  
6063-T6  
100 M.P.H.

ALUMINUM ALLOY : 6063-T6										WIND ZONE : 100 MPH									
MAX. SPANS FOR ROOF BEAMS FOR SCREEN & POOL ENCLOSURES, EXPOSURE B ALL WIND SPEEDS PRESSURE 10 PSF MEAN ROOF HEIGHT = 20 FT OR LESS										MAX. SPANS FOR WALL UPRIGHTS FOR SCREEN & POOL ENCLOSURES EXPOSURE B MEAN ROOF HEIGHT = 20 FT OR LESS									
ROOF STYLE : DOME - FLAT										WALL UPRIGHTS									
ROOF SPACING										UPRIGHT SPACING									
456789										456789									
SPANS										SPANS									
2 X 4 - 0 KNEES										2 X 4 - 0 KNEES									
2 X 4 - 1 KNEE										2 X 4 - 1 KNEE									
2 X 4 - 2 KNEES																			
2 X 5 - 0 KNEES										2 X 5 - 0 KNEES									
2 X 5 - 1 KNEE										2 X 5 - 1 KNEE									
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2 X 10 - 1 KNEE										2 X 10 - 1 KNEE									
2 X 10 - 2 KNEES																			
Interpolation between spans is permitted.										Interpolation between spans is permitted.									

NOTE 1: Roof spans are figured for knee braces of 4ft on the horizontal. The difference in the knee brace length of less than 4ft on the horizontal must be deducted from the span.

NOTE 2: Wall spans are figured for knee braces of 4ft on the vertical. The difference in the knee brace length of less than 4ft on the vertical must be deducted from the span.

APPLIES

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FLI LINE INC.  
1025 S. SEMORAN BLVD., SUITE 1093  
WINTER PARK FL 32792  
TEL (407) 679-7500  
FAX (407) 679-9188  
E-MAIL

JUN 10 2004

*Gordon H Sheppard*  
GORDON H SHEPPARDSON P/E  
FLORIDA P.E. 18333

FLI LINE INC.

A civil engineering firm

1025 South Semoran Boulevard  
Suite 1093  
Winter Park FL 32792  
(407) 679-7500  
Fax (407) 679-9188







SECTION	SPAN	SCREEN ENCLOSURES	MANSARD-SPLICE GABLE
1.3.2.110 B	TABLES		6063-T6 110 M.P.H.

ALUMINUM ALLOY : 6063-T6										WIND ZONE : 110 MPH									
MAX. SPANS FOR ROOF BEAMS										MAX. SPANS FOR WALL UPRIGHTS									
FOR SCREEN & POOL ENCLOSURES, EXPOSURE B										FOR SCREEN & POOL ENCLOSURES									
ALL WIND SPEEDS PRESSURE 10 PSF										EXPOSURE B									
MEAN ROOF HEIGHT = 20 FT OR LESS										MEAN ROOF HEIGHT = 20 FT OR LESS									
ROOF STYLE : MANSARD - SPLICE GABLE										WALL UPRIGHTS									
ROOF SPACING										UPRIGHT SPACING									
4 5 6 7 8 9										4 5 6 7 8 9									
SPANS										SPANS									
2 X 4 - CLEAR SPAN										2 X 4 - CLEAR SPAN									
2 X 4 - 1 SPLICE										2 X 4 - 1 SPLICE									
2 X 4 - 2 SPLICES										2 X 4 - 2 SPLICES									
2 X 5 - CLEAR SPAN										2 X 5 - CLEAR SPAN									
2 X 5 - 1 SPLICE										2 X 5 - 1 SPLICE									
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Interpolation between spans is permitted.										Interpolation between spans is permitted.									

NOTE 1: Roof spans are figured for knee braces of 4ft on the horizontal. The difference in the knee brace length of less than 4ft on the horizontal must be deducted from the span.

NOTE 2: Wall spans are figured for knee braces of 4ft on the vertical. The difference in the knee brace length of less than 4ft on the vertical must be deducted from the span.

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FAX (407) 678-9188  
E-MAIL

GORDON H BHEPARDSON P.E.  
FLORIDA P.E. 18333

SECTION	SPAN	SCREEN ENCLOSURES	MANSARD-SPLICE GABLE
1.3.2.120 B	TABLES		6063-T6 120 M.P.H.

ALUMINUM ALLOY : 6063-T6										WIND ZONE : 120 MPH																																																											
MAX. SPANS FOR ROOF BEAMS										MAX. SPANS FOR WALL UPRIGHTS																																																											
FOR SCREEN & POOL ENCLOSURES, EXPOSURE B										FOR SCREEN & POOL ENCLOSURES																																																											
ALL WIND SPEEDS PRESSURE 10 PSF										EXPOSURE B																																																											
MEAN ROOF HEIGHT = 20 FT OR LESS										MEAN ROOF HEIGHT = 20 FT OR LESS																																																											
ROOF STYLE : MANSARD - SPLICE GABLE										WALL UPRIGHTS																																																											
ROOF SPACING										UPRIGHT SPACING																																																											
SPANS					4					5					6					7					8					9																																							
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