PERMIT Columbia County Building Permit 05/10/2010 This Permit Must Be Prominently Posted on Premises During Construction 000028550 JERRY CASTAGNA **PHONE** 386.755.6867 APPLICANT ADDRESS -NW OLD MILL ROAD FL32055 OWNER WILLIAM HUBBARD,II. PHONE 32025 ADDRESS 1232 SE PEACOCK TERRACE LAKE CITY FLCONTRACTOR JERRY CASTAGNA PHONE 386.755.6867 41-S TO C-252,TL TO PEACOCK,TR TO 1 MILE & IT'S @ THE LOCATION OF PROPERTY CORNER OF PEACOCK & WALTER FLYNN. ESTIMATED COST OF CONSTRUCTION TYPE DEVELOPMENT 118500.00 SFD/UTILITY HEATED FLOOR AREA 1334.00 TOTAL AREA 2370.00 HEIGHT STORIES FLOOR FOUNDATION CONC WALLS FRAMED ROOF PITCH CONC A-3 LAND USE & ZONING MAX. HEIGHT 35 Minimum Set Back Requirments: STREET-FRONT 30.00 SIDE 25.00 REAR 25.00 NO. EX.D.U. FLOOD ZONE DEVELOPMENT PERMIT NO. SUBDIVISION DEER HILLS UNRC. (PARCEL E) PARCEL ID 26-4S-17-08747-010 BLOCK PHASE UNIT TOTAL ACRES CBC047842 Culvert Permit No. Applicant/OwnerContractor Culvert Waiver Contractor's License Number **EXISTING** 10-0234-M BLK New Resident Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance COMMENTS: NOC ON FILE. 1 FOOT ABOVE ROAD. HOUSE TO REPLACE MH. Check # or Cash FOR BUILDING & ZONING DEPARTMENT ONLY Temporary Power Monolithic date/app. by date/app. by date/app. by Under slab rough-in plumbing Sheathing/Nailing date/app. by date/app. by date/app. by Framing Insulation date/app. by date/app. by

Electrical rough-in Rough-in plumbing above slab and below wood floor date/app. by date/app. by Heat & Air Duct Peri. beam (Lintel) date/app. by date/app. by date/app. by Permanent power C.O. Final Culvert date/app. by date/app. by date/app. by Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing date/app. by date/app. by date/app. by Reconnection Re-roof date/app. by date/app. by date/app. by 595.00 11.85 **BUILDING PERMIT FEE \$ CERTIFICATION FEE \$** SURCHARGE FEE \$ 11.85 0.00 ONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 MISC. FEES \$ WASTE FEE \$ FLOOD ZONE FEE \$ 25.00 FLOOD DEVELOP **CULVERT FEE \$** 

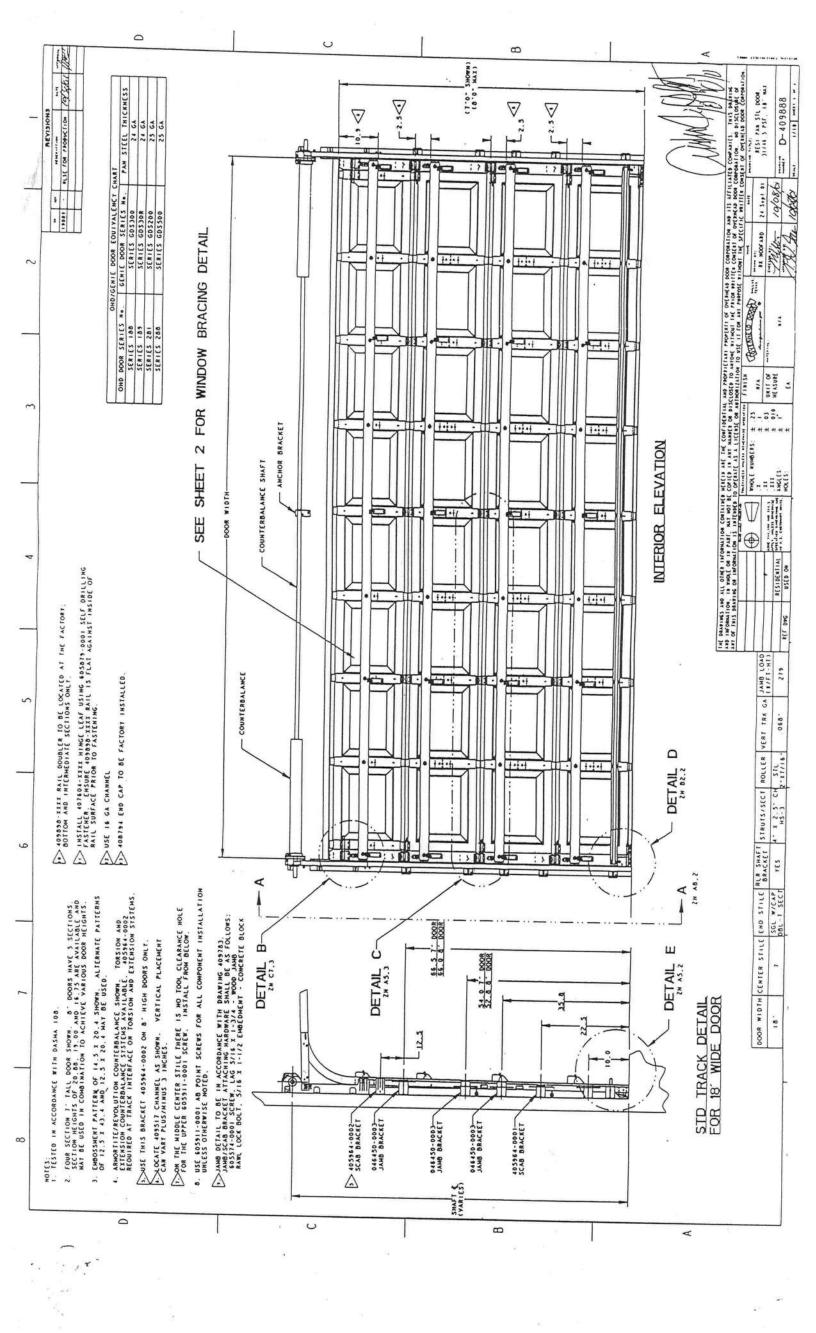
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

INSPECTORS OFFICE

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

CLERKS OFFICE

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.



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### **Columbia County Building Permit Application**

For Office Use Only Application # 1004-30 Date Received 4/19/10 By 9 Permit # 28550
Zoning Official Date Official Flood Zone Land Use A-3 Zoning A-3
FEMA Map # W/A Elevation W/A MFE Advition Plans Examiner Date 5~3 +10
Comments House to be replace MH
NOC Deed or PA Site Plan - State Road Info - Parent Parcel #
□ Dev Permit # □ In Floodway □ Letter of Auth. from Contractor □ F W Comp. letter
IMPACT FEES: EMS Fire Corr Road/Code
School = TOTAL N/A 3 spended
Septic Permit No. 10-023 4- M
Name Authorized Person Signing Permit <u>Jerry Castagna</u> Phone <u>755-6867</u>
Address SZI NW Old Mill Rd. C.C. 32055
Owners Name William Hobbard II Phone
911 Address 1232 SE PEACOCK TERR, LAKE CITY, 91 32025
Contractors Name CASTAGNA Cons INC, JERRY Castage Phone 386-755 6867
Address 521 NW OLD MILL Rd LAKE CO. to FLA 32055
Fee Simple Owner Name & Address WILLIAM Flubbard A. II
Bonding Co. Name & Address
Architect/Engineer Name & Address John BENZ J. NICLOLAS P. GEISLER
Mortgage Lenders Name & Address
Circle the correct power company – FL Power & Light – Clay Elec. – Suwannee Valley Elec. – Progress Energy
Property ID Number 26-45-17-08747-010 Estimated Cost of Construction 70,000.
Subdivision Name DEER Holls Univer. PAKEL ELot_Block_Unit_Phase_
Driving Directions 41 South TURN East at CRZ52 go about.
BMILE TO PEACOCK TER ON RIGHT - TURN RIGHT GO About I MILE
BMILE TO PEACOCK TER ON RIGHT - TORN RIGHT GO A GOLD / MILE TO 1232 SE PEACOCK TER TURN RIGHT INTO PROPERTY COLNER OF PEACOCK + WAILER FIGHT  Number of Existing Dwellings on Property
Construction of SFD Lot Size I MC
Do you need a - <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u> Total Building Height
Actual Distance of Structure from Property Lines - Front 85 Side 45 Rear 272
Number of Stories Heated Floor Area
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
- JW SNake W/ ME/IN US 5-4-10 - (NEED VEPTICE FOR Plan)

### Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law. those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.) \*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT. **Owners Signature** 

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number\_CBC Columbia County

Competency Card Number <

Affirmed under penalty of perjury to by the Contractor and subscribed before me this

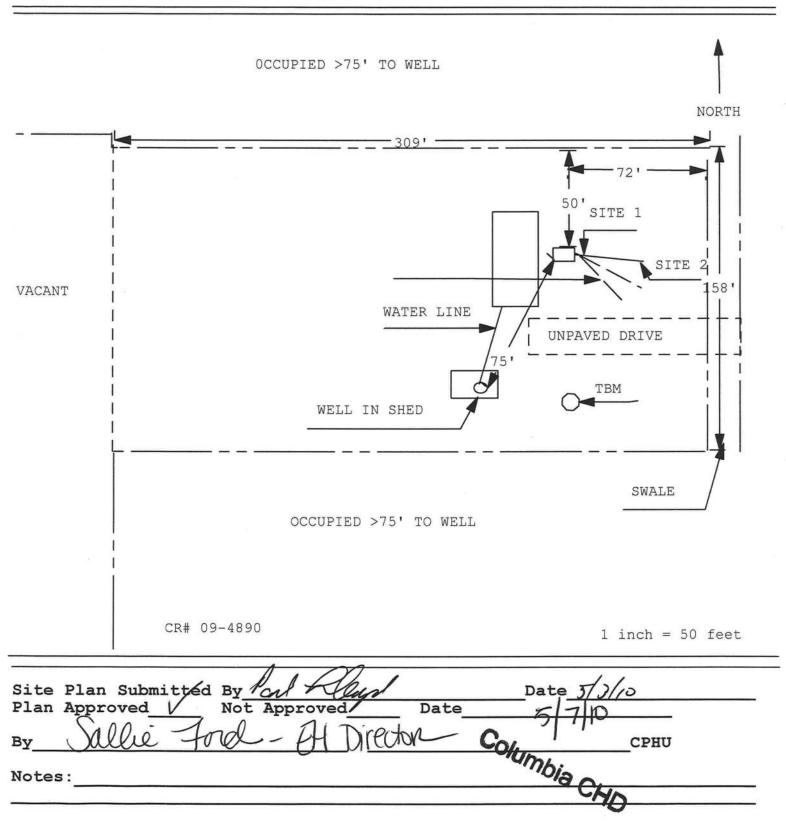
or Produced Identification

State of Florida Notary Signature (For the Contractor)



Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan Permit Application Number:

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Page 1 of 3

STATE OF FLORIDA

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

ONSITE SEWAGE DISPOSAL SYSTEM

APPLICATION FOR CONSTRUCTION PERMIT

Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # DATE PAID S
FEE PAID S
RECEIPT # CR #

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HRS-H Form 4015 March 1992 (Obsoletes Previous Editions Which May Not Be Used)

Print

### Columbia County Property Appraiser

DB Last Updated: 3/29/2010

Parcel: 26-4S-17-08747-010

<< Next Lower Parcel Next Higher Parcel >>

### **Owner & Property Info**

Owner's Name	HUBBARD WILLIAM A II					
Mailing Address	1232 SE PEACOCK TERRACE LAKE CITY, FL 32025					
Site Address	1232 SE PEAC	1232 SE PEACOCK TER				
Use Desc. (code)	MOBILE HOM	(000200)				
Tax District	3 (County)	Neighborhood	26417			
Land Area	6.010 ACRES	Market Area	02			
Description		NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.				
COMM SWICOR OF	NETW OF SWAW D	E1/4 OF SW1/4 PLIN N 1174 84 ET FOR DOR CONT N				

COMM SW COR OF NE1/4 OF SW1/4, RUN N 1174.84 FT FOR POB, CONT N 158.40 FT, E 275 FT, S 158.4 FT, W 275 FT TO POB. ORB 328-380, DC 748-2146, 748-2147, 808-2525, 854-226, & BEG AT NE COR OF NW1/4 OF SW1/4, RUN W 631.19 FT, SOUTH 322.46 FT, N 193.16 FT, CONT E 257.43 FT, CONT E 456.73 FT, N 30.05 FT, W 274.97 FT, NORTH 309.85 FT TO POB AKA E'RLY PART OF PRCL "E" DEER HILLS S/D UNREC ORB 951-1396, WD ...more>>>

### 2009 Tax Roll Year

Tax Collector Tax Estimator Property Card

Parcel List Generator

Interactive GIS Map

<< Prev Search Result: 7 of 7



### **Property & Assessment Values**

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$55,886.00
Ag Land Value	cnt: (3)	\$0.00
Building Value	cnt: (1)	\$9,266.00
XFOB Value	cnt: (2)	\$1,300.00
Total Appraised Value		\$66,452.00
Just Value		\$66,452.00
Class Value		\$0.00
Assessed Value		\$66,452.00
Exempt Value	(code: HX)	\$41,452.00
Total Taxable Value	Other	Cnty: \$25,000 : \$25,000   Schl: \$41,452

2010 Working Values

### NOTE:

2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

**Show Working Values** 

### Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
10/24/2003	998854/913	WD	V	U	01	\$27,500.00
12/16/1997	854/226	WD	٧	U	01	\$0.00
8/3/1995	808/2525	WD	I	Q		\$12,000.00

### **Building Characteristics**

Bldg Item	Bldg Desc	Year Bit	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1995	AL SIDING (26)	560	560	\$8,505.00
	Note: All S.F. calculation	ns are base	ed on exterior bu	ilding dimensio	ns.	

### **Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
		$\neg$				

	a many sec
5	astagra Construction, Inc.  astagra Construction, Inc.  astagram and only pr  astagram astagram as a second of the second on the second of the second on the second of the second on the
Pe	rnst 2010120C6104 Date 4/19/2010 Time 1.51 PM  rmit No
	NOTICE OF COMMENCEMENT FS 713.13
	ate of Florida,
	ounty of <u>Columbia</u>
GII	LE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, d in accordance with Chapter 713, Florida Statutes, the following information is provided in this
140	ace of Confinencement.
1.	Legal description of property and street address if available: PArcel # 26-17-08747-010
Ge	neral description of improvement: new home
2	Owner Information: Name and address:
	- William Mulabourd A. II
	1232 SE PEACOCH TEIL Lake City PI 32025
	b. Interest in property: 100%  c. Name and address of fee simple titleholder (if other than Owner)
3	S21 NW DID MAIL DY Late City El 22055
	Phone number 8 to - 755-6867 Fax number (optional, if service by fax is acceptable)
4	Surety: Name and address N/A
	Phone number N/A Fax number (optional, if service by fax is acceptable)
	Amount of Bond \$ N/A
	Lender: Name and address N/A
•	Phone number N/A Fax number (optional, if service by fax is acceptable) N/A
5.	Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: (name and address):
	Phone numbers of designated persons
	Fax number (optional, if service by fax is acceptable)
6	In addition to himself or herself Owner designates
	to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
	Phone number of person or entity designated by owner
7	number (optional, if service by fax is acceptable)
	Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified)
	WRL
	Signature of Owner
	STATE OF FLORIDA
	COUNTY OF Columbia
	Sworn to (or affirmed) and subscribed before me this day of 2000
	or who has produced
	and who did or did not take an oath.
	Moran Bublic (Signatural No.

Notary Public (Signature

### SUBCONTRACTOR VERIFICATION FORM

CONTRACTOR

JERRY Castonia

PHONE 755-6867

### THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is <u>REQUIRED</u> that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name	Signature
CONTRACTOR OF THE STATE OF THE	License #:	Phone #:
MECHANICAL/	Print Name	Signature
A/C	License #:	Phone #:
PLUMBING/	Print Name	Signature
GAS	License #:	Phone #:
ROOFING	Print Name CASTAGNA Cons INC License #: CBC 47842	Signature Coustagn
٧	License #: CBC 47842	RAGINE #: 381 - 255-6867
SHEET METAL	Print Name	Signature
	License #:	Phone #:
FIRE SYSTEM/	Print Name	Signature
SPRINKLER	License#:	Phone #:
SOLAR	Print Name	Signature
	License #:	Phone #:
Specialty L	icense License Number Sub-Contractors P	rinted Name Sub-Contractors Signature

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	CBC 47842	KNU 7	71
CONCRETE FINISHER		, x /	/
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INSULATION		\" \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	
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CERAMIC TILE	)		
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR	N/A.	V	1/

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Apr 06 10 06:28a

Jarry Castagna

3687558887

SUBCONTRACTOR VERIFICATIO	AN PE	SEN.
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APPLICATION NUM	MBCD .	CONTRACTOR	PHONE	
ALLEGO HON HON	THIS POR	M MUST BE SUBMITTED PRIOR TO THE WES	MANCE OF A PERMIT	
records of the : Ordinance E9-4 exemption, get	subcontractors who ac 5, a contractor shell req neral liability insurance	ually did the trade specific work uni- pire all subcontractors to provide or and a valid Certificate of Competent		z .
Any chenges, I	the permitted contract	r is responsible for the corrected fo	rm being submitted to this office prior to the	35
start of that su	absontractor beginning	any work. Violetiens will result in a	top work givers prod/or fines.	THE DAN
ELECTRICAL	Print Name CARC	un electoic signat	STO Charles Wille	Chetham ShaHo
0 433		02840 DAVID H. CHEATH	Med Prone 1- 386 - 752-5488	
	CHALLO	HEATING & AIR, INC. SIGNAL	waster DEtates	ShaHO
MECHANICALI A/C D	License #: CACOS		Phone #: 356-496-8224	
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METAL BLOG E			Every employer shall, as a condition to	~

compensation for its employees under this chapter as provided in ss. 440. 10 and 440.38, and shall be presented each

time the employer applies for a building permit.

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Apr 06 10 08:298

Jerry Castegna

388755B887

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APPUCATION NO		_ · i	CONTRACTOR		PHONE	
		THIS PORM MUST			MANCE OF A PERMIT	
Ordinance 89 exemption, gr	e subcontractors  -6, a contractor s  eneral liability ins  the permitted on	half require of urance and a v intractor is res	o the trade spec subcontractors t alid Certificate o monsible for the	ific work und o provide ex f Competent	hilted site. It is <u>REQUIRED</u> that ler the permit. Per Florida Stats Idence of workers' compensati by Reense in Columbia County. I'm heliog submitted to this offi	te 440 and on or
Start of that s	Print Name	hinking any we	wk. Violations w	ill result in s	top work orders and/or fines.	<del></del>
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	And in case of the last of the	<u>0051875</u>	Plumbin		Phone #: 386-496-8	
GAST K795		< 14272	Annual Contract of the Party of	Signatu	Phone N: 386-757-4	716
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SHEET METAL	Print Name License #:			Signatur	Phone #:	
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### FORM 600B-01

### FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION Residential Component Prescriptive Method B

NORTH 123

Compliance with Method B Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600B for single and multifamily residences of 3 stories of less in height, and additions to existing residential buildings. To comply, a building must meet or exceed all of the energy efficiency prescriptives in any one of the prescriptive component packages and comply with the prescriptive measures listed in Table 68-1 of this form. An alternative method is provided for additions of 600 square feet or less by use of Form 600C. If a building does not comply with this method, it may still comply under other sections in Chapter 6 of the Code.

P	ROJECT NAME:	141111 20	-/		not compry with the	is method, it may still	comply under other section	ons in Chapter 6	i of the Code
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		LAKE COTO	PRACOCK TE	PERMITTIN OFFICE:	Cow	1.0	CLIMATE ZONE: 1		7.
0	WNER: WILL	100 11 11		PERMIT NO.		8550	JURISDICTION NO.:		3
GEN	ERAL DIRECTIONS	19m Hubby	and A IL			8000	CONTROL TO THE TABLE	125	000
1. No 2. Ch 3. Fil 4. Co 5. Re	ew construction including add noose one of the component, I in all the applicable spaces of complete page 1 based on the lead "Minimum Requirements	litions which incorporates any of the foll packages "A" through "E" from Table 68 of the "To Be Installed" column on Table "To Be Installed" column information. for All Packages", Table 68-2 and checured By" certification statement at the bo	e 6B-1 with the information reques ck each box to indicate your intent	sted. All "To Be install	the column of the ed" values must b	package you have cho e equal to or more effic			al roof glass.
1.	Compliance r	package chosen (A-	E\ .			P	lease Print		СК
2.		ction or addition	r)		1.	_8_	_		
3.					2.	NEL			
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4.		-No. of units cover	ed by this submi:	ssion	4.	N/4	<u> </u>		
5.		t case? (yes / no)			5.	no.	_		
6.		floor area (sq. ft.)			6.	1334			
7.		eave overhang (ft.)			7.	2-0			
8.						Single Pane			
	a. Clear	200 P. C.			8a		sq. ft. 14/	sq. ft.	
_		lm or solar screen			8b		sq. ft	sq. ft.	
		f glass to floor area			9		%	Control for	
10.		ea or perimeter, and	i insulation:						
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			nsulation R-value)		11b-2			sq. ft.	-
12.		area and insulation:						· 4	
		attic (Insulation R-val			12a.	R= 30	1334	sa. ft	
		assembly (Insulation			12b.		IA.		
13.	Air Distributio	n System: Duct inst	ulation, location		13.	R= /a		04. 11.	
-	Test repor	t (attach if required)			14a.	Type: F	BE 96455		
14.	Cooling syste	m					12.00		
	(Types: centra	al, room unit, package term	ninal A.C., gas, none)			Capacity:		215	
15.	Heating system	m:	38				ERT Pun		
	(Types: heat pump,	elec. strip, nat. gas, L.P. g	as, gas h.p., room or P	TAC, none)	1000000	HSPF/COP/		-	
212	grap sit at 4				15c.	Capacity:	409AL		
16.	Hot water syst	em:			and the state of t	Type:	Transfer of the second		
	(Types: elec., nat. (	gas, L.P. gas, solar, heat re	ec., ded. heat pump, of	ther, none)			88	_	
10-	cabu cadil.		Contract Contract						
Flor	nda Energy Gode	and specifications covered by the	e calculation are in compliand	e with the th	eview of plans a e Florida Energy	nd specifications co	vered by this calculation truction is completed, thi	indicates com	ipliance with
PRE	PARED BY:	Carlos	DATE: 4-2	7-10 "	r compliance in	accordance with Se	ction 553 908, F.S.	a Juliang will b	æ inspected

DATE:

OWNER AGENT:

### SUBCONTRACTOR VERIFICATION FORM

#	2050
APPLICATION NUMBER	2020

CONTRACTOR CASTAGN & CONS. PHONE 386. 755-686)

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMI

In Columbia County one permit will cover all trades doing work at the permitted site. It is <u>REQUIRED</u> that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name	Signature
	License #:	Phone #:
MECHANICAL/	Print Name	Signature
A/C	License #:	Phone #: /
PLUMBING/	Print Name C. L. BOYETTE JA.	Signature C-1 Bartt On Phone #: 852-0774
GAS	Print Name C. L. BoyETTE Jr. License #: CFCoZ1540	Phone #: 252-0776
ROOFING	Print Name	Signature
	License #:	Phone #:
SHEET METAL	Print Name	Signature
	License #:	Phone #:
FIRE SYSTEM/	Print Name	Signature
SPRINKLER	License#:	Phone #:
SOLAR	Print Name	Signature
	License #:	Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			<del></del>
INSULATION			
STUCCO			
DRYWALL			<del>V) -11</del> 10
PLASTER			y 11 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
CABINET INSTALLER			
PAINTING	•		
ACOUSTICAL CEILING		,	
GLASS			
CERAMIC TILE			Market Control of the
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

mast-

### PRODUCT PERFORMANCE DATA

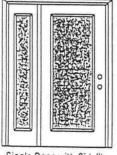
HURRICANE CODE

### WOOD-EDGE STEEL DOOR IN WOOD FRAME

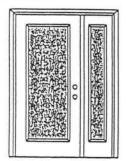
PRODUCT CERTIFICATION SHEET 01-0314.29 (DADE- OUTSWING)

Valid for the following side-hinged door arrangements (Sheet 1 of 2):

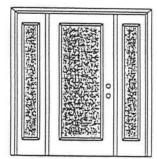
### GLAZED DOORS - 6'8" NOMINAL HEIGHT:



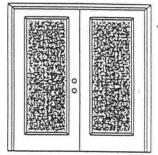
Single Door with Sidelite on Hinge side



Single Door with Sidelite on Strike side

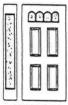


Single Door with 2 Sidelites



Double Doors

### DOOR STYLES - 1/4 GLASS:



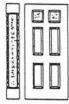
100 Series



133, 135 Series



136 Series



680 Series



822 Serie

### 1/2 GLASS:



105 Series



106, 160 Series



129 Series



200 Series



12 R/L, 23 R/L, 24 R/L Series



107 Serie



108 Series



304 Series

MULTI\_WE\_STL\_WD\_GLZ-1

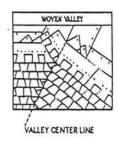


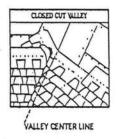


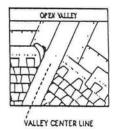
● VALLEY CONSTRUCTION OPTION (California Open and California Cosed are also acceptable) NOTE: for complete ARMA velley installation details, see ARMA Residential Asphait Rooting Manual

ELK STARTER STRIP E is Starter Tark technical par

DRIP EDGE







### DIRECTIONS FOR APPLICATION

four off 187

These application instructions are the minimum required to meet filth application requirements four lattire to follow these instructions have you'dly the product warrany, in some eves, the building codes may require additional application techniques or methods beyond our instructions. In these cases, the local code must be followed. Under no circumstances will filt appeal application requirements that are less than those protections that the Surplus should not be Janmed Uprity together. All attics should be properly ventilated. Note: it is not necessary to remove tape on back of shripte.

### O DECK PREPARATION

Roof decits should be dry, well-seasoned 1's 8' boards or exterior grade plywood minimum 1/8" blick and conform to the specification of the American Phywood Association or 1/1/8' oriented strandboard or 1/1/8' chipboard.

### O UNDERLAYMENT

9 UNDERLAYMENT Apply undersyment (Non-Perforshed No. 15 or 35 asphalt searched feld). Cover drip edge at serves only. For low slope (D/12 up to 4/12), compleady cover the deck with two place of underlayment oversipping a reinform of 1%. Begin by lessaning a 1% wide strop of underlayment placed along the serve. Place a 3 kill 3% wide shear over the starte, hortschaltly placed along the serves and completely overlapping the starter strip.

EAVE FLASHING FOR ICE DAMS (ASK A ROOFING CONTRACTOR REFER TO ARMA MANUAL OR CHECK LOCAL COOES)

For standard slope (V12 to less than 2V12), use coated reli roofing of no less than 30 pounds over the lest undertayment extending from the save edge to a point at least 27 beyond the inside well of the living space below or one layer of a self-acher ed save and fashing trembrane.

for low slope (2/12 up to 1/12), use a continuous layer of asphalt plastic cament between the two piles of underlayment from the aware actor up roof to a point at least 27 beyond the inside wait of the living typical below or one layer of a self-active at are and flashing frembrane.

consult the Ells Field Service Department for application specifications over other decks and other slopes.

### O STARTER SHINGLE COURSE

USEAN CLY STARTER STEIP OR A STRIP SHINGLE INVERTED WITH THE FACULP APPLIED AT THE EAVE EDGE. With at least of thirmed from the end of the first shiple, start at the rate adopt overtainging the save I/I? to Vi<sup>e</sup>, Easten I' from the lower edge and 1' from each side. Shingles may be applied with a course slignment of (5' on the root.)

### O FRST COURSE

Start at rate and continue course with full shingles laid flush with the starter course.

### O SECOND COURSE

Size at the rake with the shingle having 10" planned oil and continue across roof with hill shingles.

### THERD COURSE

Sian at the raise with the shingle having 20' trimmed oil and continue across roof with full shingles.

### FOURTH COURSE

Start at the rake and continue with full shingles across roof. FUTH AND SUCCEEDING COURSES.

Repeat application as shown for second, third, and fourth courses to not ject shingles straight up the roof.

### O VALLEY CONSTRUCTION

Open, wowen and closed cut valleys are acceptable when applied by Aspheit Rooming Majurializating Association (ARMA) recommended procedures for metal velopit, use 3T wide vertical undersyment prior to applying 12T metal fushing (secure edge with paids). No neate are to be within 17 or valley cancer.

### PROGE CONSTRUCTION

For ridge construction use Class "A" Seal-A-Ridge" with formula //LL" (See ridge package for installation instructions) FASTENERS

FASTENEES While railing is the preferred method for Ets shingles. Ets will second statering methods according to the belowing instructions. Always half or staple through the bestener like or on products without lessance likes, half or staple between and in line with restand due.

sealer dots.

AULS: Corrollve resistant. 3/8" head, minimum 12-quipe roofing nalls. Lit recommends 1-1/4" for new roofs and 1-1/2" for roof-overs, in cases where you are applying shingles to a roof that has an exposed ownering for new roofs only. 3/4" rig shank nalls are allowed to be used from the save's edge to a point up the roof that has past the caside wall lim. 1" ring shank nalls allowed for re-roof.

STAPLES: Corrollve resistant. 16-puipe minimum, or own width minimum of 15/18". Note: An improperly adjusted staple gan can result in railsed staples that can calse a flish-microlled appearance and can prevent sealing.

Fasteries should be long enough to obtain 3/4" deck neperation.

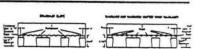
Fasteners should be long enough to obtain Vf deck penetration or penetration through deck, whichever is less.

### MANSARD APPLICATIONS

Correct listering is critical to the performance of the roof. For stopes suspecting for for 2VIII) the six listeners per stringle. Including suspecting for for 2VIII) the six listeners per 1V for each side edge with the remaining four listeners equally spaced along the tength of the ducible thickness lightwisted area. Only listening methods according to the above instructions are acceptable.

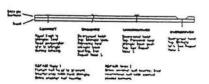
### LIMITED WAND WARRANTY

- for a Limit ad Wind Warraney, all Prestique and Raised Profile\* shingles must be applied with 4 properly placed fasteners, or in the case of maneard applications, 8 properly placed fasteners per shingles.
- per shroke. For a United Wind Warrany up to 110 MPH for Prestique Callery Collection or Prestique Plus or 80 MPH for Prestique Labory Collection or Prestique 1, shrokes what he applied with a properly placed MALS per shroke. SHINGES MPH EDWITH STAPLES WILL NOT CALLIFY FOR THIS ENHANCED UMITED WHIND WARRANTY. Misc. Its Stares Supplied Shrokes For Shrokes Plus, Prestique Callery Alsa Ett Stares Supplied Shrokes Plus, Prestique Callery Collection and Prestique I wholes for With senanced Umited Wind Warranny, Under no offermatances should the Ett Shrokes or be Its Start Strip overhang the saves or rate edge store than 34 of an inch.



### HELP STOP BLOW-OFFS AND CALL-BACKS

A minimum of lour fasteners must be driven into the DOUBLE THICKNESS (laminated) area of the shingle. Nails or stagles must be placed along—a not through—the fastener the 'or on products without fastener lines, nail or staple between and in line with sealant douts. CAUTION: Do not use lastener line for shingle slignment.



Rafer to local codes which in some areas arey require specific application techniques beyond those fit has specified. At Prestique and Raised Profile shingles have a ULL® Wind Rasistance Rating when applied in accordance with these instructions using nails of staples on re-month as well as new construction.

CAUTION TO WHOLESALER: Caroless and improof storage or handling can harm fibergless shingles. Keep these shingles completely bovered, dry, passonably cool, and protected from the weather. Do not store near various sources of heat to not store in direct sunfight until applied. Do NOT DOUBLE STACK, Systematically rotate all stock so that the majorial that has been stored the longest will be the first to be moved out.

### © 2007 Elk Corporation of Dallas.

All Valuerants 9, are any is area transments of Th. Carporation of Datas, as BLOOK company, Reliand Product, Religion Castle, Cathory Collection and FLS are transment pending registration of Th. Carporation of Datas, LL, is a registered Valuerant of Undermitted Laboration Laborations, of Undermitted Laboration Laborations, and Castle, Castl





### COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

### ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ------ 100 MPH ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -------110 MPH NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	5 2 3 3 6	Box sha Circled as Applicable	<b>3</b>
		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	1		T
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	-		

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land		
5	Dimensions of all building set backs	-	_
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	-	
7	Provide a full legal description of property.	~	_

Items to Include-

### Wind-load Engineering Summary, calculations and any details required

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL.	Each I	Items to Includ Each Box shall Circled as Applicable	
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIIII	IIIII	IIIIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	1/		T
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)			
11	Wind importance factor and nature of occupancy			1
12	The applicable internal pressure coefficient, Components and Cladding			-
13	The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component, cladding materials not specifally designed by the registered design professional.			

### **Elevations Drawing including:**

14	All side views of the structure	T
15	Roof pitch	
16	Overhang dimensions and detail with attic ventilation	+
17	Location, size and height above roof of chimneys	+
18	Location and size of skylights with Florida Product Approval	+
18	Number of stories	_
20A	Building height from the established grade to the roofs highest peak	 

### Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	2	
21	Raised floor surfaces located more than 30 inches above the floor or grade		+
22	All exterior and interior shear walls indicated	~	
23	Shear wall opening shown (Windows, Doors and Garage doors)	-	_
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	~	+
25	Safety glazing of glass where needed		_
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)	1/14.	
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)	N/A	
28	Identify accessibility of bathroom (see FBCR SECTION 322)	~	+

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

### GENERAL REQUIREMENTS: Items to Include-APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL Each Box shall be Circled as Applicable FBCR 403: Foundation Plans YES NO N/A 29 Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing. 30 All posts and/or column footing including size and reinforcing 31 Any special support required by soil analysis such as piling. 32 Assumed load-bearing valve of soil Pound Per Square Foot 33 Location of horizontal and vertical steel, for foundation or walls (include # size and type) FBCR 506: CONCRETE SLAB ON GRADE 34 Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed) 35 Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports FBCR 320: PROTECTION AGAINST TERMITES Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls) Show all materials making up walls, wall height, and Block size, mortar type 38 Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect Floor Framing System: First and/or second story Floor truss package shall including layout and details, signed and sealed by Florida Registered 39 Professional Engineer Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or priers 41 Girder type, size and spacing to load bearing walls, stem wall and/or priers 42 Attachment of joist to girder

Wind load requirements where applicable

Show required under-floor crawl space

46 Show required covering of ventilation opening

45 Show required amount of ventilation opening for under-floor spaces

Show the required access opening to access to under-floor spaces

Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &

48	intermediate of the areas structural panel sheathing		
49	Show Draftstopping, Fire caulking and Fire blocking	~	
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309	V	
51	Provide live and dead load rating of floor framing systems (psf).		

### FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include Each Box shall b Circled as Applicable	
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	/		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	~		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	V		
57	Indicate where pressure treated wood will be placed	V		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	V		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	V		

### **FBCR: ROOF SYSTEMS:**

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	~	
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	~	
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	-	
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	~	
64	Provide dead load rating of trusses	2	

### FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	NA	
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	/1	
67	Valley framing and support details		
68	Provide dead load rating of rafter system	7	

### FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel	
	sheathing, grade, thickness	
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	

### FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	V	
	Submit Florida Product Approval numbers for each component of the roof assembles covering		

### FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		l be
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			
74	Attic space	~		
75	Exterior wall cavity	V		
76	Crawl space	M/A.		

### **HVAC** information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study		
78	Exhaust fans locations in bathrooms		
	Show clothes dryer route and total run of exhaust duct	~	

### Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	
81		

### Private Potable Water

82	Pump motor horse power	7
83	Reservoir pressure tank gallon capacity	
84	Rating of cycle stop valve if used	

### Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	~	
86			
87			
88		~	
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.		

EVIEL

		V.	
90	Appliances and HVAC equipment and disconnects		
91	Arc Fault Circuits (AFCI) in bedrooms		_

<u>Disclosure Statement for Owner Builders</u> If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.

### Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: 32 JA	Items to Include- Each Box shall be
APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Circled as Applicable

THI	E FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS	YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	/		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	V		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	Pomit		
95	City of Lake City A permit showing an approved waste water sewer tap			1
96	Toilet facilities shall be provided for all construction sites			
97	<b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	m/17.		
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established	m/1.		
100	A development permit will also be required. Development permit cost is \$50.00		-	-
101	<b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00).  All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	EXIST	_	
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	~		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

### Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

### Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

### Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

### If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

### New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became nu and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date if issuance of the new permit.

### Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

### The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applican will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

PRO	PRODUCT APPROVAL SPECIFICATION SHEET						
ocation:		Project Name:_	the information and the				
t -t -maroval number(S) (III II	ilding permit on	I number for any of the applicable I	isted products. More information				
	Manufacturer	Product Description	Approval Number(s)				
A. EXTERIOR DOORS							
1. Swinging							
2. Sliding							
3. Sectional							
4. Roll up							
5. Automatic							
6. Other							
B. WINDOWS							
Single hung							
2. Horizontal Slider							
3. Casement							
4. Double Hung							
5. Fixed							
6. Awning							
7. Pass -through							
8. Projected							
9. Mullion							
10. Wind Breaker							
11 Dual Action							
12. Other							
C. PANEL WALL							
1. Siding							
2. Soffits							
3. EIFS		_					
4. Storefronts							
5. Curtain walls							
6. Wall louver							
7. Glass block							
8. Membrane							
9. Greenhouse							
10. Other							
D. ROOFING PRODUCTS							
Asphalt Shingles							
2. Underlayments							
Roofing Fasteners	26						
Non-structural Metal F	(1						
5. Built-Up Roofing							
6. Modified Bitumen							
7. Single Ply Roofing Sys	5						
Roofing Tiles							
Roofing Insulation							
10. Waterproofing							
11. Wood shingles /shak	es						
12. Roofing Slate			200				

	Manufacturer	Product Description	n	Approval Number(s)
ategory/Subcategory (cont.)	Manufacturer	T Tourse		
13. Liquid Applied Roof Sys				
<ol> <li>Cements-Adhesives –</li> <li>Coatings</li> </ol>				
15. Roof Tile Adhesive				
<ol><li>Spray Applied Polyurethane Roof</li></ol>				
17. Other				
. SHUTTERS				
1. Accordion				
2. Bahama				
Storm Panels				
4. Colonial				
5. Roll-up				
6. Equipment				
7. Others				
F. SKYLIGHTS	-			
1. Skylight				
2. Other				
G. STRUCTURAL				
COMPONENTS				
Wood connector/ancho	or			
Truss plates				
3. Engineered lumber				
4. Railing				
<ol><li>Coolers-freezers</li></ol>				
<ol><li>Concrete Admixtures</li></ol>				
7. Material				
8. Insulation Forms				
9. Plastics				
10. Deck-Roof				
11. Wall				
12. Sheds				
13. Other				
H. NEW EXTERIOR				
ENVELOPE PRODUCTS				
1.				-
The products listed below time of inspection of these jobsite; 1) copy of the pro and certified to comply will understand these products.	e products, the duct approval,	2) the performance	characteristics which t acturers installation re	he product was tested quirements.
			Print Name	Date
Contractor or Contractor's Author	orized Agent Signati	ure	Print Name	

Permit # (FOR STAFF USE ONLY)

### **Residential System Sizing Calculation**

### Summary Project Title:

PEACOCK ROAD LAKE CITY, FL Project Title: HUBBARD RESIDENCE

Code Only Professional Version Climate: North

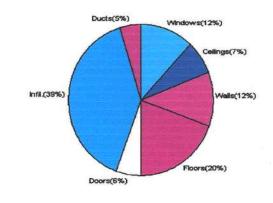
3/31/2010

				3/31/2010	
Location for weather data: Gaines Humidity data: Interior RH (50%)			ed: Latitude(29) Temp Range(M) 78F) Humidity difference(51gr.)		
numicity data. Interior Rn (50%)	Outdoor we	עווט (	ror) Hullially difference(5 igi.)		1/2.50
Winter design temperature	25	F	Summer design temperature	98	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	45	45 F Summer temperature difference		23	F
Total heating load calculation	28077	Btuh	Total cooling load calculation	25212	Btuh
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	99.7	28000	Sensible (SHR = 0.65)	96.2	16250
Heat Pump + Auxiliary(5.0kW)	160.5	45065	Latent	105.1	8750
			Total (Electric Heat Pump)	99.2	25000

### WINTER CALCULATIONS

Winter Heating Load (for 1360 sqft)

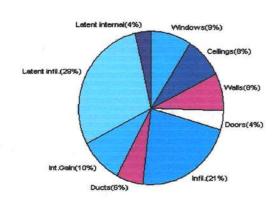
Load component			Load	
Window total	103	sqft	3373	Btuh
Wall total	1017	sqft	3264	Btuh
Door total	85	sqft	1555	Btuh
Ceiling total	1360	sqft	2040	Btuh
Floor total	151	ft	5485	Btuh
Infiltration	223	cfm	11022	Btuh
Subtotal			26740	Btuh
Duct loss			1337	Btuh
TOTAL HEAT LOSS			28077	Btuh



### **SUMMER CALCULATIONS**

Summer Cooling Load (for 1360 sqft)

Load component			Load	
Window total	103	sqft	2357	Btuh
Wall total	1017	sqft	2022	Btuh
Door total	85	sqft	1045	Btuh
Ceiling total	1360	sqft	2121	Btuh
Floor total			0	Btuh
Infiltration	214	cfm	5404	Btuh
Internal gain			2400	Btuh
Subtotal(sensible)			15350	Btuh
Duct gain			1535	Btuh
Total sensible gain			16885	Btuh
Latent gain(infiltration)			7407	Btuh
Latent gain(internal)			920	Btuh
Total latent gain			8327	Btuh
<b>TOTAL HEAT GAIN</b>		- 1	25212	Btuh



EnergyGauge® System Sizing based on ACCA Manual J.

PREPARED BY:

DATE: 31 Annual J.

AP-700 (

EnergyGauge® FLRCPB v3.30

### **System Sizing Calculations - Winter**

### Residential Load - Component Details

PEACOCK ROAD LAKE CITY, FL Project Title: HUBBARD RESIDENCE Code Only Professional Version Climate: North

Reference City: Gainesville (User customized) Winter Temperature Difference: 45.0 F

3/31/2010

Window	Panes/SHGC/Frame/U	Orientation	n Area X	HTM=	Load
1	2, Clear, Metal, DEF	N	45.0	32.6	1467 Btuh
2 2, Clear, Metal, DEF		W	4.3	32.6	140 Btuh
3	2 2, Clear, Metal, DEF 2, Clear, Metal, DEF 4 2, Clear, Metal, DEF		15.0	32.6	489 Btuh
4	2, Clear, Metal, DEF	s	34.9	32.6	1137 Btuh
5	2, Clear, Metal, DEF	N	4.3	32.6	140 Btuh
	Window Total		103		3373 Btuh
Walls	Туре	R-Value	Area X	HTM=	Load
1	Frame - Exterior	13.0	797	3.6	2868 Btuh
2	Frame - Adjacent	13.0	220	1.8	396 Btuh
	Wall Total		1017		3264 Btuh
Doors	Туре		Area X	HTM=	Load
1	Wood - Exter		20	20.7	414 Btuh
2	Wood - Exter		45	20.7	934 Btuh
3	Wood - Adjac		20	10.4	207 Btuh
	Door Total		85		1555Btuh
Ceilings	Туре	R-Value	Area X	HTM=	Load
1	Under Attic	30.0	1360	1.5	2040 Btuh
	Ceiling Total		1360		2040Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Slab-On-Grade Edge Insul	0	150.7 ft(p)	36.4	5485 Btuh
	Floor Total		151		5485 Btuh
Infiltration	Туре	ACH X	<b>Building Volume</b>	CFM=	Load
	Natural	0.40	10879(sqft)	73	3597 Btuh
	Mechanical		127 (7 (f)	150	7425 Btuh
	Infiltration Total			223	11022 Btuh

	Subtotal	26740 Btuh
Totals for Heating	Duct Loss(using duct multiplier of 0.05)	1337 Btuh
	Total Btuh Loss	28077 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(Frame types - metal, wood or insulated metal)

(U - Window U-Factor or 'DEF' for default)

(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )

### **System Sizing Calculations - Summer**

### Residential Load - Component Details Project Title:

PEACOCK ROAD LAKE CITY, FL

**HUBBARD RESIDENCE** 

Code Only **Professional Version** Climate: North

Reference City: Gainesville (User customized)

Summer Temperature Difference: 23.0 F 3/31/2010

	Type Overhang Window Area(sqft) HTM		Load							
Window	Panes/SHGC/U/InSh/ExSh Ornt	Len	Hgt	Gross		Unshaded	Shaded	Unshaded		
1	2, Clear, DEF, B, N N	2	5.33	45.0	0.0	45.0	17	17	765	Btuh
2	2, Clear, DEF, B, N W	2	5.17	4.3	0.0	4.3	17	48	206	Btuh
3	2, Clear, DEF, B, N W	2	12.8	15.0	0.0	15.0	17	48	720	Btuh
4	2, Clear, DEF, B, N S	2	6.58	34.9	34.9	0.0	17	26	593	Btuh
5	2, Clear, DEF, B, N N	2	2.75	4.3	0.0	4.3	17	17	73	Btuh
	Window Total			103					2357	Btuh
Walls	Туре	R-	Value			Area		HTM	Load	
1	Frame - Exterior		13.0		7	796.7		2.1	1705	Btuh
2	Frame - Adjacent		13.0		:	220.0		1.4	317	Btuh
	Wall Total				10	016.7			2022	Btuh
Doors	s Type					Area		НТМ	Load	
1	Wood - Exter				20.0			12.3	246	Btuh
2	Wood - Exter				45.1		12.3	554	Btuh	
3	Wood - Adjac					20.0		12.3	246	Btuh
	Door Total					35.1			1045	Btuh
Ceilings	Type/Color	R-	Value		-	Area		НТМ	Load	
1	Under Attic/Dark		30.0		1	359.9		1.6	2121	Btuh
	Ceiling Total				13	359.9			2121	Btuh
Floors	Туре	R-	Value			Size		HTM	Load	
1	Slab-On-Grade Edge Insulation		0.0		1	50.7 ft(p)		0.0	0	Btuh
	Floor Total				1	50.7			0	Btuh
nfiltration	Туре	A	CH		Vo	lume		CFM=	Load	
	Natural		0.35		1	0879		63.6	1609	Btuh
	Mechanical							150	3795	Btuh
	Infiltration Total							214	5404	Btuh

Internal	Occupants	Btuh/occupant	Appliance	Load	
gain	4	X 300 +	1200	2400 Btuh	

	Subtotal	15350	Btuh
	Duct gain(using duct multiplier of 0.10)	1535	Btuh
	Total sensible gain	16885	Btuh
<b>Totals for Cooling</b>	Latent infiltration gain (for 51 gr. humidity difference)	7407	Btuh
	Latent occupant gain (4 people @ 230 Btuh per person)	920	Btuh
	Latent other gain		Btuh
	TOTAL GAIN	25212	Btuh

### ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1U068228Z0217135524

Truss Fabricator: Anderson Truss Company

Job Identification: 10-057--Fill in later HUBBARD -- , \*\*

Truss Count: 2

Model Code: Florida Building Code 2007 and 2009 Supplement

Truss Criteria: FBC2007Res/TPI-2002(STD)

Engineering Software: Alpine Software, Version 9.02.

Structural Engineer of Record: The identity of the structural EOR did not exist as of

Address: the seal date per section 61G15-31.003(5a) of the FAC

Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration

Floor - N/A

Wind - 110 MPH ASCE 7-05 -Closed

### Notes

 Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1

2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.

3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: BRCLBSUB-A1103005-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	90833-	- A	10076002	03/17/10
2	90834-	-AGE		03/17/10

4)4

Sea! Date: 03/17/2010

-Truss Design Engineer-Doug Fleming Florida License Number: 66648 1950 Marley Drive Haines City, FL 33844



Roof Plane Sheathing Area = 2620 sq. ft
Gable Sheathing Area = 246 sq. ft
Total Sheathing Area = 2865 sq. ft
Fascia Material = 216 linear ft
Ridge Cap Material = 71 linear ft

JERRY CASTAGNA / HUBBARD

- 681 -

PAGE NO: 1 OF 1	JOB NO:	JOB DESCRIPTION:: Fill in later /: HUBBARD	

AGE

30'

30

AGE

PLT TYP. Bottom chord checked for 10.00 psf non-concurrent live load. Roof overhang supports 2.00 psf soffit load. Top chord 2x4 SP #2 Dense Bot chord 2x4 SP #2 Dense Webs 2x4 SP #3 (A) Continuous lateral bracing equally spaced on member. ITW Building Components Group Inc. Haines City, FL 33844 FI COA #0 278 ALPINE Wave 1-6-0 3X6(A1) =R-1431 U-367 W-4" RL-274/-274 \*\*IMPORTANT\*\* TURNISH A CORY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR, BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN, ANY LATLINE TO BUILD THE REFERENCE OF THE STATE DRAHING INDICATES ACCEPTANCE ANY INSPECTION OF PLATES F 6 Design Crit: FBC2007Res/TPI-2002(STD) FT/RT=20%(0%)/0(0) 15-0-0 1.5X4 / 3X5# 5 X 6 ≡ DESIGN SPEC. BY AFAPA) AND IPI. ITM BCG 3 GRADE 40/60 (H. K/H.SS) GALV. SIEEL. APPLY THIS DESIGN, POSITION PER DRAWINGS 160A-Z
OF IPI1-2002 SEC.3. A SEAL ON THIS
WSIBILITY SOLELY FOR THE TRUSS COMPONENT VOR CONTRACTOR. ITH BCG, INC. SHALL NOT BUILD THE TRUSS IN COMPORNANCE WITH TRUSSES. 3 30-0-0 Over 2 Supports 4 X 6 (R) Ⅲ 110 mph wind, 15.72 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, Iw=1.00 GCpi(+/-)=0.18 Deflection meets L/240 live and L/180 total load. Wind reactions based on MWFRS pressures. Truss passed check for 20 psf additional bottom chord live load in areas with  $42^{\circ}$ -high x  $24^{\circ}$ -wide clearance. 9.02.00 COUGNAS! FLE 3 OSIONAL ENGINEE 5 X 6 ≡ CENS 3X5# 1.5X4 W 15-0-0 QTY:33 10 BC LL BC DL TC DL DUR.FAC. TC LL FL/-/4/-TOT.LD. 40.0 20.0 1.25 10.0 /-/R/-24.0" 10.0 PSF 0.0 PSF R-1431 U-367 W-4" 3X6(A1) =PSF PSF 1-6-0 SEQN-DATE HC-ENG DRW HCUSR8228 10076002 REF JREF -Scale = .25"/Ft. R8228- 90833 10068228202 TCE/DF 81075 03/17/10

SPACING

Top chord 2x4 Bot chord 2x4 #2 Dense #2 Dense #3

Top chord 2x4 SP Bot chord 2x4 SP Webs 2x4 SP :Stack Chord SCI 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load

See DWGS All030050109 & GBLLETIN0109 for more requirements

In lieu of structural panels use purlins to brace TC @ 24" OC

Bottom chord checked for 10.00 psf non-concurrent live load

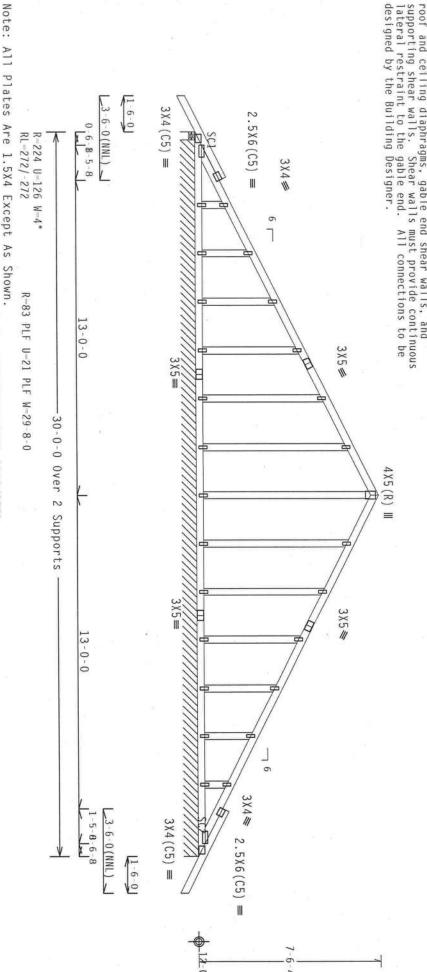
Deflection meets L/240 live and L/180 total load.

lateral restraint to the gable end. designed by the Building Designer. The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. All connections to be

110 mph wind, 15.56 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

propped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord chord in notchable area using 3x6. Stacked top chord must NOT be notched or cut in area Dropped top chord braced at 24" o.c. intervals. Attac interface, plate length perpendicular to chord length. Splice top



PLT TYP.

Wave

TW Building Components Group Inc. Haines City, FL 33844

DRAWING INDICATES
DESIGN SHOWN. TH
BUILDING DESIGNER P

ALPINE

\*\* IMPORTANT \*\* FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION COMPRACION. THE BEGG. INC. STALL NOT BE RESPONSING FOR AND FLATE TO BAY OF THIS DESIGN. AND FLATE TO BRITCH THE BUSS IN COMPRIMED HIS DESIGN. AND FLATE TO BRITCH THE BUSS IN COMPRIMED HIS DESIGN. AND FLATE TO BRITCH THE BUSS IN COMPRIMED HIS DESIGN. BUSS IN COMPRIMED HIS DESIGN. BUSS IN COMPRIMED HIS DESIGN. BUSS IN ADD FL. ITH BUSS IN COMPRIMED HIS DESIGN. BUSS IN THE BUSS IN THE

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PSF

SEQN-HC-ENG

0.0

PSF

1.25 24.0"

SPACING DUR.FAC.

JREF -

10068228202

\*\*WARNING\*\* TRUSSES REQUIRE EXTREME CAME IN FARRICATION, IMADILING, SHIPPING, INSTALLING AND BRACING.

RETER TO BEST (BUILDING COMPONENT SAFLY INFORMATION), PUBLISHED BY FP (TRUSS PLATE INSTITUTE, 218

MORTH LEE SIREE, SHITE 317, ALEXANDRAL, VA, 22314) AND WICA (MODOD INUSS COUNCIL OF AMERICA, 6300

CHIEDRESSE LAME, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING HESE FUNCTIONS. UNLESS

OTHERMISE INDICATED FOR COMED SMALL HAVE PROPERLY ATTACHED STRUCTURAL PAMELS AND BOTTOM CHORD SMALL HAVE
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Design Crit: FBC2007Res/TPI-2002(STD) FT/RT=20%(0%)/0(0)

9.02.00

COUGLASIFIEM

QTY:2

FL/-/4/-

Scale =.25"/Ft. R8228-

CENSE

BC DL BC LL

> 10.0 10.0 20.0

PSF PSF PSF

DRW HCUSR8228 10076003

TCE/DF 81084

DATE REF

03/17/10 90834

TC DL

TC

## CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON A TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

### NOTES:

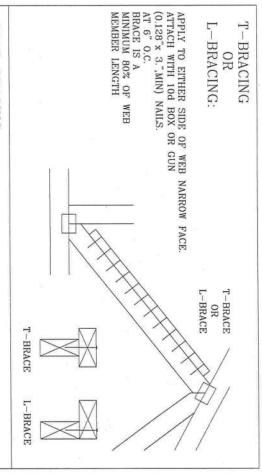
THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE. FOR MINIMUM ALTERNATIVE BRACING. RE-RUN DESIGN WITH APPROPRIATE BRACING.

WEB	ME	WEB MEMBER SIZE	SPEC	BRACING	SPECIFIED CLB BRACING	T OR I		ALTERNA L-BRACE	TIVE	ALTERNATIVE BRACING -BRACE SCAB BRACE	BZ
2X3	OR	2X4	1	ROY	-	200	2X4			1-2X4	×
2X3	OR	2X4	tV)	ROWS	VS		2X6			2-3	×
2004	2X6		_	ROV			2X4			1-2	X
	2X6		N	ROWS	VS.		2X6			2-2X4(x	X
es.	2X8		1	ROI	-		8X6			1-2	BX
	2X8		N	ROWS	VS		2X6			2-2X6(*)	Xe

T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

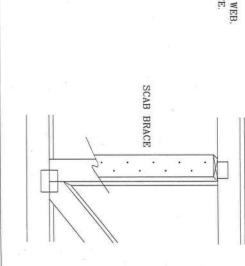
(\*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.



### SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB. NO MORE THAN (1) SCAB PER FACE. ATTACH WITH 10d BOX OR GUN (0.128" x 3.",MIN) NAILS.

AT 6" O.C.
BRACE IS A MINIMUM BOX OF WEB MEMBER LENGTH

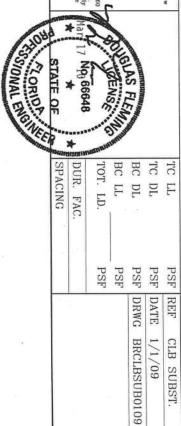


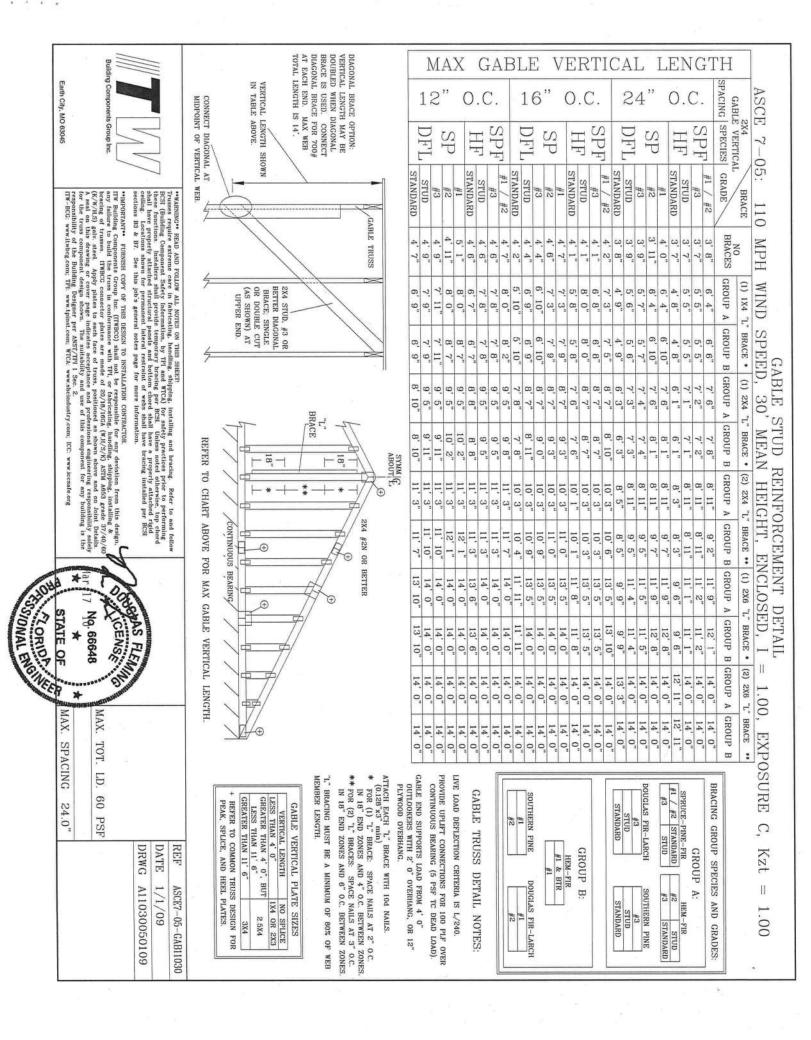


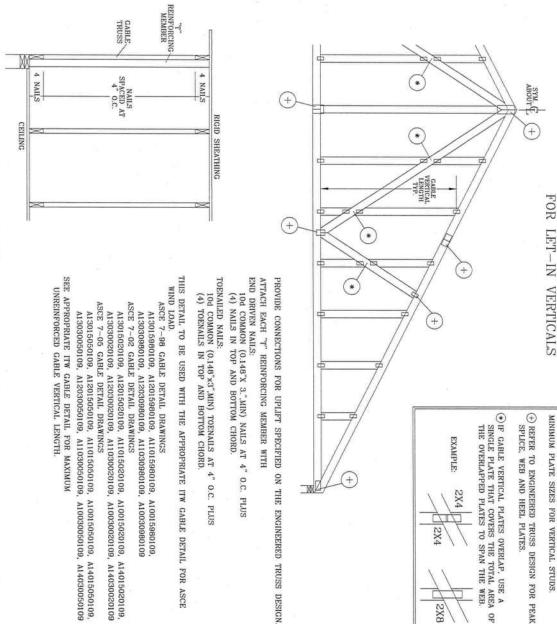
→HUPORTANT→ FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.
ITM Building Components Group Inc. (ITMBCG) shall not be responsible for any deviation from this design, any failure to build the trues in conformance with TFI, or fobricating, handling, shipping, installing & bracing of trusses. ITMBCG connector plates are made of 20/18/160A (H/S/K) ASTM ASS grade 37/40/90 (K/W/H.S) galv. steel. Apply plates to each face of trues, positioned as shown showe and on Joint Datalis. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the trues component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ASST/TFI 1 Sec. 2.

www.itwbcg.com; TPI; www.tpinst.com; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

Earth City, MO 63045







GABLE TRUSS PLATE SIZES

"T" REINFORCEMENT ATTACHMENT DETAIL

REINFORCING

"T" REINFORCING MEMBER

GABLE

DETAIL

REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUDS.

+ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK SPLICE, WEB AND HEEL PLATES

TOENAIL,

OR

ENDNAIL

IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA THE OVERLAPPED PLATES TO SPAN THE WEB.

2X8 TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL)

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS  $14^\circ$  FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

30 FT	90 MPH	15 FT	90 MPH	30 FT	100 MPH	15 FT	100 MPH	30 FT	110 MPH	15 FT	110 MPH	30 FT	120 MPH	15 FT	120 MPH	30 FT	130 MPH	15 FT	130 MPH	30 FT	140 MPH	15 FT	140 MPH	AND MRH
2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2x4	MBR. SIZE
30 %	20 %	20 %	20 %	40 %	2 01	30 %	20 %	50 %	10 %	40 %	10 %	40 %	2 01	50 %	2 01	50 %	2 01	50 %	10 %	50 %	10 %	50 %	10 %	INCREASE

EXAMPLE:

MEAN ROOF HEIGHT = 30 FT, Kzt = 1.00 GABLE VERTICAL = '24" O.C. SP #3 "T" REINFORCING MEMBER SIZE = 2X4 MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH 1.10 x 6' 7" = 7' 3" "T" BRACE INCREASE (FROM ABOVE) = 10%
(1) 2X4 "L" BRACE LENGTH = 6' 7" ASCE WIND SPEED = 100 MPH = 1.10

\* SOUCENS, TENTO STATE OF No. 66648 \*

AX TOT. LD. 60 PSF

> DATE DRWG

GBLLETIN0109 1/1/09 LET-IN VERT

REF

MAX SPACING OUR. FAC. ANY 24.0"

\*\*supportant\*\* publish copy op THS DESIGN 70 INSTALLATION CONTRACTOR.

IT Building Components Group he. (ITREGO) shall not be responsible for any deviation from this distributed by the state of the st ty solely

Earth City, MO 63045

\*\*\*WARNIOS\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET:

Trusses require extreme care in febricating, handling, shipping, installing and bracing. Refer to and follow
RESI (Building Component Safety Information, by IPI and WTCA) for safety preclices prior to performing
these functions installers shall provide temporery bracing per RESI. Unless noted otherwise, too chord
shall have properly attached structural panels and bottom chord shall have a properly attached rigid
colling. Locations abovan for permanent, lateral restraint of webs shall have bracing installed per RESI
sections B3 & B7. See this job's general notes page for more information. A CLORIOP IN



### **COLUMBIA COUNTY, FLORIDA**

and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code. This Certificate of Occupancy is issued to the below named permit holder for the building partment of Building and Zoning Inspection

Parcel Number 26-4S-17-08747-010

Building permit No. 000028550

Use Classification SFD/UTILITY

Fire: 0.00

Permit Holder JERRY CASTAGNA

Owner of Building WILLIAM HUBBARD, II.

Date: 03/23/2011

Location:

1232 SE PEACOCK TERR, LAKE CITY, FL 32025

Waste:

Total:

0.00

**Building Inspector** 

POST IN A CONSPICUOUS PLACE (Business Places Only)

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com) Address:  City Address:  Site Location: Subdivision  Site Location: Subdivision  Block# Address 222  Active Ingredient  I premise  Froduct used  Imidacloprid  Disodium Octaborate Tetrahydrate 23.0%  Type treatment:  Square feet  Area Treated  Area Treated  Square feet  Square feet  I inear feet  Callons Applied  Area Treated  As per Florida Building Code 104.2.6—If soil chemical barrier method for termite prevention is used, final exterior treatment, initial this line  Date  Time  Print Technician's Name  Print Technician's Name  Print Perloridar. Plink  Remarks:  Remarks:  Remarks:  Remarks:  Programment File-Canary  Permit Holder-Pink	White Permit File - Canary Permit Holder - Pinl
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