

**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**

*DA Need New Deed* *act# 19646*

*For Office Use Only* (Revised 7-1-15) Zoning Official *LN* Building Official *MA*

AP# 1807-26 Date Received 7/24 By *SW* Permit # 37080

Flood Zone X Development Permit \_\_\_\_\_ Zoning A3 Land Use Plan Map Category A

Comments Special Family Lot Permit #1819

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FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor 1 above road River \_\_\_\_\_ In Floodway \_\_\_\_\_

☐ Recorded Deed or ☒ Property Appraiser PO ☐ Site Plan ☒ EH # 18-0623-N ☐ Well letter OR

☐ Existing well ☐ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # \_\_\_\_\_ ☐ STUP-MH \_\_\_\_\_ ☒ 911 App

☐ Ellisville Water Sys ☐ Assessment Paid on Property ☐ Out County ☒ In County ☒ Sub VF Form

*03864-002*

Property ID # 18-6S-16-03864-000 Subdivision na Lot# na

- New Mobile Home \_\_\_\_\_ Used Mobile Home X MH Size 26 x 52 Year 1987
- Applicant Dale Burd or Rocky Ford Phone # 386-497-2311
- Address 546 SW Dortch Street, Fort White, FL, 32038
- Name of Property Owner Eugene Viola Phone# 813-918-5727
- 911 Address 927 SW Junction Road, Fort White, 32038
- Circle the correct power company - FL Power & Light - (Clay Electric)  
(Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home Same Phone # Same  
Address 1761 SW Junction Road, Fort White, 32038
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 0
- Lot Size 526 x 100 Total Acreage 1.15
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home No
- Driving Directions to the Property 47 South, TR Elim Church Road, TL Junction Road, 1/2  
mile on left (across from Jensen Road)

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- Name of Licensed Dealer/Installer Ronnie Norris Phone # 386-623-7716
- Installers Address 1004 SW Charles Terr, LC, FL, 32024
- License Number IH-1025145 Installation Decal # 52073

*UH - Sent Dale an email to have the correct address for this parcel #. 7/26/18 UH - Spoke to Dale 7/26/18*

# COLUMBIA COUNTY PERMIT WORKSHEET

These worksheets must be completed and signed by the installer.  
Submit the originals with the packet.

Installer RONNIE WARRIS License # I HHOAS145/L

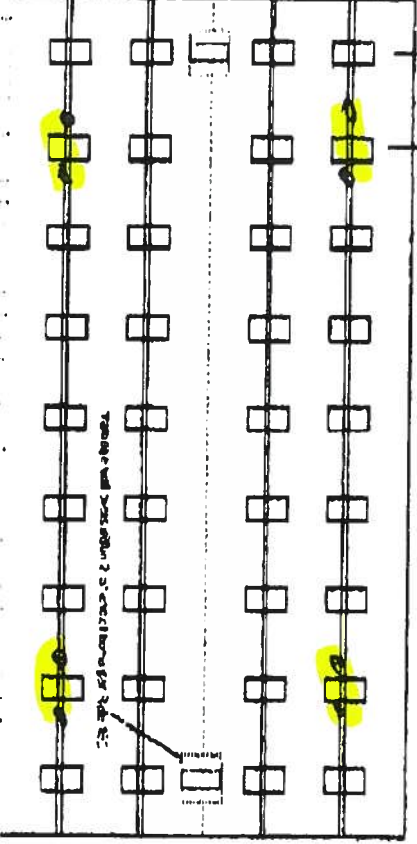
911 Address where home is being installed 1927 SUNDOWN ROAD

Manufacturer FLEXTRAK Length x width 28' x 52'

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home.

Underground Lateral Arm Systems cannot be used on any home (new or septic) where the sidewall has exceed 5 ft 4 in.

Installer's initials: AW



New Home ☐ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒

Double wide ☒ Installation Detail 521673

Triple/Quad ☐ Serial # 3405-11933 A05

PIER SPACING TABLE FOR USED HOMES

Lead bearing capacity (50 ft)	16' x 16" (254)	18' x 12" x 18" (342)	25' x 25" (400)	22' x 22" (404)	24' x 24" (576)	25' x 25" (676)
1000 gsf	3	4	5	6	7	8
1500 gsf	4	5	6	7	8	9
2000 gsf	5	6	7	8	9	10
2500 gsf	6	7	8	9	10	11
3000 gsf	7	8	9	10	11	12
3500 gsf	8	9	10	11	12	13
4000 gsf	9	10	11	12	13	14

Interpolated from Rule 15-C, pier spacing table.

PIER PAD SIZES

Ho-beam pier pad size 17' x 25'

Perimeter pier pad size N/A

Other pier pad sizes (required by the mfg.): 16' x 16'

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 8' Pier pad size 17' x 25'

4' 16' x 16'

4' 16' x 16'

WEDDING COMPONENTS

Longitudinal Stabilizing Device (LSD) Manufacturer Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer

PIER PAD SIZES

Pier Size	Sq. ft.
16' x 16'	256
18' x 18'	324
20' x 20'	400
22' x 22'	484
24' x 24'	576
26' x 26'	676

ANCHORS

6" x 5 ft

FRAMING TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Schedule 14 Number 14

# COLUMBIA COUNTY PERMIT WORKSHEET

Page 2 of 2

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 500 psi or check here to declare 1000 lb. soil without testing.

X 500 X 500 X 500

## POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footings.
3. Using 500 lb. increments, take the lowest reading and round down to final increment.

X 500 X 500 X 500

## TORQUE PROBE TEST

The results of the torque probe test is 285 foot pounds or check here if you are declaring 5 foot pounds without testing. A test should not 275 foot pounds or less and require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the above locations. Underlaid 5 ft. anchors are required at all condenser locations where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4050 ft. loading capacity.

Installers include

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

John Wick

Date Tested

7-24-018

## Electrical

Connect electrical conductors between multi-wide units that roll to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

## Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

## Site Preparation

Debris and organic material removed Yes ☒ No ☐ State PA Pad Yes Other Yes

## Fastening multi-wide units

Floor: Type Fastener: 4x8 length: 6 Spacing: 24"  
Walls: Type Fastener: 4x6 length: 6 Spacing: 24"  
Roof: Type Fastener: 4x6 length: 6 Spacing: 24"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered under the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the center line.

## Gas line installation

I understand a properly installed gasline is a requirement of all new and used homes and that condensation, mold, mildew and buckled trim/wall are a result of a poorly installed or no gasline being installed. I understand a slip of tongue will not serve as a pass.

Installer's initials AW

Type gasline

Yes

Installed:

Between floors Yes

Between walls Yes

Bottom of ridge beam Yes

## Weatherproofing

The bottom board will be replaced and/or taped. Yes ☒ No ☐ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes ☒ No ☐ Pg. \_\_\_\_\_  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒ No ☐ Pg. \_\_\_\_\_

## Disposal

Siding to be installed. Yes ☒ No ☐ N/A  
Crew went outside of siding. Yes ☒ No ☐ N/A  
Removal of debris/waste installed outside of siding. Yes ☒ No ☐ N/A  
Clean lines supported at 4 foot intervals. Yes ☒ No ☐ N/A  
Electrical crossmembers protected. Yes ☒ No ☐ N/A  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

John Wick

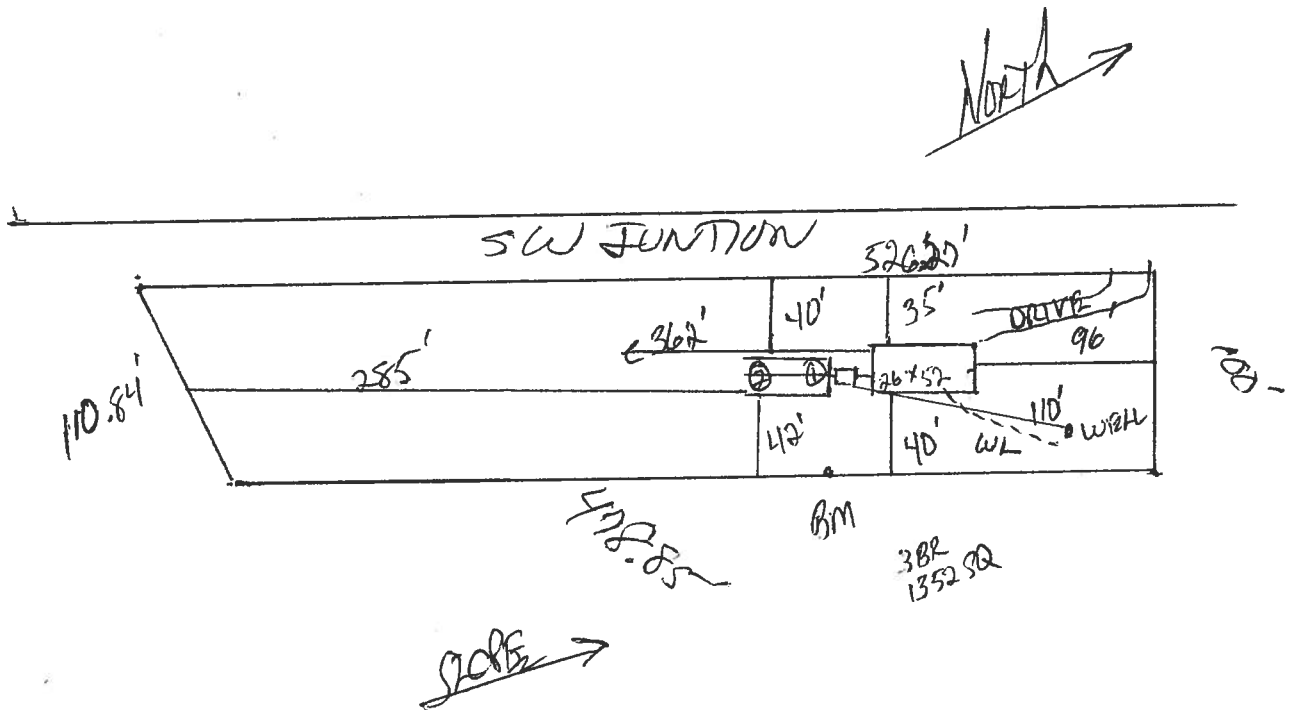
Date 7-24-018

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

----- *Viola* ----- PART II - SITEPLAN -----

Scale: 1 inch = ~~40~~ feet. *100'*



Notes: \_\_\_\_\_

Site Plan submitted by: *Rocky D F*

MASTER CONTRACTOR

Plan Approved \_\_\_\_\_

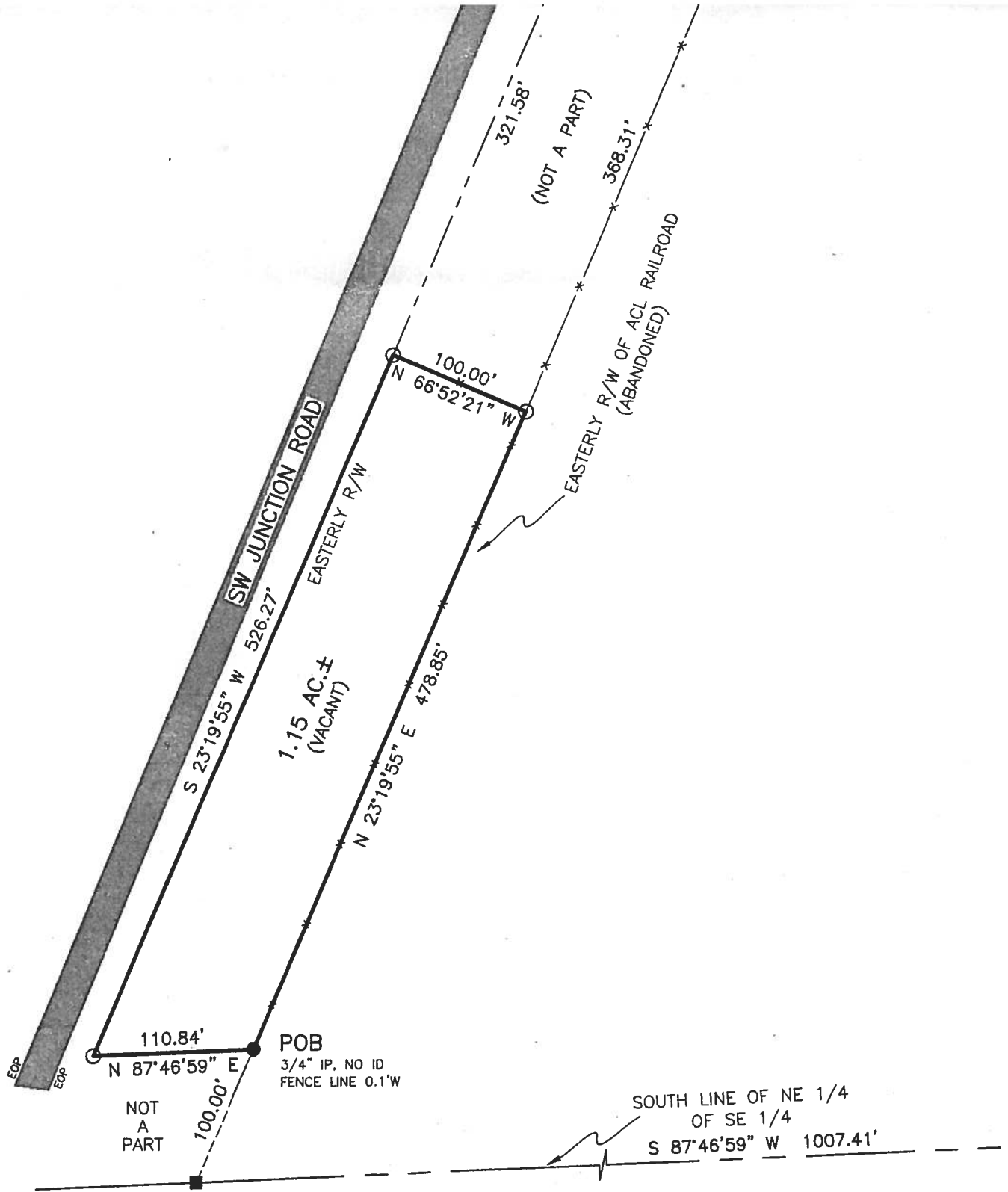
Not Approved \_\_\_\_\_

Date \_\_\_\_\_

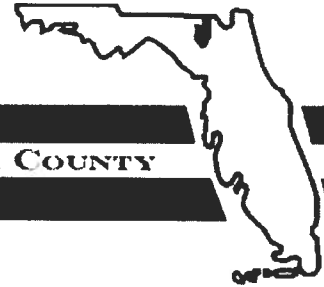
By \_\_\_\_\_

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**



District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Everett Phillips  
District No. 5 - Tim Murphy



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

**Address Assignment and Maintenance Document**

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **7/30/2018 2:55:28 PM**  
Address: **1927 SW JUNCTION Rd**  
City: **FORT WHITE**  
State: **FL**  
Zip Code **32038**

Parcel ID **03864-002**

REMARKS: Address Verification.

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.**

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY  
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125  
Email: [gis@columbiacountyfla.com](mailto:gis@columbiacountyfla.com)

**A & B Well Drilling, Inc.**  
**5673 NW Lake Jeffery Road**  
**Lake City, FL, 32055**  
**(O) 386-758-3409**  
**(F) 386-758-3410**  
**(C) 386-623-3151**

7/6/2018

To: Columbin County Building Department

Description of well to be installed for Customer:

Located at Address: SW Junction Road <sup>Via/A</sup>

1 hp 15 GPM Submersible Pump, 1 ¼" drop pipe, 86 gallon captive tank and back flow prevention, With SRWMD permit.

Bruce Park  
Sincerely  
Bruce Park  
President





COLUMBIA COUNTY BUILDING DEPARTMENT  
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

### LICENSED QUALIFIER AUTHORIZATION

I, Glen Whittington (license holder name), licensed qualifier  
for Whittington Electric Inc (company name), do certify that  
the below referenced person(s) listed on this form is/are contracted/hired by me, the license  
holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an  
officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said  
person(s) is/are under my direct supervision and control and is/are authorized to purchase and  
sign permits; call for inspections and sign subcontractor verification forms on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Dan Burd</u>	1. <u>[Signature]</u>
2. <u>Rocky Ford</u>	2. <u>[Signature]</u>
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done  
under my license and fully responsible for compliance with all Florida Statutes, Codes, and  
Local Ordinances. I understand that the State and County Licensing Boards have the power and  
authority to discipline a license holder for violations committed by him/her, his/her agents,  
officers, or employees and that I have full responsibility for compliance with all statutes, codes  
and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or  
officer(s), you must notify this department in writing of the changes and submit a new letter of  
authorization form, which will supersede all previous lists. Failure to do so may allow  
unauthorized persons to use your name and/or license number to obtain permits.

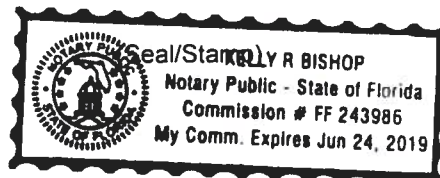
[Signature] License Qualifiers Signature (Notarized) EL13002957 License Number 3/7/16 Date

#### NOTARY INFORMATION:

STATE OF: FL COUNTY OF: Columbia

The above license holder, whose name is Glen Whittington,  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) FL DL on this 7 day of MARCH, 20 16.

[Signature]  
NOTARY'S SIGNATURE





## MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1807-76

CONTRACTOR

RONNIE NORRIS

PHONE

386-623-7716

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

Viola

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

✓ 1074 ELECTRICAL	Print Name <u>Glenn Whittington</u>	Signature <u>[Signature]</u>
	License #: <u>EC13002957</u>	Phone #: <u>386-792-1700</u>
	Qualifier Form Attached <input checked="" type="checkbox"/>	
MECHANICAL/ A/C ✓	Print Name <u>Eugene Viola</u>	Signature <u>[Signature]</u>
	License #: <u>Owner</u>	Phone #: <u>813-918-5727</u>
	Qualifier Form Attached <input type="checkbox"/>	

*Qualifier Forms cannot be submitted for any Specialty License.*

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Revised 10/30/2015

**Columbia County Property Appraiser**

updated: 6/4/2018

**2017 Tax Year****Parcel:** 18-6S-16-03864-000**Owner & Property Info**

Search Result: 1 of 1

Owner's Name	VIOLA EUGENE S		
Mailing Address	1761 SW JUNCTION RD FORT WHITE, FL 32038		
Site Address			
Use Desc. (code)	VACANT (000000)		
Tax District	3 (County)	Neighborhood	18616
Land Area	1.890 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM AT SE COR OF NE1/4 OF SE1/4, RUN W 1007.41 FT TO E R/W OF ACLRR (ADANDONED), NE ALONG R/W 100 FT FOR POB, CONT NE ALONG R/W 847.16 FT, W 110.84 FT TO E R/W OF JUNCTION RD, SW 847.16 FT, E 110.84 TO POB QC 1179-1343, WD 1179-1339 AG 1313-187			

**Property & Assessment Values**

2017 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$3,320.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$3,320.00
<b>Just Value</b>		\$3,320.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$3,320.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$3,320 Other: \$3,320   Schl: \$3,320	

2018 Working Values <span>(...Hide Values)</span>		
<b>Mkt Land Value</b>	cnt: (0)	\$3,652.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$3,652.00
<b>Just Value</b>		\$3,652.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$3,652.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$3,652 Other: \$3,652   Schl: \$3,652	

**NOTE: 2018 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.**

# Mobile Home

# VIOLA

Applicant: DALE BURD (386.497.2311) Application Date: 7/24/2018

Action ▼

## 1. JOB LOCATION

## Completed Inspections

Add Inspection

Release Power

## 2. CONTRACTOR

Schedule Inspection (ScheduleInspection.aspx?Id=39148)

## 3. MOBILE HOME DETAILS

### Inspection

### Date

### By

### Notes

Passed: Mobile  
Home - In County  
Pre-Mobile Home  
before set-up

7/25/2018

TOMMY  
MATTHEWS

## 4. APPLICANT

## 5. REVIEW

The completion date must be set To release Certifications to  
the public.

## 6. FEES/PAYMENT

### Permit Completion Date

(Releases Occupancy and Completion Forms)

## 7.

## DOCUMENTS/REPORTS

## Incomplete Requested Inspections

## 8.

## NOTES/DIRECTIONS

### Inspection

### Date

### By

### Notes

## 9. INSPECTIONS (1)

## **FAMILY RELATIONSHIP AFFIDAVIT**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared, Eugene Scott Viola  
\_\_\_\_\_ the Owner of the parent parcel which has been subdivided for and  
Nicole Viola \_\_\_\_\_, the Immediate Family Member of the Owner, which is  
intended for the Immediate Family Members primary residence use. The Immediate Family  
Member is related to the Owner as Daughter \_\_\_\_\_. Both individuals being  
first duly sworn according to law, depose and say:

1. Affiant acknowledges Immediate Family Member is defined as parent, grandparent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
2. Both the Owner and the Immediate Family Member have personal knowledge of all matters set forth in this Affidavit.
3. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference with the Columbia County Property Appraiser Parent Tract Tax Parcel No. 17-6S-16-03850-007 (HX H3) 18-6S-16-03864-000.
4. The Immediate Family Member holds fee simple title to certain real property divided from the Owners' parent parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel  
No. 03864-002.
5. No person or entity other than the Owner and Immediate Family Member to whom permit is being issued, including persons residing with the family member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for an Immediate Family Member being in compliance with the density requirements of the Columbia County's Comprehensive Plan and Land Development Regulations (LDR's).
7. This Affidavit and Agreement is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

Prepared By: )  
Mr. Eugene Scott Viola )  
1761 SW Junction Rd )  
Fort White, Florida 32038 )

After Recording Return To: )  
Ms. Nicole Viola )  
9410 NW 1st Ave )  
Branford, Florida 32008 )

Inst: 201812015735 Date: 07/30/2018 Time: 11:39 AM  
Page 1 of 3 B: 1365 P: 1670, P. DeWitt Cason, Clerk of Court  
Columbia County, By: KV  
Deputy Clerk Doc Stamp Deed: 0.70

) TAX PARCEL ID #: 18-6S-16-03864-002

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## QUIT CLAIM DEED

**BE IT KNOWN BY ALL**, that Mr. Eugene Scott Viola, ("*Grantor*"), a single male whose address is 1761 SW Junction Rd, Fort White, Florida 32038, **TO** Ms. Nicole Viola ("*Grantee*"), whose address is 9410 NW 1st Ave, Branford, Florida 32008, all right, title, interest and claim to the following real estate property located in the County of Columbia and State of Florida

, to-wit:

COMMENCE AT THE SE CORNER OF THE NE 1/4 OF SE 1/4 OF SECTION 18, TOWNSHIP 6 SOUTH, RANGE 16, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 87°46'59" W, ALONG THE SOUTH LINE OF SAID NE 1/4 OF SE 1/4, 1007.41 FEET TO THE EASTERLY RIGHT OF WAY OF THE ACL RAILROAD (ABANDONED); THENCE N 23°19'55" E, ALONG SAID EASTERLY RIGHT OF WAY, 100.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 23°19'55" E, STILL ALONG SAID EASTERLY RIGHT OF WAY, 478.85 FEET; THENCE N 66°52'21" W, 100.00 FEET TO THE EASTERLY RIGHT OF WAY OF SW JUNCTION ROAD; THENCE S 23°19'55" W, ALONG SAID EASTERLY RIGHT OF WAY, 526.27 FEET; THENCE N 87°46'59" E, 110.84 FEET TO THE POINT OF BEGINNING. CONTAINING 1.15 ACRES, MORE OR LESS.

Parcel# 18-6S-16-03864-002.

**FOR A VALUABLE CONSIDERATION**, in the amount of \$10.00 dollars, given in hand and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged as of 07/29/2018.

**TO HAVE AND TO HOLD** all of Grantor's right, title and interest in and to the above described property unto the said Grantee, Grantee's heirs, administrators, executors, successors and/or assigns forever; so that neither Grantor nor Grantor's heirs, administrators, executors, successors and/or assigns shall have, claim or demand any right or title to the aforesaid property, premises or appurtenances or any party thereof.

STATE OF FLORIDA

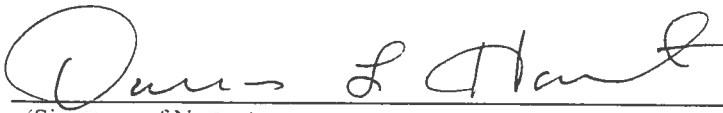
COUNTY OF COLUMBIA

)  
) SS.  
)

The foregoing Quit Claim Deed was acknowledged before me on July 30, 2018 by Mr. Eugene Scott Viola, who personally known to me or who produced a valid driver's license and/or passport as identification, and such individual(s) having executed aforementioned instrument of his/her/their free and voluntary act and deed.

IN WITNESS THEREOF, to this Quit Claim Deed, I set my hand and seal.

Signed, sealed and delivered in the presence of:



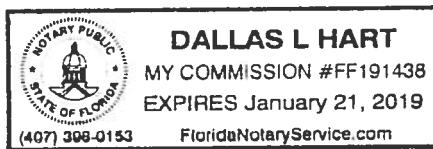
(Signature of Notary)

Dallas L Hart

(Printed Notary Name) Columbia, Florida

My Commission expires:

1 / 21 / 19





Prepared By: )  
Mr. Eugene Scott Viola )  
1761 SW Junction Rd )  
Fort White, Florida 32038 )

After Recording Return To:  
Ms. Nicole Viola )  
9410 NW 1st Ave )  
Branford, Florida 32008 )

Inst: 201812015735 Date: 07/30/2018 Time: 11:39 AM  
Page 1 of 3 B: 1365 P: 1670. P.DeWitt Cason, Clerk of Court  
Columbia County, By: KV  
Deputy Clerk Doc Stamp-Deed: 0.70

) TAX PARCEL ID #: 18-6S-16-03864-002

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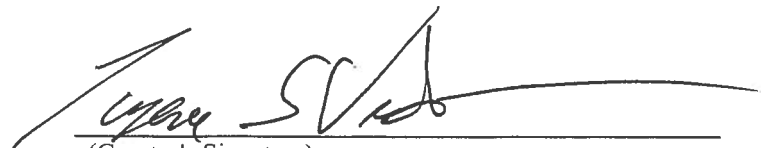
, to-wit:

COMMENCE AT THE SE CORNER OF THE NE 1/4 OF SE 1/4 OF SECTION 18, TOWNSHIP 6 SOUTH, RANGE 16, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 87°46'59" W, ALONG THE SOUTH LINE OF SAID NE 1/4 OF SE 1/4, 1007.41 FEET TO THE EASTERLY RIGHT OF WAY OF THE ACL RAILROAD (ABANDONED); THENCE N 23°19'55" E, ALONG SAID EASTERLY RIGHT OF WAY, 100.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 23°19'55" E, STILL ALONG SAID EASTERLY RIGHT OF WAY, 478.85 FEET; THENCE N 66°52'21" W, 100.00 FEET TO THE EASTERLY RIGHT OF WAY OF SW JUNCTION ROAD; THENCE S 23°19'55" W, ALONG SAID EASTERLY RIGHT OF WAY, 526.27 FEET; THENCE N 87°46'59" E, 110.84 FEET TO THE POINT OF BEGINNING. CONTAINING 1.15 ACRES, MORE OR LESS.

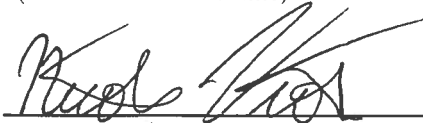
Parcel# 18-6S-16-03864-002.

***FOR A VALUABLE CONSIDERATION***, in the amount of \$10.00 dollars, given in hand and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged as of 07/29/2018.

***TO HAVE AND TO HOLD*** all of Grantor's right, title and interest in and to the above described property unto the said Grantee, Grantee's heirs, administrators, executors, successors and/or assigns forever; so that neither Grantor nor Grantor's heirs, administrators, executors, successors and/or assigns shall have, claim or demand any right or title to the aforesaid property, premises or appurtenances or any party thereof.

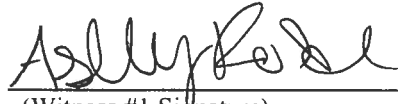
  
(Grantor's Signature)

Mr. Eugene Scott Viola  
(Grantor's Printed Name)

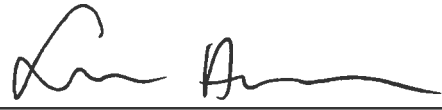
  
(Grantee's Signature)

Ms. Nicole Viola  
(Grantee's Printed Name)

Signed in our presence:

  
(Witness #1 Signature)

Ashly Rose  
(FIRST WITNESS NAME TYPED)

  
(Witness #2 Signature)

Sara Anderson  
(SECOND WITNESS NAME TYPED)

**Grantee's Address:**

Ms. Nicole Viola  
9410 NW 1st Ave  
Branford, Florida 32008

**Mail Subsequent Tax Bills To:**

**Grantor's Address:**

Mr. Eugene Scott Viola  
1761 SW Junction Rd  
Fort White, Florida 32038

STATE OF FLORIDA

COUNTY OF COLUMBIA

)  
) SS.  
)

The foregoing Quit Claim Deed was acknowledged before me on July 30, 2018 by Mr. Eugene Scott Viola, who personally known to me or who produced a valid driver's license and/or passport as identification, and such individual(s) having executed aforementioned instrument of his/her/their free and voluntary act and deed.

IN WITNESS THEREOF, to this Quit Claim Deed, I set my hand and seal.

Signed, sealed and delivered in the presence of:



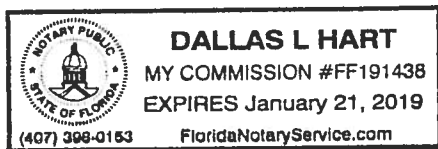
(Signature of Notary)

Dallas L Hart

(Printed Notary Name) Columbia, Florida

My Commission expires:

1/21/19





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-06023  
DATE PAID: 7/6/18  
FEE PAID: 300.00  
RECEIPT #: 1353884

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Eugene Viola

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: 546 SW Dortch Street, FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: na BLOCK: n SUB: Metes & Bounds PLATTED:

PROPERTY ID #: 18-6S-16-03864-000<sup>002</sup> ZONING: I/M OR EQUIVALENT: [ Y ] (N)

PROPERTY SIZE: 1.15 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC [ ] <2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y ] (N) DISTANCE TO SEWER: FT

PROPERTY ADDRESS: 1927 SW Junction Road, FW

DIRECTIONS TO PROPERTY: 47 South, TR Elim Church Road, TL SW Junction, 1/2 mile on left, (across from Jensen Lane)

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
---------	-----------------------	-----------------	--------------------	--

1	SF Residential	3	1352	
2				
3				

Held for parcel id correction,  
rec'd 7/25/18 (E)

☒ Floor/Equipment Drains ☒ Other (Specify)

SIGNATURE: Rocky D

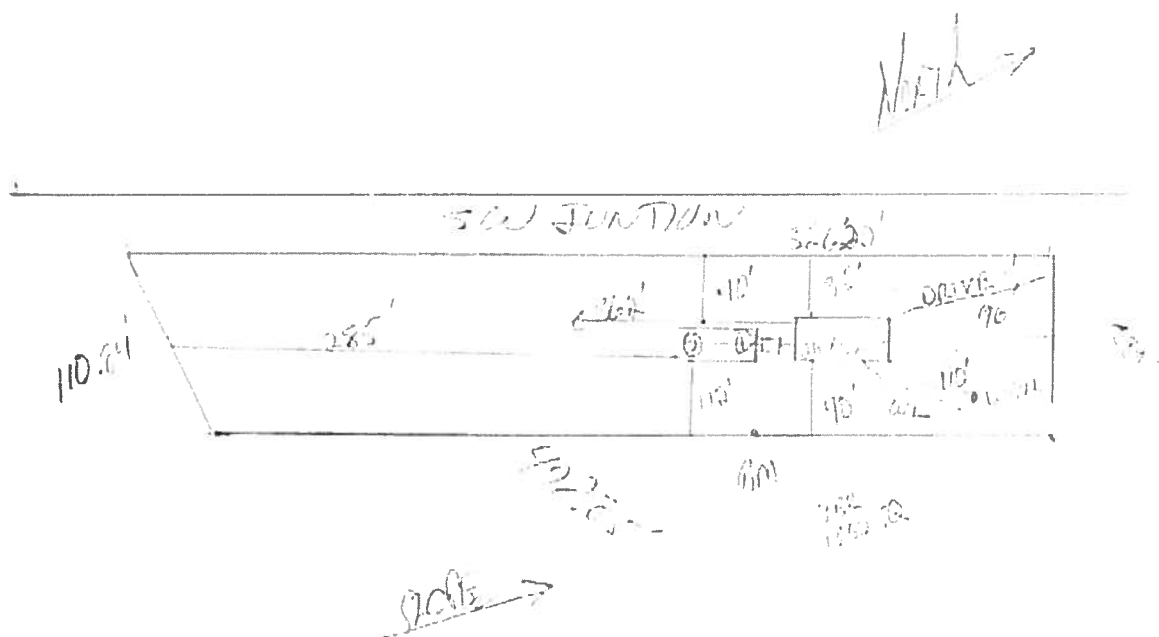
DATE: 7/6/2018

## Permit Application Number

1E-0623-1V

PART II - SITEPLAN

Scale: 1 inch = 40 feet



Notes:

Site Plan submitted by:

Plan Approved

Not Approved

MASTER CONTRACTOR

Date 7/10/18

By \_\_\_\_\_

County Health Department

DH 4015, 08/09 (Obsoletes previous editions which may not be used) Incorporated: 64E-6 001, FAC  
(Stock Number: 5744-002-4015-6)