

DATE 04/11/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000026920

APPLICANT BECKY DUGAN PHONE 752-8653  
ADDRESS P.O.BOX 815 LAKE CITY FL 32056  
OWNER TOMMY & MARY LEE PHONE 752-9622  
ADDRESS 949 NW HORIZON ST LAKE CITY FL 32055  
CONTRACTOR BRYAN ZECHER PHONE 752-8653  
LOCATION OF PROPERTY 90W, TR O BROWN ROAD, TR ON HORIZON DR., 1/2 MILE ON  
RIGHT

TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 8400.00  
HEATED FLOOR AREA 168.00 TOTAL AREA 168.00 HEIGHT        STORIES 1  
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB  
LAND USE & ZONING A-3 MAX. HEIGHT 14  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.                     

PARCEL ID 29-3S-16-02390-026 SUBDIVISION FAIRFIELD HILLS  
LOT 26 BLOCK        PHASE        UNIT 0 TOTAL ACRES 2.47

CBC054575  
Culvert Permit No.        Culvert Waiver        Contractor's License Number        Applicant/Owner/Contractor Becky Dugan  
EXISTING 08-290 BK JH N  
Driveway Connection        Septic Tank Number        LU & Zoning checked by        Approved for Issuance        New Resident       

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

NO IMPACT FEES AS THIS IS AN ADDITION TO EXISTING HOME

Check # or Cash 26323

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power        Foundation        Monolithic         
date/app. by date/app. by date/app. by  
Under slab rough-in plumbing        Slab        Sheathing/Nailing         
date/app. by date/app. by date/app. by  
Framing        Rough-in plumbing above slab and below wood floor         
date/app. by date/app. by  
Electrical rough-in        Heat & Air Duct        Peri. beam (Lintel)         
date/app. by date/app. by date/app. by  
Permanent power        C.O. Final        Culvert         
date/app. by date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing        Pool         
date/app. by date/app. by  
Reconnection        Pump pole        Utility Pole         
date/app. by date/app. by date/app. by  
M/H Pole        Travel Trailer        Re-roof         
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ 0.84 SURCHARGE FEE \$ 0.84  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$         
FLOOD DEVELOPMENT FEE \$        FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$        TOTAL FEE 121.68  
INSPECTORS OFFICE        CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



**Columbia County Building Permit Application**

**For Office Use Only** Application # 0804-04 Date Received 4/2/08 By GF Permit # 26920  
 Zoning Official BLK Date 10.04.08 Flood Zone X FEMA Map # N/A Zoning A-3  
 Land Use A-3 Elevation N/A MFE N/A River N/A Plans Examiner DKJTH Date 4-4-08  
 Comments No Impact Fees Addition to Existing Home  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Authorization from Contractor  
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. \_\_\_\_\_ Fax 758-8920

Name Authorized Person Signing Permit Bryan Zecher / Becky Dwyer Phone 752-8653

Address P.O. Box 815, Lake City, FL 32056

Owners Name Tommy and Mary Lee Phone 752-9622

911 Address 949 NW Horizon St, Lake City, FL 32055

Contractors Name Bryan Zecher Construction, Inc Phone 752-8653

Address P.O. Box 815, Lake City, FL 32056

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Teena Ruffo / Mark Disoway

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 29-35-16-02390-026 Estimated Cost of Construction \$20,000-

Subdivision Name Fairfield Hills Lot 26 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions Take US Hwy 90 West; turn Right onto Brown Road.  
Turn Left onto Horizon St. Job site is about 1 mile on the Right.

Number of Existing Dwellings on Property 1

Construction of addition to existing home Total Acreage 2.47 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14'

Actual Distance of Structure from Property Lines - Front 75 Side 80 Side 80 Rear 540

Number of Stories 1 Heated Floor Area 168 Total Floor Area 168 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

*spoke to Becky 4/10/08*



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**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

*Tommy Lee*  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

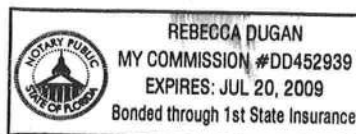
*[Signature]*  
Contractor's Signature (Permittee)

Contractor's License Number CBC054575  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 2<sup>nd</sup> day of April 2008.  
Personally known ☒ or Produced Identification \_\_\_\_\_

*Rebecca Dugan*  
State of Florida Notary Signature (For the Contractor)

SEAL:



# NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 29-35-16-02390-026

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Fairfield Hills S/D Lot 26 / ORB 811-1953-1955, W/D 1131-1143, W/D 1025-1645  
 a) Street (job) Address: 949 NW Horizon St, Lake City, FL 32055
2. General description of improvements: addition to existing home - 168 s.f.
3. Owner Information  
 a) Name and address: Thomas and Mary Lee 949 NW Horizon St, Lake City, FL 32055  
 b) Name and address of fee simple titleholder (if other than owner) \_\_\_\_\_  
 c) Interest in property \_\_\_\_\_
4. Contractor Information  
 a) Name and address: Bryan Zecher Construction, Inc.  
 b) Telephone No.: 752-8653 Fax No. (Opt.): 758-8920
5. Surety Information  
 a) Name and address: N/A  
 b) Amount of Bond: \_\_\_\_\_  
 c) Telephone No.: \_\_\_\_\_
6. Lender  
 a) Name and address: N/A  
 b) Phone No. \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
 a) Name and address: \_\_\_\_\_  
 b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
 a) Name and address: \_\_\_\_\_  
 b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

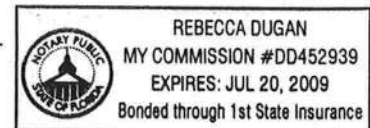
STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Tommy Lee  
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
TOMMY LEE  
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 27th day of March, 2008, by:  
Tommy Lee as owner (type of authority, e.g. officer, trustee, attorney  
 fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature Rebecca Dugan Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Tommy Lee  
 Signature of Natural Person Signing (in line #10 above.)

PROPERTY APPRAISER'S PARCEL  
IDENTIFICATION NUMBER: 29-35-  
GRANTEE'S SOCIAL SECURITY NUMBER:

THIS INSTRUMENT PREPARED BY and RETURN TO:  
Thomas H. Lee  
632 Sweet Breeze Dr. SW  
Lake City FL 32024

**WARRANTY DEED**

**THIS INDENTURE**, made this 18<sup>th</sup> day of September, 2007, by and **BETWEEN**  
**EUGENE E. BRADDY and MARJORIE G. BRADDY, husband and wife**  
of the County of Columbia, State of Florida, Grantor, and  
**THOMAS H. LEE and MARY T. LEE, husband and wife**  
whose post office address is 632 Sweet Breeze Dr. SW, Lake City, FL 32024 Grantee,

(Whenever used herein, the terms "Grantor" and "Grantee" include all parties to this instrument,  
wherever the context so admits or requires)

**WITNESSETH**, That said grantor, for and in consideration of the sum of Love and Affection, and other valuable considerations to said Grantor, in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and the Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 26, FAIRFIELD HILLS, a subdivision according to the plat thereof as recorded in Plat Book 4, Pages 107-107A of the public records of Columbia County, Florida

and the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

**IN WITNESS WHEREOF**, the Grantor has hereunto set their hands and seal the day and year first above written.

Signed, sealed and delivered  
in our presence as witnesses:

Inst:200712021312 Date:9/19/2007 Time:11:40 AM  
Doc Stamp-Deed:1855.00  
DC, P. DeWitt Cason, Columbia County Page 1 of 1

Tera N. Pearson as to both  
Print Name Tera N. Pearson  
Teresa G Phillips  
Print Name Teresa G Phillips  
as to both

Eugene E. Braddy  
EUGENE E. BRADDY

Marjorie G. Braddy  
MARJORIE G. BRADDY

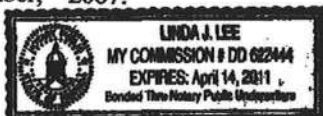
Crista Thomas  
CRISTA THOMAS  
Notary Public, State of Florida  
My comm. expires Feb. 14, 2010  
No. DD 493925  
9/19/07

STATE OF FLORIDA  
COUNTY OF Columbia

I HEREBY CERTIFY that on this day, before me, an officer duly qualified to take acknowledgments, personally appeared **EUGENE E. AND MARJORIE G. BRADDY**, to me known to be the person described in and who executed the foregoing instrument and acknowledged before me the execution of same.

(ID presented) FL DL

WITNESS my hand and official seal in the County and State last aforesaid this 18<sup>th</sup> day of September, 2007.



Linda J. Lee  
Notary Public, State of Florida



>> Print as PDF <<

LOT 26 FAIRFIELD HILLS S/D.  
ORB 811-1953-1955,  
WD 1025-1645, WD 1131-1143

[illegible]

SIZE	O4	IRREGULAR	UD-2	N/A	3	I	3	-----	BLDG	TRAVERSE	-----
CEIL	N/A		UD-3	N/A	3	I	3	-----	W2	N15	W3
ARCH	N/A		UD-4	N/A	3	++	3	-----	W3	N3/	W10
FRME	O2	WOOD	FRAME		3	IBAS2005	3	-----	W5	FSP2005=N2	W20
KTCH	O1		UD-5	N/A	3	++	3	-----	E14	E3	N3/
UD-6			UD-6	N/A	3	I	9	-----	W3	N3/	S3
WINDO	N/A		UD-7	N/A	3	I	3	-----	W10	S14	W3
CLAS	N/A		UD-8	N/A	3	5	3	-----	S2	E19	N9
					3		3	-----	W18	S7	W1
					3		3	-----	E15	E12	FOP2005=
					3		3	-----	S23	E23	N23
					3		3	-----	W23	E25	N19

COND 03 03		N/A		+---12---+---19---+		PERMITS		-----	
SUB	A-AREA	E-AREA	SUB VALUE			3	NUMBER	DESC	AMT ISSUED
BAS05	1889	100	1889	3	123538	3	22380	SFR	546 10/12/2004

UOP05	100	20	20	3	I	3	BOOK	PAGE	DATE	SALE	PRICE
UOP05	100	20	20	3	I	3	BOOK	PAGE <td>DATE</td> <td>SALE</td> <td>PRICE</td>	DATE	SALE	PRICE
FOP05	164	30	49	3	+	3	1131	1143	9/18/2007 Q I		265000
EGR05	529	55	291	3		3	GRANTOR EUGENE & MARJORIE BRADY				
				3		3	GRANTEE THOMAS & MARY LEE				
				3		3	1025	1645	9/09/2004 Q V		44900
				3		3	GRANTOR LITTLE				
				3		3	GRANTEE BRADY				
TOTAL	2875	2355					154015				

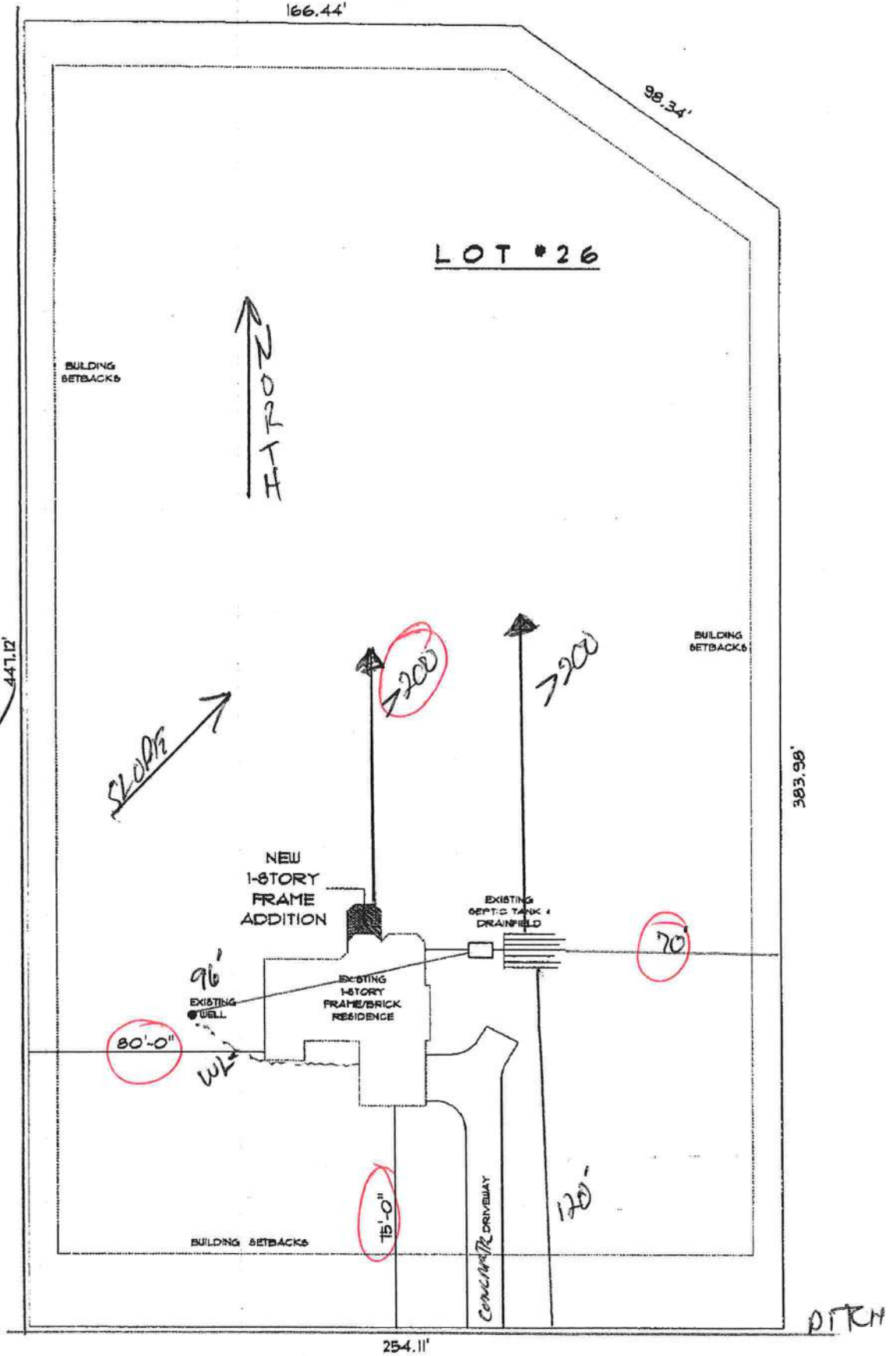
AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
Y		0166	CONC, PAVMT				1		2005	1.00	2394.000	SF	2.000				2.000		100.00		4,788
Y		0294	SHED WOOD/VI	12	24		1		2005	1.00	288.000	SF	7.500				7.500		100.00		2,160

[illegible]

COLUMBIA COUNTY HEALTH DEPARTMENT  
217 N.E. FRANKLIN ST.  
LAKE CITY, FL 32055

08-0290E

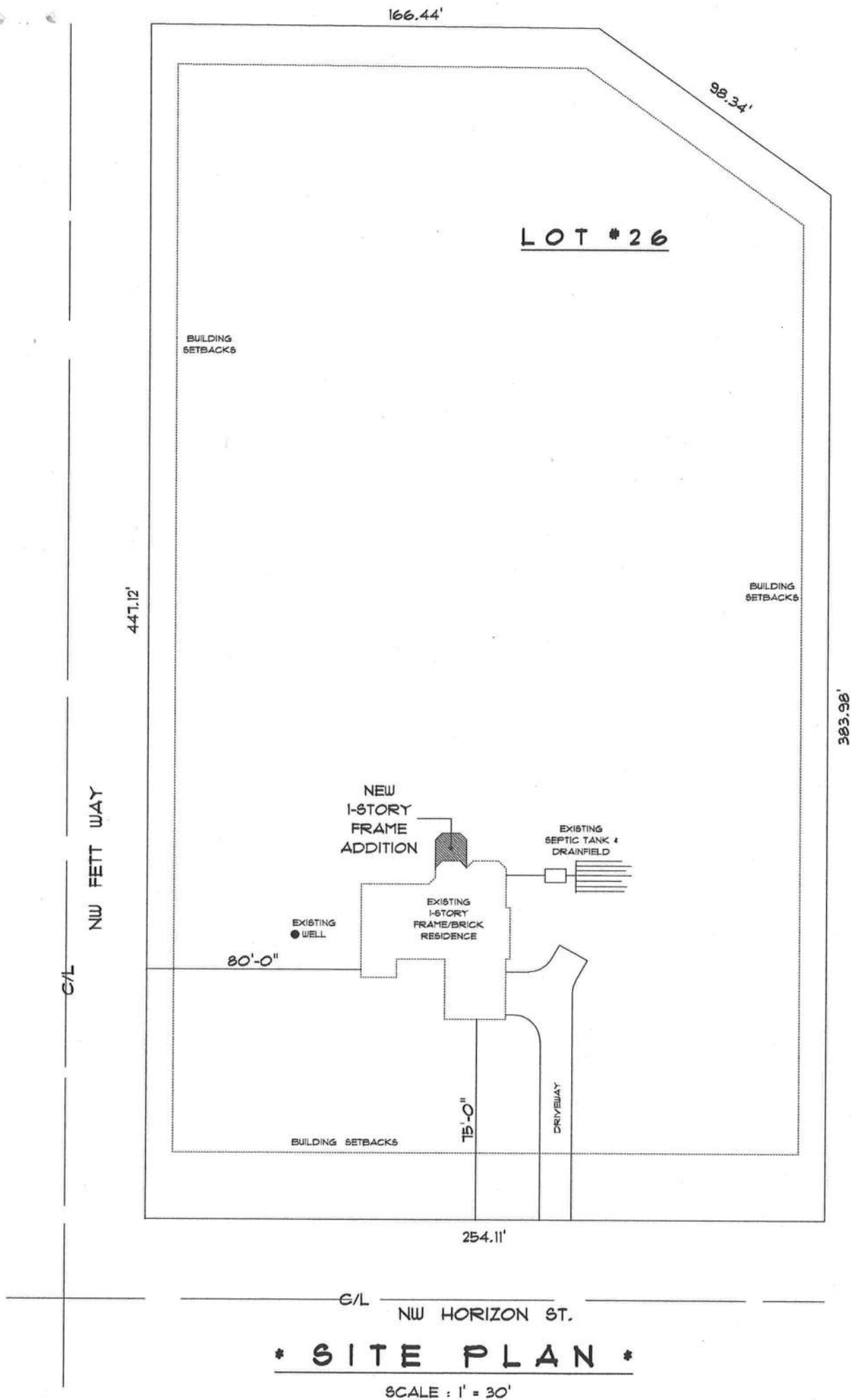
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\* SITE PLAN \*

SCALE : 1" = 50'

0804-09





# PRODUCT APPROVAL SPECIFICATION SHEET

Location: \_\_\_\_\_

Project Name: \_\_\_\_\_

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up	N/A		
5. Automatic	N/A		
6. Other	—		
<b>B. WINDOWS</b>			
1. Single hung	Capital/Jordan		FL 675 / FL 1378-R1
2. Horizontal Slider	" "		FL 685 / FL 1384-R1
3. Casement	—		
4. Double Hung	—		
5. Fixed	C/J		FL 681 / FL 1383-R1
6. Awning	—		
7. Pass-through	—		
8. Projected	—		
9. Mullion	—		
10. Wind Breaker	—		
11. Dual Action	—		
12. Other			
<b>C. PANEL WALL</b>			
1. Siding	Hardy Plank		FL 889-R1
2. Soffits	Ashley Aluminum		FL 4968
3. EIFS	—		
4. Storefronts	—		
5. Curtain walls	—		
6. Wall louver	—		
7. Glass block	—		
8. Membrane	—		
9. Greenhouse	—		
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles	FIK / CertainTeed		FL 728-R1 / FL 250-R1
2. Underlayments	Felt		FL 1814
3. Roofing Fasteners	Nails		ROM 3378
4. Non-structural Metal Rf	—		
5. Built-Up Roofing	—		
6. Modified Bitumen	—		
7. Single Ply Roofing Sys	—		
8. Roofing Tiles	—		
9. Roofing Insulation	—		
10. Waterproofing	—		
11. Wood shingles /shakes	—		
12. Roofing Slate	—		

**COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST  
FOR THE FLORIDA RESIDENTIAL BUILDING CODE 2004 with 2005 & 2006  
Supplements and One (1) and Two (2) Family Dwellings**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current FLORIDA BUILDING CODES and the Current FLORIDA RESIDENTIAL CODE. ALL PLANS OR DRAWING SHALL PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE- AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the Residential Code (Florida Wind speed map) SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:**

- Two (2) complete sets of plans containing the following:
- All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void
- Condition space (Sq. Ft.) and total (Sq. Ft.) under roof shall be shown on the plans.
- Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents per FBC 106.1.

**Site Plan information including:**

- Dimensions of lot or parcel of land
- Dimensions of all building set backs
- Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.
- Provide a full legal description of property.

**Wind-load Engineering Summary, calculations and any details required:**

- Plans or specifications must meet state compliance with FRC Chapter 3
- The following information must be shown as per section FRC
- Basic wind speed (3-second gust), miles per hour
- Wind importance factor and nature of occupancy
- Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
- The applicable internal pressure coefficient, Components and Cladding The design wind pressure in terms of psf (kN/m<sup>2</sup>), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.

**Elevations Drawing including:**

- All side views of the structure
- Roof pitch
- Overhang dimensions and detail with attic ventilation
- Location, size and height above roof of chimneys
- Location and size of skylights with Florida Product Approval
- Number of stories
- e) Building height from the established grade to the roofs highest peak



## **WOOD WALL FRAMING CONSTRUCTION FRC CHAPTER 6**

- Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls.
- Fastener schedule for structural members per table R602.3 (1) are to be shown.
- Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing
- Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems.
- Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FRC Table R502.5 (1)
- Indicate where pressure treated wood will be placed.
- Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas
- A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail

## **ROOF SYSTEMS:**

- Truss design drawing shall meet section FRC R802.10 Wood trusses. Include a layout and truss details and be signed and sealed by Fl. Pro. Eng.
- Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters
- Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details
- Provide dead load rating of trusses

## **Conventional Roof Framing Layout Per FRC 802:**

- Rafter and ridge beams sizes, span, species and spacing
- Connectors to wall assemblies' include assemblies' resistance to uplift rating.
- Valley framing and support details
- Provide dead load rating of rafter system.

## **ROOF SHEATHING FRC Table R602.3(2) FRC 803**

- Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing on the edges & intermediate areas

## **ROOF ASSEMBLIES FRC Chapter 9**

- Include all materials which will make up the roof assemblies covering; with Florida Product Approval numbers for each component of the roof assemblies covering.

## **FCB Chapter 13 Florida Energy Efficiency Code for Building Construction**

- Residential construction shall comply with this code by using the following compliance methods in the FBC Subchapter 13-6, Residential buildings compliance methods. Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area
- Show the insulation R value for the following areas of the structure: Attic space, Exterior wall cavity and Crawl space (if applicable)

## **HVAC information shown**

- Manual J sizing equipment or equivalent computation
- Exhaust fans locations in bathrooms

## **Plumbing Fixture layout shown**

- All fixtures waste water lines shall be shown on the foundation plan

## **Electrical layout shown including:**

- Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- Ceiling fans
- Smoke detectors
- Service panel, sub-panel, location(s) and total ampere ratings



# New Construction Subterranean Termite Soil Treatment Record

OMB Approval No 2502-0525

(exp. 10/31/2005)

**This form is completed by the licensed Pest Control Company**

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

**Section 1: General information (Treating Company information)**Company Name: Florida Pest Control & Co.Company Address: 536 SE Baya Dr City: Lake City State: FL Zip 32025Company Business License No. 3460Company Phone No. 386-752-1703

FHA/VA Case No. (if any) \_\_\_\_\_

**Section 2: Builder Information**

Company Name \_\_\_\_\_ Phone No. \_\_\_\_\_

**Section 3: Property Information**

Location of Structure (s) Treated (Street Address or Legal Description, City, State and Zip) \_\_\_\_\_

Type of Construction (More than one box may be checked) ☐ Slab ☐ Basement ☐ Crawl ☐ Other \_\_\_\_\_

Approximate Depth of Footing: Outside \_\_\_\_\_ Inside \_\_\_\_\_ Type of Fill \_\_\_\_\_

**Section 4: Treatment Information**

Date(s) of Treatment \_\_\_\_\_

Brand Name of Product(s) Used Bora-CareEPA Registration No. 64405-1Approximate Final Mix Solution % 1.0

Approximate Size of Treatment Area: Sq. ft. \_\_\_\_\_ Linear ft. \_\_\_\_\_ Linear ft. of Masonry Voids \_\_\_\_\_

Approximate Total Gallons of Solution Applied \_\_\_\_\_

Was treatment completed on exterior? ☐ Yes ☐ NoService Agreement Available? ☐ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) \_\_\_\_\_

Comments \_\_\_\_\_

Name of Applicator(s) \_\_\_\_\_

Certification No. (if required by State law) \_\_\_\_\_

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature \_\_\_\_\_

Date \_\_\_\_\_

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. 18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802

Form NPCA-99-B may still be used

form HUD-NPCA-99-B (04/2003)

# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID: ITG48228Z0125150323

Truss Fabricator: Anderson Truss Company  
Job Identification: 8-090-- -- , \*\*  
Truss Count: 6  
Model Code: Florida Building Code 2004 and 2006 Supplement  
Truss Criteria: ANSI/TPI-2002(STD)/FBC  
Engineering Software: Alpine Software, Version 7.36.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-02 -Closed

## Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: -

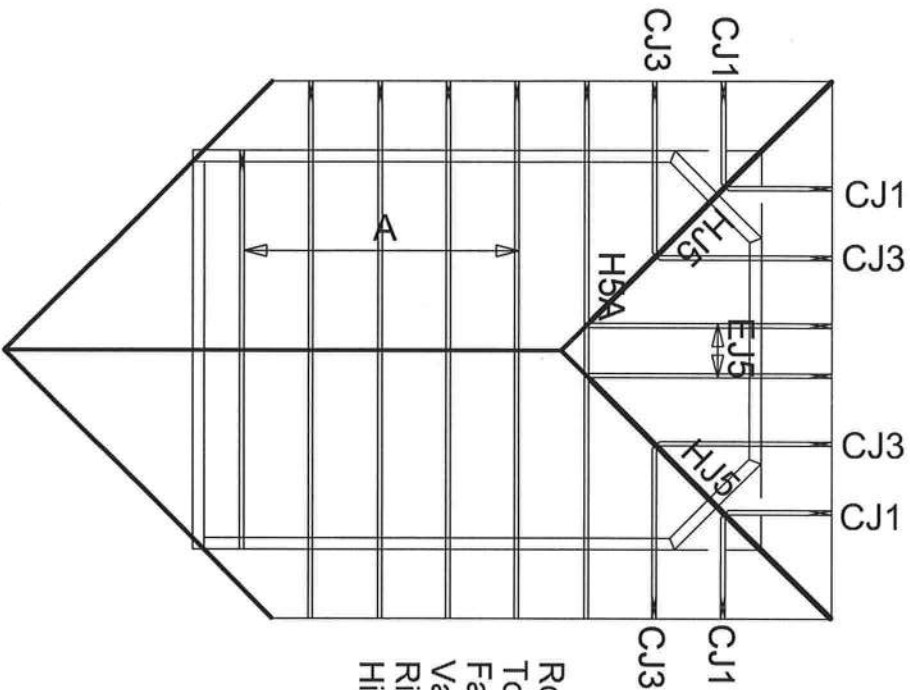
#	Ref	Description	Drawing#	Date
1	20927--H5A		08085013	03/25/08
2	20928--A		08085012	03/25/08
3	20929--EJ5		08085014	03/25/08
4	20930--CJ1		08085015	03/25/08
5	20931--HJ5		08085017	03/25/08
6	20932--CJ3		08085016	03/25/08



Seal Date: 03/25/2008

-Truss Design Engineer-  
James F. Collins Jr.  
Florida License Number: 52212  
1950 Marley Drive  
Haines City, FL 33844





Roof Plane Sheathing Area = 350 sq. ft  
 Total Sheathing Area = 350 sq. ft  
 Fascia Material = 48 linear ft  
 Valley Flashing Material = 23 linear ft  
 Ridge Cap Material = 16 linear ft  
 Hip Ridge Material = 23 linear ft

BRYAN ZECHER / LEE ADDITION 3/21/08

JOB DESCRIPTION:

JOB NO:

8-090

PAGE NO:

1 OF 1





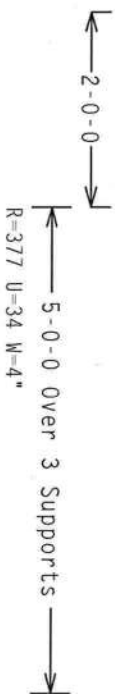
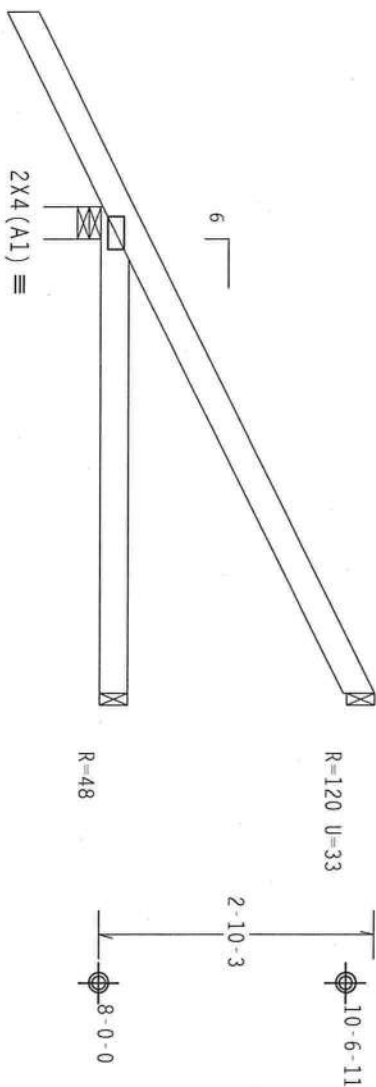


Top chord 2x4 SP #2 Dense  
Bot chord 2x4 SP #2 Dense

Roof overhang supports 2.00 psf soffit load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.  $I_w=1.00$   $GCP(+/-)=0.18$   
Wind reactions based on MMFRS pressures.



PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
Cq/RT=1.00(1.25)/10(0)

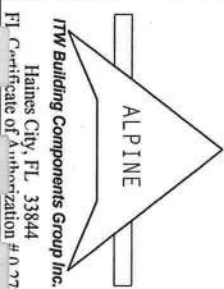
7.36.042/1.25 COLLINS

Scale = .5"/ft.

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSE (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI CROSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND WICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN: ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN COMPONENTS WITH APPLICABLE PROVISIONS OF BCS (NATIONAL DESIGN SPEC. BY AIA/AAI AND TPI. (NATIONAL ASSOCIATION OF ARCHITECTS) GRADE 40/50 OR A/IN-55 ONLY. STEEL, ITW BCG. (NATIONAL ASSOCIATION OF ARCHITECTS) GRADE 40/50 OR A/IN-55 ONLY. STEEL, ITW BCG. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC. 3.3. DESIGN OR UNIT DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



FL Certificate of Authorization #0778



TC LL	20.0 PSF	REF	R8228- 20929
TC DL	10.0 PSF	DATE	03/25/08
BC DL	10.0 PSF	DRW	HCUSR8228 08085014
BC LL	0.0 PSF	HC-ENG EC/AP	
TOT.LD.	40.0 PSF	SEON-	30135
DUR.FAC.	1.25		
SPACING	24.0"		

JREF- 1TG48228Z01

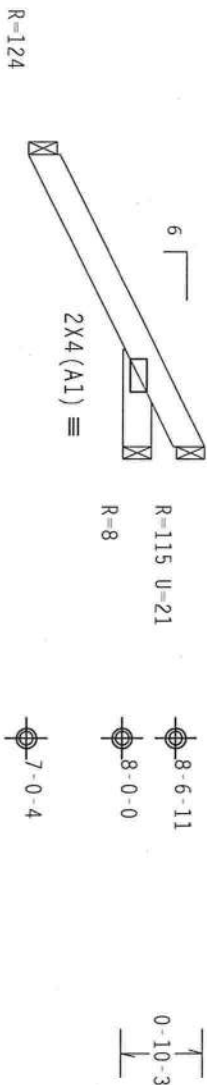


Deflection meets  $L/240$  live and  $L/180$  total load. Creep increase factor for dead load is 1.50.

Structural Fascia Beam to be designed and constructed by others.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 Gcpl(+/-)=0.18

Wind reactions based on MWFRS pressures.



3-0-0 Over 3 Supports

PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
Cq/RT=1.00(1.25)

 $Cq/RT=1.00(1.25)/10(0)$ 

7.36.0424

QTY:4

FL/-141-1-1R/-

Scale = .5" / Ft.

**WARNING:** THESE PRACTICES REQUIRE CARE IN FABRICATION, HANDLING, HOISTING, INSTALLING AND BRACING REFER TO GC-1 (BUILDING COMPONENT SAFETY INFORMATION). PUBLISHED BY THE TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314 (4000 TRUSS COUNCIL OF AMERICA, 65000  
ENTERPRISE LANE, MIDDLETOWN, NJ 07047) FOR SAFETY PRACTICES AND PITCH TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, FOR CHORD SAILS HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SAILS HAVE PROPERLY ATTACHED GRID CEILING.

**\*\*IMPORTANT\*\***FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR ITM BCG, INC. SHALL NOT

BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; THE OWNER SHALL OBTAIN THE GOOD FREE SERVICE OF THE CONTRACTOR FOR THE DESIGN OF THE TRUSS IN CONFORMANCE WITH THE FOLLOWING: FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DECISION CONFORMS TO APPLICABLE PROVISIONS OF MD5 (NATIONAL DESIGN SPEC., BY AIAA) AND TP1.  
CONNECTOR PLATES ARE MADE OF 20/18/71664 (M./N./SS./K.) ASTM A653 GRADE 40/60 (M./K./H./SS.) GALV. STEEL,  
PLATES TO EACH FACE OF THIRDS AND UNLESS OTHERWISE NOTED ON THIS DESIGN, LOCATION AND DIMENSIONS APPLY

UNLESS OTHERWISE SPECIFIED ON THIS ORDER, POSITION PER DRAWING IS 100% INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEAL AS OF TP11-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SEE THE TENSE COMPONENTS

DESIGN SHOULD, THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

Haines City, FL 33844  
FL Certificate of Authorization # 0 278



TC LL	20.0 PSF	REF	R8228 - 20930
TC DL	10.0 PSF	DATE	03/25/08
BC DL	10.0 PSF	DRW	HCUSR8228 08085015
BC LL	0.0 PSF	HC-ENG	EC/AP
TOT. LD.	40.0 PSF	SEQN -	30141
DUR. FAC.	1.25		
SPACING	24.0"	JREF -	1TG48228201

## SPECIAL LOADS

110 mph wind, 15.00 ft mean hgt., ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf, 1w=1.00 GCpi (+/-)=0.18

LOADING HAS BEEN CALCULATED BY THE TRUSS MANUFACTURER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO VERIFY AND APPROVE THE LOADING.

 $Cq/RT=1.00(1.25)/10(0)$ 

QTY:2 FL/-/4/-/-/R/-/

Scale = .5"/Ft.

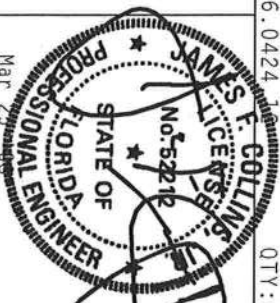


Haines City, FL 33844  
FL Certificate of Authorization #0079

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH

THE DESIGN OF FABRICATED, HANDLING, SHIPPING, INSTALLING AND BRACING OF THUSSES.  
TPI-08 CONFORMS WITH APPLICABLE PROVISIONS OF AISC (NATIONAL DESIGN SPEC., BY AISC), AND TPI-  
DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AISI (NATIONAL DESIGN SPEC., BY AISI).  
CONNECTION PLATES ARE MADE OF 20/21H/16GA (H/US/S) ASTM A572 GRAD 42/50 (Y/T), STEEL. APPLY  
PLATES TO EACH FACE OF THUSS AND UNLESS OTHERWISE LOCATED AS SHOWN, POSITION PER DRAWINGS 160A-2.  
DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOCIETY FOR THE THUSS COMPONENTS.  
THE SUSTAINABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE  
BUILDING DESIGNER PER ANSI/HFPA 1 SEC. 2.

17B BCG



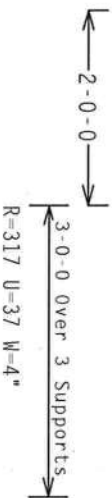
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TC DL	10.0 PSF	DATE	03/25/08
BC DL	10.0 PSF	DRW	HCUSR8228 08085017
BC LL	0.0 PSF	HC-ENG	EC/AP
TOT.LD.	40.0 PSF	SEQN -	30152
DUR.FAC.	1.25		
SPACING	24.0"	JREF -	1TG48228Z01

ПОДЪЕМНО-РАБОЧИЕ КОМПЛЕКТЫ (ЛЭУ) И УПРАВЛЕНИЯ) СУБМИТОВАНЫ В ИКДЗ МРК.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.  $I_w=1.00$  GCPI (+/-)=0.18

Roof overhang supports 2.00 psf soffit load.

Deflection meets  $L/240$  live and  $L/180$  total load. Creep increase factor for dead load is 1.50.



Design Crit: TPI-2002(STD)/FBC

7.36.0424

Scale = .5" / Ft.

JAMES T. COBLINS  
LICENSE  
No. 62212

STATE OF NEW YORK



Mar 25 08

TC LL	20.0 PSF	REF	R8228 - 20932
TC DL	10.0 PSF	DATE	03/25/08
BC DL	10.0 PSF	DRW	HCUSR8228 08085016
BC LL	0.0 PSF	HC-ENG	EC/AP
TOT.LD.	40.0 PSF	SEQN -	30146
DUR.FAC.	1.25		
SPACING	24.0"	JREF -	1TG48228Z01