



# A HOME DESIGN BY BRELAND & FARMER DESIGNERS

EDSEL BRELAND, FAIBD

WWW.EBHOMEDESIGNS.COM

## REVIEW THE FOLLOWING BEFORE APPLYING FOR A BUILDING PERMIT

### 1. CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED WHAT YOU ORDERED.

YOU SHOULD IMMEDIATELY CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED EXACTLY WHAT YOU ORDERED. ALL PLANS ARE CHECKED FOR CONTENT PRIOR TO SHIPPING, BUT MISTAKES DO HAPPEN. IF YOU FIND AN ERROR IN YOUR PLANS CALL 800-662-8282. ALL PLANS ARE DRAWN ON A PARTICULAR TYPE OF FOUNDATION AND ALL DETAILS OF THE PLAN WILL ILLUSTRATE THAT PARTICULAR FOUNDATION. IF YOU ORDERED AN ALTERNATE FOUNDATION TYPE, IT SHOULD BE INCLUDED IMMEDIATELY AFTER THE ORIGINAL FOUNDATION. TELL YOUR BUILDER WHICH FOUNDATION YOU WISH TO USE AND DISREGARD THE OTHER FOUNDATION.

IF YOU DISCOVER AN ERROR, CALL BRELAND & FARMER AT 800-662-8282. DO NOT CALL THE COMPANY WHERE YOU ORDERED THE PLANS.

### 2. CHECK TO MAKE SURE YOU HAVE PURCHASED THE PROPER PLAN LICENSE

IF YOU PURCHASED PRINTS, YOUR PLAN WILL HAVE A ROUND RED STAMP STATING "IF THE STAMP IS NOT RED IT IS AN ILLEGAL SET OF PLANS. THIS LICENSE GRANTS THE PURCHASER THE RIGHT TO BUILD ONE HOME USING THESE CONSTRUCTION DRAWINGS. IT IS ILLEGAL TO MAKE COPIES. DOING SO IS ILLEGAL AND PUNISHABLE UP TO \$150,000 PER OFFENSE PLUS ATTORNEY FEES. IF YOU NEED MORE PRINTS, CALL 800-662-8282. THE HOME BUILDING INDUSTRY IS MONITORED FOR ILLEGAL PRINTS BY THE COUNCIL OF PUBLISHING HOME DESIGNERS.

IT IS ALSO ILLEGAL TO MODIFY OR REDRAW THE PLAN IF YOU PURCHASED A PRINT. IF YOU PURCHASED PRINTS AND NEED TO MODIFY THE PLAN, YOU CAN UPGRADE TO THE REPRODUCIBLE PLAN - CALL 800-662-8282

IF YOU PURCHASED A REPRODUCIBLE DRAWING, YOU HAVE THE RIGHT TO MODIFY THE PLAN AND MAKE UP TO 10 COPIES. A REPRODUCIBLE PLAN COMES WITH A LICENSE THAT YOU MUST SURRENDER TO THE PRINTER OR ARCHITECT MAKING YOUR CHANGES.

### 3. COMPLETE THE "OWNER SELECTION" PORTION OF THE PLAN

THE WORKING DRAWINGS ARE VERY COMPLETE BUT THERE ARE ITEMS THAT YOU MUST DECIDE UPON. EXAMPLE - THE PLANS SHOW A TOILET IN THE BATH ROOM BUT THERE ARE HUNDREDS OF MODELS TO CHOOSE FROM. YOUR INDIVIDUAL SELECTION SHOULD BE MADE BASED UPON THE COLOR, STYLE AND PRICE YOU WISH TO PAY. THIS SAME THING IS TRUE FOR ALL OF THE PLUMBING FIXTURES, LIGHT FIXTURES, APPLIANCES, INTERIOR FINISHES (FOR THE FLOORS, WALLS AND CEILING) AND THE EXTERIOR FINISHES. WE HAVE INCLUDED SCHEDULES TO MAKE THIS PROCESS AS EASY AS POSSIBLE. IT IS VITAL THAT YOU COMPLETE THE COST ALLOWANCE SCHEDULES IN ORDER TO OBTAIN ACCURATE COMPETITIVE BIDS FOR THE CONSTRUCTION OF YOUR HOME.

### 4. COMPLETE YOUR PERMIT PACKAGE BY ADDING OTHER DOCUMENTS THAT MAY BE REQUIRED

YOUR PERMIT DEPARTMENT, LENDER AND BUILDER WILL NEED OTHER DRAWINGS OR DOCUMENTS THAT MUST BE OBTAINED LOCALLY. THESE ITEMS ARE EXPLAINED BELOW.

### 5. OBTAIN A HEATING & COOLING CALCULATION AND LAYOUT

THE HEATING AND COOLING SYSTEM MUST BE CALCULATED AND DESIGNED FOR YOUR EXACT HOME AND YOUR LOCATION. EVEN THE ORIENTATION OF YOUR HOME CAN EFFECT THE SYSTEM SIZE. THIS SERVICE IS NORMALLY PROVIDED FREE OF CHARGE BY THE MECHANICAL COMPANY THAT IS SUPPLYING THE EQUIPMENT AND INSTALLATION. HOWEVER, TO GET A UNBIASED CALCULATION AND EQUIPMENT RECOMMENDATION, WE SUGGEST EMPLOYING THE SERVICES OF A MECHANICAL ENGINEER.

### 6. OBTAIN A SITE PLAN

A SITE PLAN IS A DOCUMENT THAT SHOWS THE RELATIONSHIP OF YOUR HOME TO YOUR PROPERTY. IT MAY BE AS SIMPLE AS THE DOCUMENT YOUR SURVEYOR PROVIDES OR IT CAN BE A COMPLEX COLLECTION OF DRAWINGS SUCH AS THOSE PREPARED BY A LANDSCAPE ARCHITECT. TYPICALLY, THE DOCUMENT PREPARED BY A SURVEYOR WILL ONLY SHOW THE PROPERTY BOUNDARIES AND THE FOOTPRINT OF THE HOME. LANDSCAPE ARCHITECTS CAN PROVIDE PLANNING AND DRAWINGS FOR ALL SITE AMENITIES SUCH AS DRIVEWAYS AND WALKWAYS, OUTDOOR STRUCTURES SUCH AS POOLS, PLANTING PLANS, IRRIGATION PLANS AND OUTDOOR LIGHTING.

### 7. OBTAIN EARTHQUAKE OR HURRICANE ENGINEERING IF YOU ARE PLANNING TO BUILD IN A EARTHQUAKE OR HURRICANE ZONE.

IF YOU ARE BUILDING IN A EARTHQUAKE OR HURRICANE ZONE, YOUR PERMIT DEPARTMENT WILL MOST LIKELY REQUIRE YOU TO SUBMIT CALCULATIONS AND DRAWINGS TO ILLUSTRATE THE ABILITY OF YOUR HOME TO WITHSTAND THOSE FORCES. THIS INFORMATION IS NEVER INCLUDED WITH PRE-DRAWN PLANS BECAUSE IT WOULD PENALIZE THE VAST MAJORITY OF PLAN PURCHASERS WHO DO NOT BUILD IN THOSE ZONES. THIS INFORMATION IS USUALLY PROVIDED BY A STRUCTURAL ENGINEER LICENSED BY THE STATE WHERE YOU ARE BUILDING.

### 8. REVIEW YOUR PLAN TO SEE IF MODIFICATIONS ARE NEEDED

THESE PLANS HAVE BEEN DESIGNED TO ASSUMED CONDITIONS AND DO NOT ADDRESS THE INDIVIDUAL SITE WHERE YOU ARE BUILDING. CONDITIONS CAN VARY GREATLY INCLUDING SOIL CONDITIONS, WIND & SNOW LOADS AND TEMPERATURE. ANY ONE OF THESE CONDITIONS MAY REQUIRE SOME MODIFICATION OF YOUR PLAN. EXAMPLE - IF YOU LIVE IN AN AREA THAT RECEIVES SNOW, STRUCTURAL CHANGES MAY BE NECESSARY. WE SUGGEST:

1. HAVE YOUR SOIL TESTED BY A SOIL TESTING LABORATORY SO THAT SUB-SURFACE CONDITIONS CAN BE DETERMINED AT YOUR SPECIFIC BUILDING SITE. THE FINDINGS OF THE SOIL TESTING LABORATORY SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER TO DETERMINE IF THE EXISTING PLAN FOUNDATION IS SUITABLE OF IF MODIFICATIONS ARE NEEDED.

2. HAVE YOUR ENTIRE PLAN REVIEWED BY YOUR BUILDER OR A STRUCTURAL ENGINEER TO DETERMINE IF OTHER DESIGN ELEMENTS, SUCH AS LOAD BEARING BEAMS, ARE SIZED APPROPRIATELY FOR THE CONDITIONS THAT EXIST AT YOUR SITE.

NOW THAT YOU HAVE THE COMPLETE PLAN, YOU MAY DISCOVER ITEMS THAT YOU WISH TO MODIFY TO SUIT YOUR OWN PERSONAL TASTE OR DECOR. TO CHANGE THE DRAWINGS, YOU MUST HAVE THE REPRODUCIBLE DRAWING (SEE ITEM 9). BRELAND & FARMER CAN MAKE THE CHANGES FOR YOU IF YOU PREFER. FOR COMPLETE INFORMATION REGARDING MODIFICATIONS, INCLUDING OUR FEES, GO TO WWW.BFPLANS.COM AND CLICK ON THE WORD "MODIFICATIONS" LOCATED ON THE HOME PAGE.

### 9. RECORD YOUR BLUEPRINT LICENSE NUMBER

RECORD YOUR BLUEPRINT LICENSE NUMBER FOR EASY REFERENCE. IF YOU OR YOUR BUILDER SHOULD NEED TECHNICAL SUPPORT THE LICENSE NUMBER IS REQUIRED.

YOUR LICENSE NUMBER IS 52609005

### 10. KEEP ONE SET OF PLANS AS LONG AS YOU OWN THE HOME

BE SURE TO FILE ONE COPY OF YOUR HOME PLAN AWAY FOR SAFE KEEPING. YOU MAY NEED A COPY IN THE FUTURE IF YOU REMODEL OR SELL THE HOME. BY FILING A COPY AWAY FOR SAFE KEEPING, YOU CAN AVOID THE COST OF HAVING TO PURCHASE PLANS LATER ON.

#### TERMS AND CONDITIONS FOR USE OF THIS PLAN

TERMS AND CONDITIONS: BRELAND & FARMER ASSUMES NO LIABILITY OR RESPONSIBILITY IN CONNECTION WITH THE BUILDING OF A HOME UTILIZING THIS PLAN EXCEPT WHEN THE DESIGNER IS EMPLOYED TO OVERSEE AND MANAGE THE ENTIRE BUILDING PROCESS TO INSURE THAT ALL ASPECTS OF THE CONSTRUCTION ARE IN ACCORDANCE WITH THE INTENTION OF THE DESIGNER. THIS SERVICE IS AVAILABLE TO ALL PURCHASERS OF THE PLAN FOR A FEE EQUIVALENT TO 12% OF THE COST OF BUILDING THE HOME. THE PURCHASER OF THE PLAN AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS BRELAND & FARMER (INCLUDING BRELAND & FARMER'S DIRECTORS, OFFICERS, AGENTS AND REPRESENTATIVES) FROM AND AGAINST ANY AND ALL LIABILITY, LOSSES, DAMAGES, FINES, AWARDS, JUDGMENTS AND CLAIMS (INCLUDING COUNSEL FEES AND EXPENSES) INCURRED AS A RESULT OF BUILDING A HOME USING THIS PLAN UNLESS BRELAND & FARMER IS RETAINED TO SUPERVISE THE ACTUAL CONSTRUCTION AS STATED ABOVE. USE OF THIS PLAN SHALL INDICATE THE ACCEPTANCE OF THIS LICENSE AGREEMENT.

LICENSE ISSUED TO SCOTT KREMER  
FOR BUILDING ONE HOME USING THIS PLAN AND  
ONLY AT THE BUILDING LOCATION SHOWN ON THE  
PDF LICENSE. DO NOT ISSUE BUILDING PERMIT  
UNLESS A COPYRIGHT LICENSE VALIDATED BY  
BRELAND AND FARMER DESIGNERS, INC. IS  
SUBMITTED WITH THE WORKING DRAWINGS



FOUNDATION PLAN FOR CRAWL SPACE CONSTRUCTION

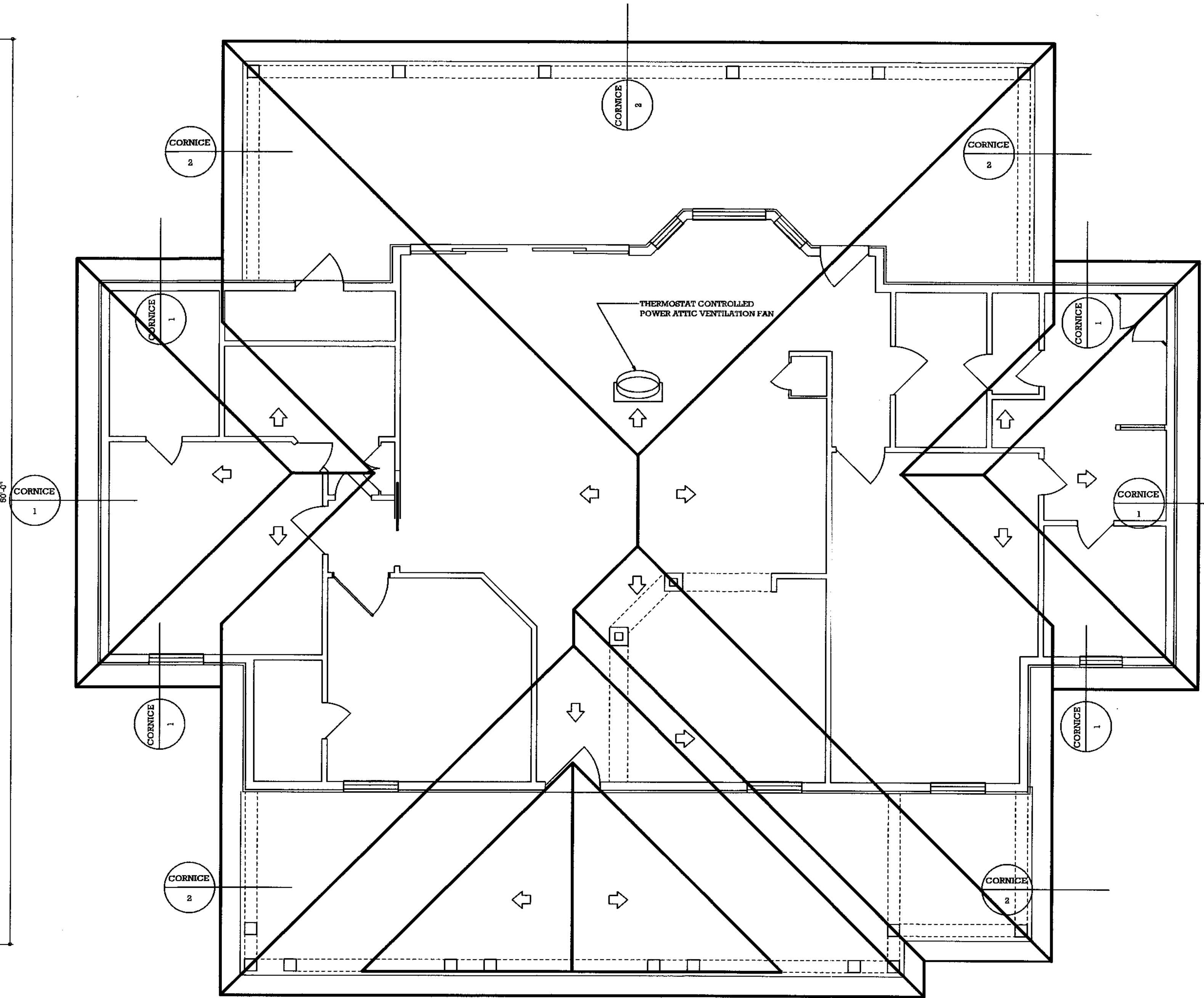
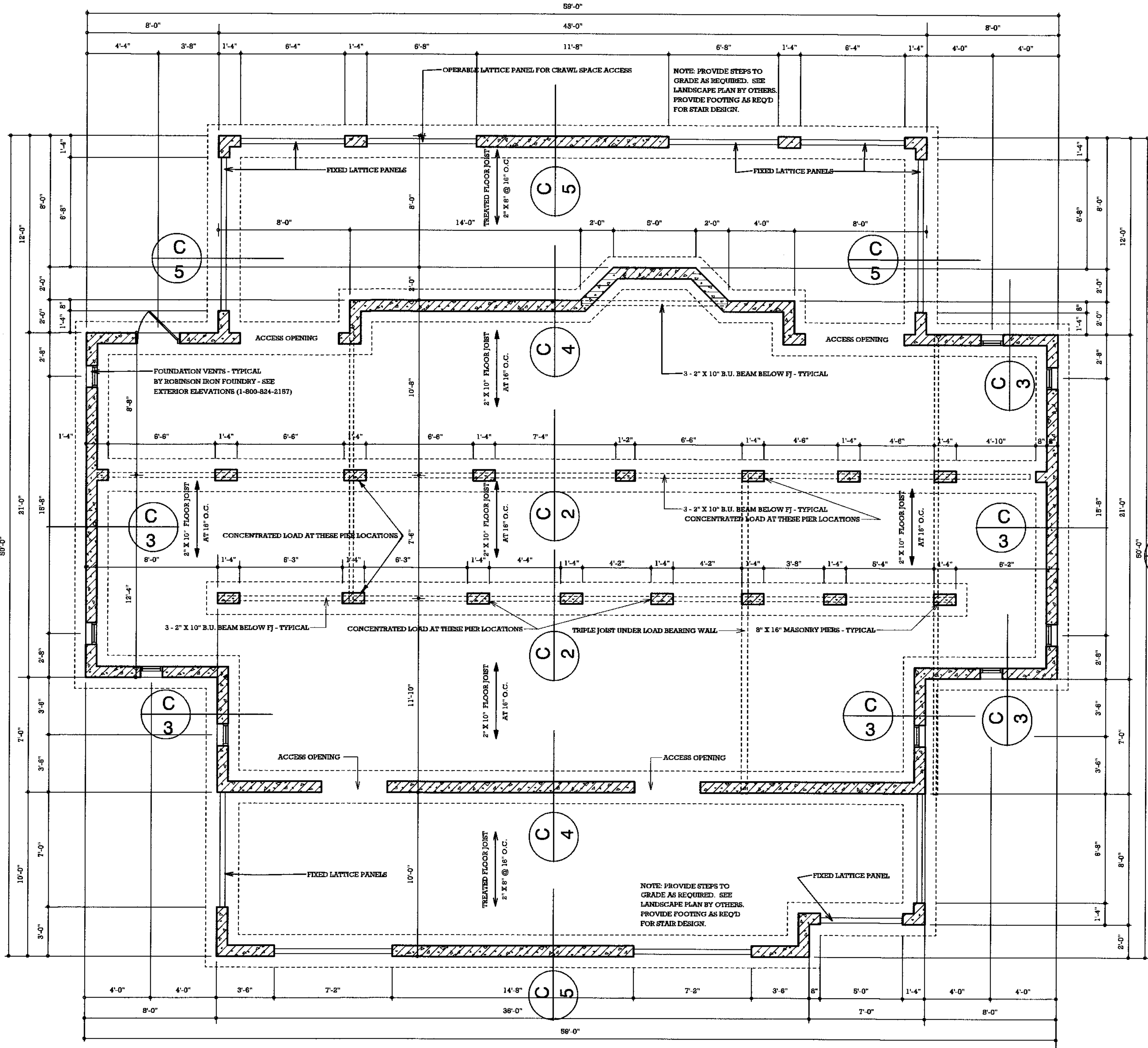
SCALE 1/4" = 1'-0"

IMPORTANT NOTE: THIS FOUNDATION PLAN HAS BEEN DESIGNED FOR UNUSUAL CONDITIONS AND DOES NOT ADDRESS A SPECIFIC SITE. IT IS RECOMMENDED THAT SOIL SAMPLES BE TAKEN AT THE SITE BY A COMPETENT SOIL TESTING LABORATORY. FOUNDATION SHOULD BE MODIFIED BY A LOCAL STRUCTURAL ENGINEER FAMILIAR WITH LOCAL CONDITIONS TO COMPLY WITH THE FINDINGS AND RECOMMENDATIONS OF THE SOIL TESTING LAB.

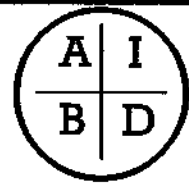
GENERAL NOTES: CRAWL SPACE FOUNDATION

1. INSTALL DOUBLE JOIST UNDER ALL PARTITION WALLS PARALLEL TO FLOOR JOIST (MAY NOT BE SHOWN ON FLOOR JOIST FRAMING PLAN)
2. INSTALL 6M POLYETHYLENE ON GRADE BELOW JOIST
3. EXTERIOR DIMENSIONS ARE TO OUTER EDGE OF STUDS & CURTAIN WALL (DOES NOT INCLUDE BRICK OR STONE VENEERS)
4. SEE SPECIFICATIONS FOR STUD SPACING
5. FOUNDATIONS VENTS TO HAVE ADJUSTABLE DAMPER AND SCREEN BACK
6. CONTRACTOR TO VERIFY ALL DATA AND CONDITIONS
7. ALL PARTICLE BOARD SHALL CONTAIN NO FORMALDEHYDE TYPE GLUE

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SEPARATE NOTICES  
BRELAND AND FARMER DESIGNERS, INC. IS  
A REGISTERED PROFESSIONAL ENGINEERING  
FIRM IN THE STATE OF ILLINOIS. THE  
DESIGN OF THIS PROJECT WAS PREPARED  
BY A LICENSED PROFESSIONAL ENGINEER  
EMPLOYED BY BRELAND AND FARMER  
DESIGNERS, INC. ANY REPRODUCTION  
OF THIS PROJECT WITHOUT THE WRITTEN  
CONSENT OF BRELAND AND FARMER  
DESIGNERS, INC. IS PROHIBITED.  
BRELAND AND FARMER DESIGNERS, INC.  
1111 N. WILSON AVENUE  
CHICAGO, ILLINOIS 60642  
TEL: (773) 344-1111  
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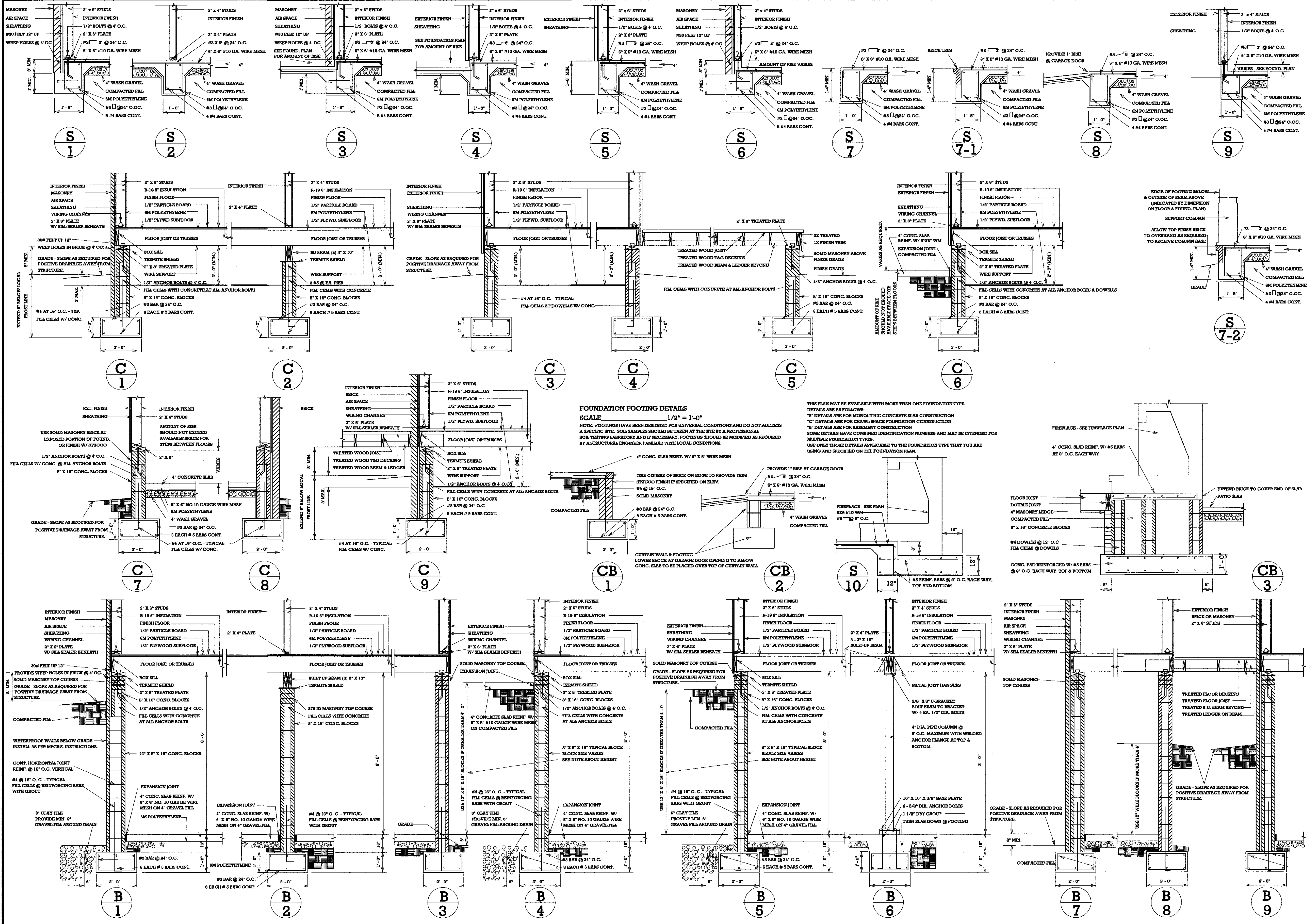
BRELAND AND FARMER DESIGNERS, INC

DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR COPYRIGHT BY BRELAND AND FARMER DESIGNERS, INC.

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REVISIONS			
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DATE			

PLAN NUMBER  
1637







PERMIT REQUIRED  
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ONLY AT THE BUILDING LOCATION SHOWN ON THE  
PDF LICENSE. DO NOT ISSUE BUILDING PERMIT  
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SUBMITTED WITH THE WORKING DRAWINGS

WALL LEGEND

- 2" X 6" WALL WITH SIDING EXTERIOR - SEE ELEV.
  - 2" X 4" INTERIOR WALL - SEE FINISH SCHEDULE FOR FINISH
  - 3/4" PLYWOOD CABINET WALL
- NOTE: INSULATION VALUES FOR INSULATED EXTERIOR WALLS:  
2" X 6" WALLS TO RECEIVE 6" (R-19) FIBERGLASS BATTS

DOOR SCHEDULE

MARK	SIZE	DESCRIPTION
1	3'-0" X 6'-8" / 3'-0" X 1'-0"	EXTERIOR FRENCH DOOR WITH FIXED TRANSOM ABOVE
2	2'-8" X 6'-8" / 2'-8" X 1'-0"	EXTERIOR FRENCH DOOR WITH FIXED TRANSOM ABOVE
3	2'-8" X 6'-8"	EXTERIOR RAISED PANEL DOOR WITH FIXED RAISED PANEL ABOVE TO MATCH TRANSOM ABOVE DOOR 2
4	12'-0" X 6'-8" / 12'-0" X 1'-0"	EXTERIOR SLIDING GLASS DOORS WITH FIXED TRANSOMS ABOVE
5	3'-0" X 6'-0"	INTERIOR RAISED PANEL DOOR
6	2'-8" X 6'-0"	INTERIOR RAISED PANEL DOOR
7	2'-0" X 6'-0"	INTERIOR RAISED PANEL DOOR
8	1'-8" X 6'-0"	INTERIOR RAISED PANEL DOOR
9	3'-0" X 6'-0"	INTERIOR RAISED PANEL POCKET STYLE DOOR

ALL EXTERIOR DOORS TO BE METAL INSULATED UNLESS NOTED.  
ALL GLASS IN EXTERIOR DOORS TO BE INSULATED GLASS.

ALL EXTERIOR DOORS ARE 1 3/4" THICK UNLESS NOTED  
ALL INTERIOR DOORS ARE 1 3/8" THICK UNLESS NOTED

WINDOW SCHEDULE

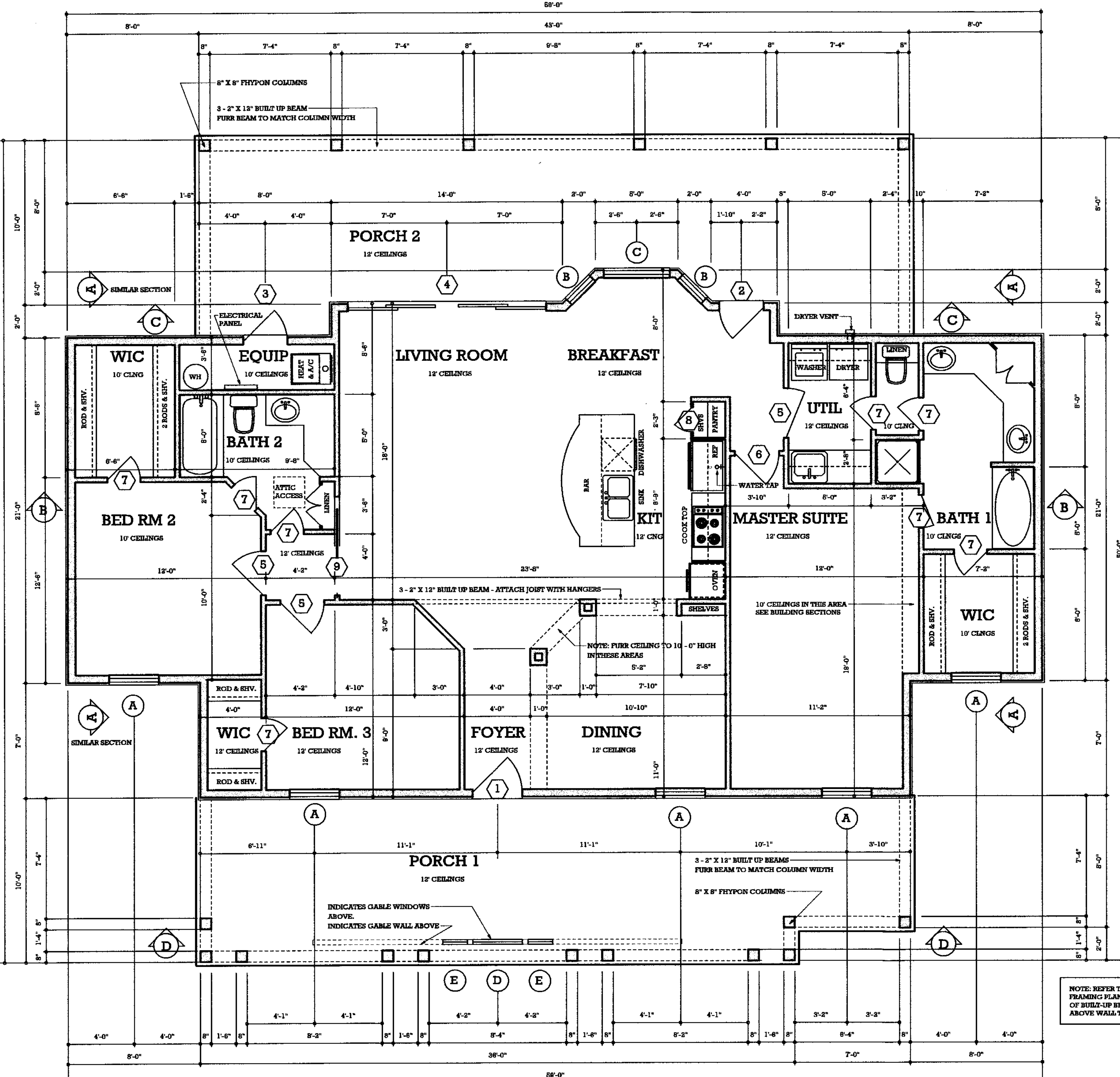
MARK	WINDOW SIZE	DESCRIPTION	ROUGH OPENING	BRAND
A	3'-0" X 6'-0" / 3'-0" X 1'-0"	WOOD DOUBLE HUNG WINDOW WITH TRANSOM ABOVE & GRILL INSERT		
B	2'-0" X 6'-0" / 2'-0" X 1'-0"	WOOD DOUBLE HUNG WINDOW WITH TRANSOM ABOVE & GRILL INSERT		
C	4'-0" X 6'-0" / 4'-0" X 1'-0"	WOOD DOUBLE HUNG WINDOW WITH TRANSOM ABOVE & GRILL INSERT		
D	3'-0" X 4'-0" / 3'-0" X 1'-0"	WOOD DOUBLE HUNG WINDOW WITH TRANSOM ABOVE & GRILL INSERT		
E	1'-6" X 4'-0"	WOOD FIXED UNIT WITH DIAMOND GRILL INSERT		

NOTE: OWNER OR BUILDER TO INSERT ROUGH OPENING SIZE AND BRAND NAME OF WINDOW TO BE USED - SEE WINDOW ALLOWANCE SCHEDULE IN SPECIFICATIONS

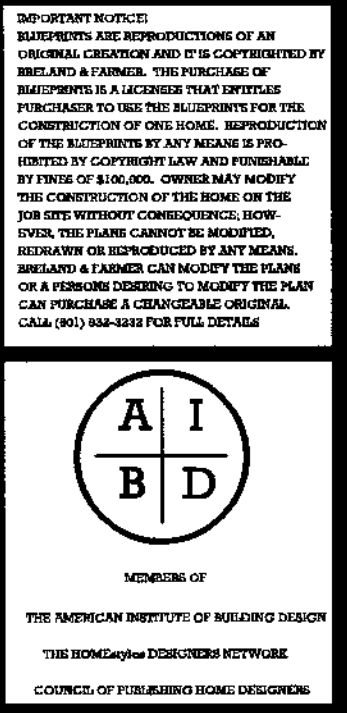
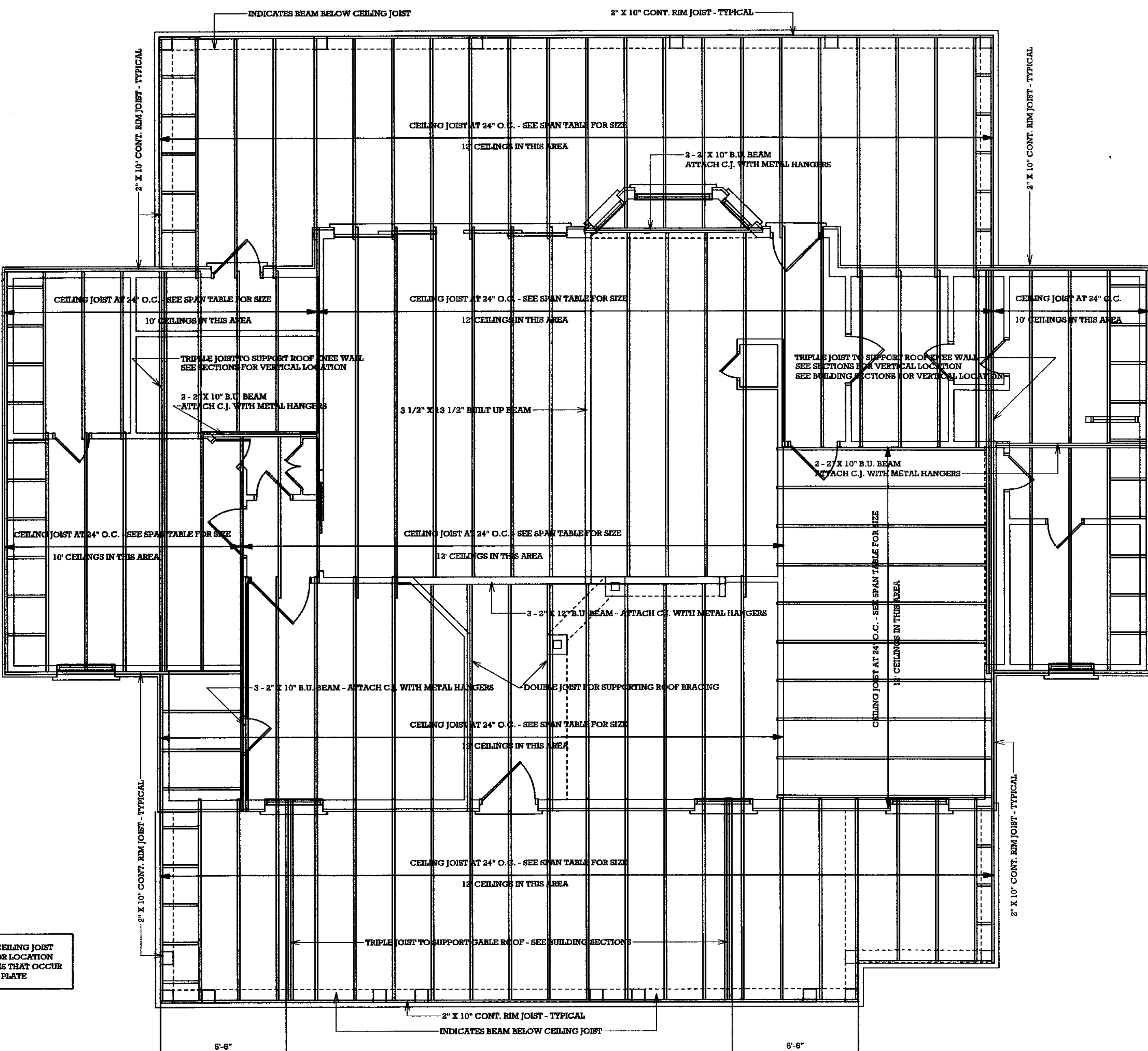
NOTE: BECAUSE OF EXTREME VARIATIONS IN PRICE, THE WINDOW SCHEDULE ABOVE LISTS AND DESCRIPTION ONLY. OWNER TO SELECT BRAND OF WINDOW ACCORDING TO ALLOWANCE (SEE SPECIFICATIONS) AND INSERT MANUFACTURER'S BRAND, NUMBER AND ROUGH OPENING SIZE

MAIN FLOOR PLAN

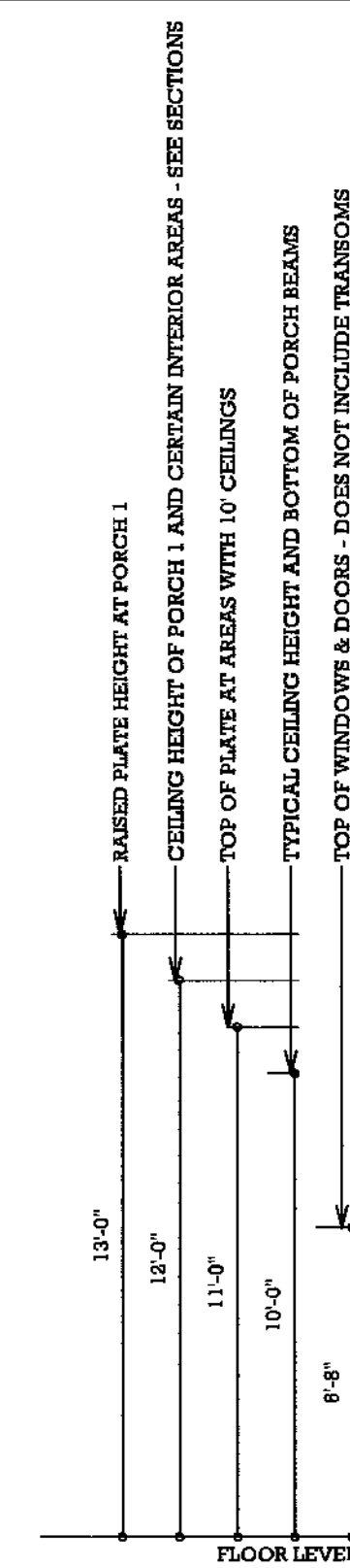
SCALE 1/4" = 1'-0"



CEILING JOIST FRAMING PLAN







NOTE: ALL ELEVATIONS ARE DRAWN TO 1/4" = 1' - 0" SCALE



**ALTERNATIVE BUSINESS**  
 REPRODUCIBLES ARE REPRODUCTIONS OF AN  
 ORIGINAL CREATION AND IT IS GUARANTEED BY  
 LINDA & FRANK, THE PURCHASER OF  
 REPRODUCERS, IS A LICENSEE THAT OBTAINED  
 PERMISSION TO USE THE MATERIALS FOR THE  
 REPRODUCTION OF ONE ITEM. REPRODUCTIONS  
 OF THE REPRODUCERS BY ANY MEANS IS PRO-  
 HIBITED BY COPYRIGHT LAW AND FURTHER  
 FIRST OF SEVERAL. OTHERS MAY MODIFY  
 THE REPRODUCTIONS OF THE BOMB OF THE  
 FOR USE WITHOUT CONSIDERATION. HOW-  
 EVER, THE PLAN CANNOT BE MODIFIED.  
 REPRODUCED OR REPRODUCED BY ANY MEANS,  
 INCLUDING A PHOTO COPY, OF THE PLAN  
 IN A MANNER DESIGNED TO MODIFY THE PLAN  
 CAN BE PROSECUTED A CRIMINAL OFFENSE.  
 MAIL 900-444-2422 FOR THE DETAILS

**A I  
 B D**

**MEMBERS OF**

**THE AMERICAN INSTITUTE OF BUSINESS DESIGN**

**THE 3-D COMPANY'S DESIGNING METHOD**

**COUNCIL OF PUBLISHING HOME OWNERS**

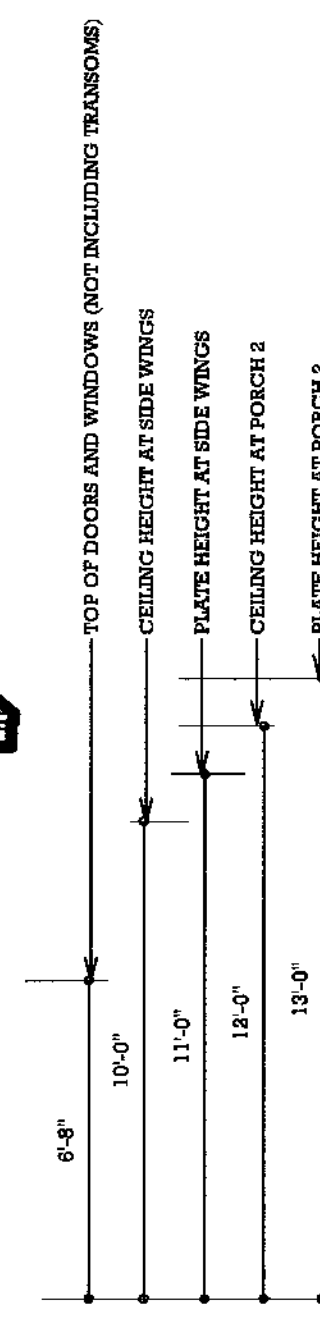
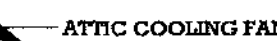


Diagram showing the vertical distance from the floor level to the bottom of the beam at the porches, labeled as 10'-0".



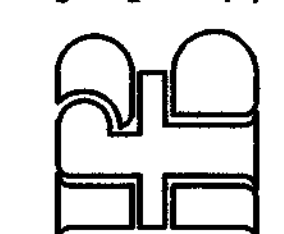
—THIS AREA TO RECEIVE STEPS FROM PORCH 2 TO GRADE. STEPS NOT SHOWN FOR CLARITY.

**DISCREET NOTICE**  
 ALTHOUGH THE REPRODUCTIONS OF AN ORIGINAL CREATION AND IT IS CONSIDERED NEARLY AND FAMILIAR, THE PURCHASE OF REPRODUCTIONS IS A LICENSE THAT ENTITLES PURCHASER TO USE THE REPRODUCTIONS FOR THE CONSTRUCTION OF ONE HOUSE. REPRODUCTIONS OF PHOTOGRAPHS BY ARTISTS ARE PROVIDED BY COPYRIGHT LAW AND TRADITIONAL RIGHTS OF \$100,000. OWNER MAY MODIFY THE CONSTRUCTION OF THE HOUSE ON THE SITE WITHOUT CONSEQUENCE, HOWEVER, THE PLANS CANNOT BE MODIFIED, REPRODUCED OR REPRODUCED BY ANY MEANS. THERE IS A FARMER CAN MODIFY THE PLANS ON A HOUSE DECISION TO MODIFY THE PLANS CAN PURCHASE A CHANGEABLE ORIGINAL. CALL (801) 482-3333 FOR FULL DETAILS



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THE AMERICAN INSTITUTE OF PLANNING DESIGN  
THE HONGKONG DESIGNERS NETWORK  
COUNCIL OF PLANNING HONG KONG DESIGNERS

**BRELAND AND FARMER DESIGNERS, INC**



DATE \_\_\_\_\_

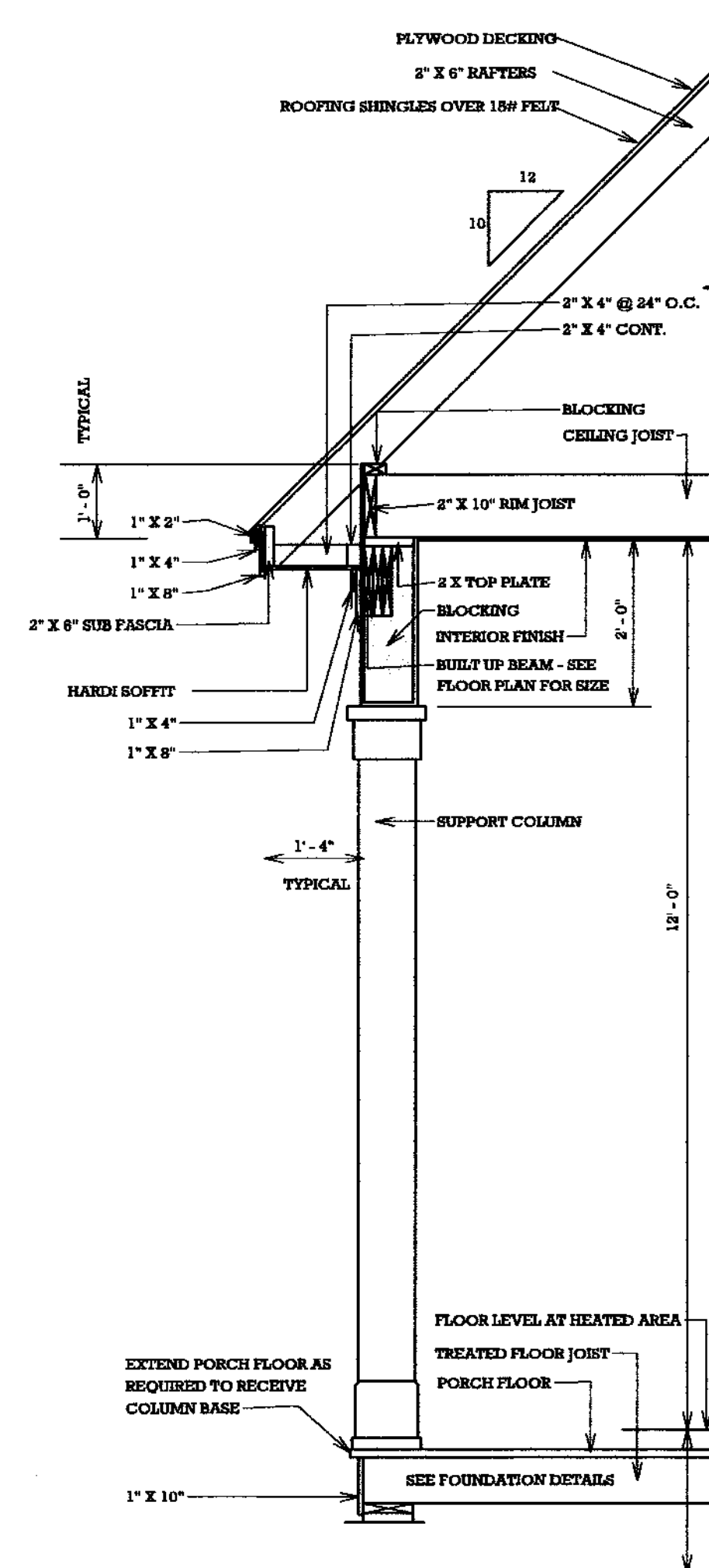
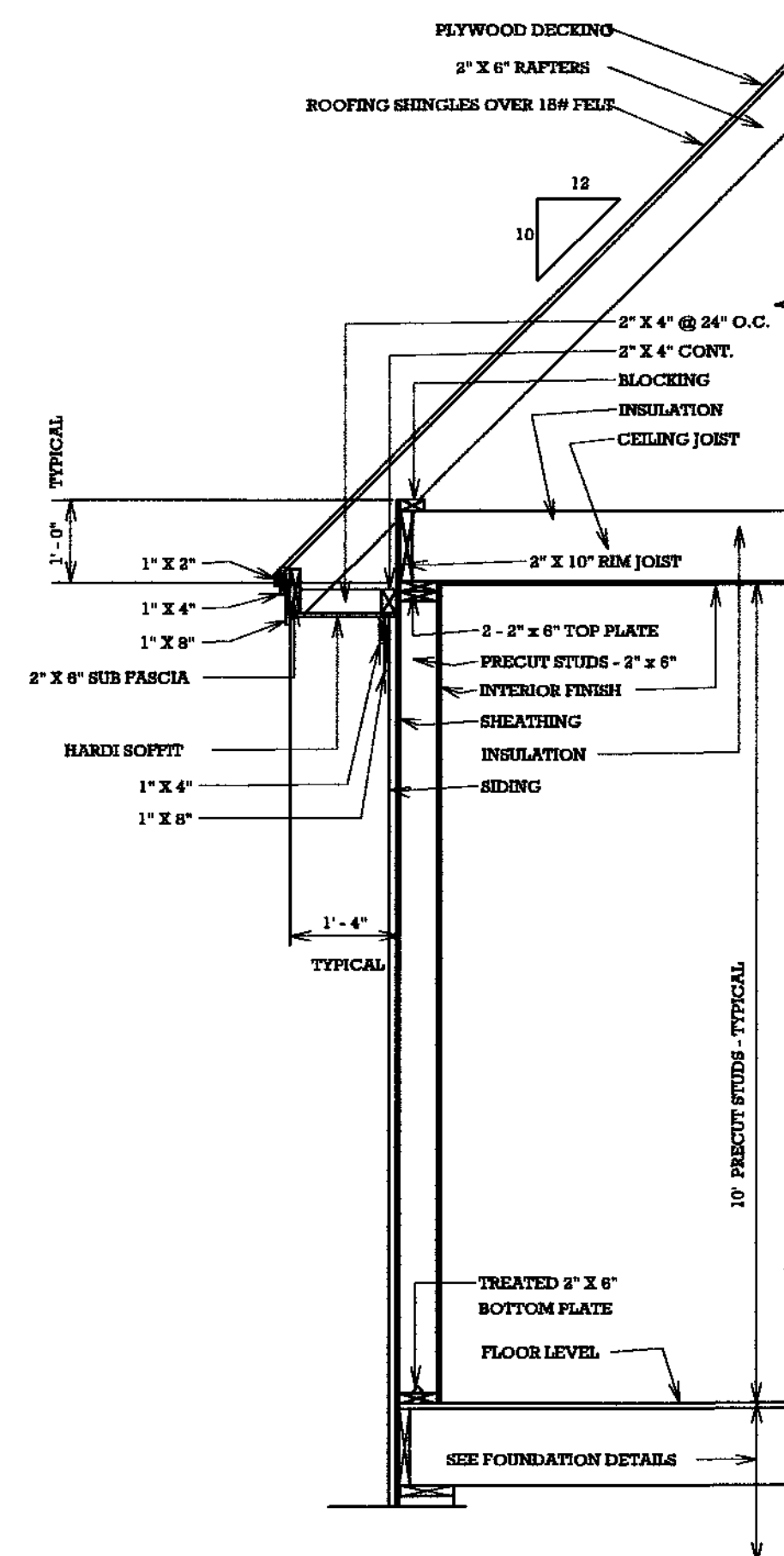
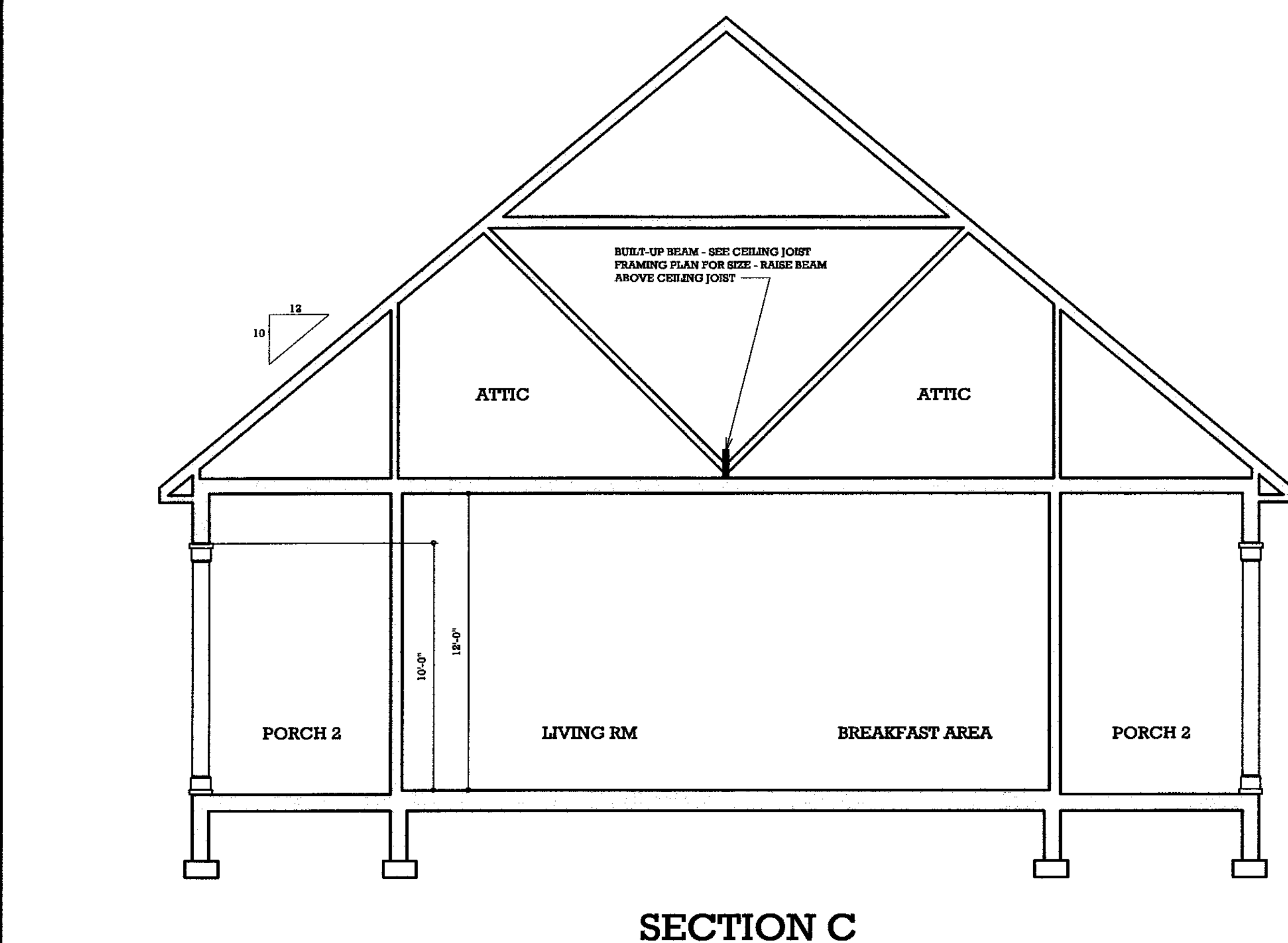
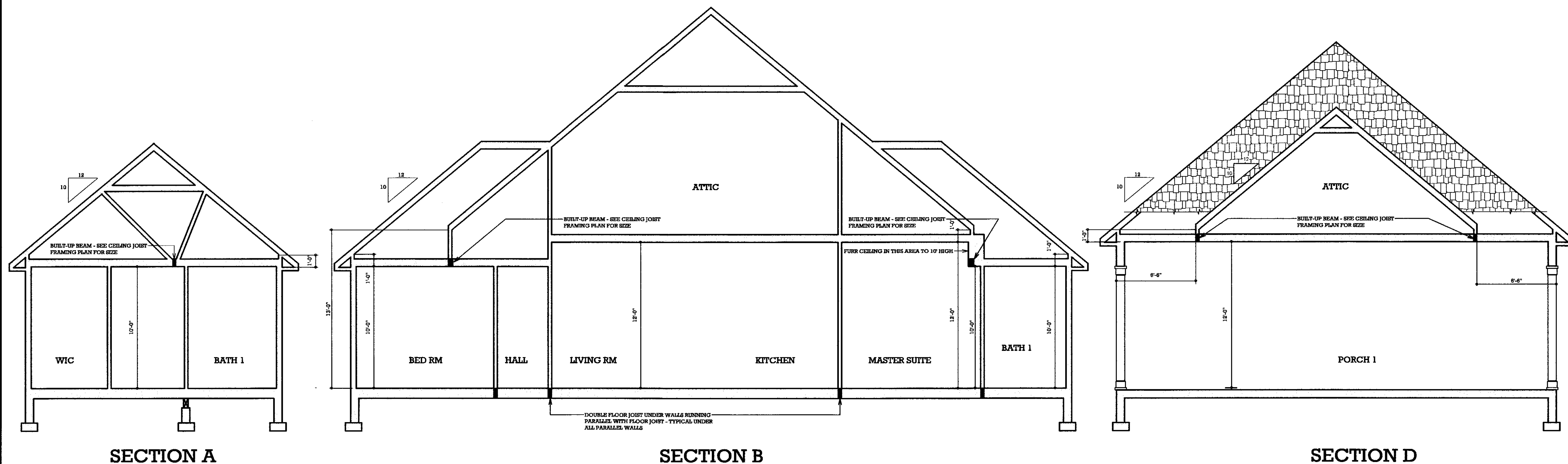
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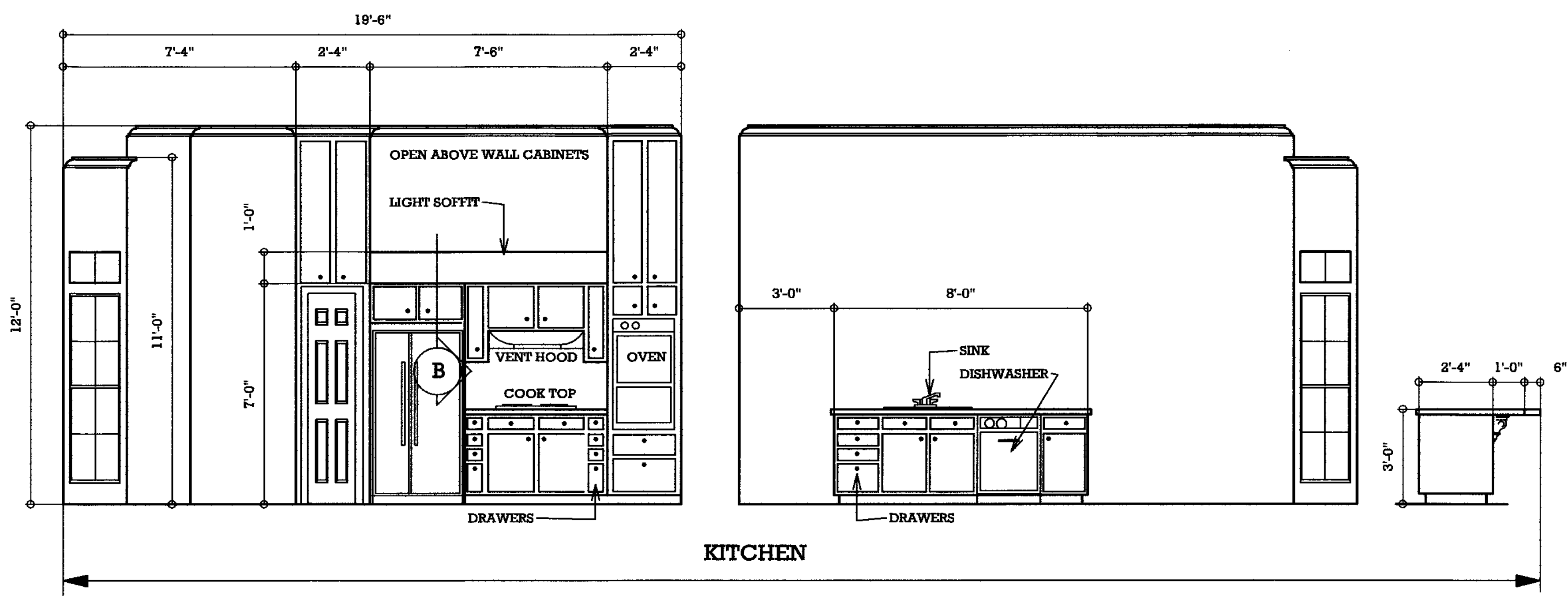
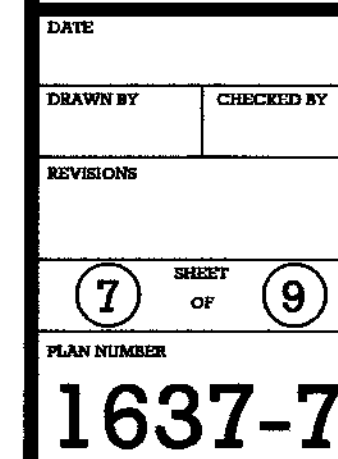
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PLAN NUMBER

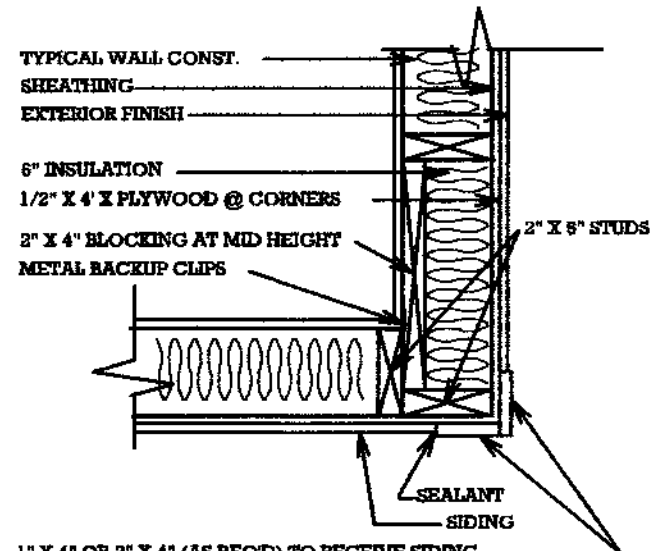
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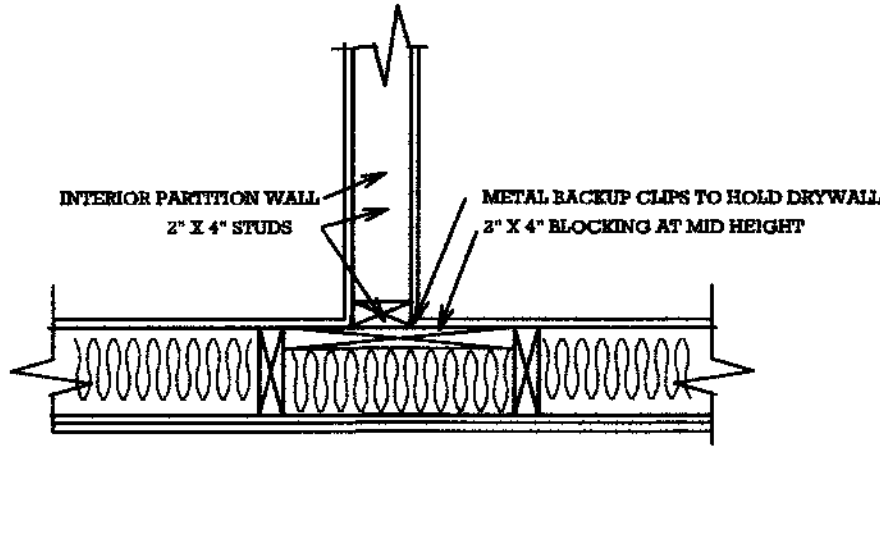
**BRELAND AND FARMER DESIGNERS, INC**







CORNER DETAIL  
2" X 6" EXT. WALLS WITH SIDING EXT.

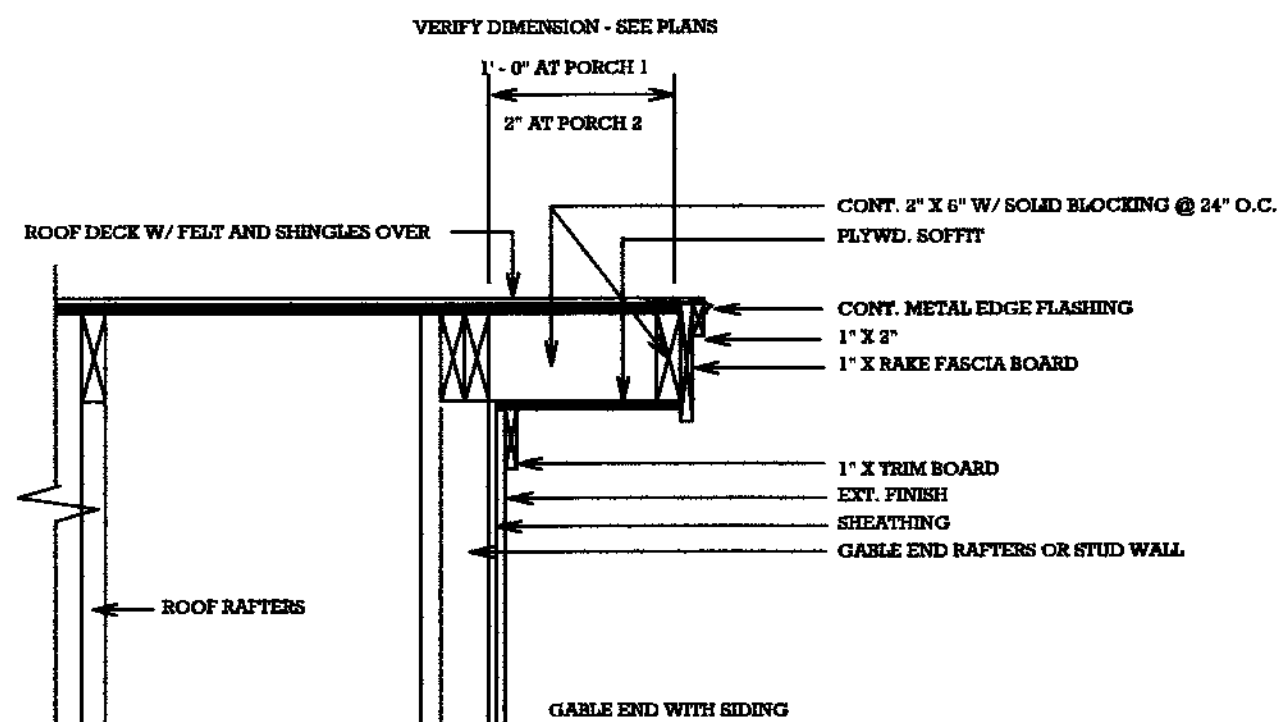


TEE DETAIL  
2" X 4" INT. WALL & 2" X 6" EXT. WALLS WITH SIDING EXT.

## ENERGY EFFICIENT WALL CONSTRUCTION DETAILS

N.T.S.

RECOMMENDED FOR MAXIMUM ENERGY EFFICIENCY - MAY NOT BE ACCEPTABLE BY SOME CODES



## GABLE ROOF RAKE DETAILS

N.T.S.

MAXIMUM SPAN FOR CEILING JOIST					
SIZE	10/5 NO ATTIC STORAGE			20/10 LIMITED ATTIC STORAGE	
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	24" O.C.
2" X 6"	19'-6"	17'-8"	15'-8"	15'-8"	13'-6"
2" X 8"	28'-8"	25'-4"	20'-1"	20'-1"	14'-2"
2" X 10"	28'-0"	26'-0"	24'-0"	24'-0"	17'-0"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL BASED ON NUMBER 2 GRADE SOUTHERN PINE

MAXIMUM SPAN FOR FLOOR JOIST					
SIZE	30/10 SLEEPING ROOMS			40/10 ALL OTHER ROOMS	
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	24" O.C.
2" X 6"	11'-10"	10'-8"	9'-4"	10'-8"	8'-8"
2" X 8"	15'-7"	14'-2"	12'-4"	14'-2"	11'-0"
2" X 10"	19'-10"	18'-0"	14'-8"	18'-0"	15'-8"
2" X 12"	24'-2"	21'-1"	17'-2"	21'-9"	18'-4"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL BASED ON NUMBER 2 GRADE SOUTHERN PINE

MAXIMUM SPAN FOR RAFTERS			
SIZE	20 PSF LIVE LOAD / 10 PSF DEAD LOAD		24" O.C.
	12" O.C.	16" O.C.	
2" X 6"	18'-9"	14'-4"	12'-8"
2" X 8"	20'-10"	16'-11"	16'-8"
2" X 10"	26'-0"	23'-10"	19'-8"
2" X 12"	26'-0"	25'-0"	23'-1"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL BASED ON NUMBER 2 GRADE SOUTHERN PINE

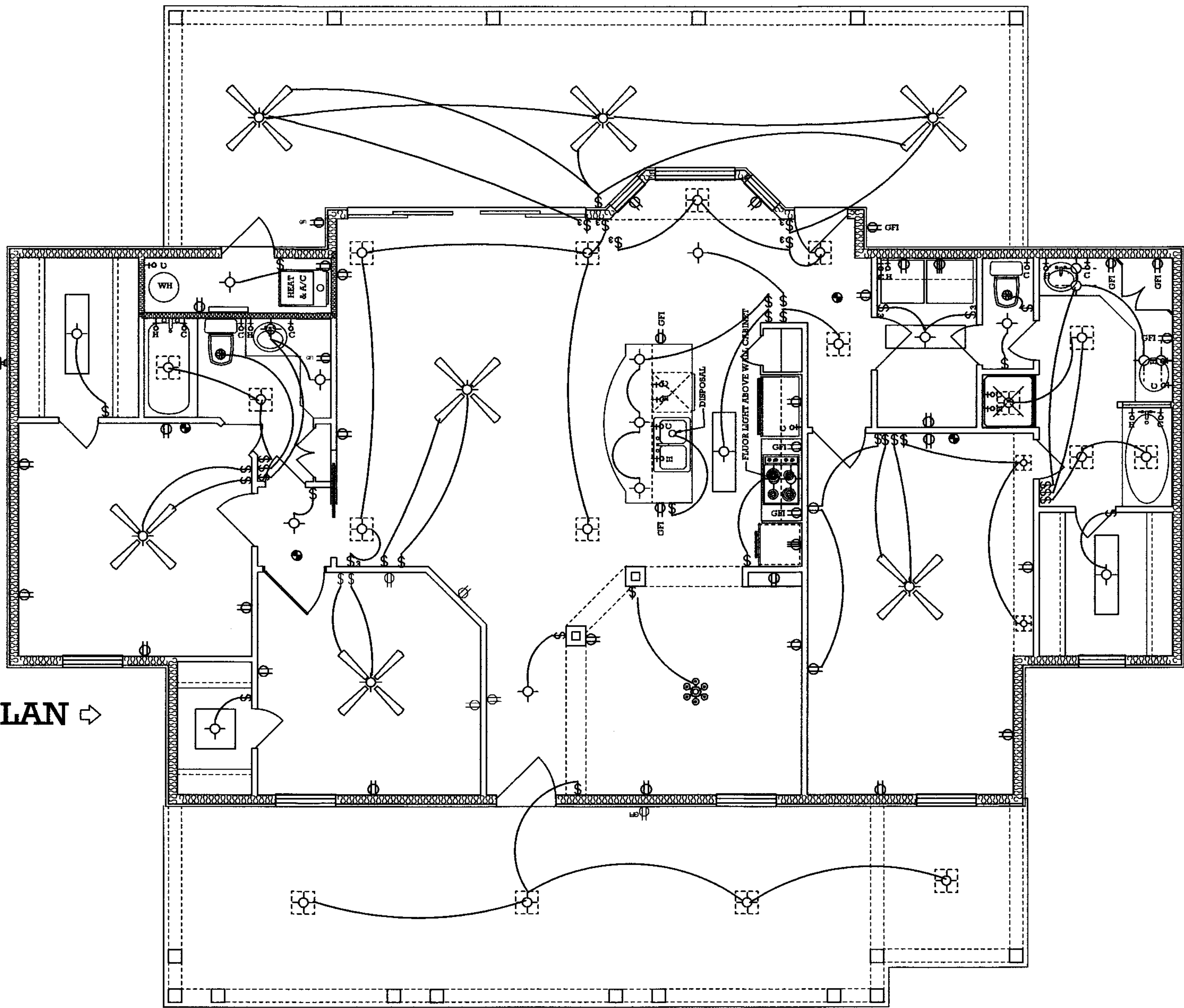
MAXIMUM SPAN FOR HEADERS OVER WALL OPENINGS				
SIZE OF HEADER	SUPPORTING ROOF ONLY	1 STORY ABOVE	2 STORES	NONE
2-2" X 6"	6'	4'	-	-
2-2" X 8"	8'	6'	-	10'
2-2" X 10"	10'	8'	6'	12'
2-2" X 12"	12'	10'	8'	16'

SPANS ARE TAKEN FROM THE 1988 EDITION OF THE CABO BUILDING CODES AND ARE BASED ON NUMBER 2 GRADE LUMBER WITH 10' TRIBUTARY FLOOR AND ROOF LOADS.

### GENERAL NOTES:

- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF EXTERIOR STUDS
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED
- THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE CURRENT CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE, IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMIT DEPARTMENT. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED PRIOR TO STARTING CONSTRUCTION.
- DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:

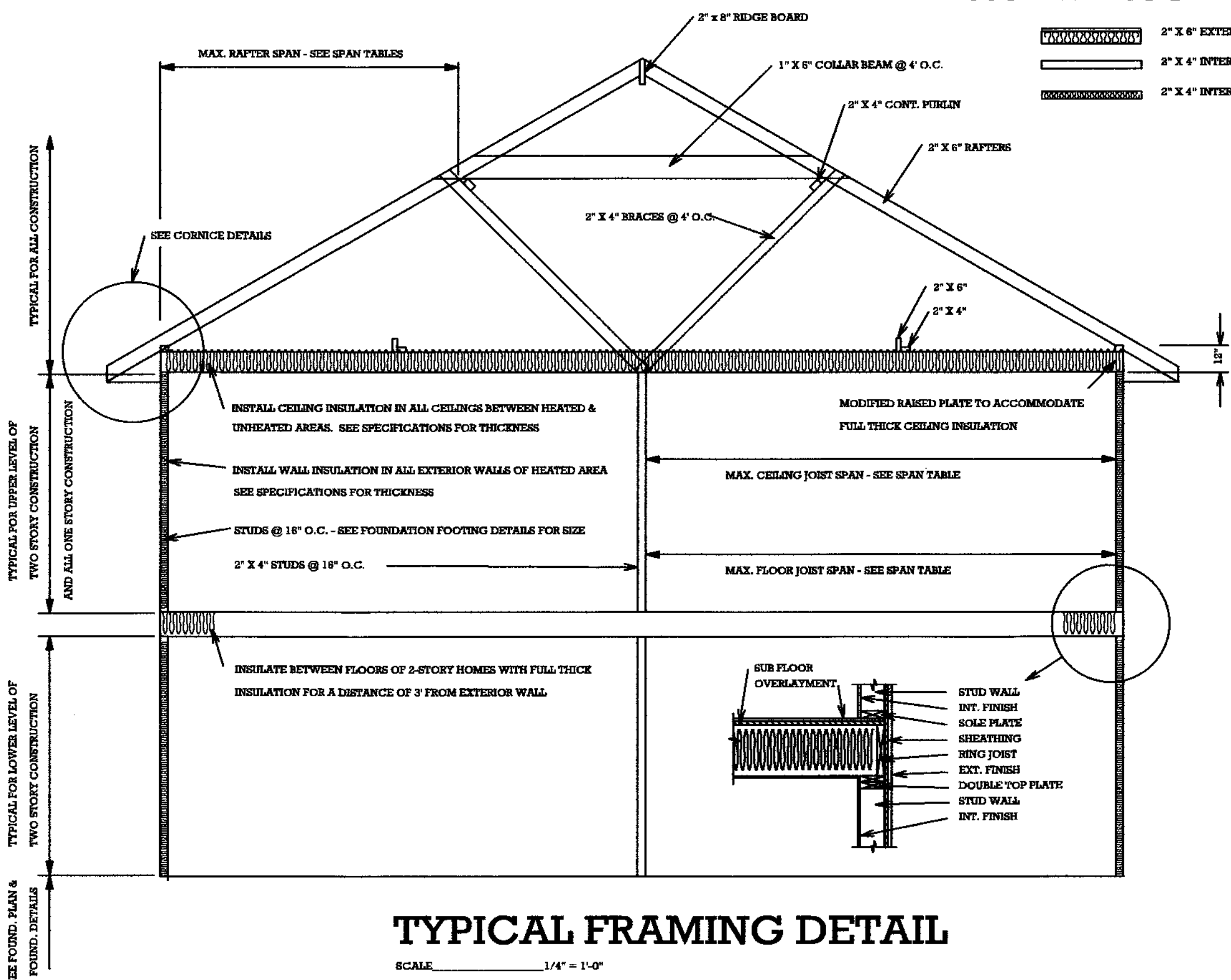
LOCATION	LIVE	DEAD
FLOOR (SLEEPING ROOMS)	30	10
FLOOR (OTHER ROOMS)	40	10
ATTIC W/ NO STORAGE	10	10
ATTIC W/ STORAGE	30	10
ROOF (NO CEILING)	30	10
ROOF WITH CEILING	30	15
- SNOW LOADS 30 PSF. RAFTER SIZES MAY NEED TO BE INCREASED FOR HIGHER SNOW LOADS.



## ELECTRICAL PLAN

## WALL INSULATION SCHEDULE

	2" X 6" EXTERIOR WALLS WITH 5 1/2" R-19 INSULATION
	2" X 4" INTERIOR WALLS WITH NO INSULATION
	2" X 4" INTERIOR WALLS WITH 3 1/2" R-11 INSULATION & SOUND DEADENING BOARD



## TYPICAL FRAMING DETAIL

SCALE 1/4" = 1'-0"

## ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
	LED CEILING LIGHT FIXTURE
	LED RECESSED LIGHT FIXTURE
	LED RECESSED SWIVEL LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	DOUBLE FLOOD LIGHT
	LED TUBE FIXTURE
	RECESSED MULTI-TUBE LED FIXTURE
	SURFACE MOUNTED MULTI-TUBE LED FIXTURE
	110V OUTLET
	220V OUTLET
	DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER
	CABLE OR TV OUTLET. OWNER TO PLACE THIS SYMBOL WHERE OUTLETS ARE DESIRED

	CEILING FAN OR CEILING FAN WITH LIGHT
	DUAL SWITCHES AND WIRING INDICATES FAN WITH LIGHT FIXTURE.
	CHANDELER
	SMOKE DETECTOR
	VANITY LIGHTS
	TACK LIGHTS
	EXHAUST FAN
	EXHAUST FAN WITH HEATER
	SWITCH WITH DIMMER CONTROL
	SINGLE POLE SWITCH
	4 WAY SWITCH
	3 WAY SWITCH
	SINGLE POLE SWITCH
	TELEPHONE OUTLETS - OWNER TO PLACE SYMBOL WHERE OUTLETS ARE DESIRED

## ELECTRICAL PLAN

OTHER WIRING REQUIREMENTS NOT SHOWN INCLUDE ATTIC ROOF FANS, RANGE AND OVENS, VENT HOODS, HEAT & A/C BLOWER UNITS, A/C COMPRESSOR, DISHWASHER, DISPOSAL, WHIRLPOOL TUBS AND OTHER SIMILAR ITEMS.

EXTERIOR DUPLEX ELECTRICAL OUTLETS TO HAVE WEATHER PROOF COVERS.

## MECHANICAL PLAN

LOCATION OF FURNACE AND A/C COMPRESSOR IS SHOWN ON THIS PLAN. HEAT LOSS/GAIN CALCULATIONS, DUCT LAYOUT AND EQUIPMENT SPECIFICATIONS TO BE PROVIDED BY OTHER

## PLUMBING PLAN

LOCATION OF WATER USING FIXTURES, HOSE BINS AND WATER TAPS ARE SHOWN ON THIS PLAN. SEE PLANS BY OTHERS FOR WATER SUPPLY, VENTING AND DRAINAGE PIPING AND ROUTING. REFER TO SPECIFICATIONS FOR PLUMBING FIXTURE SELECTION.

- HOSE BIB  
 COLD WATER OUTLET  
 HOT WATER OUTLET

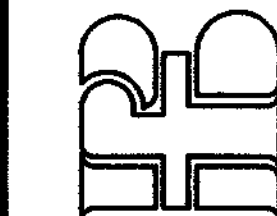
### PLUMBING SYMBOLS

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS INDICATED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



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PLAN NUMBER

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SPECIFICATIONS
1. DETAILED DRAWINGS AND SPECIFICATIONS CONFLICT: Should a conflict occur in or between drawings and specifications, the order of precedence shall be as follows: (a) The detailed specifications (b) Large scale dwg's. (c) small scale dwg's
2. MANUFACTURERS DIRECTIONS: All manufactured articles, material and equipment shall be applied, installed, connected, erected, cleaned, used and conditioned as directed by the manufacturer, unless herein specified to the contrary.
WORKMANSHIP: Compliance with the drawings and specifications with regard to materials and methods of assembly will, not in itself, assure acceptance of construction. Of equal importance is good workmanship.
3. WORK AND MATERIALS NOT COVERED IN SPECIFICATIONS: Any item of work necessary to the proper completion of construction which is not specifically covered in the drawings and specifications shall be performed in a manner deemed good practice of the trade involved.
4. USE ONLY APPLICABLE ITEMS: Some items in these specifications may not apply to the working drawings. Use only those items that apply. Specifications address slab, crawl space and basement construction because plans may be available with more than one foundation type.
DIVISION 1: GENERAL REQUIREMENTS
1. MEASUREMENTS & DIMENSIONS: Any discrepancies between drawings and/or specifications shall be referred to the designer for correction or adjustment. Builder or contractor shall check and verify all conditions and dimensions prior to construction and notify designer accordingly.
2. SPECIFICATIONS DIVISION: The separation of specifications into divisions is for the purpose of uniform coordination of the work of the different trades. Some mortgage lending institutions, such as FHA & VA, may require that specifications be submitted on a form unique to them. In such cases, the owner or contractor may be required to transfer the required information to the lender form.
DIVISION 2: SITEWORK
1. GENERAL: These construction documents are designed for universal conditions and do not address a specific site. We recommend that these drawings and specifications be supplemented with appropriate site plans and specifications.
DIVISION 3: CONCRETE
1. GENERAL: This division is intended to cover all concrete work and related items necessary to complete work shown on drawings and herein specified. However, these construction documents are designed for universal use and do not address specific site conditions. The foundation plans and specifications have been designed to meet typical soil conditions. We highly recommend that sub-surface conditions be explored by an appropriate testing laboratory and if necessary, foundation design be adjusted by a structural engineer familiar with local conditions.
2. MATERIALS: materials shall comply with the following requirements: A. Cement: Domestic Portland Cement, Type 1, conforming to ASTM C-150 B. Concrete: 3000W Ready mix, 5" slump range, 1:2:4 mix, 100' aggregate. C. Reinforcing Steel: Intermediate grade conforming to ASTM A118 D. Expansion Joint Material: Asphalt mastic strips, install where slabs abut masonry E. Vapor Barrier: Install where shown on plans, 6m polyethylene. F. Gravel FILL: clean washed gravel, 3/4", 1 1/2". G. Anchor Bolts: Set in ext walls, see plans for size & spacing.
3. PLACING VAPOR BARRIERS: Subgrade to be rolled and free of protrusions and treated for termites. Lap vapor barrier 6" min., use under all slabs.
7. CONCRETE FINISH: A. Basement Slab: smooth metal trowel finish B. House, Garage & Carport: smooth finish C. Porches & areas with exposed concrete: See finish schedule
8. TERMITE TREATMENT: 0.2% Dieldrin in oil solution or water emulsion, apply as per mfg's directions for new home construction.

8. DRYWALL: Drywall to be 1/2" Gypsum Board, Flat, Tape and sand smooth as per mfg's specifications. Install metal corner bead on all exterior corners of gypsum board.
9. CLOSET ROBE: 1" Diameter iron pipe w/ supports at 4' oc min.
10. WOOD FLOORING: See finish schedule for location - see cost allowance schedule for cost. Install as per mfg's specifications.
INSULATION:
A. Materials: 1. Walls: 2" x 8" ext. walls - 4" Fiberglass bats (R-19) w/o vapor barrier. 2" x 4" walls - 4" Fiberglass bats (R-11) w/o vapor barrier A/C closet walls - 4" Fiberglass bats (R-11) w/o vapor barrier 2. Ceilings: 12" Fiberglass bats (R-38) w/o vapor barrier 3. Floors: (wood floor framing) 4" fiberglass bats (R-19) 4. Sole Plate & Penetration: Seal under sole plate and all penetration with liquid expandable urethane. B. Vapor Barrier: Install a 6m polyethylene vapor barrier on inside of all exterior walls and ceilings C. Installation: Install all insulation as per mfg's specifications.
DIVISION 7: MOISTURE PROTECTION
1. Asphalt Shingle Roof: Fiberglass, Class "A", #210 min. weight - see allowance schedule. 2. Sheet Metal: A. Flashing: #4 gauge, best commercial grade B. Where dissimilar metals come in contact: apply a heavy coat of asphaltic paint to both surfaces 3. Basement Walls Below Grade: purge with 1/2" thick layer of Portland Cement grout. After drying, mop 2 coats of hot asphaltic pitch over entire area. 4. Skylights: See plans for size. Install as per mfg's specifications.
DIVISION 8: WINDOWS & DOORS
1. Windows: See plans for size and type - see cost allowance schedule 2. Doors: See door schedule for size and type 3. Bath room mirrors: shall be 1/4" silvered plate glass with copper backing
DIVISION 9: FINISHES
1. Resilient Flooring: See finish & cost allowance schedules - install as per mfg's specifications. 2. Carpet: See cost allowance and finish schedules - install as per mfg's specifications. 3. Ceramic, Quarry & Marble Tile: See cost allowance & finish schedules. Install as per mfg's specifications. 4. Painting: All surfaces to be prepared and all paint to be applied as per mfg's specifications as follows: A. Interior: 1. Interior gypsum board - 1 coat primer and sealer, 2 coats flat latex. 2. Interior walls at bath & kitchen - 1 coat enamel undercoat, 2 coats enamel. 3. Cabinets & woodwork: Stained - 1 coat oil base stain, 1 coat sealer, 1 coat of satin varnish. Painted - 1 coat enamel undercoat, 2 coat semi-gloss enamel. B. Exterior: Painted - 1 coat oil base undercoat, 2 coats oil base paint. Stained - 1 coat oil base stain 5. Cultured Marble: unless noted otherwise, install cultured marble surrounds at bath tubs & high above tub. Install cultured marble vanity tops with integral bowls at all vanity tops. Owner to select color and lavatory bowl style.
DIVISION 10: SPECIALTIES
1. Kitchen Appliances: Install as per mfg's specifications - see cost allowance schedule. 2. Finish Hardware: See allowance schedule - allowance covers door handles, locks, drawer pulls, cabinet handles and hinges, drawer and door hardware, door tracks, and shower enclosures. 3. Metal Fireplaces: See plans for size. Unit shall be equal to "Tanco" and shall have a zero-clearance rating. Firebox to be lined with approved refractory panel.
DIVISION 18: MECHANICAL
1. Plumbing: A. Drain, Waste and Vent Material: Pipe to be cast iron or schedule 40 pvc. Fittings to be cast iron or PVC /DWV.

COST ALLOWANCE SCHEDULE		
INSERT PRICES AS DESIRED - ALL ALLOWANCES ARE CONTRACTOR PRICES		
BRICK - ALLOWANCE PER THOUSAND TO PURCHASE	\$	
ROOFING - ALLOWANCE PER SQUARE TO PURCHASE	\$	
FLOORING		
CERAMIC TILE - ALLOWANCE PER SQ. FT. TO PURCHASE & INSTALL	\$	
VINYL COMPOSITION TILE - ALLOWANCE PER SQ. YD. TO PURCHASE AND INSTALL	\$	
SHEET VINYL - ALLOWANCE PER SQ. YD. TO PURCHASE & INSTALL	\$	
CARPET - ALLOWANCE TO PURCHASE & INSTALL CARPET & PAD PER SQ. YD.	\$	
KITCHEN APPLIANCES - ALLOWANCE TO PURCHASE, LUMP SUM	\$	
HARDWARE - ALLOWANCE TO PURCHASE, LUMP SUM	\$	
WINDOWS - ALLOWANCE TO PURCHASE, LUMP SUM	\$	
LIGHTING FIXTURES - ALLOWANCE TO PURCHASE, LUMP SUM	\$	
CEILING FANS - ALLOWANCE TO PURCHASE EACH ONE	\$	
KITCHEN CABINETS - ALLOWANCE TO PURCHASE, LUMP SUM	\$	
ALL OTHER CABINETS - ALLOWANCE TO PURCHASE, LUMP SUM	\$	
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$	
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$	
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$	
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$	
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$	

INTERIOR FINISH LEGEND	
FLOORS	
1. CARPET & PAD	6. QUARRY TILE
2. CERAMIC TILE	7. BRICK PAVERS
3. VINYL COMPOSITION TILE	8. CONCRETE - SMOOTH FINISH
4. SHEET VINYL	9. CONCRETE - EXPOSED AGGREGATE FINISH
8. HARDWOOD FLOORING	10. 8/4" TREATED WOOD DECKING
WALLS	
1. GYPSUM BOARD - PAINTED	4. RAISED WOOD PANELS
2. GYPSUM BOARD - WALL COVERING APPLIED	6. CERAMIC TILE
3. PREFINISHED PANELING	8. WOOD WAINSCOT W/ PAINTED GYPSUM BOARD ABOVE
CEILINGS	REMARKS
1. GYPSUM BOARD WITH MEDIUM STEPPLE FINISH AND PAINTED	
2. GYPSUM BOARD WITH SMOOTH FINISH AND PAINTED	
3. 1" X 4" RANDOM LENGTH BOARDS IN BEADED PATTERN	
4. 3/8" EXTERIOR PLYWOOD - STAINED	
5. 1" X 6" T & G, V-JOINT - PAINTED	
6. 1" X 6" T & G, V-JOINT - STAINED	
7. 1" 8/6 BOARDS - SEE PLANS FOR WIDTH	
BASE TRIM	REMARKS
1. ROUND EDGE - WM-483 8/16" X 3 1/4"	
2. COLONIAL - WM-444 11/16" X 3 1/2"	
3. COLONIAL - LWM-444 11/16" X 4 1/4"	
DOOR AND WINDOW TRIM	REMARKS
1. TEARDROP - WM-384 11/16" X 2 1/4"	
2. TEARDROP - WM-713 8/16" X 3 1/4"	
3. COLONIAL - WM-381 11/16" X 3 1/2"	
4. COLONIAL - WM-444 11/16" X 3 1/2"	
5. 3-STEP 11/16" X 3 1/4"	
6. 3-STEP 11/16" X 4 1/4"	
7. ROUND EDGE - WM-483 9/16" X 3 1/4"	
8. OTHER (GIVE DESCRIPTION)	
CEILING MOLDING	REMARKS
1. CROWN - WM-88 8/16" X 2 1/4"	
2. CROWN - WM-48 8/16" X 3 5/8"	
3. 2 PIECE - CROWN (WM-88) OVER 1" X 4"	
4. 3 PIECE - CROWN (WM-48) OVER 1" X 6" OVER SCOTIA (WM-100 - 11/16" X 11/16	
5. OTHER (GIVE DESCRIPTION)	

PLUMBING FIXTURE SCHEDULE								
NOTE: OWNER / CONTRACTOR TO COMPLETE PLUMBING SCHEDULE BY INSERTING MANUFACTURER NUMBER IN APPLICABLE LOCATION OF SCHEDULE								
ITEM	DESCRIPTION	BATH 1	BATH 2	BATH 3	BATH 4	DRESS RM. 1	DRESS RM. 2	DRESS RM. 3
LAVATORY	MANUFACTURER #							
	COLOR							
	STYLE							
LAVATORY TRIM (FAUCETS)	MANUFACTURER #							
	COLOR							
	STYLE							
BATH TUB	MANUFACTURER #							
	COLOR							
	STYLE							
BATH TUB OR SHOWER TRIM (FAUCETS)	MANUFACTURER #							
	COLOR							
	STYLE							
WATER CLOSET (TOILET)	MANUFACTURER #							
	COLOR							
	STYLE							
BIDET	MANUFACTURER #							
	COLOR							
	STYLE							
SHOWER	MANUFACTURER #							

DIVISION 4: MASONRY
1. GENERAL: This section includes concrete block and brick walls as shown on drawings and specified herein. A. Work Related to other trades: Consult with other trades to insure the proper installation of all materials. B. Dry-C-Wall or equal masonry reinforcement shall be placed in block or brick work as specified.
2. MATERIALS: A. Concrete Block: Lightweight, manufactured from expanded shale aggregate by the rotary kiln method meeting requirements of ASTM C-900, Grade A B. Brick: By recognized manufacturer - see allowance schedule C. Mortar Mix: For laying brick & concrete block - 1 part cement, 1 part lime putty, and 6 parts sand. D. Stucco: Use 3 coat stucco application, 3/8" base coat, 3/8" scratch coat, 1/8" finish coat. DO NOT USE ANY FORM OF SYNTHETIC STUCCO.
3. WATERPROOFING CONCRETE BLOCK: See section 3, Division 7.
DIVISION 5: METALS
1. Structural Metal: provide size as indicated on drawing. All structural metal to be shop primed with red lead primer. A. Anchor Bolts: Comply with ASTM A-307 non-leaded with hex nuts unless other wise indicated. B. Steel Basement Columns: 4" diameter with 3/8" x 4" x 8" welded cap & base C. Galvanized Basement Arisway: "Bico" or equal - install as per manufacturer specifications D. Aluminum Thresholds: Exterior weather seal type, install in all exterior entrances, anchor securely in bed of caulk. E. Termite Shields: shall be #4 gauge galv. sheet metal in 8' lengths. break metal to form a 90 degree angle. Solder all joints and apply mastic under holes for anchor bolts to form a tight barrier between masonry and wood.
DIVISION 6: CARPENTRY & MILLWORK
1. LUMBER GRADING REQUIREMENTS: A. Moisture Content: Framing lumber not to exceed 19% - finish lumber not to exceed 12%. B. Grade & Trade Mark: To be graded in accordance with latest grading rules of manufacturers association under which rules lumber is produced and bear the grade and trade mark of the association. C. Quality: Must be sound, free of warp that cannot be corrected.
2. GRADE & SPECIES: A. All Rough Framing Lumber except Studs & wall plates: #2 SYP - all wood in contact with concrete to be pressure treated. B. Studs, Sillplate and Double wall plates: #2 Spruce C. Bridging, Blocking, Purling, etc.: #2 SYP D. Sub-Flooring: APA rated Stud-Floor tongue & groove sized for spacing o.c. distance as recommended by APA. Use Exposure 1" in areas exposed to moisture such as bathrooms. Use "Flexon" where exposed to severe moisture. Install an additional layer of underlayment in areas to be finished with thin floor coverings such as vinyl tile. Fasteners to be 8d common at 6" oc at edges and 10" oc in field. E. Roof Decking: 1/2" x 4" x 8 APA Plywood, CD, Exterior. Install w/ outside grain at right angle to rafters, support all end joints on bearings and staggered with air. course in line. Fasten with 8d nails 6" oc at edge and 12" at intermediate supports. F. Wall sheathing: 1/2" exterior CD grade plywood. Cover with house wrap material acceptable by prevailing code. Where stucco or curved stone products occur, use sheathing with integral wire mesh. H. Siding: See finish schedule I. Exterior Trim: synthetic products as manufactured by "James Hardi" J. Interior wood work, Painted: "W" or better, machine sanded at mill and hand sanded on job. K. Shelving: 3/4" fir All interior. L. Laminated Plastic Cabinet tops: 1/16" high pressure plastic. Install as per manufacturer directions and specifications.
3. JOISTS: All joist shall be doubled under partitions and around stairwell. 4. CROSS BRIDGING: Joist over 8' spans shall be bridged with one row of 1" x 3 bridging cut on bevel and nailed tight after sub-floor has been installed. 5. WALL & PARTITION FRAMING: #2 Spruce 6. CEILING JOIST & RAFTERS: #2 SYP - see plans for size and spacing 7. BEAMS: see plans

A. Water Piping: Underground supply to be type "K" copper. Above ground can be type "M" copper. Sleeve all pipe below concrete slab with plastic pipe liner. C. Compliance with Codes: All plumbing to comply with local building codes. D. Hangers & Supports: 1. Cast iron soil, waste and vent piping shall be supported near or at each hub, not including the fittings at intervals not to exceed 6 feet. 2. All copper tube lines shall be supported by means of copper tube hangers of size and type adequate support the line, properly supported from the building construction. pipe 3/4" and smaller shall have hangers placed at intervals not to exceed 7'. Hangers supporting tubing 1" & larger shall be placed at interval not exceeding 8'. It is important that no galv. hangers be permitted with copper tubing lines. 3. Pipe hangers: All hot water piping and all water supply lines exposed located in unconditioned areas shall be insulated with a min. of 1" pipe insulation. E. Domestic Water Heater: 40 gallon min., glass lined, electric, placed in a metal pan w/ 1/2" sides and drain to outside. Water heater to be wrapped with a insulation blanket as per mfg's specifications.
2. Heating & Air Conditioning System: These plans and specifications are designed for universal use and do not address a specific climate condition. Heat loss/gain calculations should be made by a mechanical engineer familiar with local climate conditions. Drawings should be prepared, based on the calculations, for the duct size and layout and equipment size and layout. Drawings should be used to supplement these working drawings.
3. Ventilation: A. Bath: Install a "Nutone" model 9812 exhaust fan in each bath. B. Attic: Install a "Nutone" RF-66 attic cooling fan on roof as recommended by mfg. 3. Plumbing vents - use air admittance valves where allowed by code.
DIVISION 16: ELECTRICAL
1. All wiring to be done in strict accordance with the National Electric Code and all applicable state and local codes. All equipment to bear U.L. label of approval. 2. Service: The service supplied to the structure shall be 3 wire, 115/230 volt 60 cycle, single phase. Contractor to install meter, power company to bring service to meter. 3. Service Panel: The main service panel shall be required amp capacity with automatic circuit breakers. Panel shall include main circuit breaker having a grounded neutral and arranged for service specified. 4. Wiring: to be approved copper cable. Service entrance & feeder to panel shall be black wall galv. conduit. Romex cable shall have grounding conductor. 5. Special outlets: Special outlets may be required for range, the water heater, whirlpool etc. These outlets may not necessarily be shown on plans. 6. Boxes: To be galvanized steel or approved plastic installed as per electrical codes. 7. Receptacle and Switches: Receptacles and switches shall be installed as shown on drawings and wired to provide switch control as indicated. Receptacles shall be duplex type of Ivory Bakelite. Wall receptacles shall be placed 18" above floor, cabinet receptacles 42" above floor and above cabinets. 8. Telephone Wiring: Install telephone wiring and outlets as per electrical plan. 9. Signal Chimes: Install in central location a set of chimes with a circuit connected to approved transformer and light circuit. Provide outside push button at each exterior door as per owners choice. 10. Lighting Fixtures: See allowance schedule

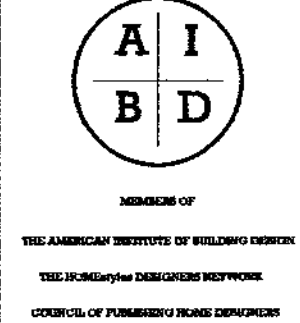
INTERIOR FINISH SCHEDULE							
NOTE: OWNER / CONTRACTOR TO COMPLETE FINISH SCHEDULE BY INSERTING DESIRED FINISH FROM INTERIOR FINISH LEGEND							
ROOM	FLOOR	BASE	DOOR/WIN. TRIM	CEILING MOLDING	WALLS	CEILINGS	REMARKS
GARAGE							
STORAGE							
SUNROOM							
KITCHEN							
UTILITY							
EATING							
DINING							
LIVING							
FOYER							
STUDY							
DEN							
STAIRS							
MASTER SUITE							
BED ROOM 2							
BED ROOM 3							
BED ROOM 4							
BATH 1							
BATH 2							
BATH 3							
BATH 4							
DRESS ROOM 1							
DRESS ROOM 2							
DRESS ROOM 3							
DRESS ROOM 4							
HALL 1							
HALL 2							
HALL 3							
HALL 4							
GAME ROOM							
BONUS ROOM							
OFFICE							
MEDIA ROOM							
OTHER							
OTHER							
OTHER							

EXTERIOR FINISH SCHEDULE			
NOTE: OWNER / CONTRACTOR TO COMPLETE FINISH SCHEDULE BY INSERTING DESIRED FINISH FROM EXTERIOR FINISH LEGEND			
AREA	WALLS	CEILING	REMARKS
FRONT ELEVATION			
REAR ELEVATION			
RIGHT SIDE ELEVATION			
LEFT SIDE ELEVATION			
CARPORT			
GARAGE			
PORCH 1			
PORCH 2			
PORCH 3			

EXTERIOR FINISH LEGEND
WALLS
1. STUCCO
2. BRICK
3. 1" X 12" CEDAR BOARDS VERTICAL WITH 1" X 8" BATS
4. MASONITE "X-80"
5. HORIZONTAL VINYL SIDING
6. REDWOOD HORIZONTAL BEVELED LAP SIDING
7. REDWOOD VERTICAL T & G, V-JOINT 1" X 8"
8. REDWOOD DIAGONAL T & G, V-JOINT 1" X 8"
9. CEDAR HORIZONTAL BEVEL LAP SIDING 1" X 8"
11. FANCY CUT SHINKLES
12. OTHER - DESCRIBE
CEILINGS
1. 3/8" EXTERIOR PLYWOOD - PAINTED
2. 3/8" EXTERIOR PLYWOOD - STAINED
3. 1" X 6" T & G, V-JOINT - PAINTED
4. 1" X 6" T & G, V-JOINT - STAINED
5. 1" 6/8 BOARDS - SEE PLANS FOR WIDTH
6. VINYL SLATS
7. OTHER - DESCRIBE
7. OTHER - DESCRIBE
7. OTHER - DESCRIBE

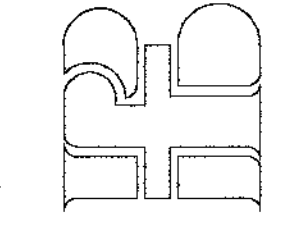
LIGHTING FIXTURE SCHEDULE			
NOTE: OWNER / CONTRACTOR TO COMPLETE LIGHTING SCHEDULE BY INSERTING MANUFACTURES NUMBER IN APPLICABLE LOCATION OF SCHEDULE			
ROOM NAME	MANUFACTURER	LIGHT FIXTURE #	REMARKS
GARAGE			
STORAGE			
SUNROOM			
KITCHEN			
UTILITY			
EATING			
DINING			
LIVING			
FOYER			
STUDY			
DEN			
STAIRS			
MASTER SUITE			
BED ROOM 2			
BED ROOM 3			
BED ROOM 4			
BATH 1			
BATH 2			
BATH 3			
BATH 4			
DRESS ROOM 1			
DRESS ROOM 2			
DRESS ROOM 3			
DRESS ROOM 4			
HALL 1			
HALL 2			
HALL 3			
HALL 4			
GAME ROOM			
BONUS ROOM			
OFFICE			
MEDIA ROOM			
OTHER			
OTHER			
OTHER			

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