

DATE 05/24/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025848

APPLICANT DAWN ROGERS PHONE 352 351-8153
ADDRESS 1748 NW 58TH LANE Ocala FL 34415
OWNER SAM HARRELL PHONE 344-5012
ADDRESS 131 SE FOSTER GLEN LAKE CITY FL 32055
CONTRACTOR ROBERT PUCKETT PHONE 352 351-8153
LOCATION OF PROPERTY 41S, TL ON CR 131, TR ON FOSTER GLEN RD, 2ND ON LEFT

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF/MH2 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 17-4S-17-08404-013 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES

IH0000707
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 07-383 BK JH Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 1248

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 27.90 WASTE FEE \$ 83.75
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 386.65
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06) Zoning Official Blk 25.05.07 Building Official OK JH 5-14-07

AP# 0765-15 Date Received 5/11/07 By LH Permit # 25848

Flood Zone X Development Permit N/A Zoning RS/MH-B Land Use Plan Map Category RENUA Dev.

Comments Issued based on County's change in zoning.

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☒ Well letter ☐ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from installer on file

☒ State Road Access ☐ Parent Parcel # _____ ☐ STUP-MH _____

Property ID # 17-45-17-08404-013 Subdivision _____

- New Mobile Home ☒ Used Mobile Home _____ Year 2007
- Applicant Dawn Rogers for Sam Harrell Phone # 352-351-8153
- Address 131 Foster Glen Rd 1748 N.W. 58th Ln Ocala FL 34475
- Name of Property Owner Sam Harrell Phone # 386-344-5012
- 911 Address 131 SE Foster Glen, L.C. 32055
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Sam Harrell Phone # 386-344-5012
- Address 131 Foster Glen Rd
- Relationship to Property Owner self
- Current Number of Dwellings on Property 0
- Lot Size 1 acre Total Acreage 1 acre
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO.
- Driving Directions to the Property Hwy 90 to main street go west to State Rd 131 go around curve turn Right on Foster Glen Rd land on left side in front of singlewide trailer yellow w/white trim.
- Name of Licensed Dealer/Installer Robert Puckett Phone # 352-351-8153
- Installers Address 1748 N.W. 58th Ln Ocala FL 34475
- License Number IH0000407 Installation Decal # 286185

PERMIT NUMBER

PERMIT WORKSHEET

Installer

Robert Puckett

License #

IT0000707

Address of home being installed

131 Foster Glen Rd

Manufacturer

Ability

Length x width

34x36

NOTE:

*if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home*

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

Typical pier spacing

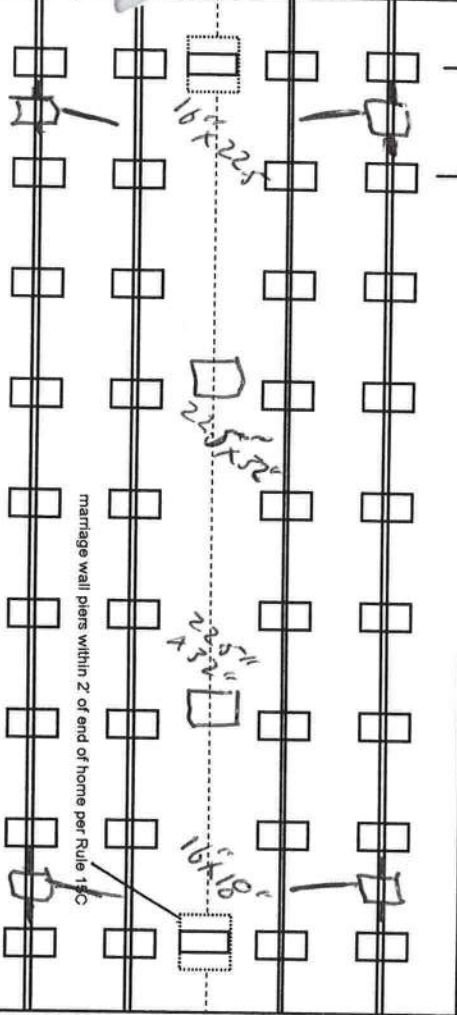
2'

9'

lateral

longitudinal

Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C



Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Decal #

Triple/Quad



Serial #



TBD

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16' x 16" (256)	18 1/2" x 18 1/2" (342)	20' x 20" (400)	22' x 22" (484)*	24' x 24" (576)*	26' x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

22.5" x 32"

Perimeter pier pad size

16" x 16"

Other pier pad sizes (required by the mfg.)

22.5" x 32"

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

10' 9"

22.5" x 32"

25' 9"

22.5" x 32"

ANCHORS

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

Minute Man

OTHER TIES

Sidewall

Longitudinal

Marriage wall

Shearwall

Number

8

4

2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil without testing.

X _____ X _____ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The results of the torque probe test is 176 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

____ RP ____ Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Robert Luckett

Date Tested 5-11-07

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 42

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 41

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed Yes Swale X Pad _____ Other _____

Fastening multi wide units

Floor: Type Fastener: 3/8" lag Length: 35" Spacing: 24"
Walls: Type Fastener: _____ Length: _____ Spacing: _____
Roof: Type Fastener: #10 x 4" wood Length: 4" Spacing: 12"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

RP

Type gasket

Pg. carpet padding

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ✓ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes ✓
Fireplace chimney installed so as not to allow intrusion of rain water. Yes NA

Miscellaneous

Skirting to be installed. Yes ✓ No _____
Dryer vent installed outside of skirting. Yes _____
Range downflow vent installed outside of skirting. Yes _____
Drain lines supported at 4 foot intervals. Yes Yes _____
Electrical crossovers protected. Yes Yes _____
Other: _____

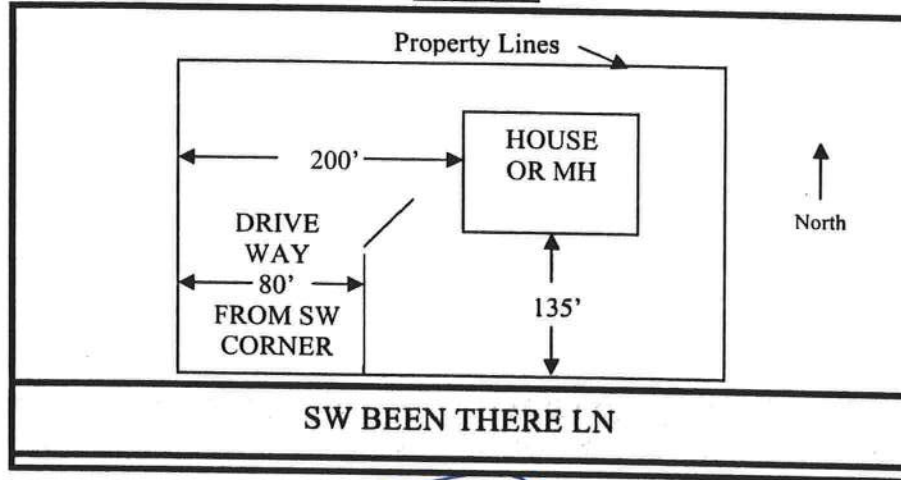
Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

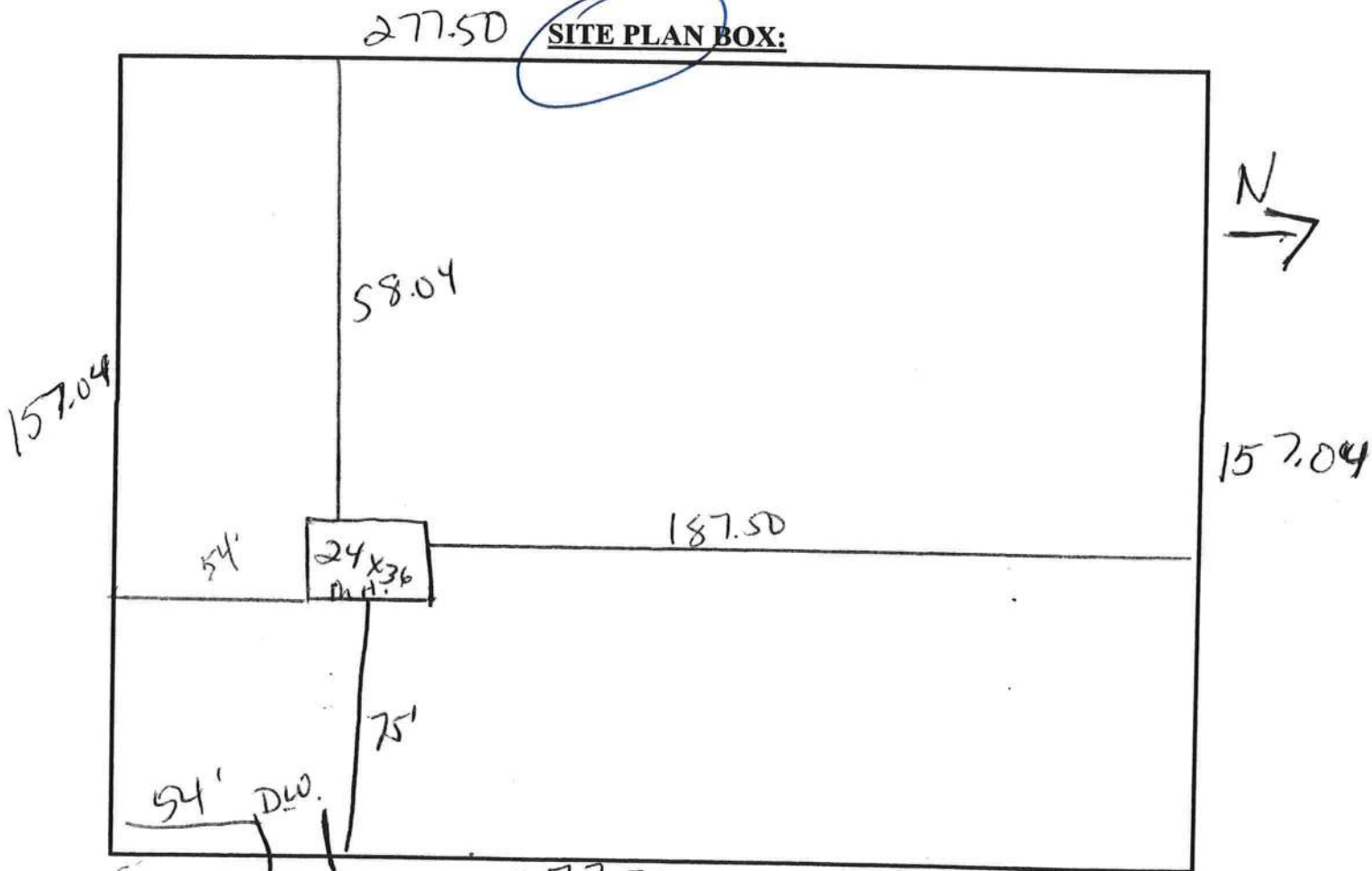
Installer Signature Robert Luckett Date 5-11-07

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



COMM SW COR OF E1/2 OF SE1/4
SW1/4 OF SW1/4, RUN E 187 FT,
N 157 FT, E 557.20 FT FOR POB,
CONT E 277.50 FT, N 157.04 FT,
HARRELL SAMUEL
225 SE CAMELOT LOOP
LAKE CITY, FL 32025

17-4S-17-08404-013

Columbia County 2007 R
PRINTED 4/11/2007 8:57
APPR 4/27/2004 DF
CARD 001 OF 001
BY JEFF

BUSE	AE?	HTD AREA	.000	INDEX	17417.00	DIST 2	PUSE	009900	NO AG	ACREAGE
MOD		EFF AREA	31.892	E-RATE		STR 17-4S-17				
EXW		RCN				MKT AREA 06				
RSTR		%GOOD				(PUD1				
RCVR						AC	1.000		19,200	LAND
INTW						NTCD			0	AG
FLOR						APPR CD			0	MKAG
HTTP						CNDO			19,200	JUST
A/C						SUBD			0	CLAS
QUAL						BLK				
FNDN						LOT			0	SOHD
SIZE						MAP# 98-A			0	ASSD
CEIL						TXDT 002			0	EXPT
ARCH									0	COTXBL
FRME										
KTCH										
WINDO										
CLAS										
OCC										
COND										
SUB										
A-AREA	%	E-AREA	%	SUB VALUE						

BOOK	PAGE	DATE	SALE	PRICE
1099	2108	8/04/2006	U V	3500
GRANTOR	RUTH E MCGRIFF			
GRANTEE	SAMUEL HARRELL			
GRANTOR				
GRANTEE				

AE BN	CODE	DESC	LEN	WID	HGT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	GOOD	XFOB	VALUE
AE	CODE	DESC																		
Y	009900	AC NON-AG	A-1							1.00	1.00	1.00	1.00	AC	19200.000			19200.00		19,200

2007

Return to:
Merrill C. Tunsil, P.A.
P. O. Box 2113
Lake City, Florida 32056-2113

This Instrument Prepared by:
Merrill C. Tunsil, P.A.
P. O. Box 2113
Lake City, Florida 32056-2113

Tax Parcel Identification Number:

Space Above This Line for Processing Data

Space Above This Line for Recording

THIS WARRANTY DEED, made this 4th day of August, 2006, by Ruth E. McGriff, a widow, whose address is 4316 35th Avenue, Vero Beach, FL 32967 hereinafter called the first party; to Samuel Harrell, a single person whose address is 225 SE Camelot Loop, Lake City, FL 32025, of the County of Columbia, State of Florida, hereinafter called the second party:

WITNESSETH, that the said first party, for and in consideration of the sum of Three thousand five hundred (\$3,500) dollars and other good and valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remises, release, convey, and transfer unto said second party forever, all their fee simple right, title, interest, and claim, said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Columbia County, State of Florida, to-wit:

COMMENCE AT THE SW CORNER OF E 1/4 OF SE 1/4 OF SW 1/4 OF SW 1/4 OF SECTION 17, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N.89°55'20" E., ALONG THE SOUTH LINE OF SAID SECTION 17, 187.00 FEET, THENCE N 00° 02'40" W, 157.00 FEET, THENCE N.89°55'20" E., 557.20 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.89°55' 20" E., 277.50 FEET; THENCE N. 00° 53'44" E., 157.04 FEET, THENCE S 89° 55'20" W, 277.50 FEET; THENCE S 00°53'44" W., 157.04 FEET TO THE POINT OF BEGINNING, CONTAINING 1.0 ACRES MORE OR LESS.

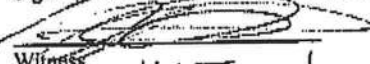
TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY; COMMENCE AT THE SW CORNER OF E 1/4 OF SE 1/4 OF SW 1/4 OF SW 1/4 SECTION 17, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N.89°55'20" E., ALONG THE SOUTH LINE OF SAID SECTION 17, 187. 00 FEET; THENCE N.00°02'40" W, 157.00 FEET; THENCE N.89° 55'20" E, 1389.70 FEET; THENCE N 00°53'44" E, 157.04 FEET TO THE POINT OF BEGINNING; THENCE S 89°55'20" W 832.50 FEET; THENCE S.00° 53'44" W, 20.00 FEET; THENCE N.89°55'20"E, 832.50 FEET; THENCE N.00°53'44" E., 20.00 FEET TO THE POINT OF BEGINNING.

TOGETHER with all the tenements, hereditament and appurtenances thereto belonging or in anywise appertaining. TO HAVE AND TO HOLD, the same in fee simple forever.

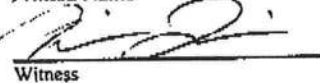
AND the Grantor hereby covenants with said Grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

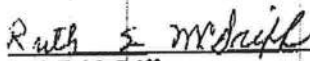
Signed, sealed and delivered in the presence of:


Witness

Merrill C. Tunsil
Printed Name


Witness

Akil Tunsil
Printed Name


Ruth E. McGriff
4316 35th Avenue
Vero Beach, FL 32967

Inst:2006025074 Date:10/23/2006 Time:10:03
Doc Stamp:Deed : 24.50
S. F. DC, P. DeWitt Cason, Columbia County B:1099 P:2108

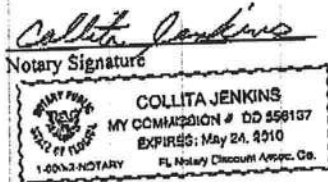
STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY, that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared RUTH E. MCGRIFF, known to me to be the persons described in and who

executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following forms of identification of the above named persons (or personally known ☒ An oath (was) ~~(was not)~~

taken.

WITNESS my hand and official seal in the County and State last aforesaid this 4th day of August, A.D. 2006.



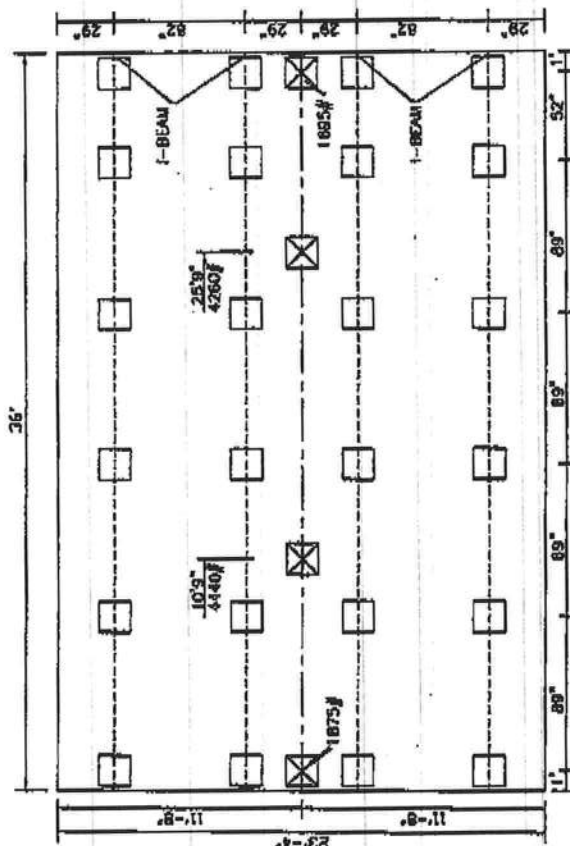
Inst:2006025074 Date:10/23/2005 Time:10:03
Doc Stamp-Deed : 24.50
DC,P.Dewitt Cason,Columbia County B:1099 P:2109

PART 1: PURCHASE AGREEMENT

DATE PREPARED: 1-17-07

A. PARTIES:		1. Prestige Home Centers, Inc. 5001 W. U.S. Hwy 90, Lake City, FL 32055 Phone: (904) 752-7751 Fax: (904) 758-5933	
2. Buyer: SAM HARRELL		Res. Phone: 758-8924 Work Phone:	
Buyer:		Res. Fax: Work Fax:	
Buyer's Address 225 SE CAMELOT LOOP		City LAKE CITY State FL Zip 32025	
B. AGREEMENT TO PURCHASE			
Buyer agrees to purchase from Seller under the terms and conditions specified in this document for the following described property			
C. PROPERTY DESCRIPTION: New ☒ Used ☐ Brokered ☐ Single ☐ Double Section ☒ Triple Section ☐ Other ☐			
Make MOBILITY Model 30 C2H(3) Year 2007 Serial # TAD Floor Length 36 Width 24			
Display Model ☐ Closing Date:			
together with the furnishings, accessories and service indicated hereon. Even though the property is identified by Serial No. or as "factory or" the Seller may substitute any other property which otherwise meets the description and specifications set forth herein. See also Part II, Paragraph 2 & 4d.			
D. RECORD OF TRANSACTION:		LIST OF ADDITIONS & DELETIONS	
1. Price of home including Additions and Deletions	\$ 39,995	Home price excludes tires, wheels, axles, air conditioning, heating, skirting, steps & furniture unless listed here as an addition	
Processing Fee	\$ 287.00		
2. Deliv. to homesite & set up subject to Part II Paragraph 6 and Part IV of Set-Up & Site Requirements Agreement	\$	HOME DEL. SER. SHEET, DELIVERED TO PROPERTY SET UP & TIED DOWN TO STATE CODE, MAX	
SUB TOTAL	\$ 40,282	22" HIGH. 2 TON CENTRAL HEAT & A/C	
3. Sales Tax: 4% (Excludes Gross Trade Value)	\$ 2,414.92	INSTALLED. 2 SETS OF CODE STEPS, MAX 4 HIGH	
Discretionary Sur Tax 1	\$ 40.28	STANDARD VERTICAL VINYL SKIRTING INSTALLED	
Total Improvements: (see adjacent column)	\$ 9,400.00	SELLER IS RESPONSIBLE FOR ALL IMPROVEMENTS UP TO \$9400.00. BUYER IS RESPONSIBLE FOR ANY & ALL OTHER COUNTY REQUIREMENTS OR FEES.	
TO-TAL PRICE OF HOME	\$ 52,199.20		
4. Cash Down Payment SH	\$ 2,000.00		
Date 3/19	cash	Amount \$2000	
Date	cash	Amount \$	
Date	cash	Amount \$	
5. Trade-In Allowance-Gross (see below)	\$	Property Improvements to be customer's responsibility unless allowances made below. Any amount higher than the allowance stated will be the	
6. Least Payoff debt (balance owing)	\$	customer's responsibility.	
7. Net Trade-In Allowance (Buyer's Equity)	\$	ALLOWANCES FOR PROPERTY IMPROVEMENTS:	
TOTAL DOWN PAYMENT SH	\$ 2000.00	Septic 2210 Well 2900	
UNPAID BALANCE OF HOME PRICE SH	\$ 50,199.20	Electrical 1000 Grading	
8. Mobile Home Ins. (Mos)	\$	Culvert Plumbing 850	
9. Title/License/Lien Fee	\$ 350	Impact Fee/permits 1500 Apron	
10. Service Sentry Protection Plan	\$	Foundation/Slide Prep 1000 Clearing	
11. Mite Tax/Doc. Stamp Fee	\$		
12. Flood Certification	\$	When required standard delivery and set up is based on your soil density of	
13. Closing Costs/ Points	\$	3000 pounds. Off-road equipment needed to deliver or spot the home shall	
14. Decamping Credit Life Ins.	\$	be at customer's expense. Further specifications attached	
TOTAL UNPAID BALANCE DUE BEFORE DELIVERY subject to Part II, 3 & 12 SH		\$ 50,549.20	
Description of Trade-In Manufactured Home ☐ Other ☐		E. DELIVERY	
Debt to be paid by: Seller ☐ Buyer ☐ Acct. #:		1. Proposed Delivery Date	
Debt owed to: Phone: #:		But in no later than	
Year Model Bedrooms Bath		which is the absolute delivery deadline as defined in Part II, Paragraph 3.	
Size Serial No. or Address		2. Place of Delivery	
Trade-In Appliances ☐ Skirting ☐ Drapes ☐ Carpets ☐		Address:	
Includes: Furniture ☐ A/C-Heat ☐ Porches and/or Steps ☐		City County State	
		Park Space No. Zip	
F. ENTIRE AGREEMENT, CONTRACT PARTS: This Agreement includes Part II, Terms and Conditions on the reverse side of this sheet and all other written terms, conditions and understandings accepted by the parties as part of this transaction which are deemed to comprise a single contract document and constitute the entire agreement of the parties. Each paragraph and provision of this contract and all parts hereof is severable; if one portion thereof is invalid the remaining portion shall, nevertheless, remain in full force and effect.			
G. PRIOR AGREEMENTS, MODIFICATIONS: This Agreement supersedes all prior negotiations, orders, offers, agreements and representations, either oral or written. In particular, this Agreement totally supersedes and replaces the similar agreement of the parties dated 20. This agreement may be modified or partly superseded by later written agreement of the parties attached hereto and incorporated herein.			
H. FINALITY OF SALE CONDITIONS: The sale agreed upon herein is unconditional, final and binding on the parties according to the terms stated in the various parts hereof, EXCEPT FOR THE FOLLOWING CONDITIONS ONLY: If (1) contemplated financing, if any, is not obtainable by any means at a rate not greater than 16% simple interest, or if (2) the Seller is unable to deliver the property substantially as specified, or if (3) in such case only, Buyer and Seller may elect to cancel the sale and Buyer shall then be entitled to a refund of payments made and/or the net true value of the trade-in received by the Seller less any direct costs incurred by Seller in processing this order or in applying for financing.			
K. ASSENT:		I. TRADE IN: If on receiving possession of the trade-in property by the Seller there has been a material change in its furnishings, accessories or physical condition from initial appraisal, normal wear and tear excepted, then the Seller may make a reappraisal. Said reappraisal then determines the trade-in allowance. THE BUYER WARRANTS SUCH PROPERTY TO BE HIS PROPERTY, FREE AND CLEAR OF ALL LIENS AND LICENSE FEES AND ACCOUNT SHORTAGES, EXCEPT AS OTHERWISE NOTED HERE, AND THE BUYER WARRANTS THE TOTAL AMOUNT THEREOF TO BE NO GREATER THAN STATED IN THIS AGREEMENT. Necessary corrections and adjustments concerning changes in net payoff on trade-in shall be made at the time of settlement. The values allowed herein for trade-in may be arbitrary and may differ from actual fair market value by mutual agreement for the purpose of this transaction. Therefore in the event of repossession or cancellation of the sale the parties are not bound by such allowance, if the trade-in consists of real estate, then details of the trade-in transaction and an itemization and calculation of allowances for same are set forth on the attached Real Estate Trade-In Agreement and Closing Statement, which is made a part of this Agreement. The Buyer agrees to deliver the original bill of sale or the title to any property traded in as partial payment along with the delivery of said property and the keys for same to Seller's premises.	
1. Acceptance by Seller		J. In the event the Buyer has not paid in full by the mutually agreed upon date, the Buyer will pay the Seller interest at the highest legal rate per month on the unpaid Balance until payment is made in full.	
Salesperson 10mharrell		2. Offer to purchase by Buyer: I/We agree to this sale, having read and understood the terms and conditions on the reverse side hereof and all other parts of this document and acknowledge receipt of a copy thereof.	
Accepted By:		Buyer Samuel Harrell	
TITLE		SSN 267-84-0418	
Notbinding on Seller until signed by an officer or the management of Seller.		Buyer	
		SSN	
		Date Signed	

24x36



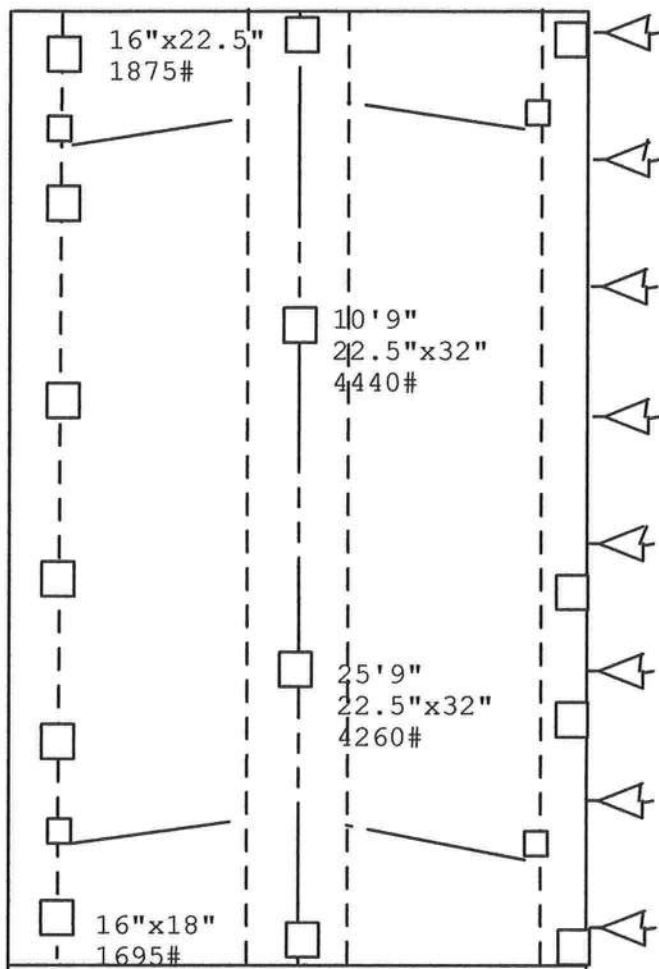
- NOTES: (1. COLUMN SUPPORT PIERS MAY BE WITHIN 8" OF OPENINGS GREATER THAN 48" (2. ADDITIONAL PIERS ARE REQUIRED AT EACH SIDE OF EXTERIOR DOOR OPENINGS. (3. THIS IS A TYPICAL DRAWING FOR THIS MODEL. SPACING MAY BE DIFFERENT IF MAX. SPACING IS NOT EXCEEDED.

- ☒ COLUMN SUPPORT PIERS
☐ 24" X 24" BASE PAD

SPACING FOR 1000 PSF SOIL WITH 24" X 24" BASE PAD
MAXIMUM SPACING FOR THE 1-BEAM PIERS IS 89"

		REVISIONS DATE 10-13-01 SCALE	
		386C214(2)	

1/8" = 1' , 24'x36' 36c2h2



Nobility Homes

Set-up instructions
Manufacturers manual

1000 PSI

176 Anchor Torque

□ = 23"x31" ABS Pad for I-beam
on 8' O.C.

□ = 16"x18" ABS Pad for door
piers and shearwall piers
will be clearly marked on
home

△ = 4' anchors on 5'4"O.C.
except on shearwall
anchors and center line
anchors

longitudinal anchors will
be the minute man system 4
systems total for house



State of Florida
DEPARTMENT OF
HIGHWAY SAFETY AND MOTOR VEHICLES
TALLAHASSEE, FLORIDA 32399-0500

WILLIAM O. DICKINSON, III
Executive Director

May 19, 2000

Mr. Chuck Mackervish
The Down Engineering, Incorporated
5901 Wheaton Drive
Atlanta, Georgia 30336

Dear Mr. Mackervish:

We wish to acknowledge receipt of your specifications and test results certifying that your ABS Plastic Stabilizing Device listed below, complies with the rules and regulations set by the Department of Highway Safety and Motor Vehicles, Chapter 15-C1.0103.

Based on the information submitted to this bureau, the following products are listed for use in Florida using Type I and Type II anchors, when the installation instructions are provided:

MODEL #	MANUFACTURER	DESCRIPTION
15229311	Plastic Stabilizer Post	8" x 24" x 1.375 at top

If you have any questions, I can be reached at (850) 413-7600.

Sincerely,

Phil Bergelt, Program Manager
Bureau of Mobile Home and
Recreational Vehicle Construction
Division of Motor Vehicles

PR:bso

Nov 06 06 11:40a

NOTES

- MAXIMUM PIER HEIGHT 48"
- MAX. SIDEWALL HEIGHT 96"
- MAX. BEAM SPACING 99.5"
- MAX ROOF EAVES 16"
- WHEN USING LONGITUDINAL BRACES, 2ND PIER IN FROM THE END OF THE HOME MAY BE USED TO MAKE ROOM FOR BRACE TUBES.

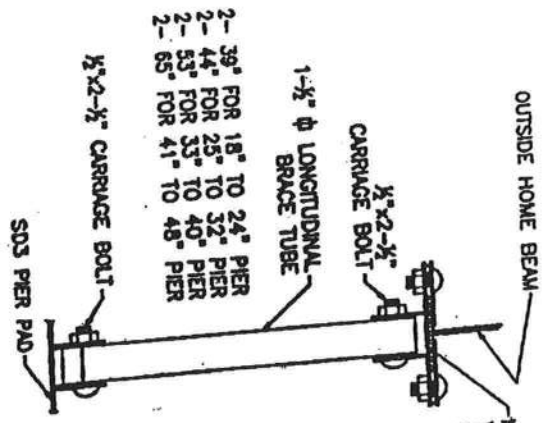


THE LUBS BRACING SYSTEM WAS TESTED FOR WIND ZONES I, II, & III

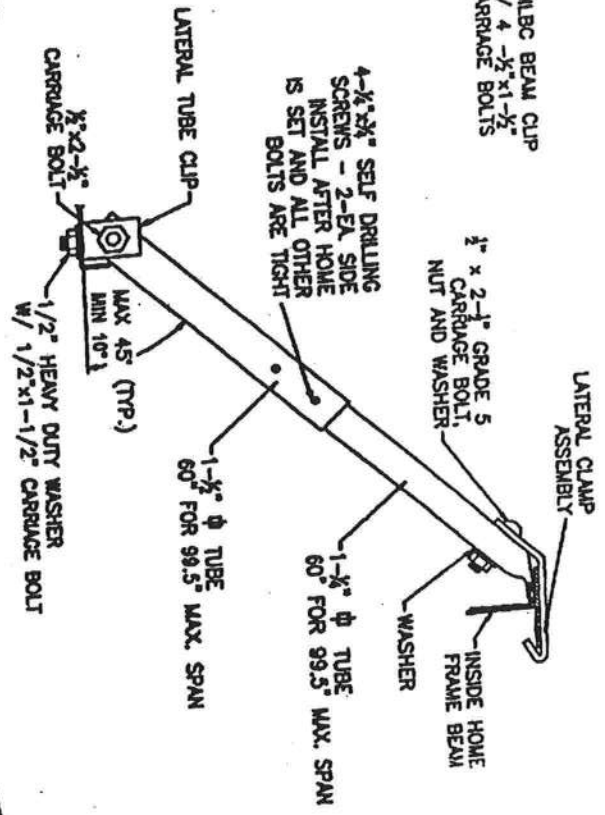
MINUTE MAN ANCHORS
10/10/01
REV 3/6/02
REV 1/14/04

NOTE: 1/2" BOLTS ARE GRADE 5

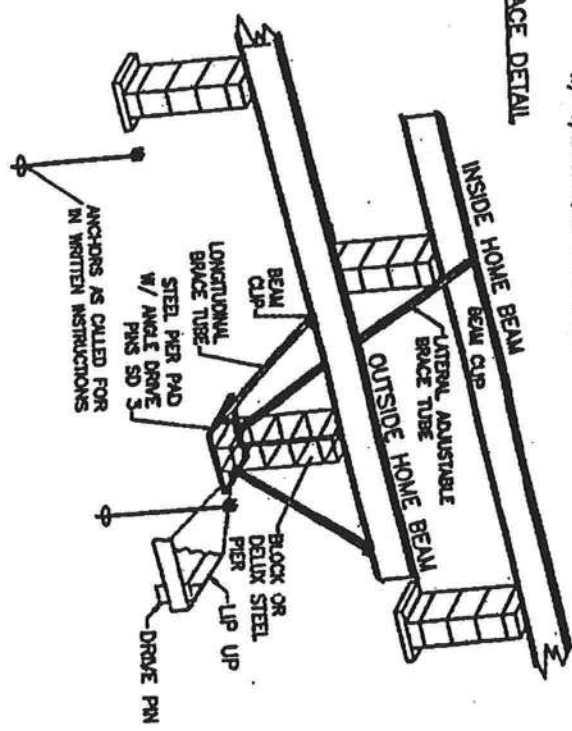
LONGITUDINAL BRACE DETAIL



LATERAL BRACE DETAIL



LONGITUDINAL & LATERAL BRACING SYSTEM
DETAIL ASSEMBLY DRAWING



Patent Number
6622439
Minute Man anchors, Inc.

Installation Instructions for Model LLBS Longitudinal and
Lateral Bracing System Approved for Florida
Revised: 10/27/04

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

- Location is within 1,500 feet of Coast
- Pier Height exceeds 48"
- Sidewall height exceeds 96"
- Roof eaves exceeds 16"
- Main beam spacing exceeds 99.5"

1 Refer to the Home Manufacturer Installation Instructions for pier locations. 6" Disc anchors 48" long with vertical ties are required at maximum 5'-4" center along both sidewalls starting a maximum of 2'-0" in from each end of the home. Vertical ties must be used at all connection points furnished by the home manufacturer. Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs require a 5' anchor.

2 Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System.. (See Attached). Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

3 Remove turf to expose firm soil at each SD3 pad location.

4 Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10°) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad. 16" Drive pins must be used in Florida.

5 Level home on concrete blocks or deture steel pier by Minute Man.

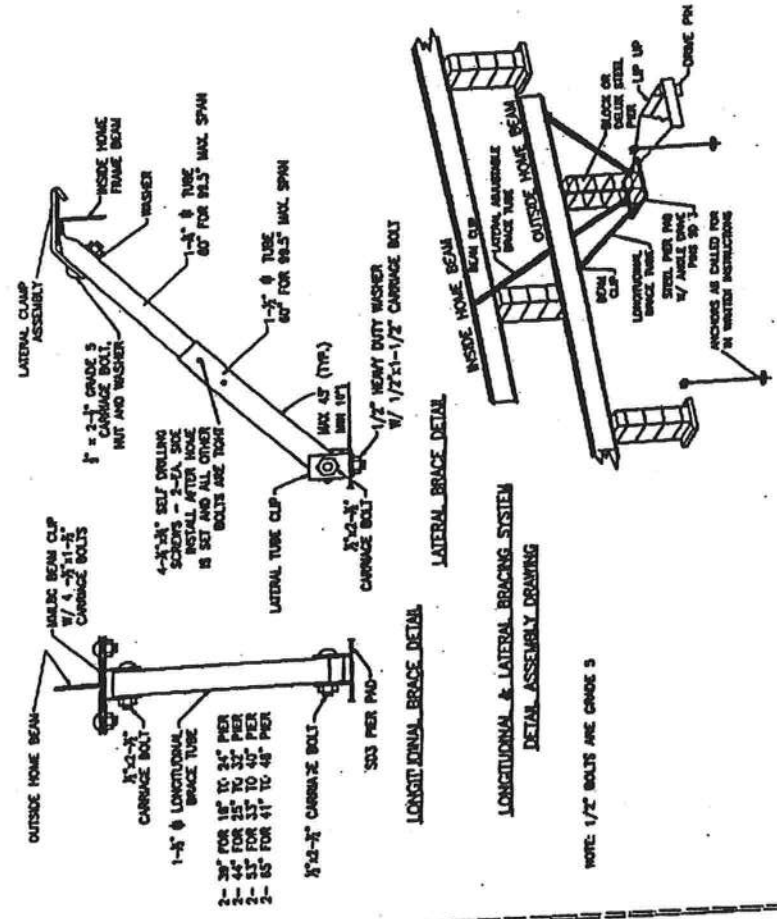
6 Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.

7 Install vertical anchors, frame ties and stabilizers at each lateral arm system location..

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277. MMAP007,2 R-4

305 West King St. East Flat Rock, North Carolina 28726

MADE IN THE USA



- NOTE: 1/2" BOLTS ARE GRADE 5
- NOTES
- 16" DRIVE PINS FOR FLORIDA
 - MAXIMUM PIER HEIGHT 48"
 - MAX SIDEWALL HEIGHT 96"
 - MAX BEAM SPACING 99.5"
 - MAX ROOF EAVES 16"
- WHEN USING LONGITUDINAL BRACES, 2ND PIER IN FROM THE END OF THE HOME MAY BE USED TO MAKE ROOM FOR BRACE TUBES.

Patent Number
6622439

Minute Man Anchors, inc.

Installation Instructions for Model LLBS Longitudinal and Lateral Bracing System Zone II and III

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

- Location is within 1,500 feet of Coast Roof eaves exceeds 16"
- Pier Height exceeds 48" Main beam spacing exceeds 99.5"
- Sidewall height exceeds 96"

1 Refer to the Home Manufacturer Installation Instructions for pier locations. Note: SD3 pad is 2.8 square foot. Vertical tie anchors are required in accordance with home manufacturer. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors are required in accordance with the Home Manufacturer Instructions.

2 Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System.. (See Attached)

3 Remove turf to expose firm soil at each SD3 pad location. Install SD3 pad to manufacturer, state, local codes, and frost line guidelines as it may apply. For extremely hard or rocky soil, mark four (4) slots and pre-drill soil with a 3/4 x 12" masonry drill bit. Zone II & III installations require 16" drive pins.

4 Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad.

5 Level home on concrete blocks or deluxe steel pier by Minute Man.

6 Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.

7 Install vertical anchors and ties.

MMAPO08.2 R-3

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277.

MADE IN THE USA

305 West King St. East Flat Rock, North Carolina 28726

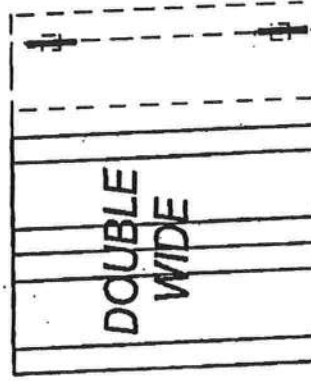
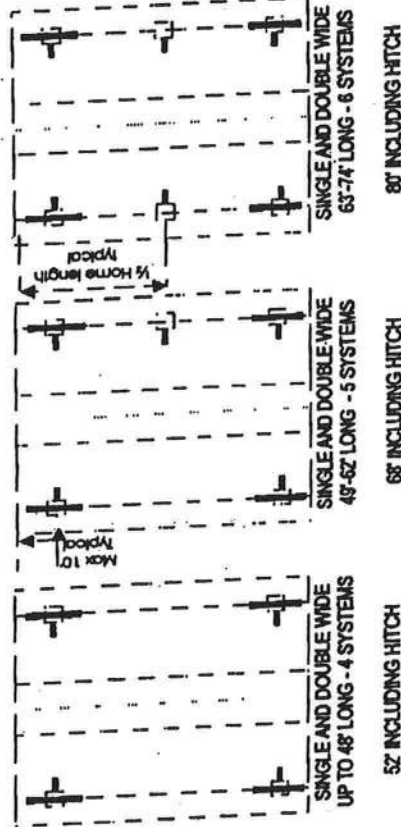
Nov 06 '06 11:42a

ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For Roof slopes up to 4/12 pitch

No Frame Ties or Stabilizer Plates. Systems must be as evenly spaced as possible.

LEGEND	Longitudinal Bracing System only	Longitudinal and Lateral Bracing System	Lateral Bracing System only

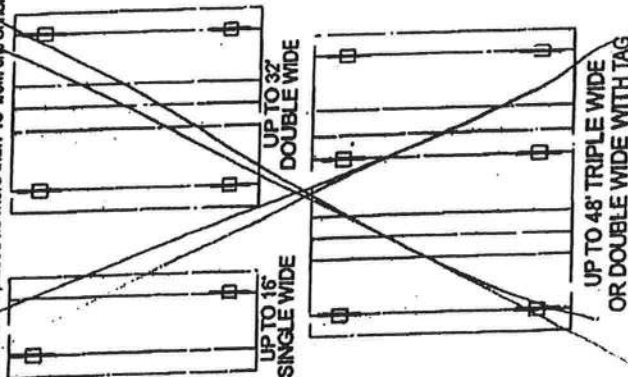


SINGLE WIDES UP TO 16' WIDE, DOUBLE WIDES UP TO 32' WIDE, TRIPLE WIDES UP TO 48' WIDE

LONGITUDINAL BRACING SYSTEMS PLACEMENT FOR FLORIDA

Use 650 anchors and 180 square inch stabilizers with frame ties and vertical ties at maximum 5'-4" centers. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors must be used in accordance with the home manufacturer's instructions.

For Roof slopes up to 5/12 pitch
Systems must be placed no more than 16' from end of home

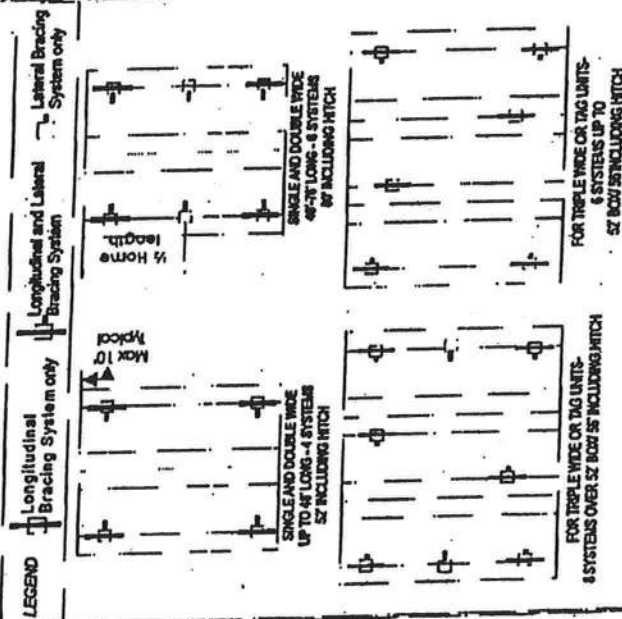


See Longitudinal and Lateral Bracing System detail assembly drawing.

FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For Roof slopes up to 4/12 pitch
Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

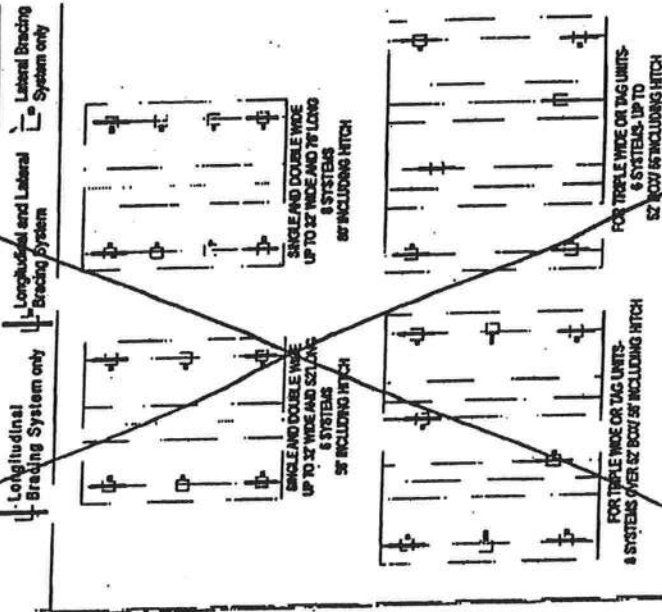
Revised 8/17/2002
HOME DIMENSIONS REPRESENT BOX SIZE



FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For 5/12 Roof Pitch
Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. Systems must be as evenly spaced as possible.

Revised: 8/17/2002
HOME DIMENSIONS REPRESENT BOX SIZE



Minute Man anchors, Inc.

Installation Instructions for LLBS Longitudinal and Lateral Bracing System
Wind Zones I-II & III ground and concrete applications

Special State requirements

Alabama - Maximum Pier Height 32'. HUD Code Homes Only.

Florida - See Florida zone II & III Instructions.

Michigan - Foundation depth must be 42" below grade as per Chapter 1805.2.1 2000

Texas - 12 inch long drive pins are needed when the average of three soil test probe

readings (at 6", 12" and 18" depths) exceeds 350 inch pounds. 16 inch long drive pins

are needed when the average of three soil test probe readings (at 6", 12" and 18"

depths) is 350 inch pounds or less but more than 175 inch pounds.

Minute Man Anchors LLBS System must be installed in complete accordance with Minute

Man Anchors Installation Instructions and the Home Manufacturer's Instructions.

Minute Man Anchors LLBS System is listed by a nationally recognized third party.

Minute Man Anchors LLBS System is evaluated, tested and approved by a Professional

Engineer.

Minute Man Anchors LLBS System must be allowed by the authority having jurisdiction.

Thank you for using Minute Man Products, Inc. If you have any questions, please call us

at: (828) 692-0256

MADE IN THE USA

ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

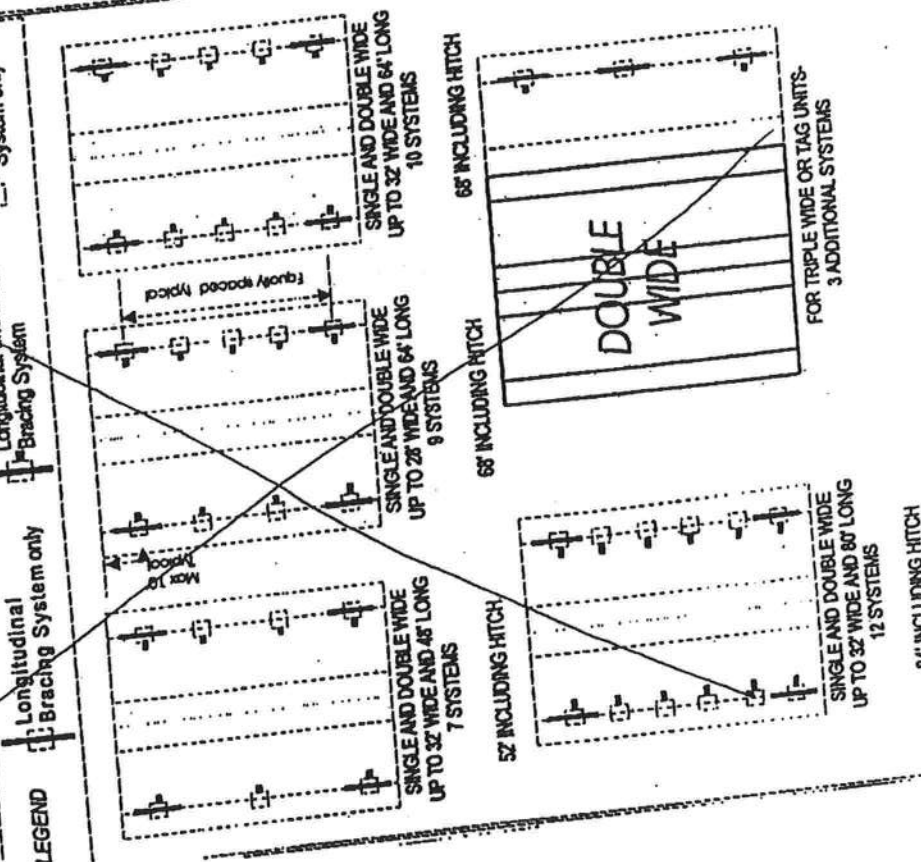
For 5/12 Roof Pitch

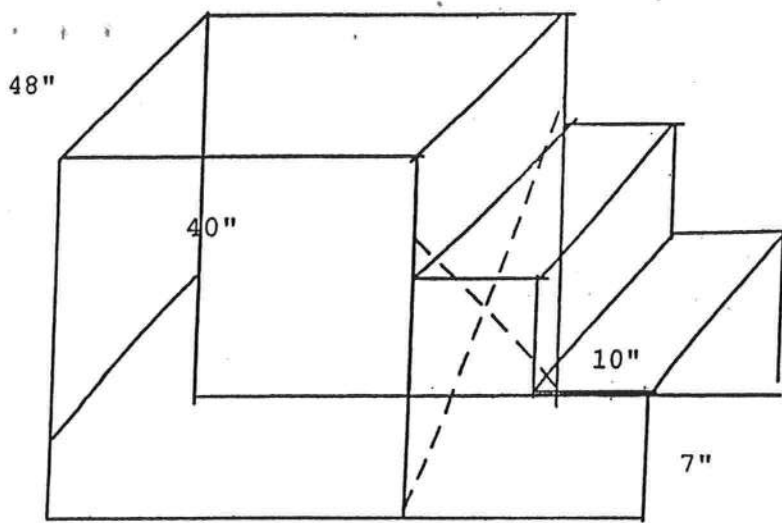
No Frame ties or stabilizer plates.

Systems must be as evenly spaced as possible.

HOME DIMENSIONS REPRESENT BOX SIZE.

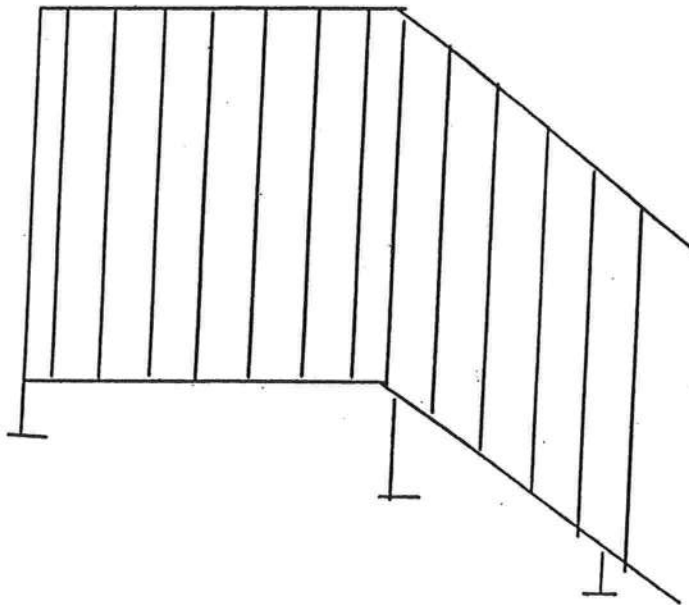
LEGEND Longitudinal Bracing System only Longitudinal and Lateral Bracing System Lateral Bracing System only





steel frame with wooden
deck and step
deck plat form constructed
with P.T.2"x10" with a deck
size of 48"x40"
each step is 2"x10"x48"

the number of steps may vary
do to the distance from the
ground to the bottom of the
door.



hand rails
constructed with steel
the top rail 1" x 1"
square tube
the spindals are 1/8" steel
rods placed 4" o.c.
all rails will be fastened
to the deck and steps

all steps meet or exceed
the ANSI building code
for the state of florida

FASTEN TOP FRONT
RAIL W/ 1" GALV. NAILS
OR 3/4" SCREWS 16" O.C.

FSI VIYNL SKIRTING
16" VIYNL PANELS
PROVIDING 4.75 SQ. IN
VENTING PER LIN. FT

FASTEN BOTTOM RAIL
W/ 3/4" SCREWS 16" O.C.
7" GAL NAILS 19" O.C.

MOBILE HOME

CRAWL
SPACE

GRADE

NOTE:
AN ACCESS PANEL 16" X 24" MIN WILL
BE PROVIDED TO ACCESS CRAWL SPACE
THE ACCESS PANEL WILL BE FASTENED
W/ 1" LONG PHILLIPS HEAD SCREWS.
ANY HOME WHICH MORE THAN 36" FROM
FINISH GRADE WILL HAVE VERTICAL STUDS
48" O.C. AND A BELT RAIL

(556) 262-7365 Bus.

(386) 362-8376 Mob

5 Bus. **A SQUARE DEAL IN A ROUND HOLE** (386)



Roundman's Pump Repair and Well Drilling

11381 43th Street • Live Oak, Florida 32060

Name Sam Harrell Date 5-24- 20 07

Agg. 28

352-351-1046 Fax

Table 1

07504-7703

1971

AMOUNT

4" Well 1hp pump
81 gal Tank
1 1/4" galv pipe
18 gal pump

Keywords: child sexual abuse; disclosure; legal system

3.

FAX

TOTAL

2017年11月11日
 2017年11月11日
 2017年11月11日
 2017年11月11日

Thank You



STATE OF FLORIDA
DEPARTMENT OF HEALTH

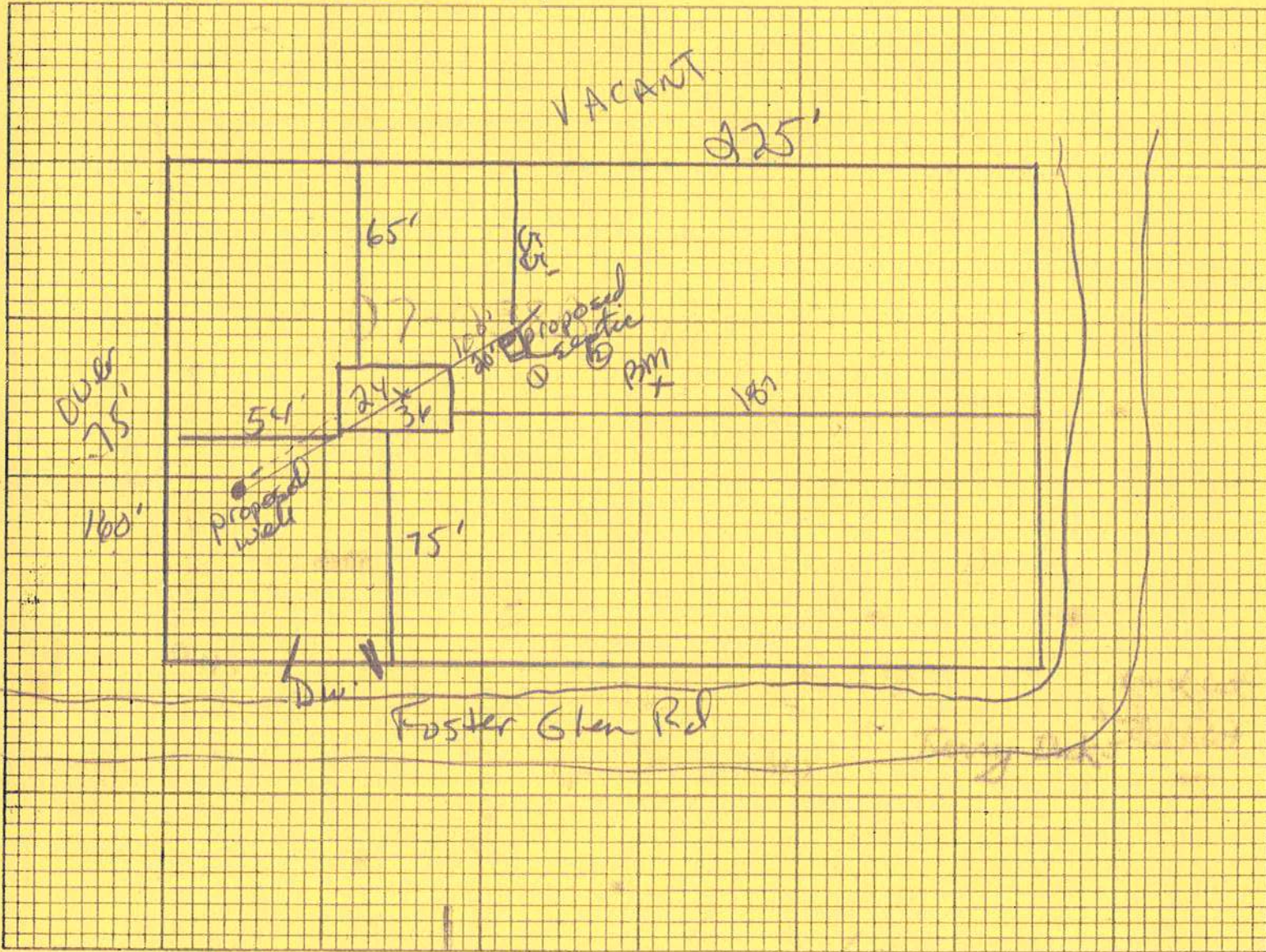
Sam Harrell

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-0383

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

Site Plan submitted by: Dawn R.

Signature

Plan Approved X

Not Approved _____

By Sally A. Ford ESII

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

CERTIFICATE OF M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 17-4S-17-08404-013

Building permit No. 000025848

Permit Holder ROBERT PUCKETT

Owner of Building SAM HARRELL

Location: 131 SE FOSTER GLEN, LAKE CITY, FL

Date: 07/12/2007



Tony Ricks

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)