

DATE 05/30/2019

**Columbia County Building Permit****PERMIT**

This Permit Must Be Prominently Posted on Premises During Construction

000038175

APPLICANT RAYMOND PEELER PHONE 386.755.2848  
 ADDRESS 158 SW ELK HUNTER GLEN FT. WHITE FL 32038  
 OWNER TIMOTHY & TINA MATSUBARA PHONE 386.623.0578  
 ADDRESS 489 NW BRIDGEWATER TER LAKE CITY FL 32055  
 CONTRACTOR RAYMOND PEELER PHONE 386.755.2848  
 LOCATION OF PROPERTY LAKE JEFFERY TO BRIDGEWATER TR TO ADDRESS 489

TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 45000.00  
 HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA \_\_\_\_\_ HEIGHT \_\_\_\_\_ STORIES \_\_\_\_\_  
 FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_  
 LAND USE & ZONING RSF-2 MAX. HEIGHT \_\_\_\_\_  
 Minimum Set Back Requirements: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00  
 NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 24-3S-16-02275-110 SUBDIVISION COBBLESTONE  
 LOT 10 BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 1.92

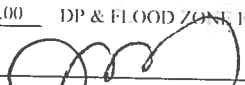
CPC057105  
 Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number LH Applicant Owner Contractor TC  
 Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_ Time SETUP No. \_\_\_\_\_

COMMENTS: NOC ON FILECheck # or Cash 11308**FOR BUILDING & ZONING DEPARTMENT ONLY**

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ (footer Slab) \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Framing \_\_\_\_\_ Insulation \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Reconnection \_\_\_\_\_ RV \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Re-roof \_\_\_\_\_  
 date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 225.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_

PLAN REVIEW FEE \$ 56.00 DP & FLOOD ZONE FEE \$ \_\_\_\_\_ CULVERT FEE \$ \_\_\_\_\_ TOTAL FEE 331.00

INSPECTOR'S OFFICE CLERK'S OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.  
 NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**

4/11/308

Columbia County Swimming Pool/Spa Permit Application

**For Office Use Only** Application # 1904-51 Date Received 4/1/19 By JL Permit # 38175  
 Zoning Official UH Date 4-26-19 Flood Zone X Land Use Res Zoning ASF-2  
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner JL Date 4-26-19  
 Comments Front 25' Sides 10' Rear 15'  
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ 911 Sheet (If NO Address Exists) ☐ Owner Builder Disclosure Statement  
☐ Dev Permit ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Land Owner Affidavit ☐ Ellisville Water ☐ App Fee Paid ☒ Sub VF Form  
 Notes:

Septic Permit No. 19-0318 Or City Water System Fax peelerpools@gmail.com  
 Applicant (Who will sign/pickup the permit) Raymond or Alice Peeler Phone 386 755-2848  
 Address 158 S.W. Elk Hunter Glen Fort White FL 32038  
 Owners Name Tim Matsubara Phone 623 0578  
 911 Address 489 NW Bridgewater Terrace Lake City FL 32055  
 Contractors Name Raymond Peeler Phone 386 867 4888  
 Address 158 S.W. Elk Hunter Glen Fort White, FL  
 Contractor Email peelerpools@gmail.com \*\*\*Include to get updates on this job.  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address \_\_\_\_\_  
 Architect/Engineer Name & Address Gary Gill, PE 426 S.W. Commerce Dr. Ste 130-N  
LAKE CITY, FL 32025  
 Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy

Property ID Number 1024351602275110 Cost of Construction \$45,000  
 Subdivision Name Cobblestone Lot 10 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions Main Blvd- (L) Bascom Norris - (R) Lake Jeffery Rd  
(R) Bridgewater Terrace #489

Construction of Swimming Pool Residential ☒ OR Commercial \_\_\_\_\_  
 ADA Compliant \_\_\_\_\_ Total Acreage \_\_\_\_\_  
 Actual Distance of Pool from Property Lines - Front 80' Side 50' Side 50' Rear 100'

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. See email 4.29.19

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Print Owners Name

Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number

Columbia County

Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 20<sup>th</sup> day of September 2018.

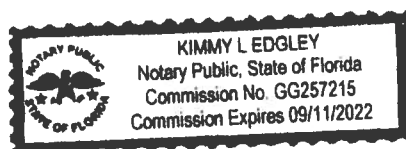
Personally known ☒ or Produced Identification

State of Florida Notary Signature (For the Contractor)

SEAL:

Page 2 of 2 (Both Pages must be submitted together.)

Revised 7-1-15





**COLUMBIA COUNTY BUILDING DEPARTMENT**

135N Hernandez Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

Application Number


**NOTICE TO SWIMMING POOL OWNERS**

I Timor Tina Matsubara have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool. Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.
- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self-latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier one of the following shall apply:
  - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
  - 2) Or; all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes chapter 0515: Residential Swimming Pool Safety Act, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Owner Signature / Date

 10/12/11

Address:

489 NW Bridgewater Terrace Lake City FL

Contractor Signature Date



License Number

CPC057105

# SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 1904-51 JOB NAME Matsubara

**THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED**

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

**Use website to confirm licenses:** <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b> <input checked="" type="checkbox"/> CC# <u>309</u>	Print Name <u>MATT Burns</u> Signature <u>[Signature]</u> Company Name: <u>MATT Burns Electric, Inc.</u> <u>386-365-3688</u> <sup>Cell</sup> License #: <u>EC 1300 6531</u> Phone #: <u>386-935-0444</u>	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/A/C</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/GAS</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/SPRINKLER</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE



**NOTICE OF COMMENCEMENT**

**STATE OF FLORIDA COUNTY OF** Columbia **CITY OF** Lake City

THE UNDERSIGNED hereby gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**DESCRIPTION OF PROPERTY:**

LOT 10 BLOCK \_\_\_\_\_ SECTION 24 TOWNSHIP 35 RANGE 16E  
TAX PARCEL # 24 35 16 02275 110  
SUBDIVISION: Cobble Stone PLATBOOK: \_\_\_\_\_ MAP PAGE# \_\_\_\_\_  
STREET ADDRESS: 489 NW Bridgewater Terrace  
Lake City, FL 32055

**GENERAL DESCRIPTION OF IMPROVEMENT:**

TO CONSTRUCT: SWIMMING POOL- RESIDENTIAL

**OWNER INFORMATION:**

OWNER(S) NAME: Tim & Tina Matsubara  
ADDRESS: 489 NW Bridgewater Terrace PHONE \_\_\_\_\_  
CITY: Lake City STATE FL ZIP 32055  
INTEREST IN THE PROPERTY: Owner  
FEE SIMPLE TITLEHOLDER NAME: \_\_\_\_\_  
FEE SIMPLE TITLEHOLDER ADDRESS: (IF OTHER THAN OWNER) \_\_\_\_\_

**CONTRACTOR NAME: Peeler Pools, Inc**

ADDRESS: 158 SW Elk Hunter Glen Ft. White, FL 32038 386-755-2848

BONDING COMPANY: N/A ADDRESS: N/A PHONE NUMBER N/A

CITY: N/A STATE N/A ZIP CODE: N/A

**LENDER NAME:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE \_\_\_\_\_  
CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

Prepared by: Peeler Pools, Inc. (Raymond Peeler)

Return to : Peeler Pools, Inc. 158 SW Elk Hunter Glen Ft. White, FL 32038 386-755-2848

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes.

NAME: None ADDRESS: N/A

In addition to himself, Owner designates: **Raymond Peeler of Peeler Pools, Inc.**

**158 SW Elk Hunter Glen Ft. White, FL 32038 386-755-2848**

to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

Expiration date is 1 year from date of recording unless a different date is specified.

**SIGNATURE OF OWNER** Tina Matsubara

SWORN to and subscribed before me this 11 day of April year of 2019

Notary Public \_\_\_\_\_ My commission expires \_\_\_\_\_

Signature: [Signature]



**ALICE BURKE PEELER**  
Commission # GG 122000  
Expires September 15, 2021  
Bonded Thru Budget Notary Services

**\*\*\*WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

## Columbia County Property Appraiser

updated: 3/29/2019

**2018 Tax Roll Year**

Parcel: 24-3S-16-02275-110

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

&lt;&lt; Next Lower Parcel Next Higher Parcel &gt;&gt;

2018 TRIM (pdf)

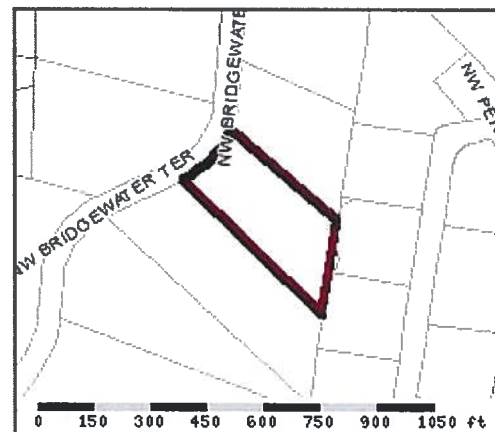
Interactive GIS Map

Print

## Owner &amp; Property Info

Search Result: 1 of 1

Owner's Name	MATSUBARA TIMOTHY W & TINA		
Mailing Address	489 NW BRIDGEWATER TERRACE LAKE CITY, FL 32055		
Site Address	489 NW BRIDGEWATER TERR		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	2 (County)	Neighborhood	24316
Land Area	1.920 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 10 COBBLESTONE UNIT 1. WD 1052-384, WD 1095-1670			



## Property &amp; Assessment Values

2018 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$20,800.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (1)	\$195,640.00
<b>XFOB Value</b>	cnt: (3)	\$7,714.00
<b>Total Appraised Value</b>		\$224,154.00
<b>Just Value</b>		\$224,154.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$223,980.00
<b>Exempt Value</b>	(code: HX H3)	\$50,000.00
<b>Total Taxable Value</b>	Cnty: \$173,980 Other: \$173,980   Schl: \$198,980	

2019 Working Values			( Hide Values)
<b>Mkt Land Value</b>	cnt: (0)	\$20,800.00	
<b>Ag Land Value</b>	cnt: (1)	\$0.00	
<b>Building Value</b>	cnt: (1)	\$197,025.00	
<b>XFOB Value</b>	cnt: (3)	\$7,714.00	
<b>Total Appraised Value</b>		\$225,539.00	
<b>Just Value</b>		\$225,539.00	
<b>Class Value</b>		\$0.00	
<b>Assessed Value</b>		\$225,539.00	
<b>Exempt Value</b>	(code: HX H3)	\$50,000.00	
<b>Total Taxable Value</b>	Cnty: \$175,539 Other: \$175,539   Schl: \$200,539		

**NOTE:** 2019 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/1/2006	1095/1670	WD	I	Q		\$399,900.00
7/13/2005	1052/384	WD	V	Q		\$149,700.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2006	ABOVE AVG. (10)	2647	3570	\$197,025.00
Note: All S.F. calculations are based on exterior building dimensions.						

## Extra Features &amp; Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0180	FPLC 1STRY	2006	\$2,000.00	0000001.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	2006	\$4,914.00	0001638.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2014	\$800.00	0000001.000	0 x 0 x 0	(000.00)

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1 LT - (0000001.920AC)	1.00/1.00/1.00/1.00	\$20,800.00	\$20,800.00

Columbia County Property Appraiser

updated: 3/29/2019





(click for more...)

**JBARA TIMOTHY W & TINA**

24/3 (SINGLE FAM) 192AC

00 Sale: 9/1/2006 - 5399,900 - 1/Q

320





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0318  
DATE PAID: 4/18/19  
FEE PAID: 160.00  
RECEIPT #: 140954

## APPLICATION FOR:

☐ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☒ Pool

APPLICANT: Tim MatsubaraAGENT: Raymond Peeler TELEPHONE: 7552848MAILING ADDRESS: 158 SW Elk Hunter Glen Fort White

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: 10 BLOCK: \_\_\_\_\_ SUBDIVISION: Cobblestone PLATTED: 4/1PROPERTY ID #: 2435160227510 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y ☐ NPROPERTY SIZE: 1.92 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ☐ ≤2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: 30' FTPROPERTY ADDRESS: 489 NW Bridgewater Terrace Lake CityDIRECTIONS TO PROPERTY: Main Blvd, (C) Bascom Norris, (R) NW Lake City - (R) Bridgewater Terrace #489

## BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

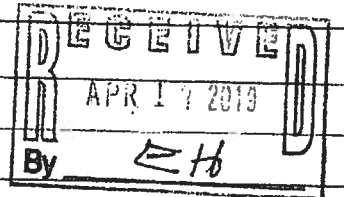
Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Residence			
2	Pool			
3				
4				

1 Residence

2 Pool

3 \_\_\_\_\_

4 \_\_\_\_\_

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_SIGNATURE: [Signature] DATE: 4-12-19

DH 4015, 08/09 (Obsoletes previous editions which may not be used)  
Incorporated 64E-6.001, FAC

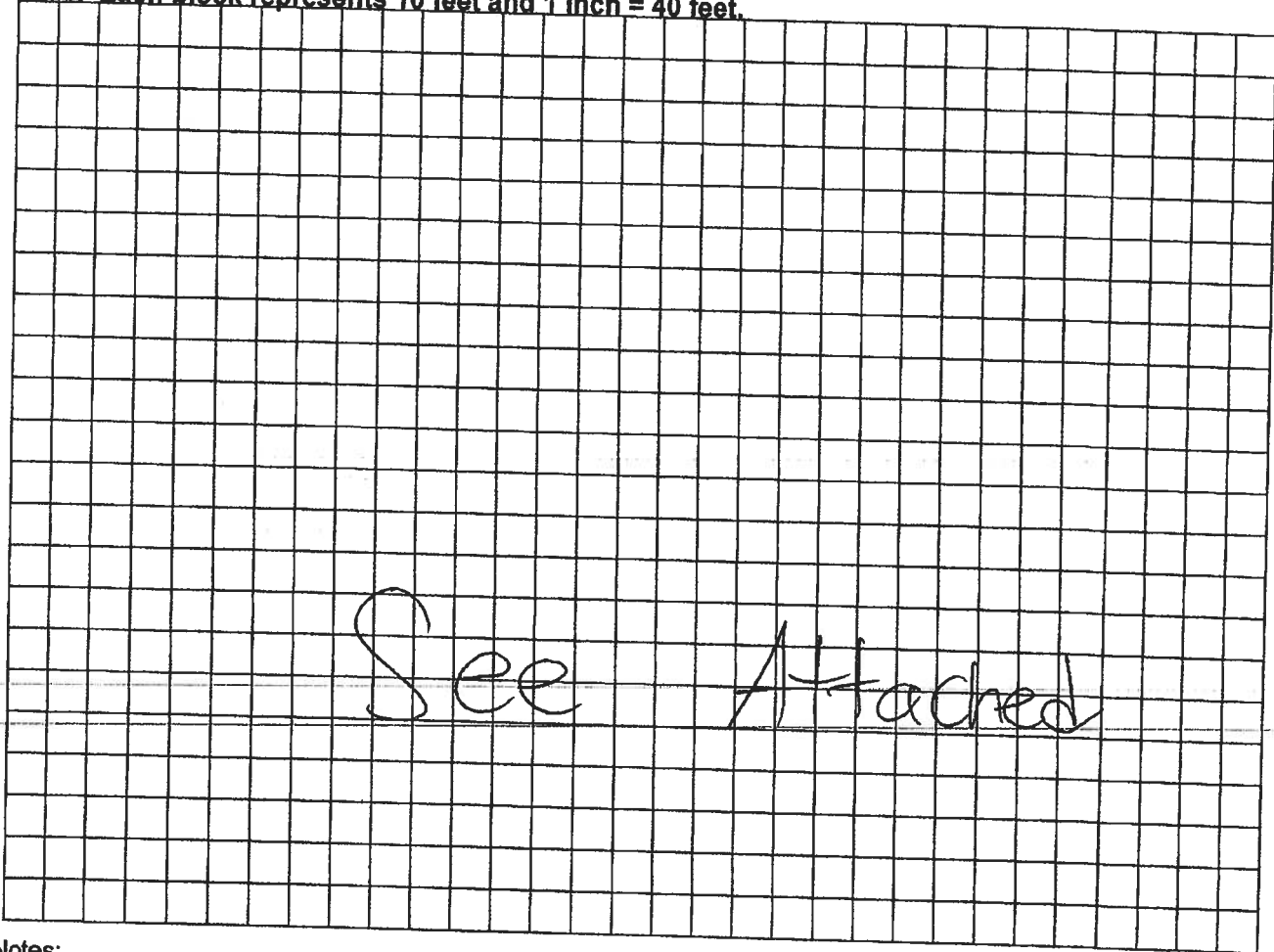
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

19-0318

## ----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: \_\_\_\_\_

Site Plan submitted by: [Signature]Plan Approved ☒By [Signature]Not Approved ☐

EST

[Signature]4/18/19Resubmit 4/26Date 4/26/19Columbia

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

# PEELER POOLS CERTIFIED POOL PLANS

APPLICABLE CODES  
FLORIDA BUILDING CODE 6TH EDITION (2017) - BUILDING  
NATIONAL ELECTRIC CODE (NEC 90)  
FLORIDA BUILDING CODE 6TH EDITION (2017) - PLUMBING  
FLORIDA BUILDING CODE 6TH EDITION (2017) - MECHANICAL  
FLORIDA FIRE PROTECTION CODE (INCLUDES LIFE SAFETY 101)

## GENERAL DESIGN REQUIREMENTS.

- DESIGN DIMENSIONS SHALL COMPLY WITH SPECIFICATIONS IN ANSISPI 5 RESIDENTIAL IN-GROUND POOLS BASED ON THE POOL TYPE AND NSPI 3 PERMANENTLY INSTALLED RESIDENTIAL SPAS
- SEE ANSISPI 5 FOR DIVING WATER ENVELOPES
- SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS
- ENTRY/EXIT SHALL COMPLY WITH ANSISPI 5 AND NSPI 3 LADDERS UNDERWATER SEATS AND SWIMMERS (MAX. 20" BELOW WATER)
- CIRCULATION SYSTEMS COMPONENTS & EQUIPMENT SHALL COMPLY WITH NSF 50
- THE MAXIMUM TURNOVER RATE IS 12 HOURS
- FILTERS SHALL HAVE AN AIR RELIEF AND PRESSURE GAUGE
- PUMPS 3 HP AND LESS SHALL MEET ANSI/UL 1081 CORROSION RESISTANT STRAINER AND MEET THE REQUIRED FLOW
- SURFACE SKIMMERS SHALL MEET NSF 50 AND THERE SHALL BE ONE FOR EVERY 800 SQUARE FEET OF SURFACE AREA
- RETURN INLETS SHALL BE A MINIMUM OF ONE FOR EVERY 600 SQ. FT.
- HEATERS SHALL MEET ANSI Z21.56 OR UL 1261 OR UL 559
- DISINFECTANT EQUIPMENT SHALL COMPLY WITH NSF 50
- PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER
- POOL SHAPE IS FREE FORM ABOVE SHAPE AND DIMENSION ARE APPROXIMATE
- ASSUMED SOIL BEARING = 1.5 KSF
- INSTALL CONTROL JOINTS @ 20'-0" O.C. IN POOL DECKING
- CONCRETE STAIRS ARE 12" TREAD WITH AND 10" MAX HEIGHT
- LIGHTING IF INSTALLED WILL BE FIBER OPTIC OR LED
- ALL EQUIPOTENTIAL BONDING SHALL BE INSTALLED PER 2008 NEC 680.26
- SLAB AND FOOTING 2500 PSI CONCRETE GRADE STEEL REBAR

## SPECIAL SPA REQUIREMENTS.

- MAXIMUM WATER DEPTH 4' MAXIMUM SEAT DEPTH 28" MAXIMUM FLOOR SLOPE 1:12
  - STEPS MINIMUM TREAD = 10" X 12" MINIMUM RISER = 7" MAXIMUM RISER = 12" EXCEPT THE BOTTOM STEP MAY BE 14" IF IT IS THE SEAT. INTERMEDIATE TREADS AND RISERS TO BE UNIFORM
  - SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS
  - IF THE SPA IS OPERATED INTERMITTENTLY IT SHALL HAVE 1 ONE HOUR TURNOVER
  - MAXIMUM TEMPERATURE IS 104° FAHRENHEIT
  - MEET ANSISPI ARTICLE XVII SAFETY INSTRUCTIONS/SAFETY SIGN
  - PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER
- ## ELECTRICAL REQUIREMENTS
- WIRING AND BONDING AND ALL ELECTRICAL TO NEC ARTICLE 680 OR LOCAL CODE
  - NO OUTLET OR OVERHEAD POWER WITHIN 10' IF WITHIN 15' PROTECT BY GFI TRANSFORMER MINIMUM 10' FROM POOL OR ABOVE WATER J BOX 4' FROM POOL BRASS TO J BOX PVC IS APPROVED
  - EQUIPOTENTIAL BONDING GRID TO BE ACCOMPLISHED PER THE NEC 2014 SECTION

## ADDITIONAL NOTES

- POOL INSTALLATION SHALL BE BY A QUALIFIED AND LICENSED APPROVED BY LOCAL BUILDING DEPARTMENT POOL CONTRACTOR THE INSTALLATION SHALL CONFORM TO ALL LOCAL BUILDING CODES IE PERMITS SPECIFICATIONS, CODES RULES INSPECTIONS WORKMANSHIP ETC
- POOL SHELL SHALL BEAR ON UNDISTURBED SOIL FREE OF PEAT MUCK OR OTHER DELETERIOUS MATERIAL OF ANY SIGNIFICANT AMOUNT
- BACKFILL MATERIAL MUST NOT CONTAIN ROCKS OR OTHER MATERIALS THAT COULD DAMAGE POOL WALLS
- POOL TURNOVER SHALL BE 12 HOURS MAXIMUM WITH CARTRIDGE FILTER APPROVED PUMP 1/4 HP WITH 23 GPM 60 TDH
- STEPS SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL
- LADDERS ARE TO BE PROVIDED IN POOLS WITH GREATER THAN 5' DEPTH WITHOUT SWIMMOUTS
- INSTALL LOW VOLTAGE LIGHT PER NEC 680
- DURING HURRICANE WARNING OR ALERT THIS POOL SHALL BE FILLED WITH WATER
- ALL GLASS WITHIN 5' OF WATER'S EDGE SHALL COMPLY WITH R308.4/9 FOR SAFETY GLAZING

## DRAWING INDEX - BUILDING PACKAGE

SHEET NUMBER	SHEET NAME	REVISION DATE
T-001	TITLE SHEET	1/24/18
S-001	POOL LAYOUT PLAN	1/24/18
S-002	SECTIONS AND DETAILS	1/24/18

CERTIFIED CONCRETE  
POOL PLANS

PEELER POOLS

TITLE SHEET

T-001

1532-054

Gill  
GARY GILL, PE #51942  
SERVICES, INC.  
AUTH #30824

GILL ENGINEERING  
SERVICES, INC.  
AUTH #30824  
GARY GILL, PE #51942  
426 SW COMMERCE  
DR. 130-M  
LAKE CITY, FL 32025  
386-590-1242

## REVISION SCHEDULE

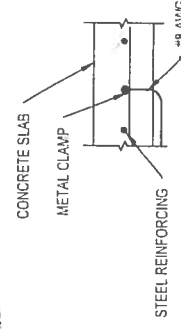
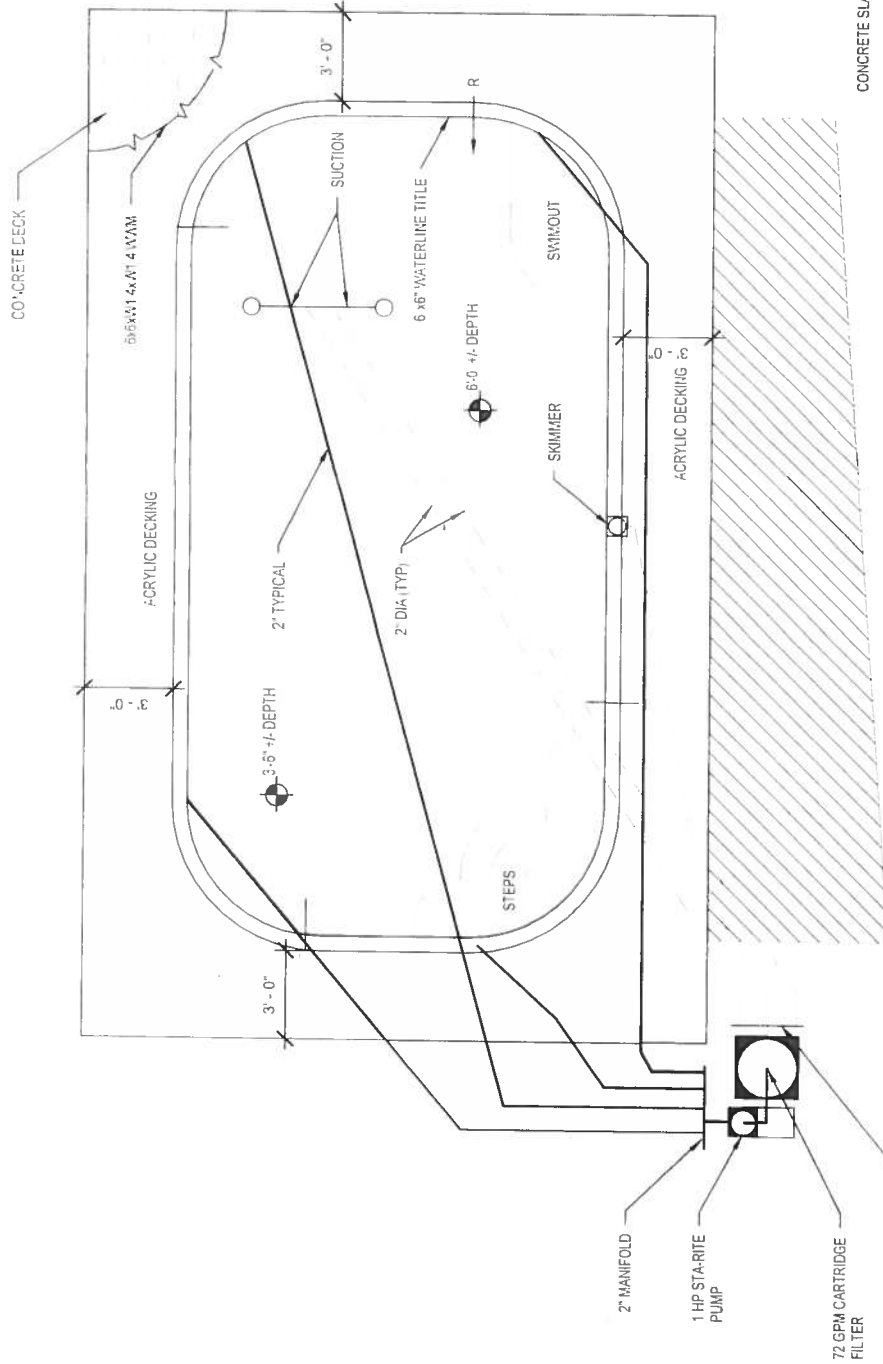
REV DATE REVISION DESCRIPTION

1 1/24/18 UPDATED TO 2017  
CODE

# REVISION SCHEDULE

REV	DATE	REVISION DESCRIPTION
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1 1/24/18 UPDATED TO 2017 CODE

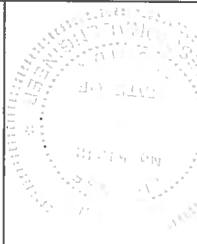


- NOTE
- EQUIPOTENTIAL BONDING GRID  
A. USE SOLID #8 AWG OR LARGER COPPER CONDUCT TO BOND ALL THE METAL IN AND AROUND THE POOL TOGETHER INTO AN INTERCONNECTED GRID.  
B. THE REINFORCED CONCRETE DECK AND POOL SHELL WILL SERVE AS AN EQUIPOTENTIAL BONDING GRID. CONTRACTOR TO SPECIFY AND DESIGN FINAL PUMPING AND PIPING.
  -

1 CONCRETE PLAN  
1/4" = 1'-0"

2 EQUIPOTENTIAL BOND DETAIL  
1 1/2" = 1'-0"

<p>GILL ENGINEERING SERVICES, INC. AUTH #30824 GARY GILL, PE #51942 426 SW COMMERCE DR. 130-M LAKE CITY, FL 32025 386-590-1242</p>	<p>POOL LAYOUT PLAN</p>		1532-054	S-001	1
	<p>CERTIFIED CONCRETE POOL PLANS</p>	<p>PEELER POOLS</p>			



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# REVISION SCHEDULE

REV.	DATE	REVISION DESCRIPTION
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1	1/24/18	UPDATED TO 2017 CODE
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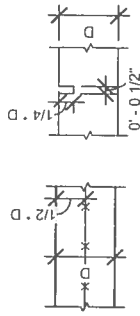
## PIPE SIZING CHART (MAX.)

PIPE	SUCTION	PRESSURE
1 1/2"	35 GPM	60 GPM
2"	60 GPM	100 GPM

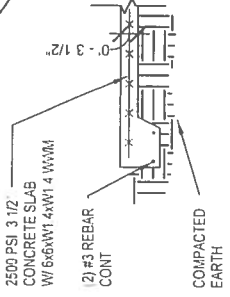
PIPE SIZING  
3/8" = 1'-0"



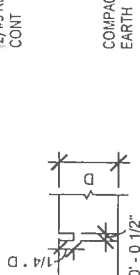
1 POOL SECTION (TYPICAL)  
3/16" = 1'-0"



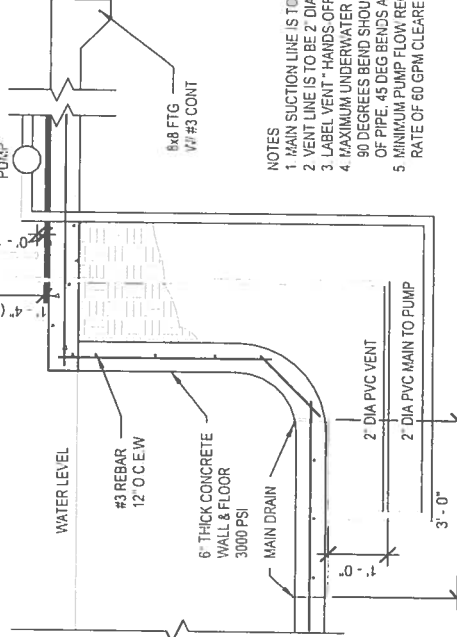
4 SLAB AND JOINT DETAIL  
1 1/2" = 1'-0"



5 SLAB DETAIL  
1/2" = 1'-0"



6 SKIMMER MAIN RETURN SYSTEM - SUCTION PIPEWORK DIAGRAM  
1/2" = 1'-0"



2 MAIN DRAIN WITH AIR VENT  
1/2" = 1'-0"

- NOTES
1. MAIN SUCTION LINE IS TO BE 2" DIA.
  2. VENT LINE IS TO BE 2" DIA.
  3. LABEL VENT - HANDS OFF POOL SAFETY DEVICE.
  4. MAXIMUM UNDERWATER LENGTH OF PIPE IS 30 FT. 90 DEGREE BEND SHOULD BE COUNTED AS 3 FT OF PIPE. 45 DEGREE BENDS AS 2 FT.
  5. MINIMUM PUMP FLOW REQUIRED IS 42 GPM. TEST FLOW RATE OF 60 GPM. CLEARED VENT LINE IN LESS THAN 3 SECS.



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## SECTIONS AND DETAILS

CERTIFIED CONCRETE  
POOL PLANS  
PEELER POOLS

1532-054  
S-002  
1

489 NW Bridgewater Terrace  
 Lake City, FL  
 Tim & Tina Matsubara 623-0578  
 tmatsubara@comcast.net

# PEELER POOLS

Distance to property line  
 100' + Rear  
 50' + 50'

