

#43-752

Columbia County New Building Permit Application

DENISE
703-211-1111
DISCLOSE

For Office Use Only Application # 1909-57 Date Received 9/19/19 By MG Permit # 38720

Zoning Official LW/25 Date 9-18-19 Flood Zone X Land Use Ag Zoning A-3

FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner _____ Date _____

Comments non-habitable structure Front 30' Sides 25' Rear 25'

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☐ App Fee Paid ☒ Sub VF Form

Septic Permit No. 19-0726 OR City Water ☐ Fax _____

Applicant (Who will sign/pickup the permit) Keith Hampton Phone (386) 623-0595

Address 482 SW Miracle Ct Lake City, FL 32024

Owners Name Keith & April Hampton Phone (386) 623-0595

911 Address 482 SW Miracle Ct Lake City FL 32024

Contractors Name Owner Phone _____

Address _____

Contractor Email kahampa@comcast.net **SCANNED** Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Thomas Bechtel, 605 W New York Ave Deland, FL 32720

Mortgage Lenders Name & Address _____

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 06-48-16-02788-022 Estimated Construction Cost 11,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions from a Major Road Hwy 90 WEST TO PINEMOUNT Rd (CR 252)
TURN SOUTH. Drive 3 miles to Miracle Ct TURN NORTH
2nd House ON LEFT.

Construction of 2 Car garage Commercial OR X Residential

Proposed Use/Occupancy 2 Car garage Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? X If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Number of Stories _____ Heated Floor Area _____ Total Floor Area _____ Acreage _____

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)

TH Spoke w KEITH 10.9.19

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

KEITH HAMPTON
APRIL HAMPTON

Print Owners Name

Keith Hampton
April Hampton

Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this _____ day of _____ 20____.

Personally known ☐ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 1909-57 JOB NAME -Haupton

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL ☐	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
MECHANICAL/A/C ☐	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
PLUMBING/GAS ☐	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
ROOFING ☐	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
SHEET METAL ☐	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
FIRE SYSTEM/SPRINKLER ☐	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
SOLAR ☐	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE
STATE SPECIALTY ☐	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need ☐ Lic ☐ Liab ☐ W/C ☐ EX ☐ DE

Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << **06-4S-16-02788-022** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	HAMPTON KEITH R & APRIL E 482 SW MIRACLE CT LAKE CITY, FL 32024		
Site	482 MIRACLE CT, LAKE CITY		
Description*	COMM SW COR OF SE1/4, RUN E 205 FT, N 55.81 FT TO INTERS OF N R/W CR-252 WITH E R/W OF A 60 FOOT RD, RUN N ALONG SAID E'LY R/W 2599.92 FT TO N LINE OF SE1/4, E 1207.05 FT, S 614.40 FT FOR POB, RUN E 663.24 FT TO W R/W OF A CO RD, S 6 DEG W ALONG R/W 344.40 ...more>>>		
Area	5 AC	S/T/R	06-4S-16E
Use Code**	MODULAR HO (000201)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$30,934	Mkt Land (1)	\$30,934
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$103,106	Building (1)	\$107,416
XFOB (3)	\$1,850	XFOB (3)	\$1,850
Just	\$135,890	Just	\$140,200
Class	\$0	Class	\$0
Appraised	\$135,890	Appraised	\$140,200
SOH Cap [?]	\$304	SOH Cap [?]	\$1,728
Assessed	\$135,890	Assessed	\$138,472
Exempt	HX H3 OTHER \$55,000	Exempt	HX H3 OTHER \$55,000
Total Taxable	county:\$80,890 city:\$80,890 other:\$80,890 school:\$105,890	Total Taxable	county:\$83,472 city:\$83,472 other:\$83,472 school:\$108,472

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
11/30/2006	\$213,000	1103/1650	WD	I	Q	
2/28/2003	\$22,000	976/0739	WD	V	Q	

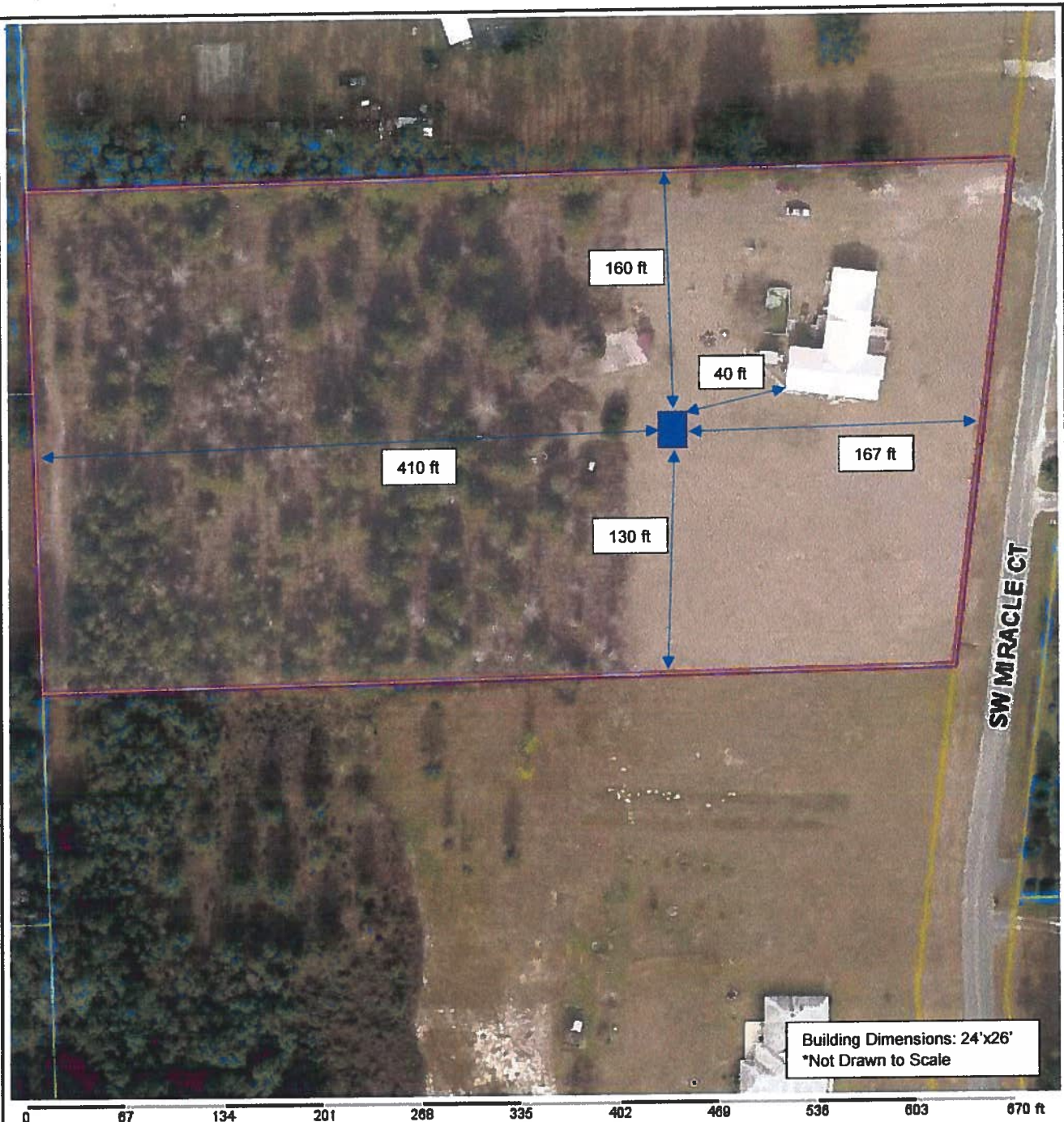
▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SFR MODULR (000201)	2003	3267	3518	\$107,416

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
------	------	----------	-------	-------	------	--------------------



Building Dimensions: 24'x26'
*Not Drawn to Scale

Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 06-4S-16-02788-022 HX H3 OTHER | MODULAR HO (000201) | 5 AC
COMM SW COR OF SE1/4, RUN E 205 FT, N 55.81 FT TO INTERS OF N RAW CR-252 WITH E RAW OF A 60 FOOT RD,
RUN N ALONG SAID ELY RAW 2599.92 FT TO N LINE OF

Owner: HAMPTON KEITH R & APRIL E
482 SW MIRACLE CT
LAKE CITY, FL 32024
Site: 482 MIRACLE CT, LAKE CITY
Sales Info: 11/30/2006 \$213,000 I (Q)
2/28/2003 \$22,000 V (Q)

2019 Preliminary Certified			
Mkt Lnd	\$30,934	Appraised	\$140,200
Ag Lnd	\$0	Assessed	\$138,472
Bldg	\$107,416	Exempt	\$55,000
XFOB	\$1,850	county:	\$83,472
Just	\$140,200	city:	\$83,472
		other:	\$83,472
		school:	\$108,472
		Total Taxable	

NOTES:



Columbia County, FL

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

GrizzlyLogic.com

Legend

LidarElevations



Roads

Roads

others



Dirt



Interstate



Main

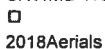
Other

Paved



Private

SRWMD Wetlands



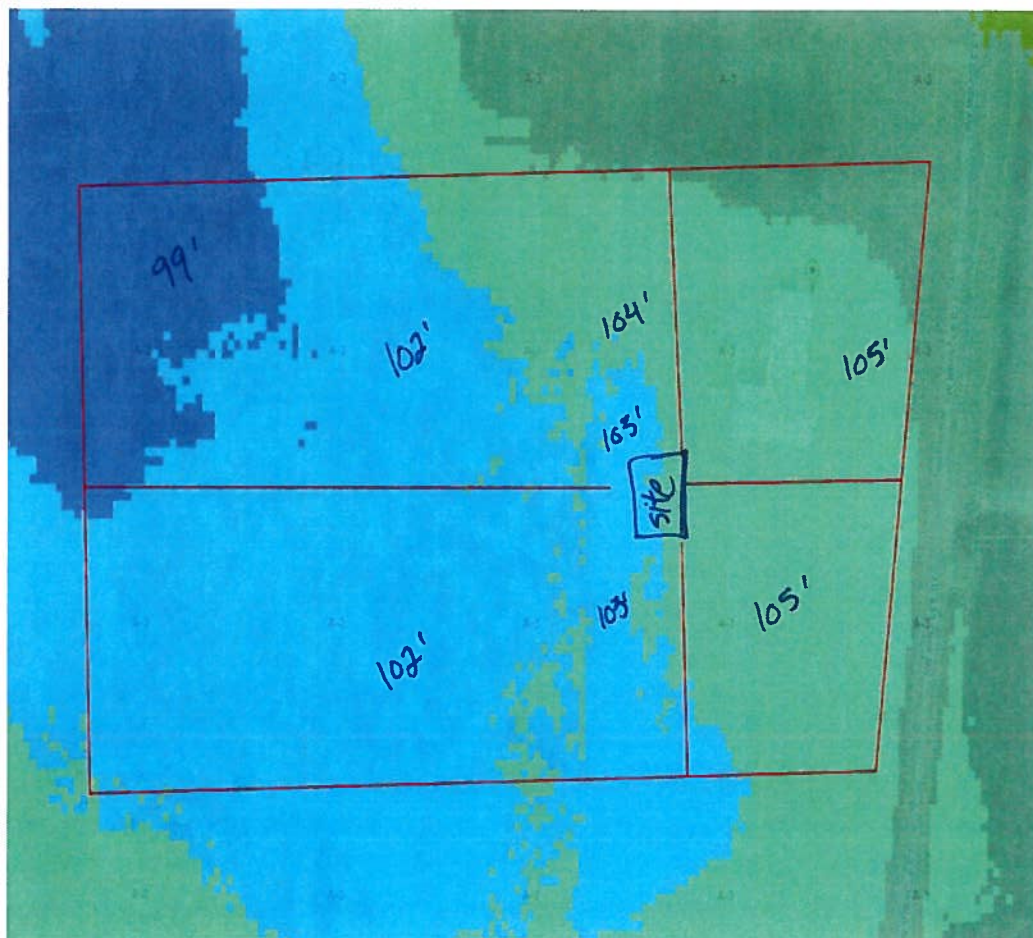
2018Aerials



Parcels

Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Sep 19 2019 12:44:53 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 06-4S-16-02788-022

Owner: HAMPTON KEITH R & APRIL E

Subdivision:

Lot:

Acres: 5.01464558

Deed Acres: 5 Ac

District: District 2 Rocky Ford

Future Land Uses: Agriculture - 3

Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.



**STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT**

PERMIT NO. 19-0721
DATE PAID: 9/30/19
FEE PAID: 60.00
RECEIPT #: 1435926

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Keith R HamptonAGENT: _____ TELEPHONE: 386 623 0595MAILING ADDRESS: 482 SW Miracle Ct Lake City FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 06-45-16-02788-022 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☐ NPROPERTY SIZE: 5 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ $\leq 2000\text{GPD}$ ☐ $> 2000\text{GPD}$ IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: _____ FTPROPERTY ADDRESS: 482 SW Miracle Ct Lake City FL 32024DIRECTIONS TO PROPERTY: US 90 W to SW Pinmount Rd go about 3 miles
Right on to SW Miracle Ct 2nd house on Left.

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Metal Shed	0	624	
2				
3				
4				

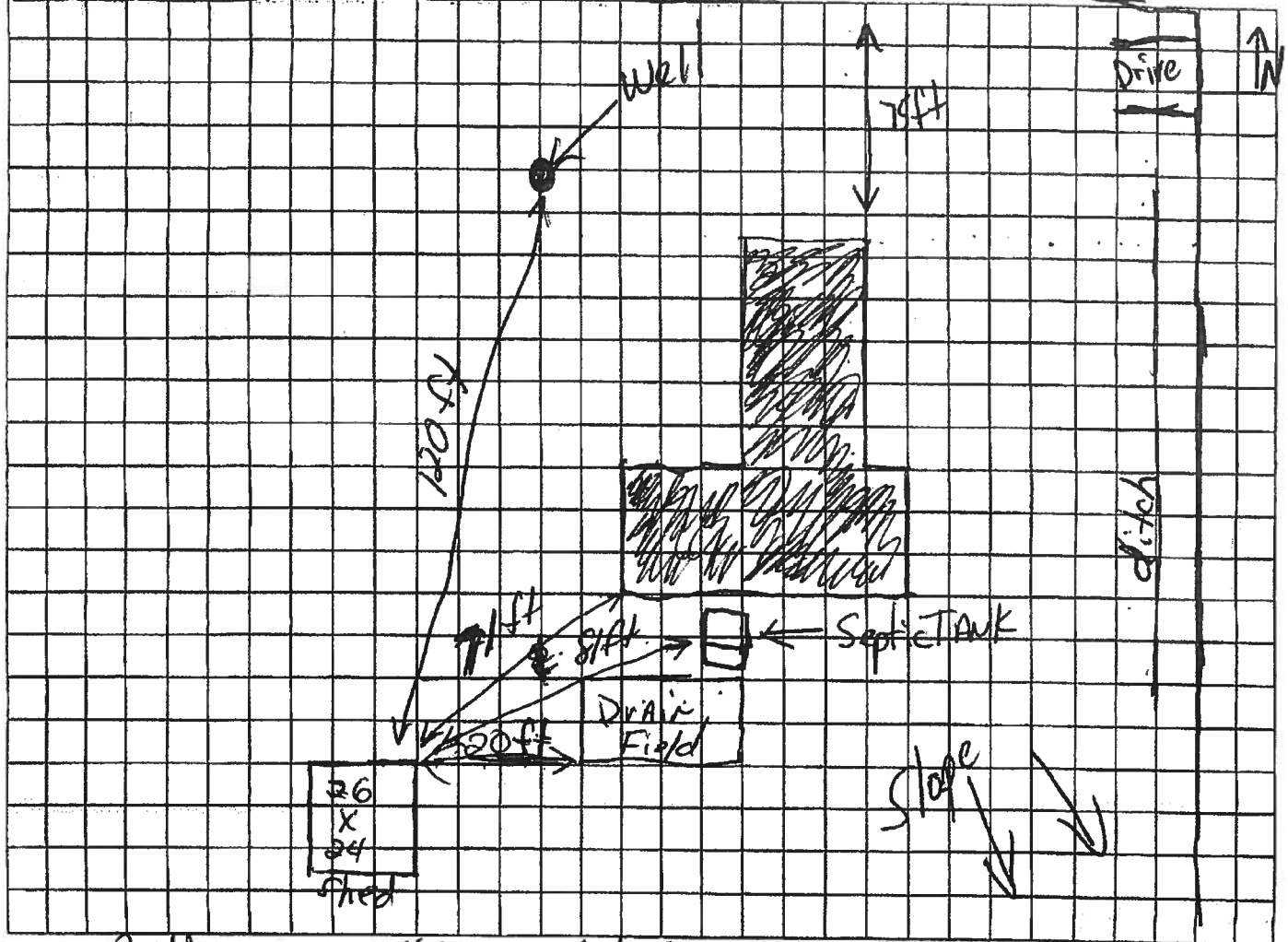
☐ Floor/Equipment Drains ☐ Other (Specify) _____SIGNATURE: Keith R HamptonDATE: 9/30/19

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-07246

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet



Notes: Build a New 26x26 metal Shed w/ concrete floor.

Site Plan submitted by: _____ TITLE _____ DATE: _____

Plan Approved [Signature] Not Approved _____ Date _____

By Keith R Hampton _____ County Health Department

10/2/19 Columbus CRD
ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

RISK CATEGORY	WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	MAXIMUM POST / RAFTER SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS OR GIRTS (INCHES)	
					INTERIOR POSTS/RAFTERS	END POSTS/RAFTERS
I	C	110 TO 150	89 TO 116	5.0	6	6
		151 TO 180	117 TO 139	4.0	6	6

NOTES: 1. Specifications applicable to 26 gauge metal roof and wall panels fastened directly to 12 or 14 gauge steel tube framing, or 18 gauge hat channel roof purlins.
2. Specifications applicable only for mean roof height of 20 feet or less, and roof slopes of 7° to 27° (1.5:12 to 5:12 pitch). Spacing requirements for other roof heights and/or slopes may vary.

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE	MAXIMUM ALLOWABLE WIND SPEED
STRUCTURAL COMPONENTS	ROOF DECK	UNION CORRUGATING COMPANY 25 Gage Alameda Steel	FL1353-2-84 1/31/87	150
STRUCTURAL COMPONENTS	STRUCTURAL WALL	UNION CORRUGATING COMPANY 25 Gage Alameda Steel	FL1353-2-84 1/31/87	180
STRUCTURAL COMPONENTS	STRUCTURAL WALL	FABVAL 25 Gage Galvalume Steel	FL1401-1-83 10/1/87	180
STRUCTURAL COMPONENTS	FLOOD GIRT	FLOOD DELTAUS, LLC Model 19-100	FL1744-2 06/25/15	NA
EXTENSION DOORS	SLYING	THERMA-TRU CORPORATION Therma-Curt	FL1323-1-84 1/22/87	180
EXTENSION DOORS	SLYING	ELDER DOOR AND METAL COMPANY Specs 427	FL1786-5 09/07/15	175
EXTENSION DOORS	ROLL-UP	ASTA INDUSTRIES INC. Model 203	FL1685-1-83 10/30/87	180
EXTENSION DOORS	ROLL-UP	JAMES INTERNATIONAL CORPORATION Specs 710	FL1776-8-83 10/07/17	150
WINDOWS	SINGLE FRAME	POCAHONTAS ALUMINUM COMPANY, INC. Model 110 V5	FL17942-2-84 03/07/16	119
WINDOWS	SINGLE FRAME	14 WINDOWS AND DOORS Model 181 S1	FL17709-1-82 12/29/87	180

GENERAL NOTES:

BUILDING WIDTH (feet)		ULTIMATE WIND SPEED (mph)											
		110	120	130	140	150	160	170	180				
12	30' Anchor Detail ID												
14													
16													
18													
20													
22													
24													
26													
28													
30													

30' Anchor Detail ID

45' Anchor Detail IC

60' Anchor Detail IC

BECHTEL ENGINEERING AND TESTING, INC.
600 WEST HARRIS AVENUE
DELAWARE, OHIO 43015
Cincinnati, Ohio 45202
No. 10428
THOMAS J. E.
Florida License No. 2284

CARPORTS ANYWHERE, INC.

ENCLOSED BUILDING

DATE	DATE
DRAWN MMS	MIS
CHECKED TB	G18022
PROJECT TB	SHEET 1 OF 4

Diagram illustrating a typical end elevation of a building. The structure features a gabled roof. The roof is labeled "ROLL-UP DOOR (As applicable)" and "SWINGING DOOR (As applicable)". The main wall is labeled "TYPICAL END ELEVATION" and "NOT TO SCALE".

[illegible]

TYPICAL END ELEVATION

ROLL-UP DOOR
(as applicable)

SWINGING DOOR
(as applicable)

NOT TO SCALE



Diagram illustrating the types of doors shown in the previous image, with labels indicating their function:

- ROLL-UP DOOR (As applicable)
- SWINGING DOOR (As applicable)
- ROLL-UP DOOR (As applicable)

TYPICAL END ELEVATION

TYPICAL

5 TO 16 (40 TO 100) mm

26 GA. GALVANNEED METAL ROOF PANEL FASTENED TO SUBSTRATE WITH WAVE CONTROL SEAL WASHER @ AVERAGE 8" O.C. SPACING

12

1

2x4 16 GA. U-NAIL CHANNEL BRACE FASTENED TO ROOFER WITH EACH END @ 16" BRACE

2x4 WOODEN ROOFER SPACING SCALE RAFTER

1/4" TO 3/8" (6 TO 10) mm

45 POUND (20 KG) INS. SHEET

[illegible]

5' TO 14' LEG HEIGHT

2x6 GALVANIZED METAL ROOF PANELS FASTENED TO RAFTERS WITH 1/4" SQUARE CONTROL BOLTS (NUMBER 8) ATTACHED TO RIDGE FRAMING

1x2 RIDGE FRAMING ATTACHED TO RAFTERS

2x6 GALVANIZED METAL SIDE BRACE FASTENED TO RAFTERS WITH 1/4" SQUARE BOLTS (EACH END OF EACH BRACE)

2x4 LUMBER FOR THE SIDE PANEL

2x4 LUMBER FOR THE BOTTOM RAIL ATTACHED TO THE SIDE PANEL WITH 1/4" SQUARE BOLTS (EACH END OF EACH RAIL)

AS SHOWN ON THIS SHEET

TYPICAL INTERIOR
BASTERBOST DRAWING (VENTILATION)

Diagram illustrating the placement of a signpost for Table 1. The signpost is a vertical pole with a circular sign at the top. The sign contains the text "TABLE 1" and "SHEET 1 OF 4". The signpost is positioned to the left of the table, and the sign is oriented towards the table.

TYPICAL SIDE RAFTER/POST FRAMING PLAN - BOX EAVE
NOT TO SCALE

Diagram illustrating a 12' x 12' room layout. The room is divided into two main sections by a vertical wall. The left section contains a door labeled "DOOR WITH NON-STRUCTURAL HEADER" and a window labeled "WINDOW WITH NON-STRUCTURAL HEADER". The right section contains a door labeled "DOOR WITH NON-STRUCTURAL HEADER" and a window labeled "WINDOW WITH NON-STRUCTURAL HEADER". The diagram also shows a "12' MAX OPENING FOR ROLL-UP DOOR WITH STRUCTURAL HEADER" and a "TABLE 1 OF 2".

[illegible]

END WALL OPENINGS POST/RAFTER FRAMING PLAN

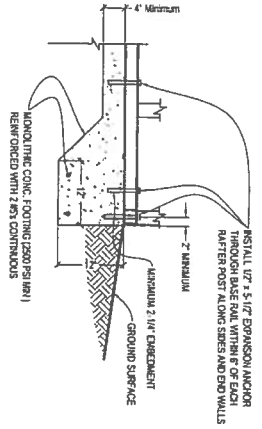
Diagram of a table with dimensions and labels:

- Overall width: 48"
- Overall height: 48"
- Table top height: 29"
- Table top width: 36"
- Table top depth: 10"
- Table top material: SFE TABLE 1 SHEET
- Table top color: 10F-4
- Table top material type: FASTER SPACED NOT MORE THAN 0.6"
- Table top material type: LATCH WARES DEPENDS ON NUMBER

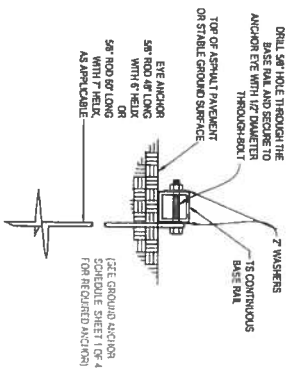
TYPICAL
SIDE POST/RAFTER FRAMING PLAN - VERTICAL ROOF
NOT TO SCALE

OPTIONAL 24'-1" TO 30' TRUSSED RAFTER - BOW
NOT TO SCALE

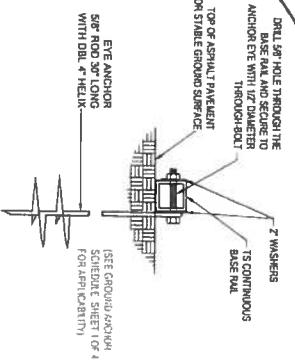
OPTIONAL 24'-1" TO 30' TRUSSED RAFTER - BOX EAVE
NOT TO SCALE



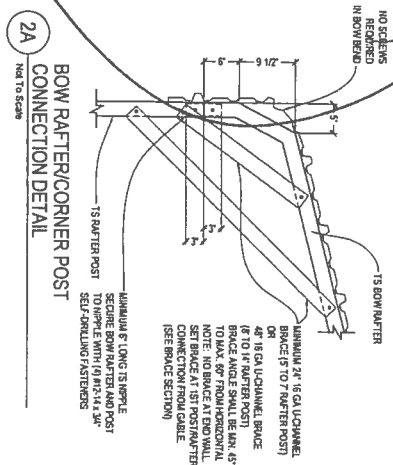
1A CONCRETE MONO. SLAB BASE RAIL ANCHORAGE
Not To Scale



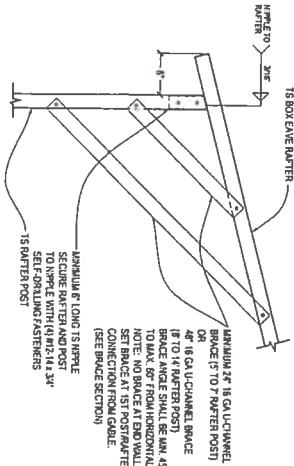
1B BASE RAIL DEEP ANCHORAGE
Not To Scale



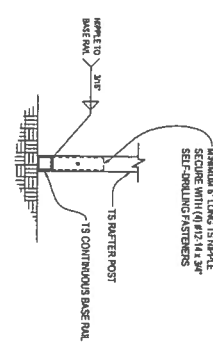
1C BASE RAIL ANCHORAGE
Not To Scale



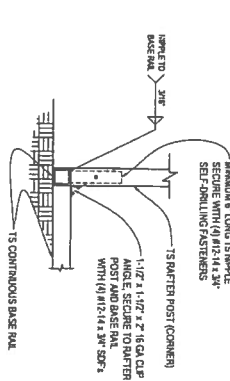
2A BOW RAFTER/CORNER POST CONNECTION DETAIL
Not To Scale



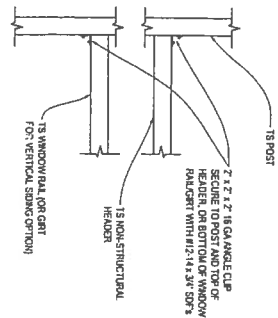
2B BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
Not To Scale



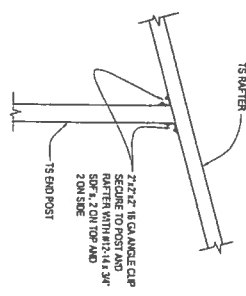
3 RAFTER POST/ BASE RAIL CONNECTION DETAIL
Not To Scale



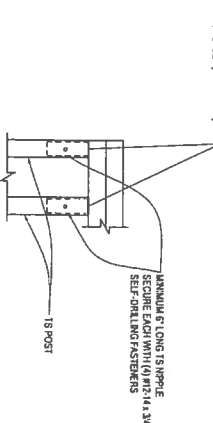
4 END POST/BASE RAIL CONNECTION DETAIL
Not To Scale



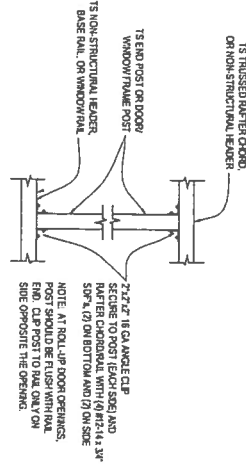
6 NON-STRUCTURAL HEADER OR WINDOW RAIL TO POST CONNECTION DETAIL
Not To Scale



7 END POST/RAFTER CONNECTION DETAIL
Not To Scale



8 DBL HEADER/POST CONNECTION DETAIL
Not To Scale



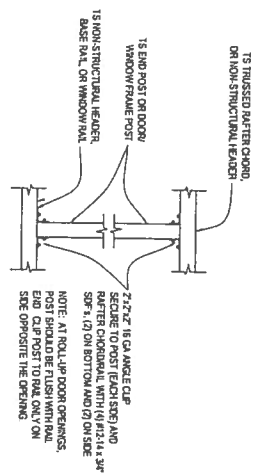
5 POST TO NON-STRUCTURAL HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
Not To Scale

CARPORTS ANYWHERE, INC.

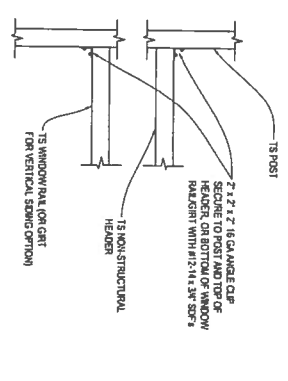
ENCLOSED BUILDING

BECHTOL ENGINEERING AND DESIGN, INC.
1000 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 578-1111
Fax: (954) 578-1112
Email: info@bechtol.com

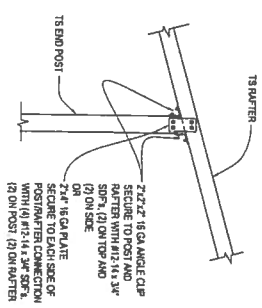
DATE	01/23/18
DESIGN	AKS
CHECK	NTS
REVISION	13
PROJECT	CI-18022
SHEET	13 OF 4



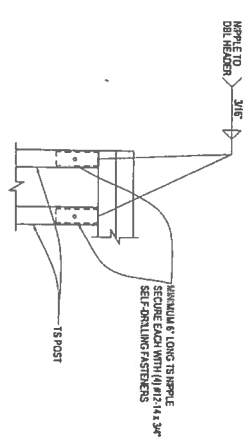
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POST TO NON-STRUCTURAL HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
Not To Scale



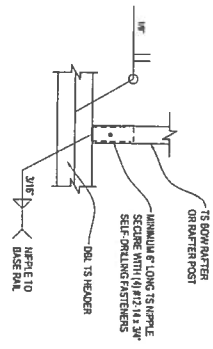
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NON-STRUCTURAL HEADER OR WINDOW RAIL TO POST CONNECTION DETAIL
Not To Scale



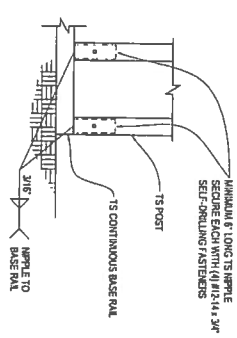
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END POST/RAFTER CONNECTION DETAIL
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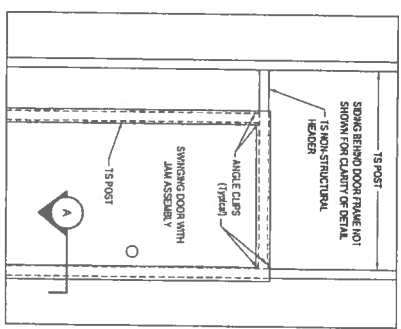
8
DBL. HEADER/POST CONNECTION DETAIL
Not To Scale



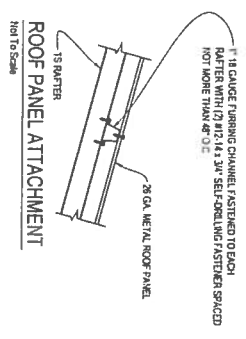
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RAFTER POST/DBL. HEADER CONNECTION DETAIL
Not To Scale



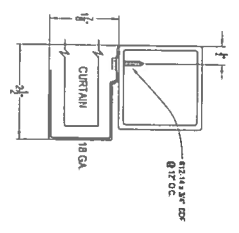
10
RAFTER POST/BASE RAIL CONNECTION DETAIL
Not To Scale



A
SECTION
Not To Scale



11
ROOF PANEL ATTACHMENT
Not To Scale



12
ROLL-UP DOOR GUIDE TO POST CONNECTION DETAIL
Not To Scale

CARPORTS ANYWHERE, INC.

ENCLOSED BUILDING

BECHTOL ENGINEERING AND DESIGN, INC.
 805 WEST NEW YORK AVENUE
 DELAND, FLORIDA 32720
 Certificate of Registration No. 38536
 Florida License No. 38536

Thomas Bechtol, Inc.
 Professional Engineer
 STATE OF FLORIDA
 No. 38536

DATE	REV.	BY	CHK.
18	01/02/18	MTS	MTS
18	01/02/18	MTS	MTS
18	01/02/18	MTS	MTS
SHEET 1 OF 4			

**COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT**Florida Statutes Chapter 489.103:**

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or <http://www.myfloridalicense.com/> for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

482 SW MIRACLE CT

(Write in the address of jobsite property)

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Florida Statutes Chapter 489.503:

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

TYPE OF CONSTRUCTION

☐ Single Family Dwelling ☐ Two-Family Residence ☐ Farm Outbuilding

☐ Addition, Alteration, Modification or other Improvement ☐ Electrical

☒ Other TWO CAR GARAGE

☐ Contractor substantially completed project, of a _____

☐ Commercial, Cost of Construction _____ for construction of _____

I Keith R Hampton, have been advised of the above disclosure
(Print Property Owners Name)

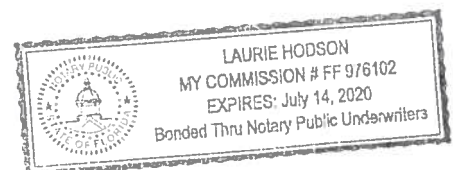
statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Signature: Keith R Hampton Date: 10-10-19
(Signature of property owner)

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification DL

Notary Signature Laurie Hodson Date 10.10.19 (Seal)



NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

06-45-16

Clerk's Office Stamp

Inst: 201912021996 Date: 09/19/2019 Time: 10:41AM
Page 1 of 1 B: 1394 P: 2577, P. DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Hampton
a) Street (job) Address: 482 SW Miracle Ct Lake City, FL 32024
2. General description of improvements: TWO CAR GARAGE
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: Keith Hampton
b) Name and address of fee simple titleholder (if other than owner): 482 SW Miracle Ct Lake City, FL 32024
c) Interest in property: owner
4. Contractor Information
a) Name and address: OWNER
b) Telephone No.: _____
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.: _____
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Keith R Hampton
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Keith R Hampton
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 19th day of September, 2019, by:

Keith Hampton as _____ for _____
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known _____ OR Produced Identification ☒ Type PIDL

Notary Signature [Signature] Notary Stamp or Seal:

