

DATE 02/02/2004

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT

000021468

APPLICANT GREG GALAS PHONE 352 629-1098

ADDRESS 365 NW GAINESVILLE ROAD Ocala FL 34475

OWNER JOHN THOMPSON PHONE 407 518-6833

ADDRESS 230 SW GLADEOLA COURT FT. WHITE FL 32038

CONTRACTOR ANDY HALL PHONE _____

LOCATION OF PROPERTY TUSTENUGGEE, TR ON MARIGOLD PLACE, TL ON GLADEOLA,
TO END CUL-DE-SAC ON RIGHT

TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION .00

HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT .00 STORIES _____

FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____

LAND USE & ZONING A-3 MAX. HEIGHT _____

Minimum Set Back Requirements STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 18-6S-17-09696-121 SUBDIVISION TUSTENUGGEE PLANTATIONS

LOT 21 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 10.00

000000194 Y IH0000195 Greg Galas

Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____

WAIVER 04-0030-N BK HD Y

Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: ONE FOOT ABOVE ROAD

Check # or Cash 49770**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____

Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____

Framing _____ Rough-in plumbing above slab and below wood floor _____
date/app. by _____ date/app. by _____

Electrical rough-in _____ Heat & Air Duct _____ Peri. beam (Lintel) _____
date/app. by _____ date/app. by _____ date/app. by _____

Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____

M/H tie downs, blocking, electricity and plumbing _____ Pool _____
date/app. by _____ date/app. by _____

Reconnection _____ Pump pole _____ Utility Pole _____
date/app. by _____ date/app. by _____ date/app. by _____

M/H Pole _____ Travel Trailer _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 45.36 WASTE FEE \$ 98.00

FLOOD ZONE DEVELOPMENT FEE \$ _____ CULVERT FEE \$ _____ TOTAL FEE 393.36

INSPECTOR'S OFFICE Mark Redden CLERK'S OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION. IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008 THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

left message 1/29/04

194/

*** The well affidavit, from the well driller, is required before the permit can be issued.***

This application must be completely filled out to be accepted. Incomplete applications will not be accepted.

For Office Use Only	Zoning Official <u>BLK</u>	Building Official <u>NO 1-29-0</u>
AP# <u>0401-41</u>	Date Received <u>1/21/04</u>	By <u>JW</u> Permit # <u>21468</u>
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u> Land Use Plan Map Category <u>A-3</u>
Comments _____		

- Property ID # 18-6S-17-09696-121 *(Must have a copy of the property de
- General LOT 21 TUSTENUGGER PLANTATION
- New Mobile Home 2004 Used Mobile Home _____ Year _____
- Applicant BIC ENTERPRISES / Greg GILES Phone # 352-266-6833
- Address 3657 NW GARNETT RD Ocala FL 34474
- Name of Property Owner John Thompson Phone# 407-518-6833
- Address 204 ALBATROSS WAY KISSIMMEE FL 32210
911-ADD-230 SW GLADEOLA CT, Ft. White, FL 32038
- Name of Owner of Mobile Home John Thompson Phone # _____
- Address 204 ALBATROSS WAY, KISSIMMEE, FL 34758
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 0
- Lot Size 660 X 660 Total Acreage 10
- Current Driveway connection is WAIVED - NEEDED
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Name of Licensed Dealer/Installer ANDY HAIL Phone # 352-493-0705
- Installers Address 1940 SE 35 AVE TRINITY
- License Number IH0000195 Installation Decal # 217306

The Permit Worksheet (2 pages) must be submitted with this application.

Installers Affidavit and Letter of Authorization must be notarized when submitted.

* NEED WELL LETTER

PERMIT NUMBER

Installer Andrew J. Hall License # 140000195

Address of home being installed Ilustechuge Plantations Lot # 21
F. Whit, FL 32038

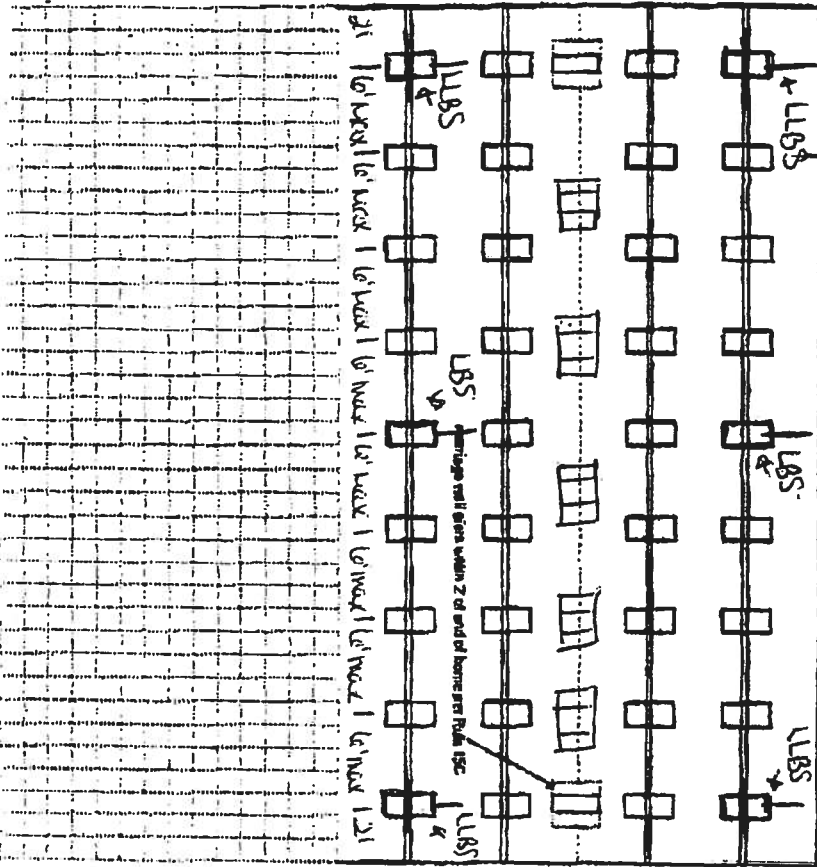
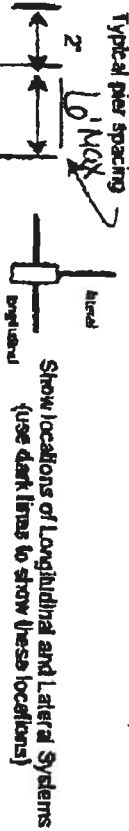
Manufacturer General Length x width 28x52

NOTE: If home is a single wide fill out one half of the blocking plan
If home is a triplex or quad wide attach in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall has exceed 5 ft 4 in.

Installer's initials [Signature]

BLDG AND ZONING



New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual ☒
Home is installed in accordance with Rule 15-C ☒
Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
Double wide ☒ Installation Detail # 217306
Triplex/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing area (sq ft)	16' x 16' (256)	16' 1/2" x 16' 1/2" (242)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'	5'	6'	7'	8'	9'
2000 psf	5'	6'	7'	8'	9'	10'
2500 psf	6'	7'	8'	9'	10'	11'
3000 psf	7'	8'	9'	10'	11'	12'
3500 psf	8'	9'	10'	11'	12'	13'

PIER PAD SIZES

1-beam pier pad size 40x20
Perimeter pier pad size 20x20
Other pier pad sizes (required by the mfg.) 8'x8'x10

POPULAR PAD SIZES

Pad Size	Sq ft
16' x 16'	256
16' x 18'	288
16' 1/2' x 18' 1/2'	304
16' 1/2' x 22' 1/2'	369
17' x 22'	374
13' 1/2' x 28' 1/2'	374
20' x 20'	400
17' 3/8' x 25' 3/8'	441
17' 1/2' x 25' 1/2'	448
24' x 24'	576
26' x 26'	676

Draw the approximate locations of marriage wall openings 4 feet or greater. Use this symbol to show the parts.
List all marriage wall openings greater than 4 feet and their pier pad sizes below.

Opening _____ Pier pad size _____

ANCHORS

4R ☒ 5R ☐

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

OTHER TIES

Longitudinal Stabilizing Device (LSD)
Manufacturer Inter-Mat System
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Inter-Mat System

SideWall
Longitudinal
Marriage wall
Shearwall
Number _____

PERMIT NUMBER

PERMIT WORKSHEET

Page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to psi or check here to declare 1000 lb. soil without testing.

x210 x210 x210

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x210 x210 x210

TORQUE PROBE TEST

The results of the torque probe test is inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline locations where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. loading capacity.

Installer's Initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Andrew J. Hall

Date Tested

11/16/84

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed ☒ Compacted fill
Water drainage: Natural ☒ Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: 3/8" x 5 1/2" Length: 2 1/4" Spacing: 16" x 12"
Walls: Type Fastener: 3/8" x 5 1/2" Length: 2 1/4" Spacing: 30" x 16"
Roof: Type Fastener: 30GA strip Length: 30" Spacing: 30"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials

AGH

Type Gasket

FCM

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg.
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed ☒ Yes ☒ No ☒
Dryer vent installed outside of skirting ☒ Yes ☒ N/A
Range downflow vent installed outside of skirting ☒ Yes ☒ N/A
Drain lines supported at 4 foot intervals. ☒ Yes ☒ N/A
Electrical crossovers protected ☒ Yes ☒ Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and on Rule 15C-1.8.2.

Installer Signature

11/16/84

Date

Customer: Thompson

**Anchor Type II
4' Anchors
5'4" Anchor Spacing**

**26x26 ABS pads
6' Pad Spacing**

4 **LLBS Stabilizing Systems
&**

0 **LBS Stabilizing Systems**

4 **Systems Total**

06/14/2002 14:39

4076231158

DMV

07/28/03 08:27am P. 001

PAGE 02



State of Florida
**DEPARTMENT OF
HIGHWAY SAFETY AND MOTOR VEHICLES**

TALLAHASSEE, FLORIDA 32399-0500

FRED O. DICKINSON, III
Executive Director

MEMORANDUM

June 14, 2002

TO: All Anchor and Component Manufacturers

FROM: Philip R. Bergelt, Program Manager *PB*
Bureau of Mobile Home and Recreational Vehicle Construction

SUBJECT: Lateral Arm Stabilizer Systems

To ensure consumer protection and to ensure that minimum standards are met in the installation of Lateral Arm Stabilizing Systems, it is necessary for us to create uniform installation standards for these systems. A secondary benefit of uniform standards will be the clarification of installation procedures for installers and for county and city inspectors performing field oversight.

Effective immediately all Florida lateral arm stabilizing instructions will include the following prescriptive number of systems:

Four (4) systems up to 52 feet
Six (6) systems from 52 to 80 feet

Five (5) 12 pitch roofs will require a minimum of the following number of lateral arm stabilizing systems, unless a greater number is specified by your engineering:

Six (6) systems up to 52 feet
Eight (8) systems from 52 to 80 feet

Your instructions should contain the following ~~three~~ (3) notes:

Note: 1) The use of this system requires sidewall vertical ties at no greater than 5'4" on center and allows for the use of 4' anchors.

Note: 2) Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor.

Note: 3) Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

DIVISIONS/ FLORIDA HIGHWAY PATROL • DRIVER LICENSES • MOTOR VEHICLES • ADMINISTRATIVE SERVICES
Neil Kirkman, BuB/Soc, Tallahassee, Florida 32399-0500

①

Minute Man anchors, inc.

Installation Instructions for Model LLBS Longitudinal and Lateral Bracing System Approved Zone II and III

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

Location is within 1,500 feet of Coast
Pier Height exceeds 48"
Sidewall height exceeds 96"

Roof eaves exceeds 16"
Main beam spacing exceeds 99.5"

1. Refer to the Home Manufacturer Installation Instructions for pier locations. Note: SD3 pad is 2.8 square foot. Vertical tie, anchors with 3,150 lb. working loads are required at maximum 5'-4" center along both sidewalls starting a maximum of 2'-0" in from each end of the home. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors are required in accordance with the Home Manufacturer Instructions.
2. Refer to the Foundation Plans for the location of Longitudinal Lateral Bracing System.. (See Attached)
3. Remove turf to expose firm soil at each SD3 pad location. Install SD3 pad to manufacturer, state, local codes, and frost line guidelines as it may apply. For extremely hard or rocky soil, mark four (4) slots and pre-drill soil with a 3/4 x 12" masonry drill bit.
4. Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad.
5. Level home on concrete blocks or deluxe steel pier by Minute Man.
6. Install Longitudinal and Lateral Bracing in accordance with Foundation Plan and Detail Assembly Drawing.
7. Install vertical anchors and ties.

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 498-7277.

305 West King St. East Flat Rock, North Carolina 28726

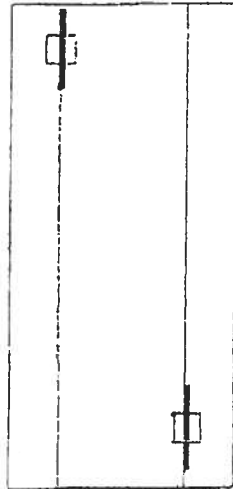
(2)

LONGITUDINAL BRACING SYSTEMS PLACEMENT FOR FLORIDA

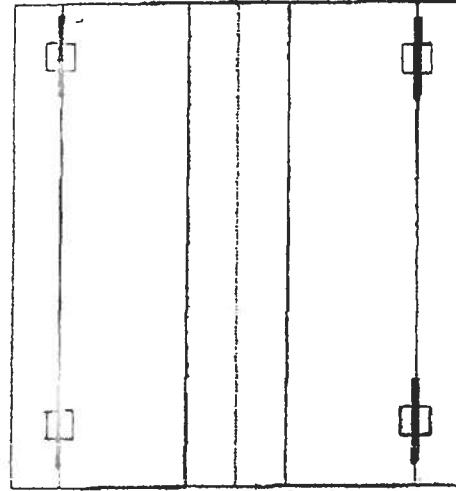
Use 650 anchors and 180 square inch stabilizers with frame ties and vertical ties at maximum 5' -4" centers. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors must be used in accordance with the home manufacturers instructions.

For Roof slopes up to 5/12 pitch

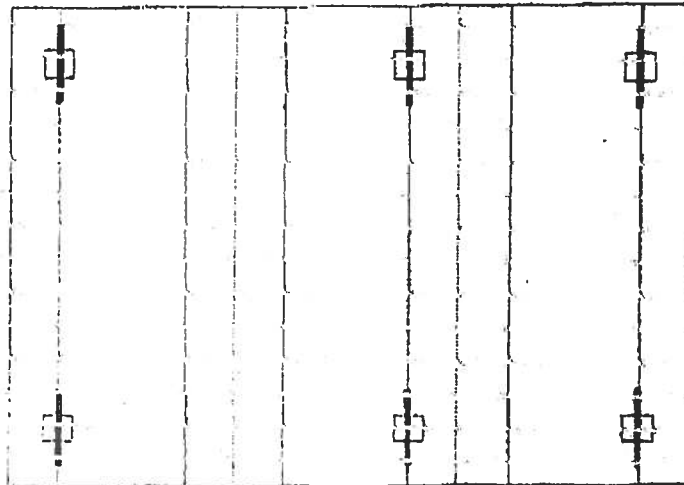
Systems must be placed no more than 16' from end of home



UP TO 16'
SINGLE WIDE



UP TO 32'
DOUBLE WIDE



UP TO 48' TRIPLE WIDE
OR DOUBLE WIDE WITH TAG

See Longitudinal and Lateral Bracing System detail assembly drawing.

Minute Man Anchors, Inc.
Job No. 01-3452
October 10, 2001
Page #22

3

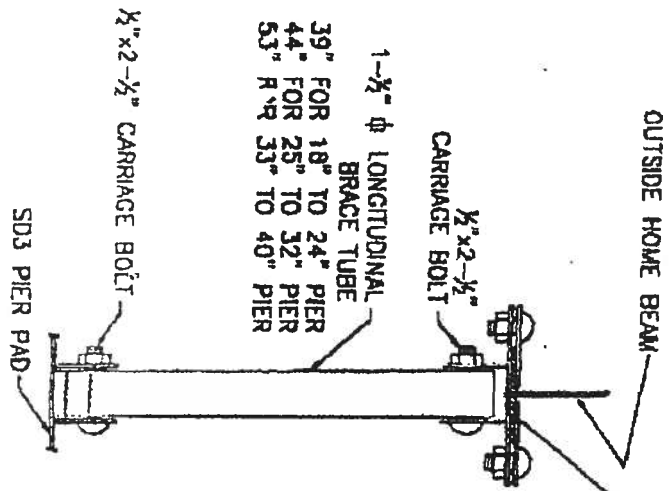
MINUTE MAN ANCHORS
10/10/01

NOTE: 1/2" BOLTS ARE GRADE 5

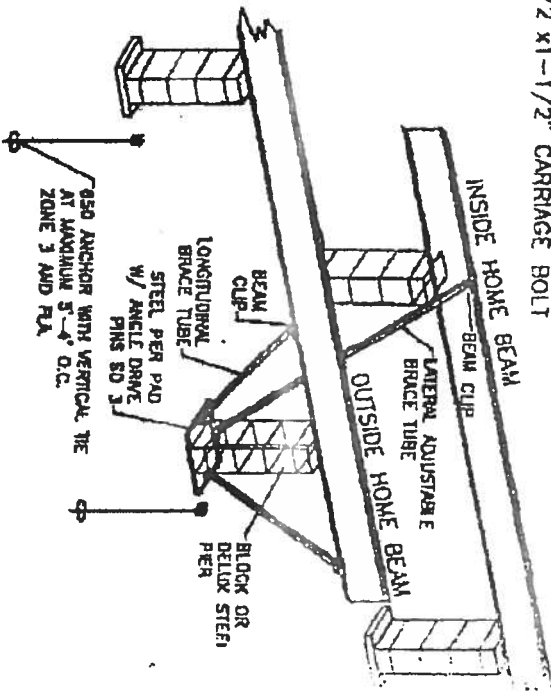
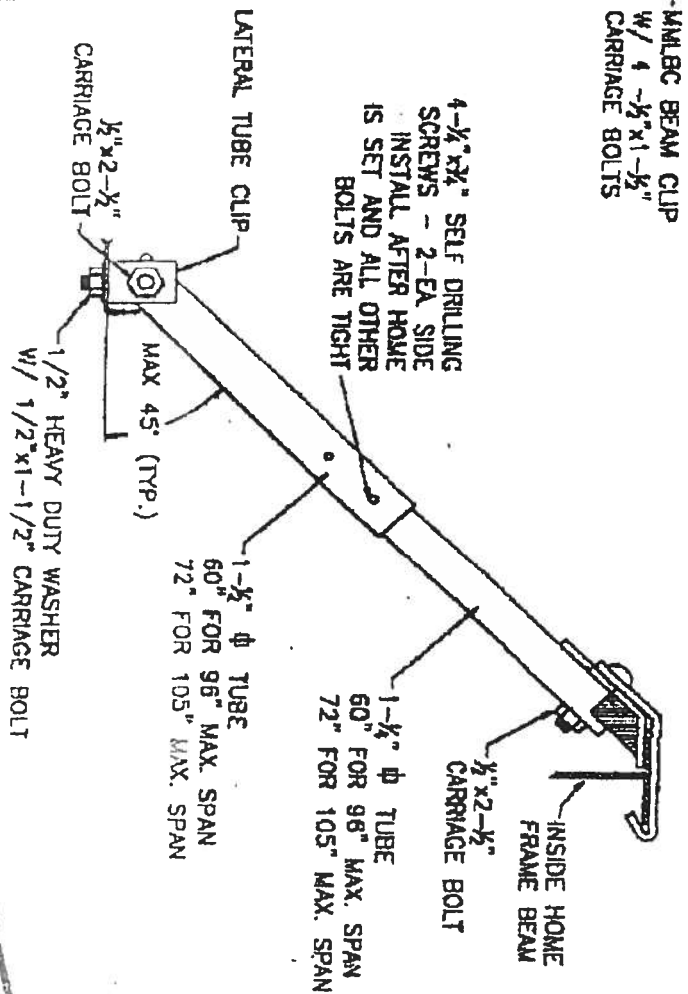
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LONGITUDINAL & LATERAL BRACING SYSTEM
DETAIL ASSEMBLY DRAWING

LONGITUDINAL BRACE DETAIL



LATERAL BRACE DETAIL



ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For Roof slopes up to 4/12 pitch

No Frame Ties or Stabilizer Plates: Systems must be as evenly spaced as possible.

HOME DIMENSIONS REPRESENT BOX SIZE

LEGEND



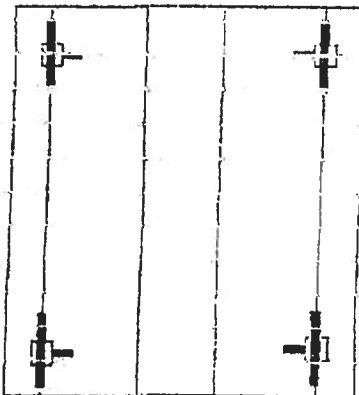
Longitudinal
Bracing System only



Longitudinal and Lateral
Bracing System

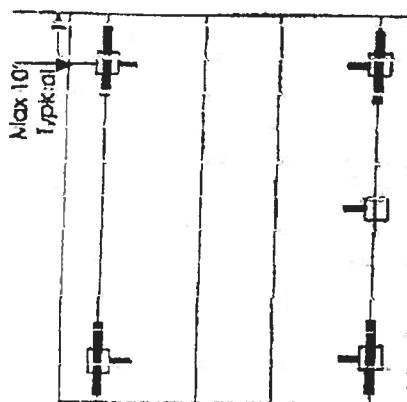


Lateral Bracing
System only



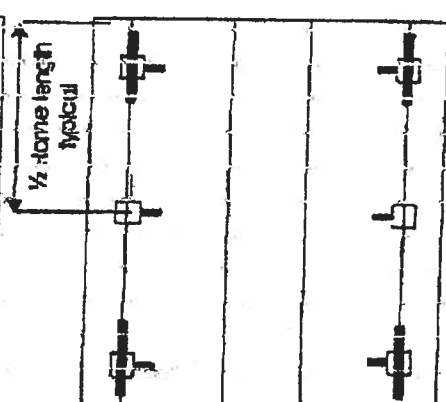
SINGLE AND DOUBLE WIDE
UP TO 48' LONG - 4 SYSTEMS

52' INCLUDING HITCH



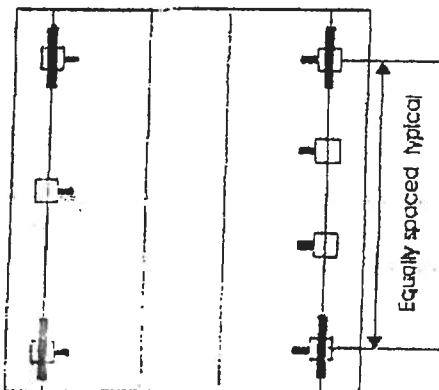
SINGLE AND DOUBLE WIDE
49'-62' LONG - 5 SYSTEMS

68' INCLUDING HITCH

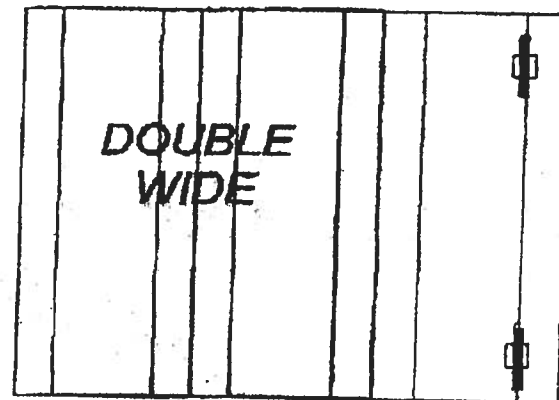


SINGLE AND DOUBLE WIDE
63'-74' LONG - 6 SYSTEMS

80' INCLUDING HITCH



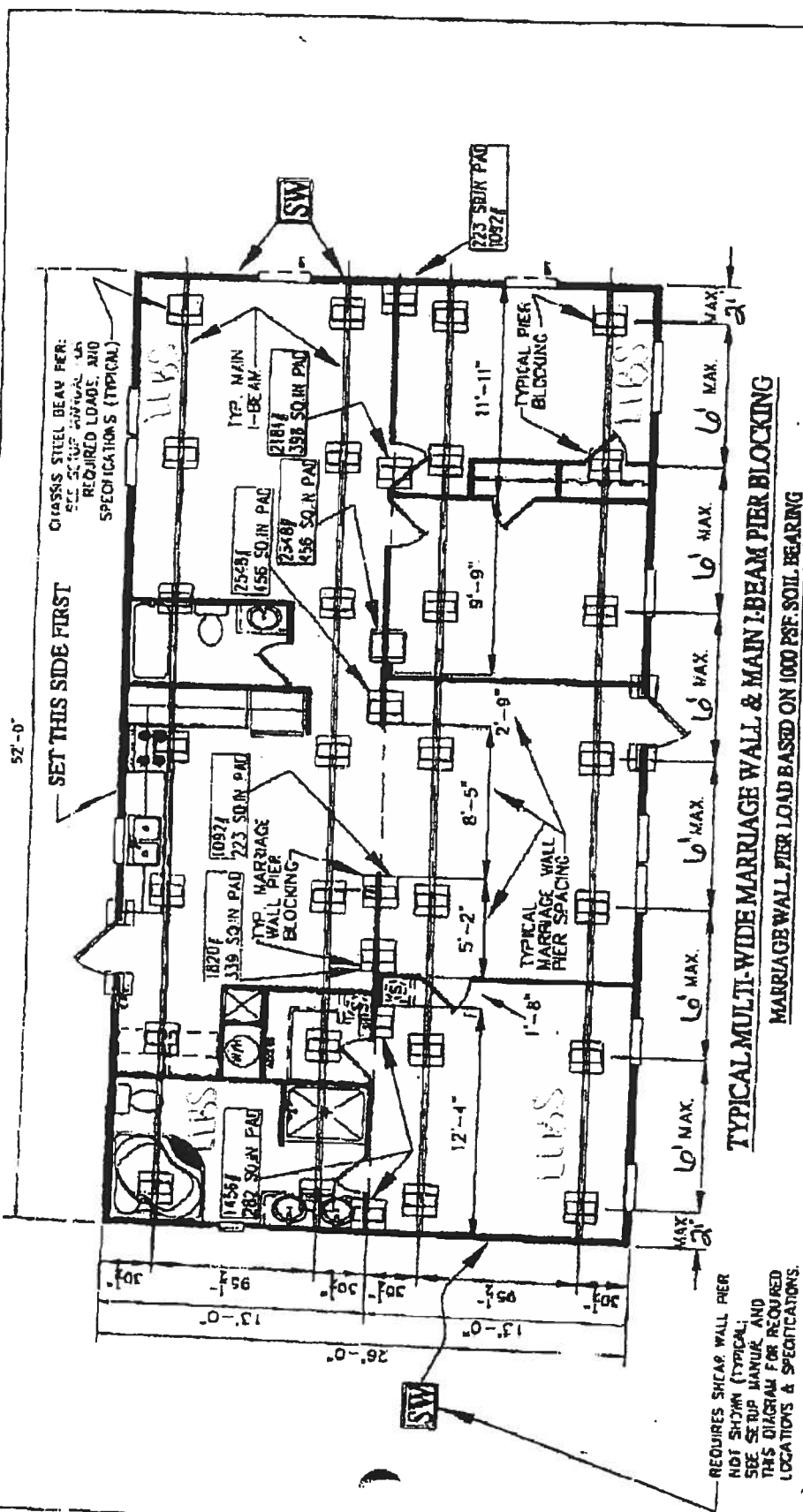
SINGLE AND DOUBLE WIDE
76'+ LONG - 7 SYSTEMS
80' INCLUDING HITCH



FOR TRIPLE WIDE OR TAG UNITS-
2 ADDITIONAL SYSTEMS

SINGLE WIDES UP TO 16' WIDE, DOUBLE WIDES UP TO 32'
WIDE, TRIPLE WIDES UP TO 48' WIDE

5



CHASSIS STEEL BEAM PER
SETUP MANUAL FOR
REQUIRES LOADS AND SPEC.
(TYPICAL)

DESIGN ROOF LOAD:
SOUTH 20 PSF.

BEITZ

DRAWING NO.

28-1035251Z

DATE 8/6/03 TIME 9:23/03

28 x 56, 3 BEDRM., 2 BATHS

TYPICAL MARRIAGE WALL &

NOTE: INSTALLER MUST VERIFY BUILDING DIMENSIONS BEFORE BEGINNING CONSTRUCTION ON SITE.

---DRAWING IS NOT TO SCALE---

Thompson

**SW SHEARWALL LOCATION
FOR ALL WIND ZONES**

REQUIRED PIER SPACING

This chart and drawing specify the exact location of foundation piers for this particular model. Deviation from these pier locations may cause damage to the house and void the warranty.

1. Marriage wall pier block spacing must be as specified on this drawing.
2. Each exterior door locations must be pier blocked under each end of door.
3. Each of the floor steel I-beam must be pier blocked within 2' max. from each end of house, and a maximum of 8' between adjacent piers.
4. All heavy household items such as : water beds, pianos, freezers etc. must be pier blocked.
5. Angle bay windows require special blocking. refer to page SU-41 in "General setup Manual".
6. For sheatwall pier refer to pages SU-99, 101, 102, 104, 105, 107, 108, 110, 111, 113, 114 and SU-118.
7. For more instructions on pier blocking & tiedown requirements refer to the "General Setup Manual".

Home
Property Search
Agriculture Classification
Amendment 10
Exemptions
Tangible Property Tax
Tax Rates
Report & Map Pricing
Important Dates
Office Directory
E-mail us Comments

Parcel ID: 18-6S-17-09696-121

Columbia County Property Appraiser

Owner & Property InfoShow: [Tax Info](#) | [GIS Map](#) | [Property Card](#)

Owner's Name	THOMPSON JOHN L
Site Address	TUSTENUGGEE PLANTATIONS
Mailing Address	204 ALBATROSS WAY KISSIMMEE, FL 32210
Brief Legal	AKA LOT 21 TUSTENUGGEE PLANTATIONS UNREC: COMM NE COR, RUN W 2616.44 FT, S

Use Desc. (code)	NO AG ACRE (009900)
Neighborhood	18617.01
Tax District	3
UD Codes	
Market Area	02
Total Land Area	10.000 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$25,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$25,000.00

Just Value	\$25,000.00
Class Value	\$0.00
Assessed Value	\$25,000.00
Exempt Value	\$0.00
Total Taxable Value	\$25,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
11/15/2002	967/2481	WD	V	Q		\$29,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	10.000 AC	1.00/1.00/1.00/1.00	\$2,500.00	\$25,000.00

Columbia County Property Appraiser

DB Last Updated: 10/07/2003

<< Prev

2 of 3

Next >>

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949

PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: 1-16-04

ENHANCED 9-1-1 ADDRESS:

230 SW Gladeola CT (Fr. White, FL 32038)

Addressed Location 911 Phone Number: N/A

OCCUPANT NAME: John Thompson.

OCCUPANT CURRENT MAILING ADDRESS: 204 Albatross Way.
Kissimmee, FL 34758

PROPERTY APPRAISER MAP SHEET NUMBER: 104

PROPERTY APPRAISER PARCEL NUMBER: 18-65-17-09696-121

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: LOT 21 . Tustenuggee Plantations S/A.

Address Issued By:


Columbia County 9-1-1 Addressing Department

**2003-2004 Mobile Home Installer License**Licensee: Andrew J. HallLicense Number: DH0000195Effective DateExpiration Date

10-1-03

9-30-04

State of Florida - Department of Highway Safety and Motor Vehicles - Division of Motor Vehicles

RETURN TO

U. S. Title
542 N.E. Santa Fe Blvd.
High Springs, FL 32643
USH-2116

Inst: 2002023022 Date: 11/20/2002 Time: 11:39

Doc Stamp-Dues: 205.00

J.P. DeWitt Cason, Columbia County 2-067 P: 2481

PARCEL ID# 18-06S 17-09698-000
BUYER'S TIN#

WARRANTY DEED

THIS INDENTURE, Made this 15th day of November, 2002, BETWEEN COLUMBIA PLANTATION COMPANY, a Florida Corporation grantor whose address is 3345 ORTEGA BLVD., #7, JACKSONVILLE, FL 32210, and JOHN L. THOMPSON, a Single Man grantee, whose post-office address is, 204 ALBATROSS WAY, KISSIMMEE, FL 32210.

[The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.]

WITNESSETH That said grantor, for and in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee and grantee's heirs, successors and assigns forever, the following described land situated, lying and being in COLUMBIA County, Florida to wit:

SEE ATTACHED EXHIBIT "A"

And said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written

Signed, sealed and delivered
in the presence of:

WITNESS Maing M. LiWITNESS Heather S. Loveland

COLUMBIA PLANTATION COMPANY

BY Lee D. Wedekind, Jr.
Lee D. Wedekind, Jr.
President

STATE OF FLORIDA
COUNTY OF Duval

[CORPORATE SEAL]

The foregoing instrument was acknowledged before me this 15th day of November, 2002, by Lee D. Wedekind, Jr., President of COLUMBIA PLANTATION COMPANY on behalf of the corporation. She/He is personally known to me or who has produced a driver's license as identification and who did take an oath.

Heather S. Loveland
Notary Public, State of Florida
My Commission Expires:
My Commission Number:

Heather S. Loveland
My Commission DOW/2003
Expires March 11, 2008

RECORD & RETURN TO:

THIS INSTRUMENT WAS PREPARED BY: JANNETTE S. BOYD, an employee of U.S. TITLE, 542 N.E. SANTA FE BLVD., HIGH SPRINGS, FLORIDA 32643, as a necessary incident to fulfill the requirements of a Title Insurance Binder issued by it. USH-2116.

COLUMBIA

County Building Department

To Whom It May Concern:

I ANDY HALL hereby give permission to Greg Galas
with B&C Enterprises to pull permits using my license IH0000195
to obtain permits for John Thompson.

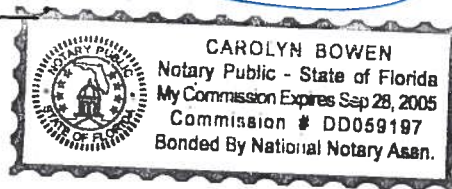
Andy Hall 1-19-04
Signature Date

State of Florida

County of COLUMBIA

Sworn and Subscribed before me this 19 day of JAN 2004
by ANDY HALL who is personally known to me / Provided
Identification _____

Carolyn Bowen
Notary Public
9/28/05
Expiration Date



Seal



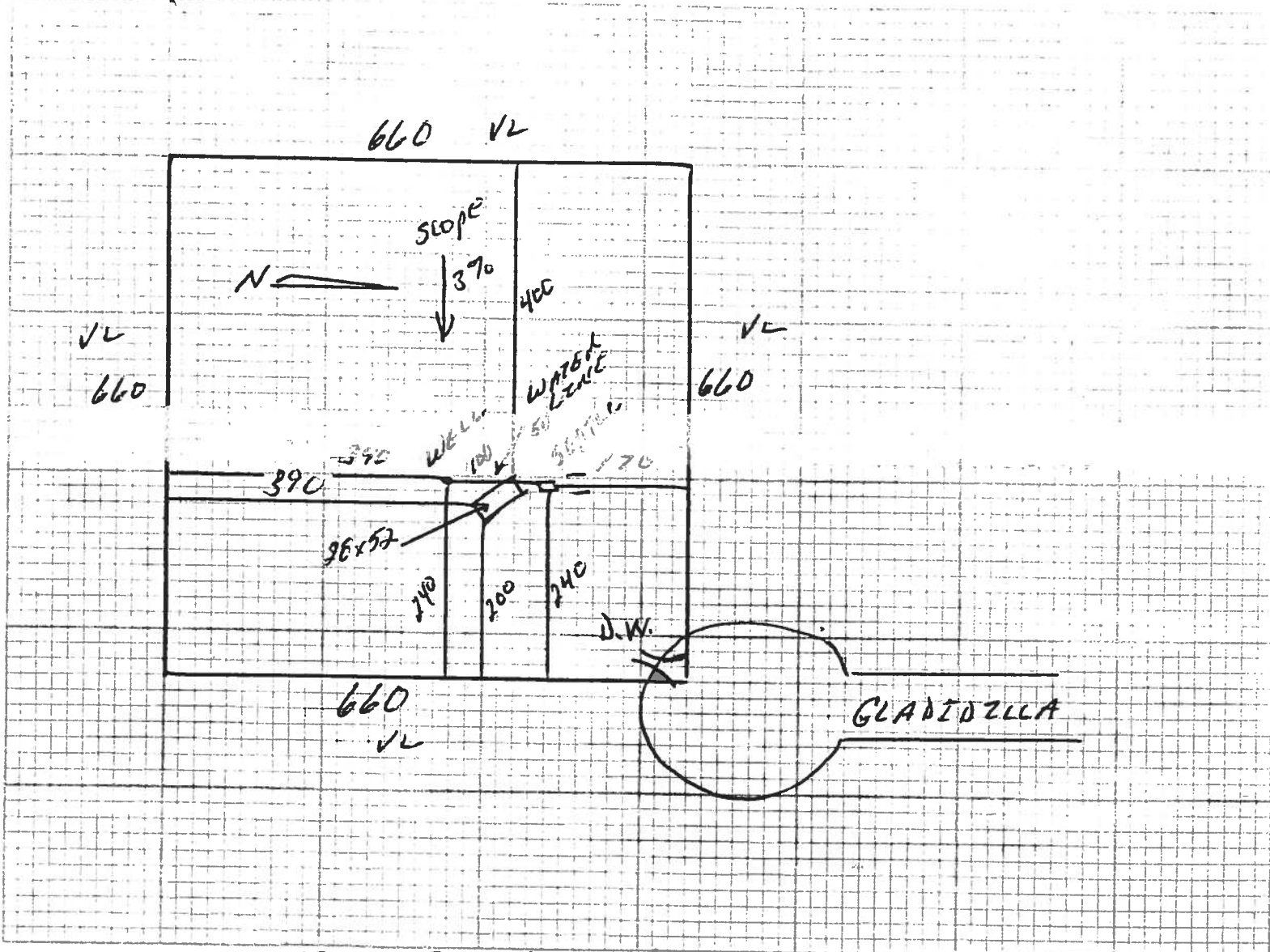
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 04-0030N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = ¹⁰⁰/₅₀ feet.



Notes: SEPTIC TO MH = 50'

Site Plan submitted by: Peg Galan

Signature

AGB 7

Title

Plan Approved ☒

Not Approved ☐

Date 1-16-04

By Sallia A. Maddy, ESI, CULVMBIA

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

ACTION

Pump Repair & Well Drilling

Mary Bilbrey
Jamie Storey

Office (352) 542-7877
Fax (352) 542-7532
State Licence#2773

RESIDENTIAL WATER WELL BUILDING PERMIT INFORMATION

Building Permit # _____ Owners Name: John Thompson

Well Depth _____ ft. Casing Depth _____ ft. Water Level _____ ft.

PUMP INSTALLATION: Submersible XX Deep Well Jet _____ Shallow Well Jet _____

Pump Make Goulds Pump Model #18LS Pump H.P. 1

System Pressure (PSI) 40 On 60 Off Average Pressure 50

Pumping System GPM at average pressure and pumping level 18 (GPM).

TANK INSTALLATION: Precharged (Bladder) XX Atmospheric (Galvanized) _____

Make _____ Well Flo _____ Model 100WF Size 81 Gallons.

Tank Draw-down per cycle at system pressure 21 Gallons.

I hereby certify that this water well system has been installed as per above information.

State contractor signature

2773
State license number

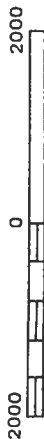
Mary Bilbrey
print name

1-26-04
Date

0401-41



APPROXIMATE SCALE IN FEET



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 225 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0225 B

EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/mit/isd.

12

7

ZONE X

13

18

D

TUSTENUGGEE

PINE

17

ZONE A

8

-ZONE A

24

ZONE A

19

ZONE A

131

20

556 667-1174

EXPIRED
FEB 26 2004
G

COLUMBIA COUNTY
OFFICE

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 18-6S-17-09696-121

Building permit No. 000021468

Permit Holder ANDY HALL

Owner of Building JOHN THOMPSON

Location: 230 SW GLADEOLA COURT, FT. WHITE, FL

Date: 02/26/2004

John Thompson



Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

Attn: Weegie

**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000000194**

DATE: 02/02/2004

BUILDING PERMIT NO. 21468

APPLICANT GREG GALAS

PHONE 352 629-1098

ADDRESS 3657 NW GAINESVILLE ROAD

OCALA

FL 34475

OWNER JOHN THOMPSON

PHONE 407 518-6833

ADDRESS 230 SW GLADEOLA COURT

FT. WHITE

FL 32038

CONTRACTOR ANDY HALL

PHONE 352 493-0705

LOCATION OF PROPERTY TUSTENUGGEE, TR ON MRIGOLD^A LACE, TL ON GLADEOLA COURT, END TO
CUL-DE-SAC ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT TUSTENUGGEE PLANTAT

21

PARCEL ID # 18-6S-17-09696-121

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: *Greg Galas*

A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE
CULVERT WAIVER IS:

APPROVED

NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: PRIVATE

SIGNED: *Andy Hall*

DATE: 2-10-04

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

