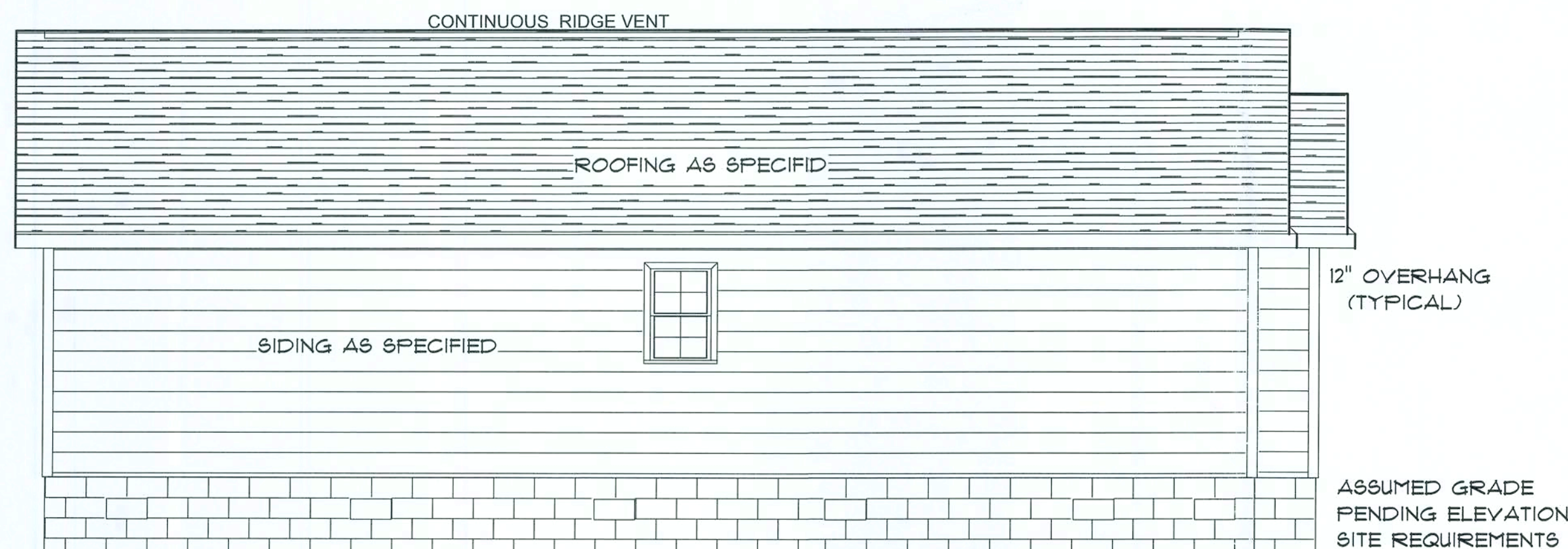


FRONT ELEVATION



LEFT ELEVATION



Pennyworth Homes

Got Land? Let's Build!
SC-G98469 PennyworthHomes.com FL-CRC058477

EXHIBIT "A"
PLAN: WESTWIND
CUSTOMER NAME: JOLLEY

HEATED LIVING AREA	
GROUND FLOOR:	1573
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1573

NON-HEATED LIVING AREA	
PORCH:	106
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1679

IMPORTANT-PLEASE READ BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER:	DATE:	BUYER/OWNER:	DATE:

PENNYWORTH HOMES: *[Signature]* DATE: July 09, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.

JOB# 08-04-0068

DRAWN BY:	PLAN DATE:	PAGE
JLB	July 09, 2009	1

SCALE: 1/4" = 1'0" OF 8

REV. #	REV. DATE	DRAWN BY	DISCRIPTION OF REVISION
--------	-----------	----------	-------------------------

HEATED LIVING AREA

GROUND FLOOR:	1573
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1573

NON-HEATED
LIVING AREA

PORCH:	106
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1679

IMPORTANT-PLEASE READ
BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DERICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

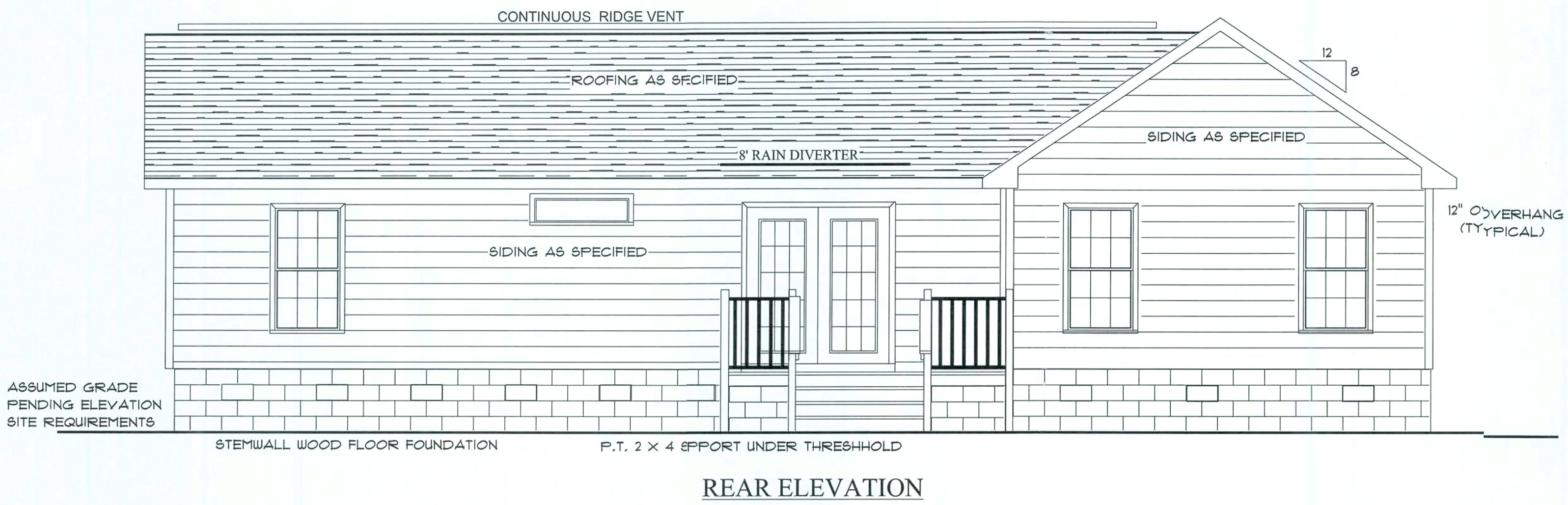
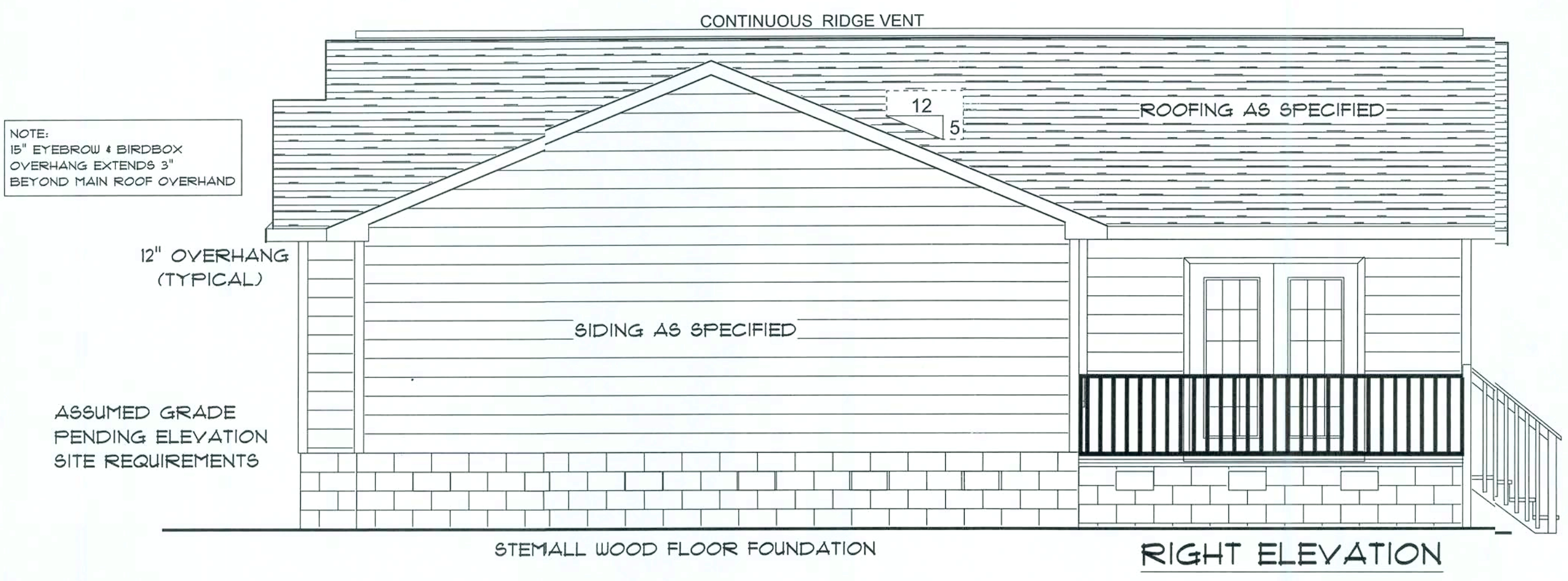
BUYER/OWNER:	DATE:	BUYER/OWNER:	DATE:
PENNYWORTH HOMES:		DATE: July 09, 2009	
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE			

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.

JOB# 08-04-0068

DRAWN BY:	PLAN DATE:	PAGE
JLB	July 09, 2009	2

SCALE: 1/4" = 1'0" OF 8



HEATED LIVING AREA

GROUND FLOOR:	1573
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1573

NON-HEATED LIVING AREA

PORCH:	106
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1679

IMPORTANT-PLEASE READ
BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER: DATE:

BUYER/OWNER: DATE:

PENNYWORTH HOMES: DATE: July 09, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA CHANGE ORDER.

JOB# 08-04-0068

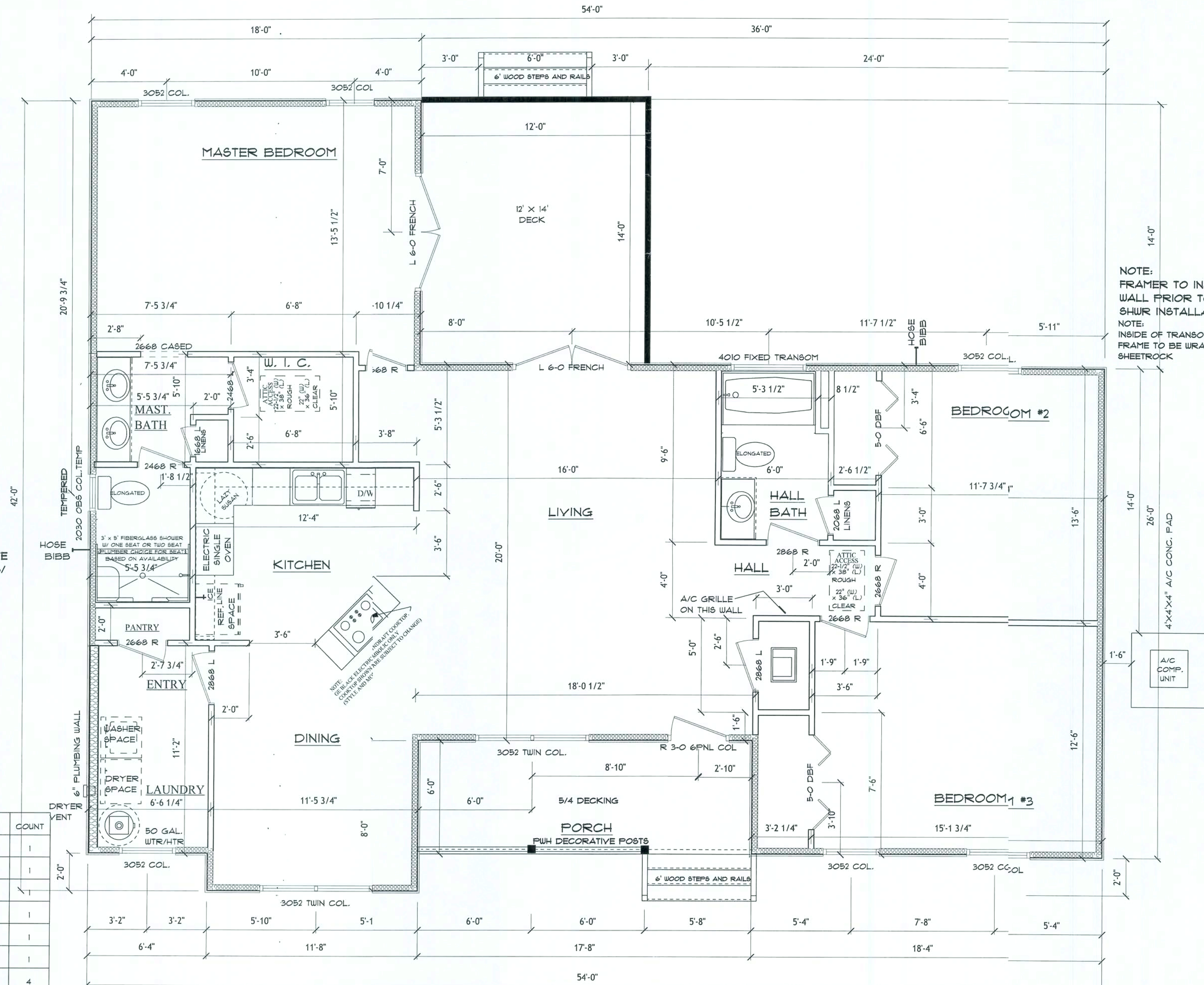
DRAWN BY: JLB PLAN DATE: July 09, 2009

PAGE 3

SCALE: 1/4" = 1'-0"

OF 8

NOTE: PLAN REFLECTS CHANGES TO ACCOMMODATE NEW HVAC REQUIREMENTS



NOTE: FRAMER TO INSULATE WALL PRIOR TO TUB/SHWR INSTALLATION
NOTE: INSIDE OF TRANSOM WINDOW FRAME TO BE WRAPPED W/ SHEETROCK




























NOTE: FRAMER TO INSULATE WALL PRIOR TO TUB/SHWR INSTALLATION

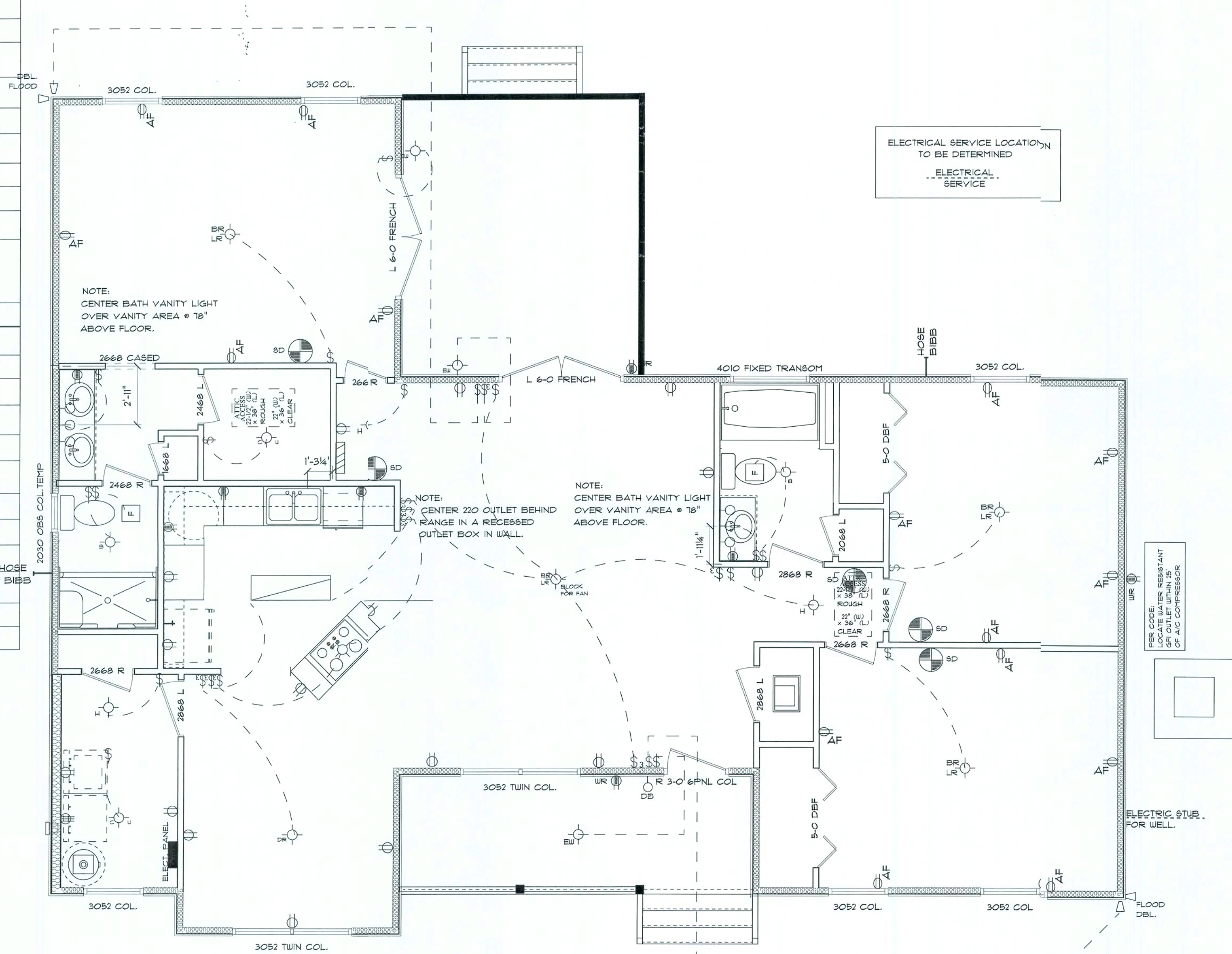
8' CEILINGS THROUGHOUT HOUSE

FLOOR PLAN

PRODUCT CODE	R.O. SIZE	COUNT
2668 CASD	R.O. 2'-6"	1
R 3-O 6PNL COL	R.O. 3'-3"	1
1668 L	R.O. 1'-8"	1
2068 L	R.O. 2'-2"	1
2468 L	R.O. 2'-6"	1
2468 R	R.O. 2'-6"	1
2668 R	R.O. 2'-8"	4
2868 L	R.O. 2'-10"	2
2868 R	R.O. 2'-10"	1
3052 COL.	R.O. 3'-0" x 5'-2"	3
3052 TWIN COL.	R.O. 6'-0" x 5'-0"	6
5-O DBF	R.O. 5'-0"	2
L 6-O FRENCH	R.O. 6'-3"	2
2030 OBS COL.TEMP	R.O. 2'-0" x 3'-0"	1
4010 FIXED TRANSOM	R.O. 4'-0" x 1'-0"	1

REV. # REV. DATE: DRAWN BY: DISCRIPTION OF REVISION



ELECTRICAL	COUNT	SYMBOL
220 Volt Outlet	1	
3 Way Switch	3	
ARC FAULT	15	
BATH FAN	2	
BATH VANITY	2	
CHIMES	1	
DBL FLOOD	2	
DOOR BELL	1	
ELECT. PANEL	1	
EXT. WALL	1	
GFI	5	
GFI-WR	2	
HALL	3	
KIT-FLORESCNT	1	
Outlet	16	
SMOKE DETECTOR	5	
Switch	15	
BATH MAIN	2	
BED LIV FAN NO BLOCK	3	
BREAKFAST NOOK	1	
BR_LR BLOCK FOR FAN	1	
CLOSET_UTILITY	2	
DINING ROOM	1	
EXT WALL	2	
GFI WR	1	
switch	3	
switch 3 way	6	



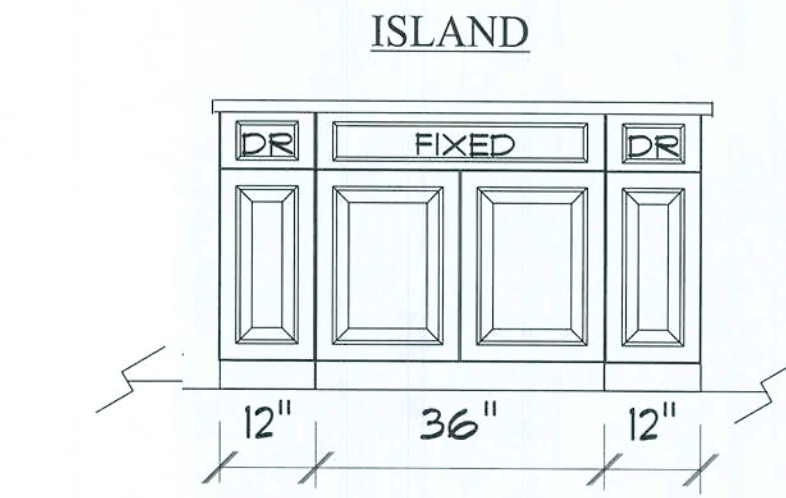
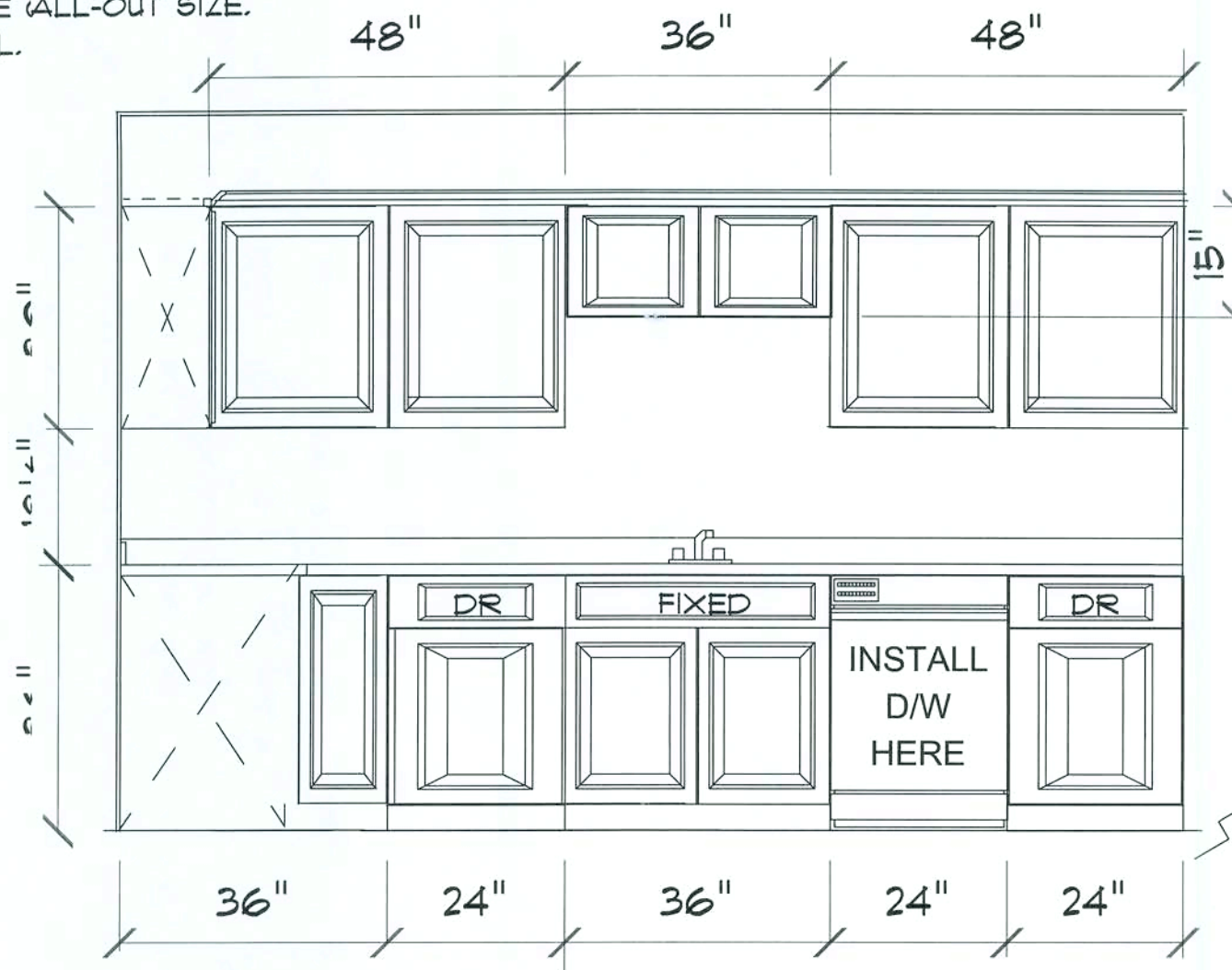
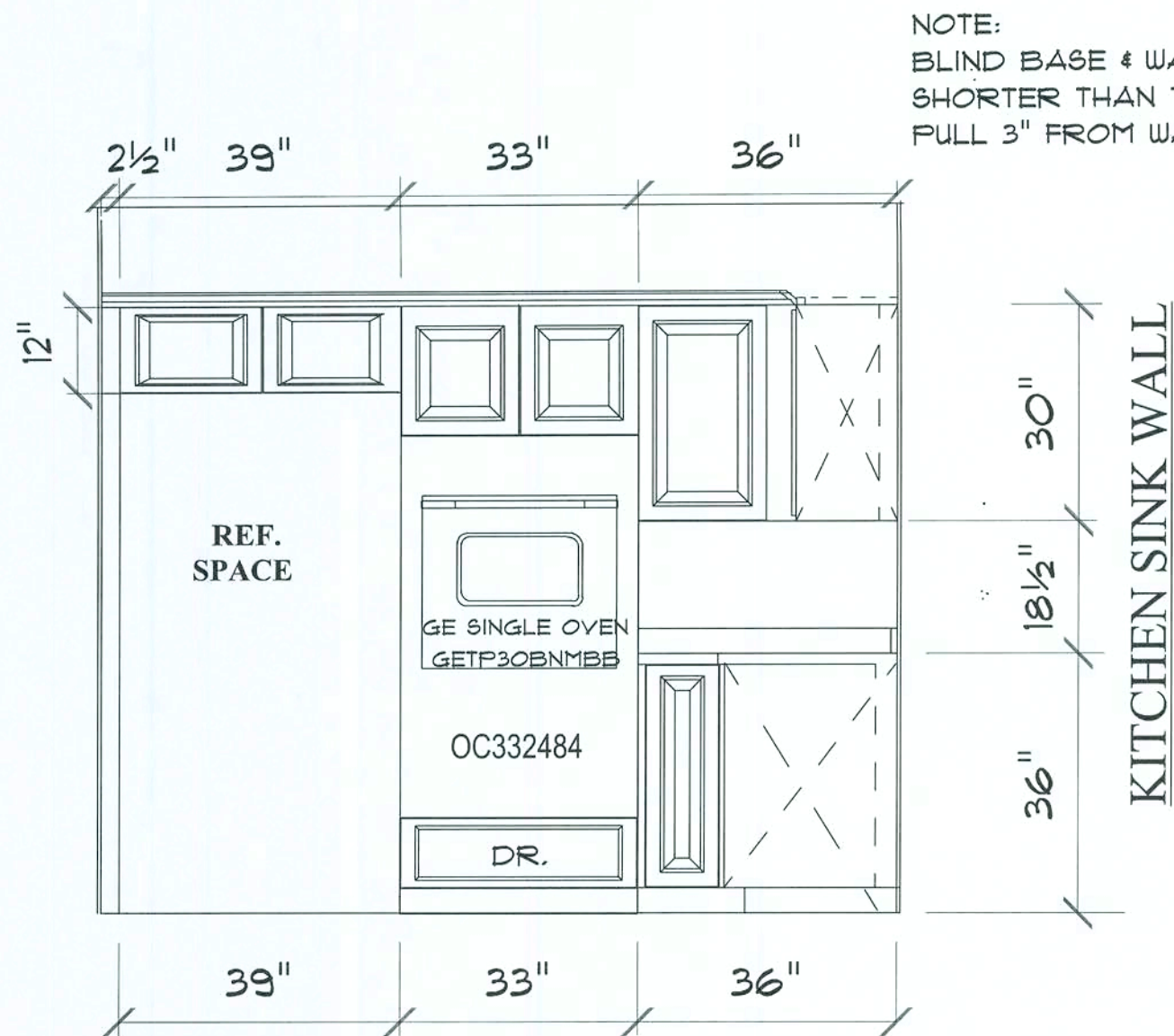
NOTES:
ELECTRICAL/HVAC FIXTURES SHOWN ON THIS DRAWING
ARE LOCATED IN ACCORDANCE WITH PENNYWORTH
HOMES SPECIFICATIONS. DO NOT RELOCATE ANY
FIXTURE WITHOUT PRIOR APPROVAL FROM THE
CONSTRUCTION SUPERVISOR.

NOTE:
PENNYWORTH HOMES RESERVES THE RIGHT
TO MAKE CHANGES TO THE ELECTRICAL LAYOUT
TO MEET NECESSARY ELECTRICAL OR BUILDING CODES.
CHANGES MAY ALSO BE MADE AT THE DISCRETION
OF THE BUILDER OR ELECTRICIAN DUE TO HOUSE FRAMING
OR ELECTRICAL INSTALLATION TECHNIQUES.

ELECTRICAL/HVAC PLAN

<div><h1>Pennyworth Homes</h1></div> <div><div>Got Land?</div><div>Let's Build!</div></div> <div><div>SC-G98469</div><div>PennyworthHomes.com</div><div>FL-CR058477</div></div>		
EXHIBIT "A"		
PLAN: WESTWIND		
CUSTOMER NAME: JOLLEY		
HEATED LIVING AREA		
GROUND FLOOR:		1573
SECOND FLOOR:		N/A
OTHER:		N/A
TOTAL HEATED:		1573
NON-HEATED LIVING AREA		
PORCH:		106
GARAGE:		N/A
OTHER:		N/A
TOTAL U/R		1679
IMPORTANT-PLEASE READ		
BELOW CAREFULLY		
<p>OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.</p>		
<p>NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.</p>		
<div>SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:</div> <div><div><div>DATE: _____</div><div>BUYER/OWNER: _____</div></div><div><div>DATE: _____</div><div>BUYER/OWNER: _____</div></div><div><div>DATE: July 09, 2009</div><div> PENNYWORTH HOMES: _____ AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE</div></div></div>		
<p>NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.</p>		
JOB# 08-04-0068		
DRAWN BY: JLB	PLAN DATE: July 09, 2009	PAGE 4
SCALE: 1/4" = 1'0"		OF 8

REFRIG./OVEN WALL VIEW

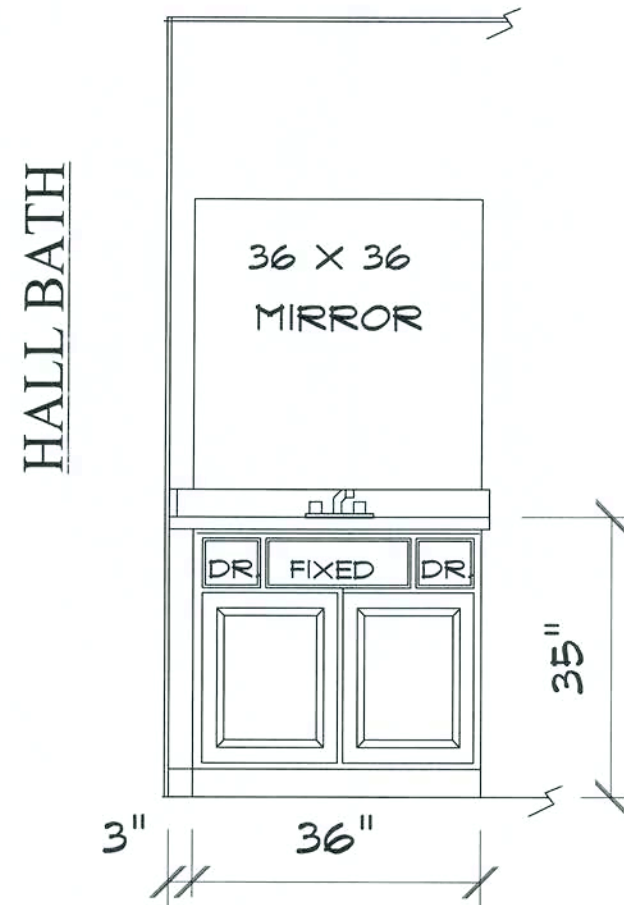
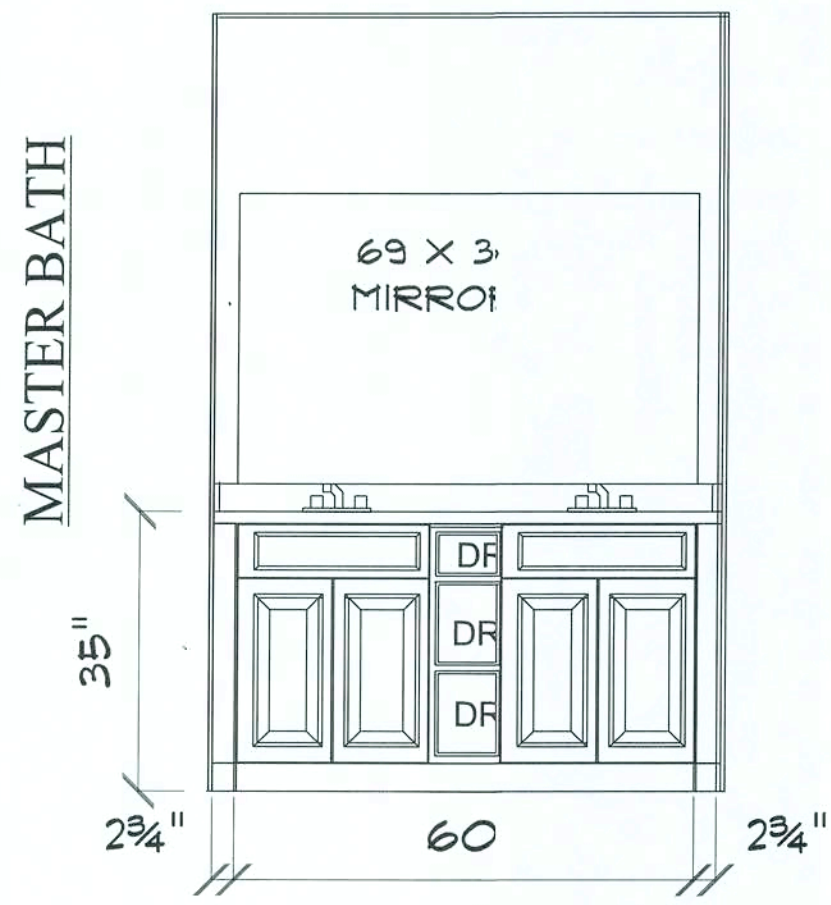


KITCHEN CABINET ELEVATIONS

CABINETS ARE SYMBOLIC,
ACTUAL UNITS MAY VARY
IN STYLE *TO BE DETERMINED BY
BUYER.

INSTALL CROWN MOLDING AROUND
TOP OF KITCHEN WALL CABINETS.

INSTALL QUARTER ROUND MOLDING
AROUND BOTTOM OF ALL
BASE CABINETS & VANITIES.



VANITY CABINET ELEVATIONS

EXHIBIT "A"

PLAN: WESTWIND

CUSTOMER NAME:
JOLLEY

HEATED LIVING AREA

GROUND FLOOR:	1573
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1573

NON-HEATED LIVING AREA

PORCH:	106
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1679

IMPORTANT-PLEASE READ BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE:
PENNYWORTH HOMES INC. RESERVES
THE RIGHT TO ONLY MAKE CHANGES TO
PLANS, REQUESTED BY BUYERS, THAT
PENNYWORTH HOMES INC. DEEMS TO BE
AESTHETICALLY, ARCHITECTURALLY,
AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER: _____ DATE: _____

BUYER/OWNER: _____ DATE: _____

PENNYWORTH HOMES: _____ DATE: July 09, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

NOTE:
PENNYWORTH HOMES INC. RESERVES
THE RIGHT TO MAKE MODIFICATIONS
TO THESE PLANS AFTER THE BUYERS
APPROVAL / SIGNATURE. DUE TO THE
ENGINEER'S AND BUILDING DEPARTMENT
REVIEW. THE BUYER SHALL BE NOTIFIED
OF THESE MODIFICATIONS TO THE PLAN
VIA. CHANGE ORDER.

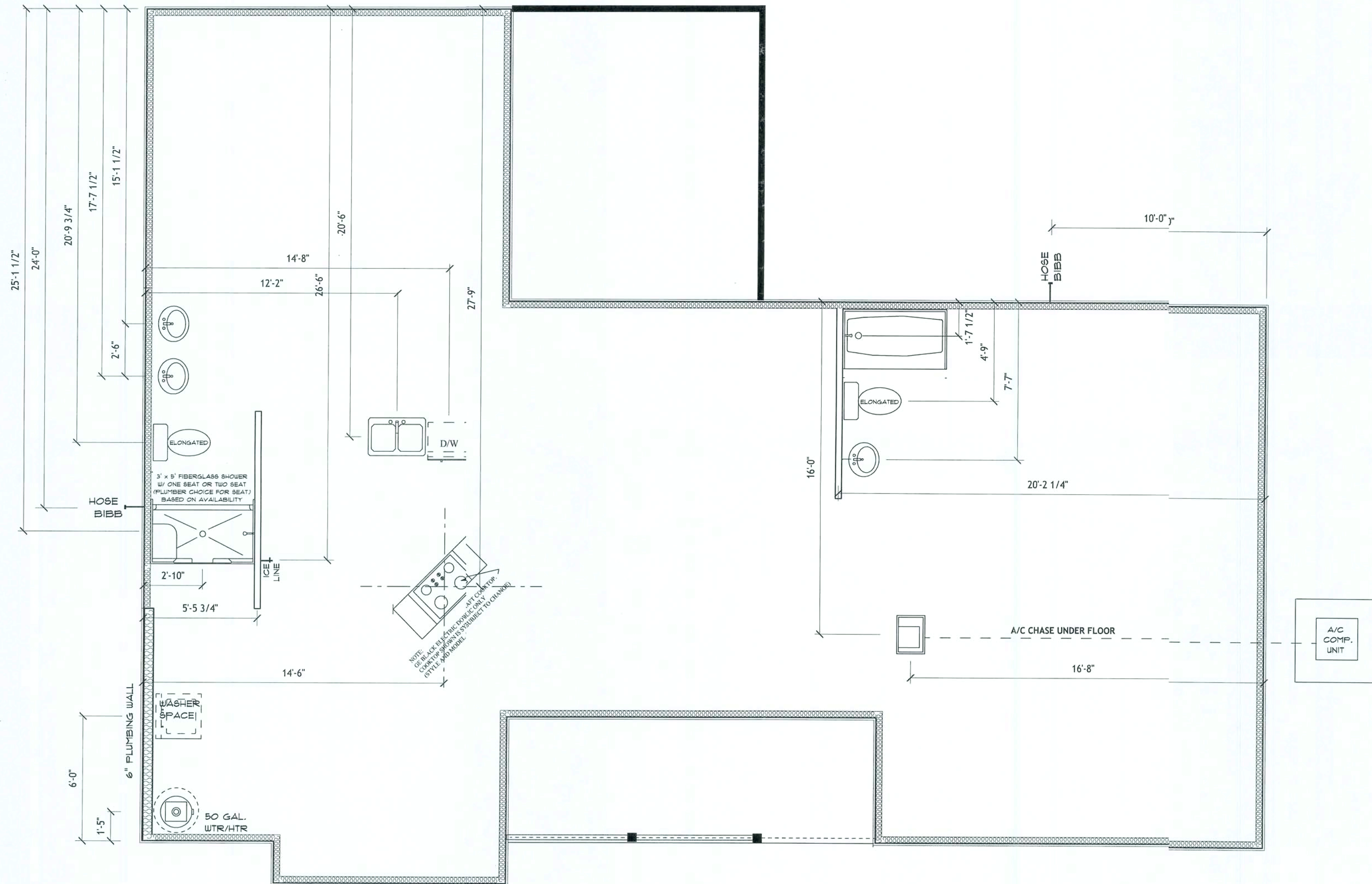
JOB# 08-04-0068

DRAWN BY: JLB PLAN DATE: July 09, 2009 PAGE 5

SCALE: 1/2" = 1'0"

OF 8

REV.# REV. DATE: DRAWN BY: DISCUSSION OF REVISION



PLUMBING PLAN

Pennyworth Homes

Got Land? Let's Build!
SC-G98469 PennyworthHomes.com FL-CRC058477

EXHIBIT "A"

PLAN: WESTWIND

CUSTOMER NAME: JOLLEY

HEATED LIVING AREA

GROUND FLOOR: 1573
SECOND FLOOR: N/A
OTHER: N/A
TOTAL HEATED: 1573

NON-HEATED LIVING AREA

PORCH: 106
GARAGE: N/A
OTHER: N/A
TOTAL U/R 1679

IMPORTANT-PLEASE READ BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER OWNER: DATE:

BUYER OWNER: DATE:

PENNYWORTH HOMES: *[Signature]* DATE: July 09, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.

JOB# 08-04-0068

DRAWN BY: JLB PLAN DATE: July 09, 2009

PAGE 6

SCALE: 1/4" = 1'0"

OF 8

REV.# REV. DATE: DRAWN BY: DISCRIPTION OF REVISION

EXHIBIT "A"

PLAN: WESTWIND

CUSTOMER NAME:
JOLLEY

HEATED LIVING AREA

GROUND FLOOR: 1573
SECOND FLOOR: N/A
OTHER: N/A
TOTAL HEATED: 1573

NON-HEATED
LIVING AREA

PORCH: 106
GARAGE: N/A
OTHER: N/A
TOTAL U/R 1679

IMPORTANT-PLEASE READ
BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER OWNER: _____ DATE: _____

BUYER OWNER: _____ DATE: _____

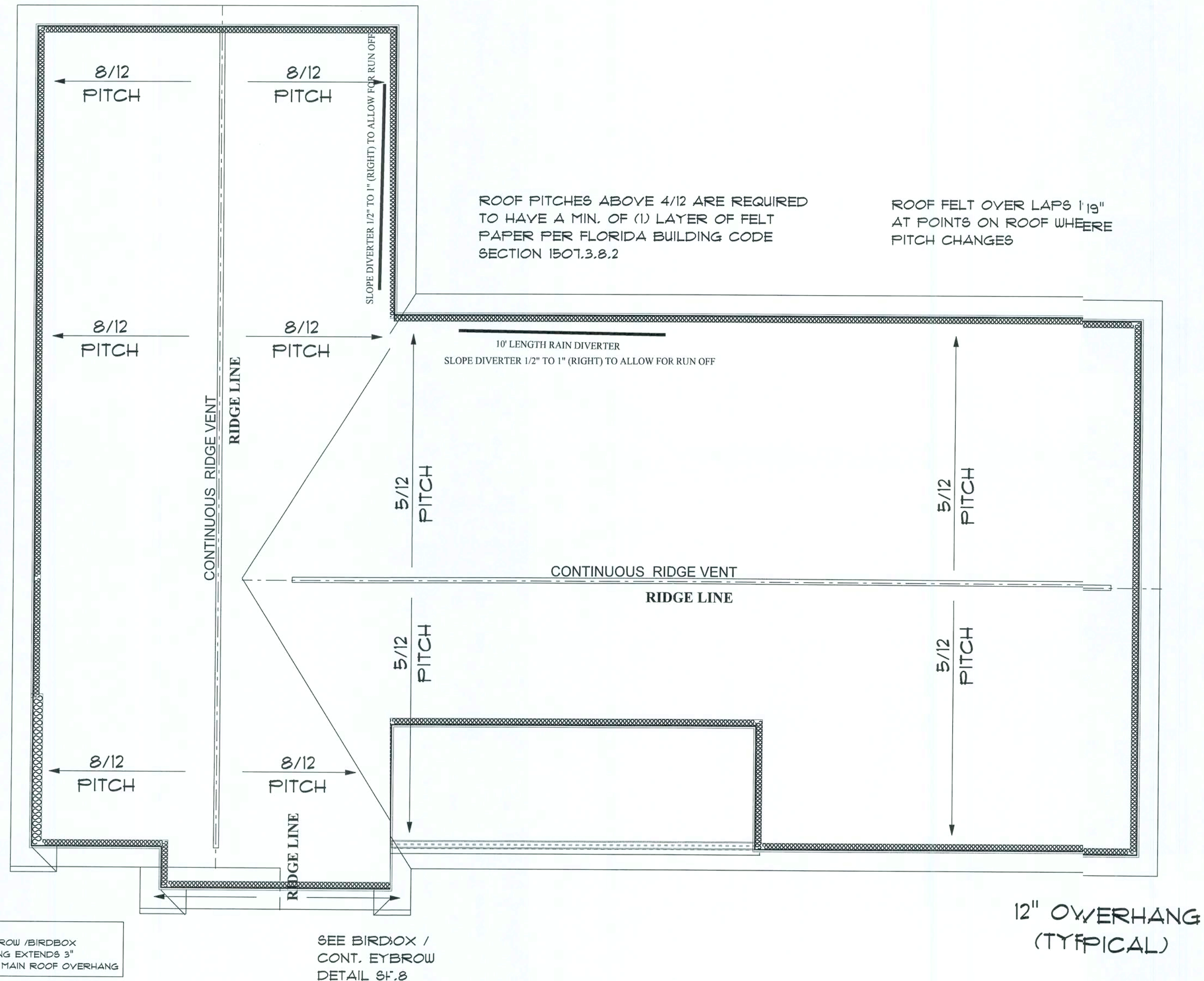
PENNYWORTH HOMES:  DATE: July 09, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.

JOB# 08-04-0068

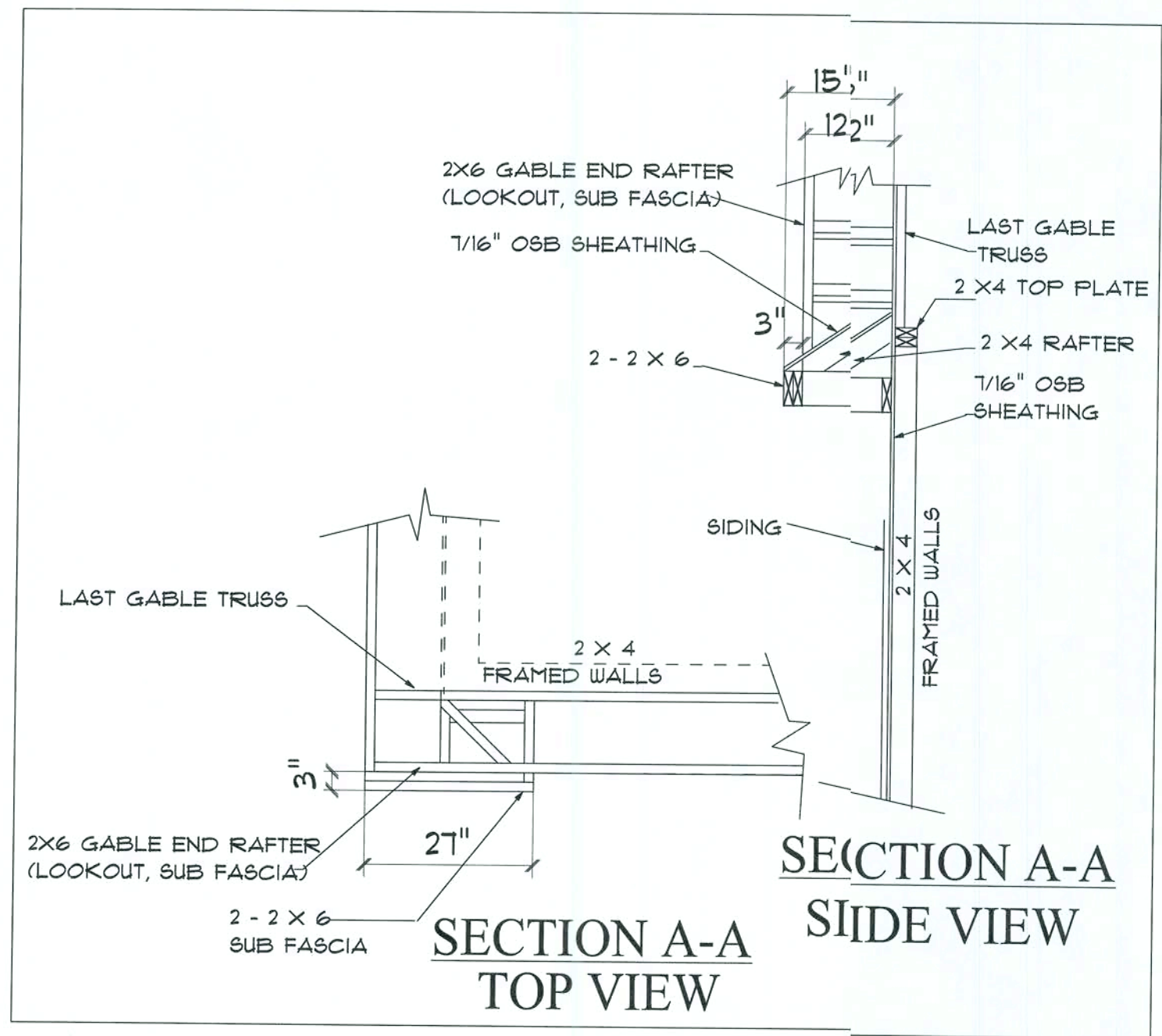
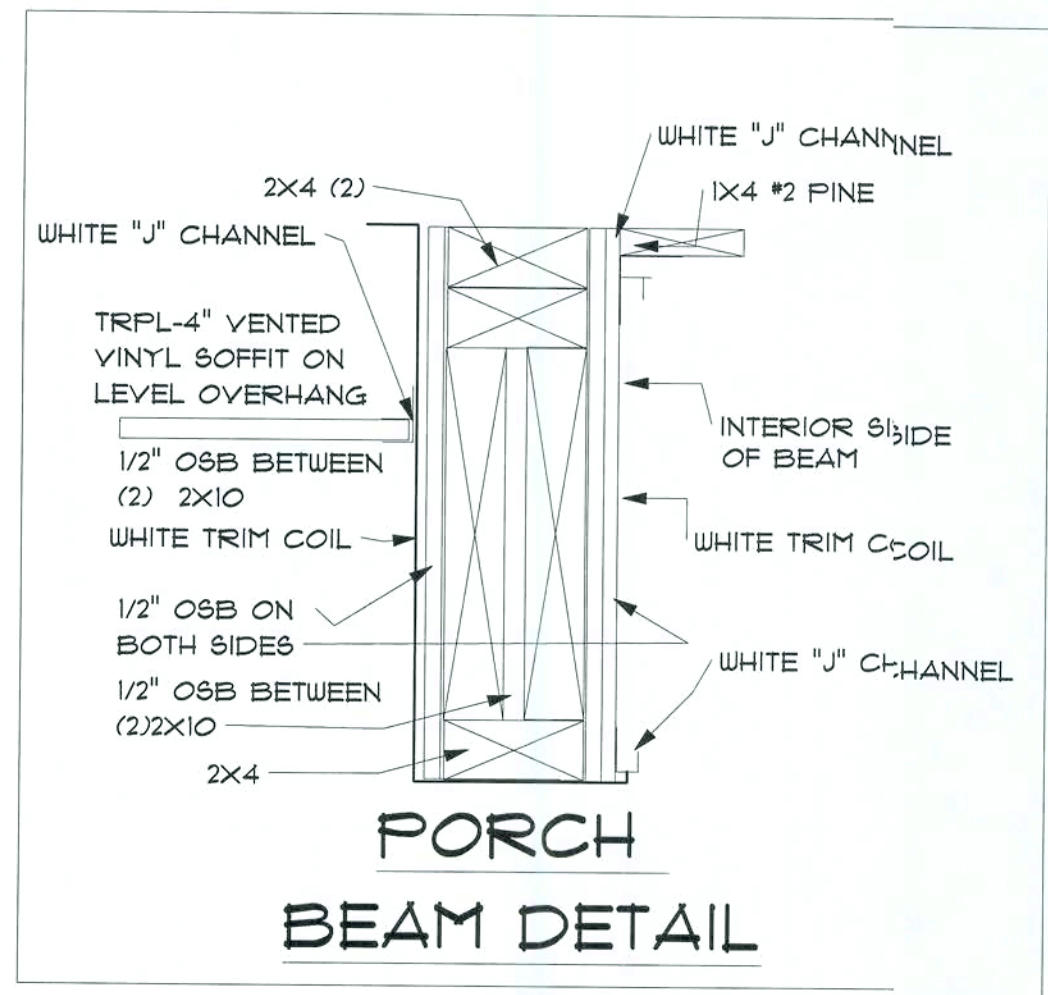
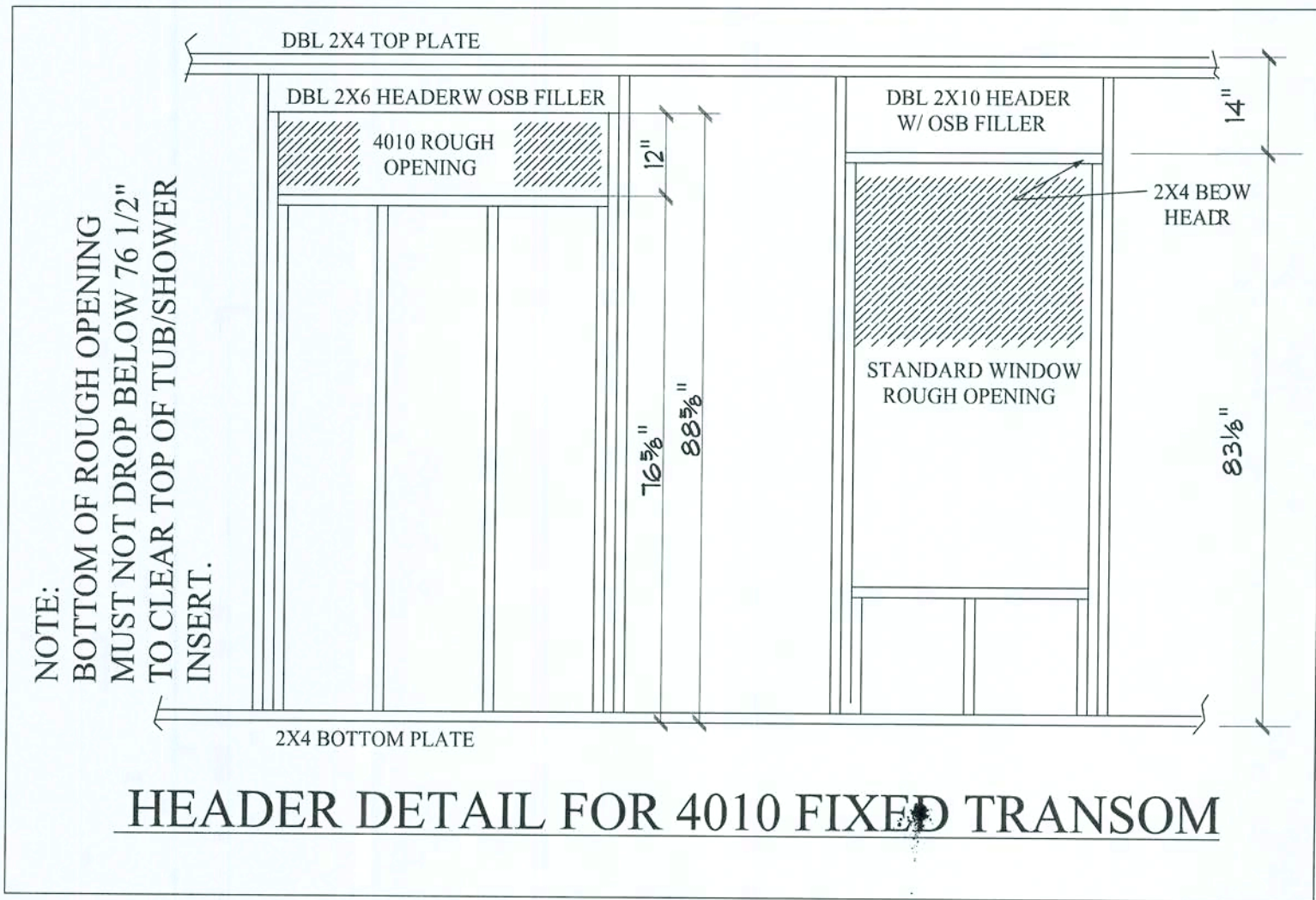
DRAWN BY: JLB PLAN DATE: July 09, 2009 PAGE 7

SCALE: 1/4" = 1'-0" OF 8



ROOF LAYOUT PLAN

REV.# REV. DATE: DRAWN BY: DIScription OF REVISION



Pennyworth Homes

Got Land? Let's Build!
PennyworthHomes.com FL-CRC058477

EXHIBIT "A"

PLAN: **WESTWIND**

CUSTOMER NAME:
JOLLEY

HEATED LIVING AREA

GROUND FLOOR:	1573
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1573

NON-HEATED LIVING AREA

PORCH:	106
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1679

IMPORTANT-PLEASE READ BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER: _____ DATE: _____

BUYER/OWNER: _____ DATE: _____

PENNYWORTH HOMES: *[Signature]* DATE: July 09, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA CHANGE ORDER.

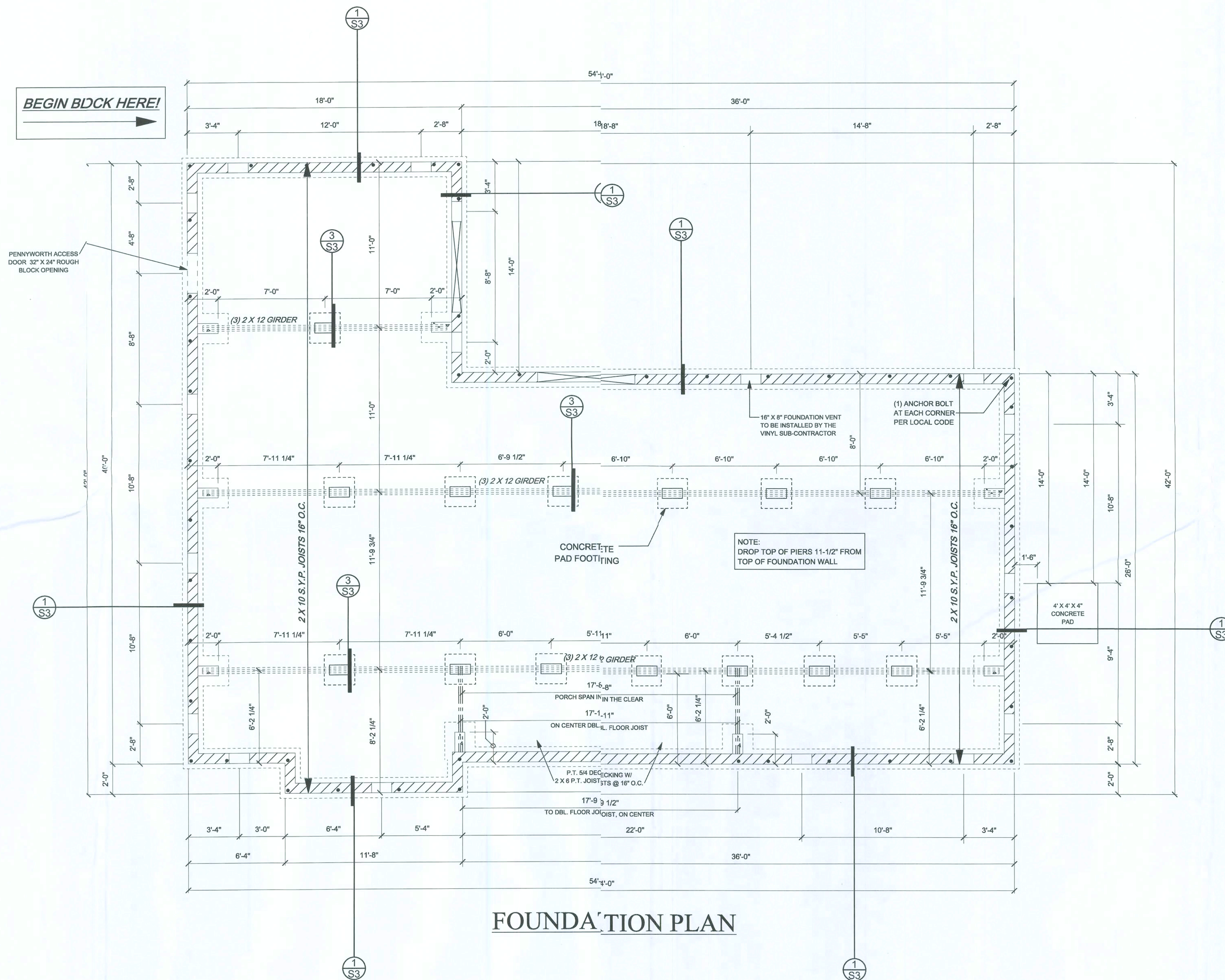
JOB# 08-04-0068

DRAWN BY: JLB	PLAN DATE: July 09, 2009	PAGE 8
-------------------------	-----------------------------	------------------

NOT TO SCALE OF **8**

REV.#	REV. I	DATE:	DRAWN BY:	DISCRIPTION OF REVISION
-------	--------	-------	-----------	-------------------------

This document and digital file are the sole property of Sound Structures Engineering, Inc. And may not be altered or used in any manner without prior written consent.



STRUCTURAL ONLY
THOMAS E. BEITELMAN
LICENSE #51870

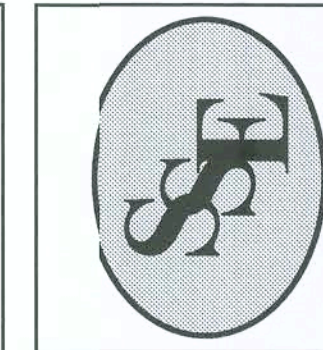
TEB

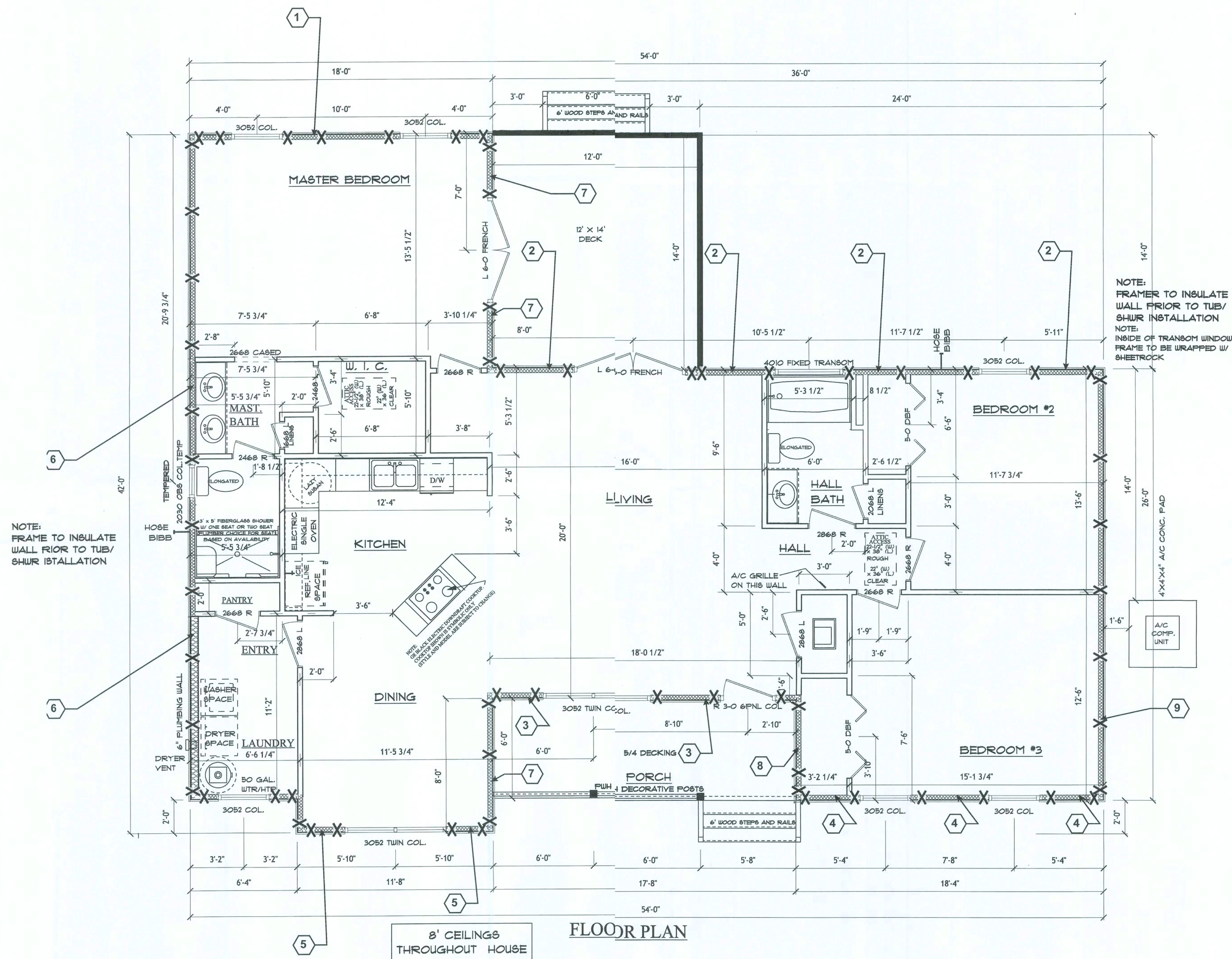
PROJECT: Jolley Residence - 459 NW Everett Terrace, White Springs		CLIENT: Pennyworth Homes, Inc.	
TITLE: Structural Details and Wind Load		SCALE: Varies	
File Name: 08S-374.cdr	Revision By:	Date:	Description:
Designed: TEB			
Drawn: TEB			
Checked: TEB			
Date: 7/2/09			

Sheet	2	of	4
No	08S-374		

Sound Structures Engineering, Inc.
Structural Engineering
William E. Douglas P.E., President

2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586





Shear Wall and Tie-Down Locations

Shear-Wall Identification Number
See Sheet S4 for specifications

X Approximate location of 1/2" dia. tie-rods

STRUCTURAL ONLY
THOMAS E. BEITELMAN
LICENSE #51870

3/2/09

PROJECT: Jolley Residence - 459 NW Everett Terrace, White Springs

FILE: Structural Details and Wind Load SCALE: Varies CLIENT: Pennyworth Homes, Inc.

Revision By: Date: Description:

File Name: 08S-374.cdr

Designed: TEB

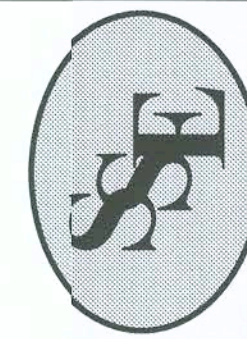
Drawn: TEB

Checked: TEB

Date: 7/2/09

Sheet S2 of 4

No. 08S-374



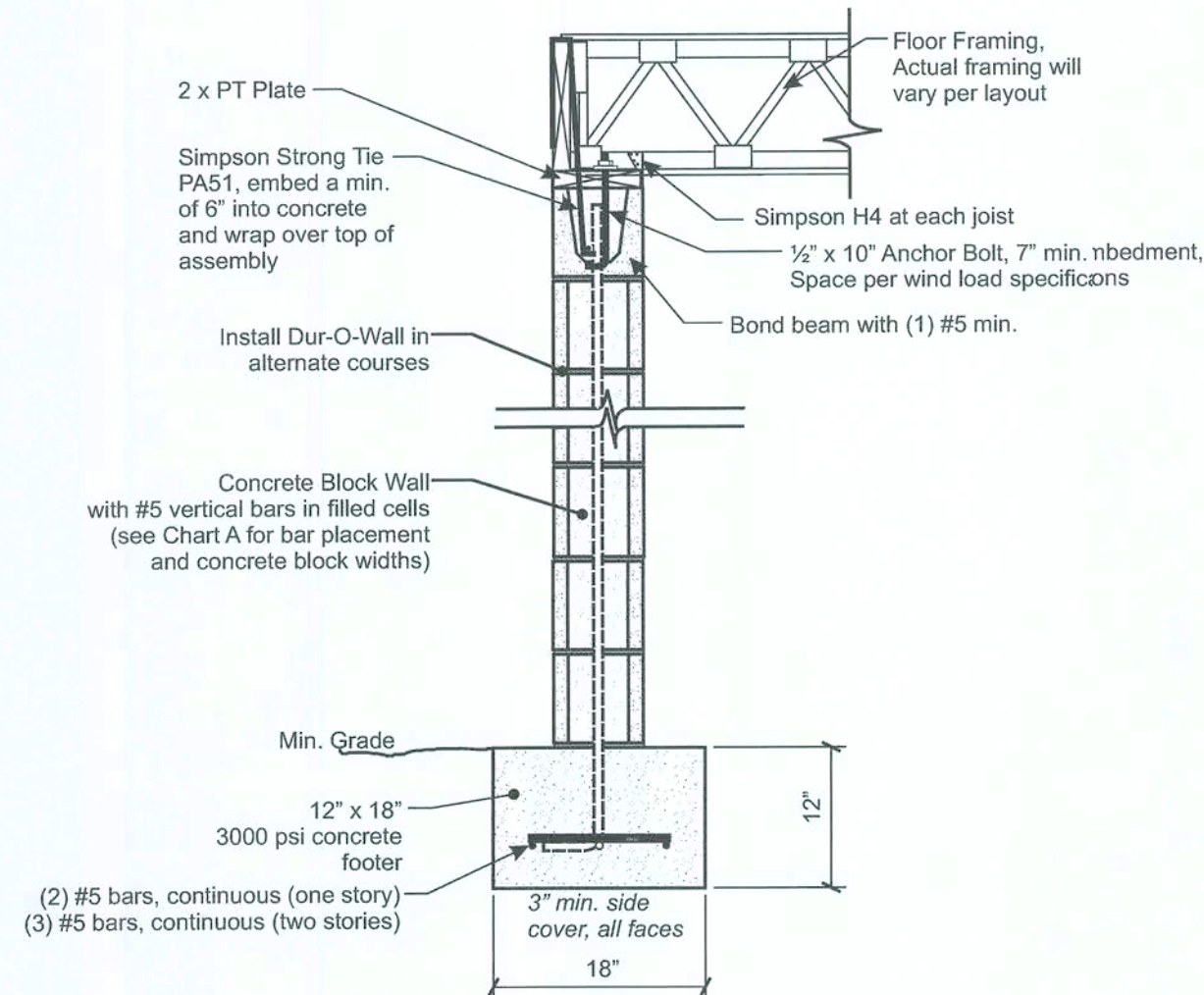
Sound Structures Engineering, Inc.

Structural Engineering

William E. Douglas P.E., President

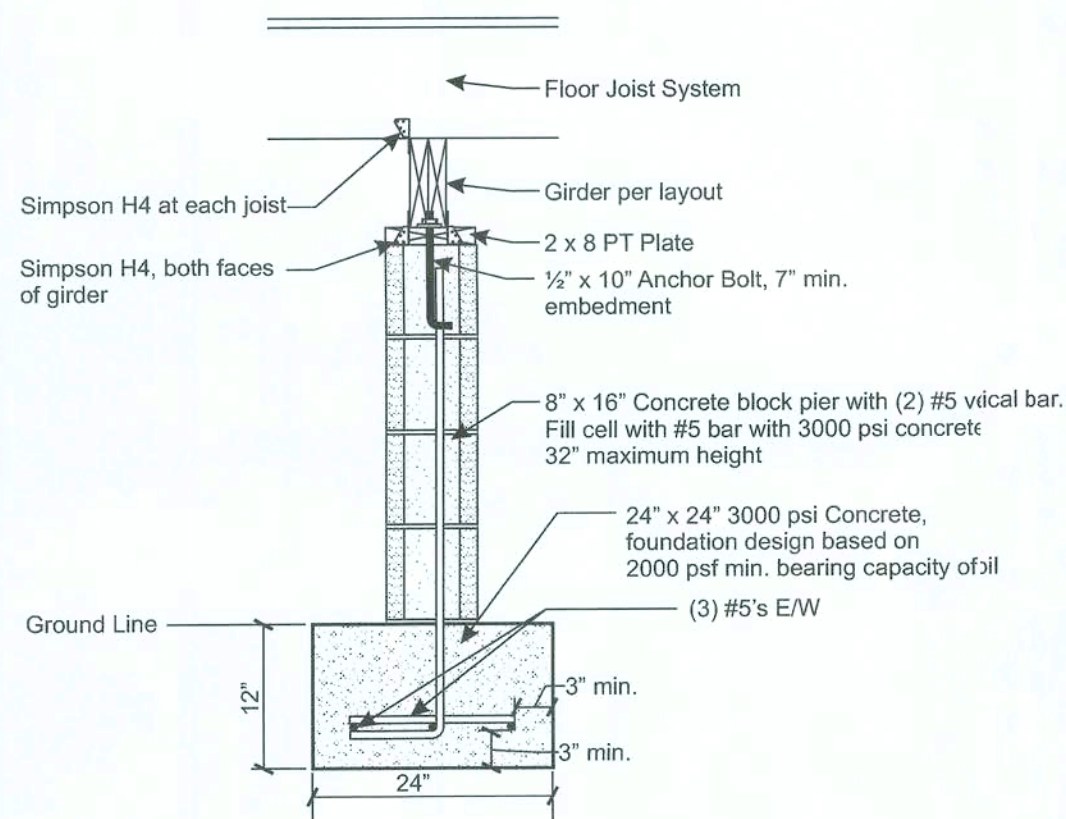
2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

This document and digital file are the sole property of Sound Structures Engineering, Inc. and may not be altered or used in any manner without prior written consent.



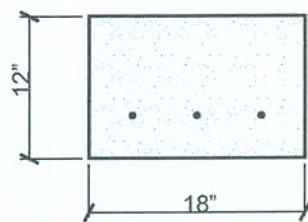
Note: Provide grade beam per section 5 where indicated in foundation layout

1 Typical Stem-Wall Detail
Scale: 3/4"=1'-0"

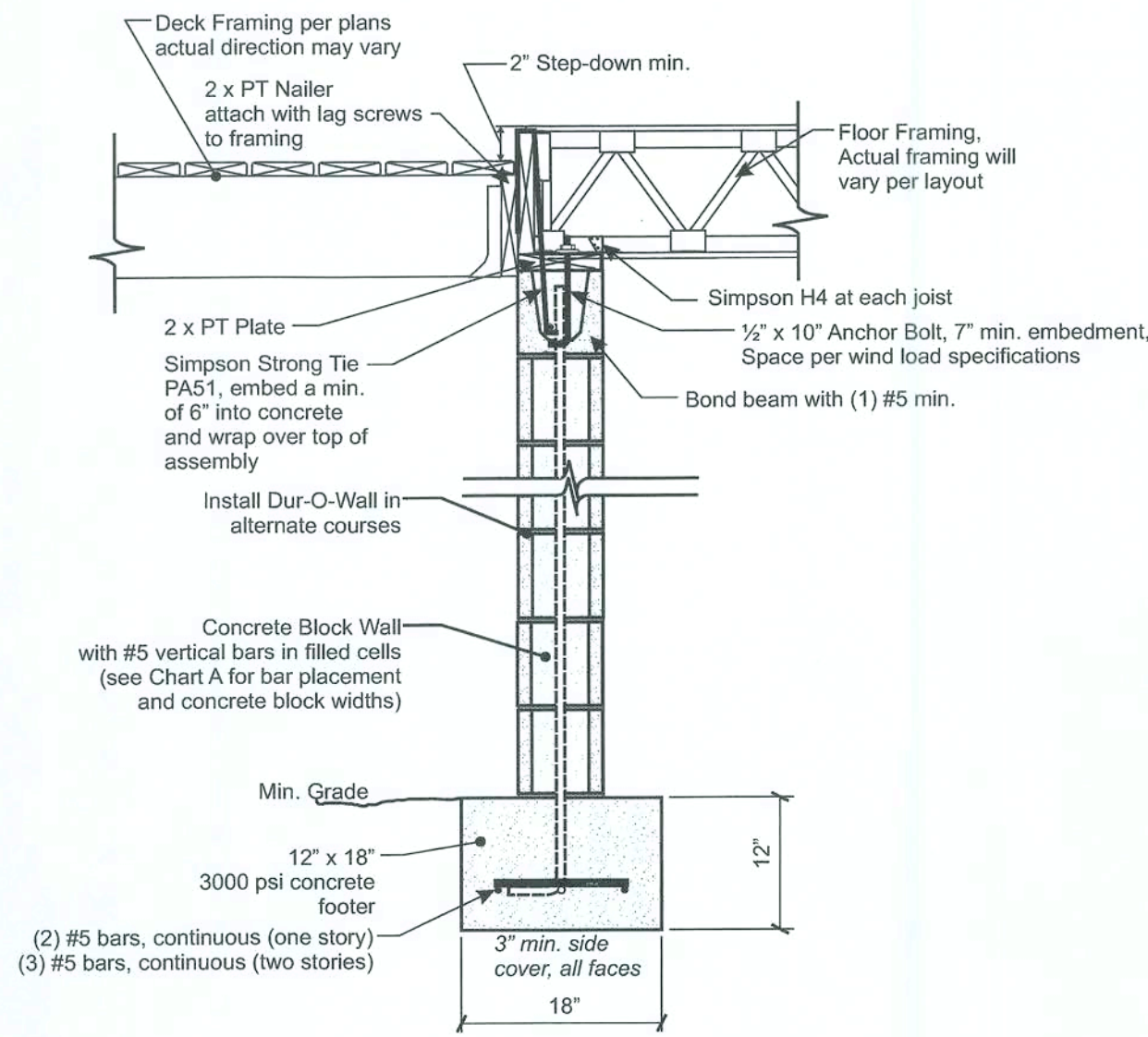


**When pier height exceeds 32", use 16" x 16" pier

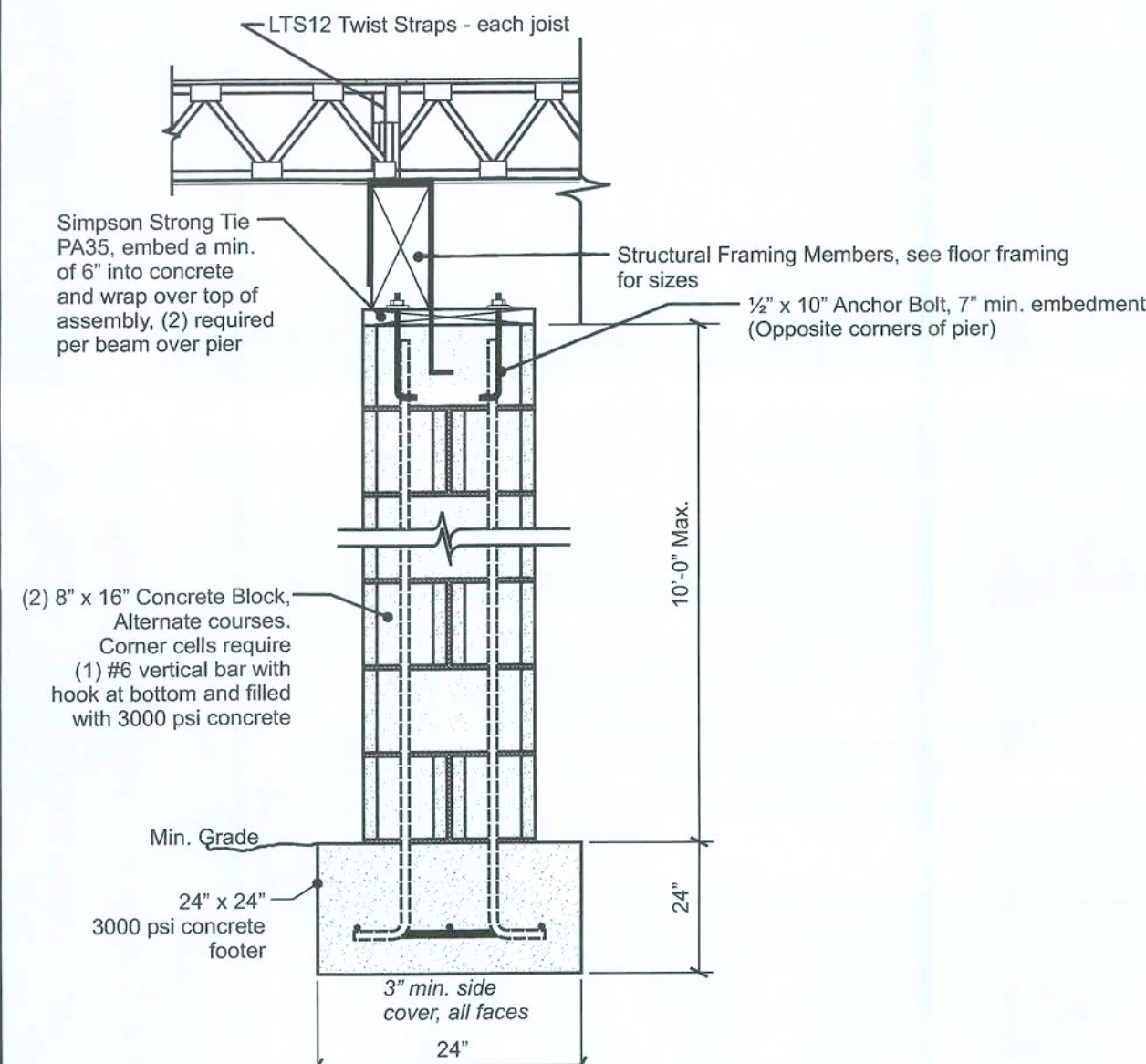
3 Typical 8" x 16" Pier
Scale: 3/4"=1'-0"



5 Typical Grade Beam
Scale: 3/4"=1'-0"

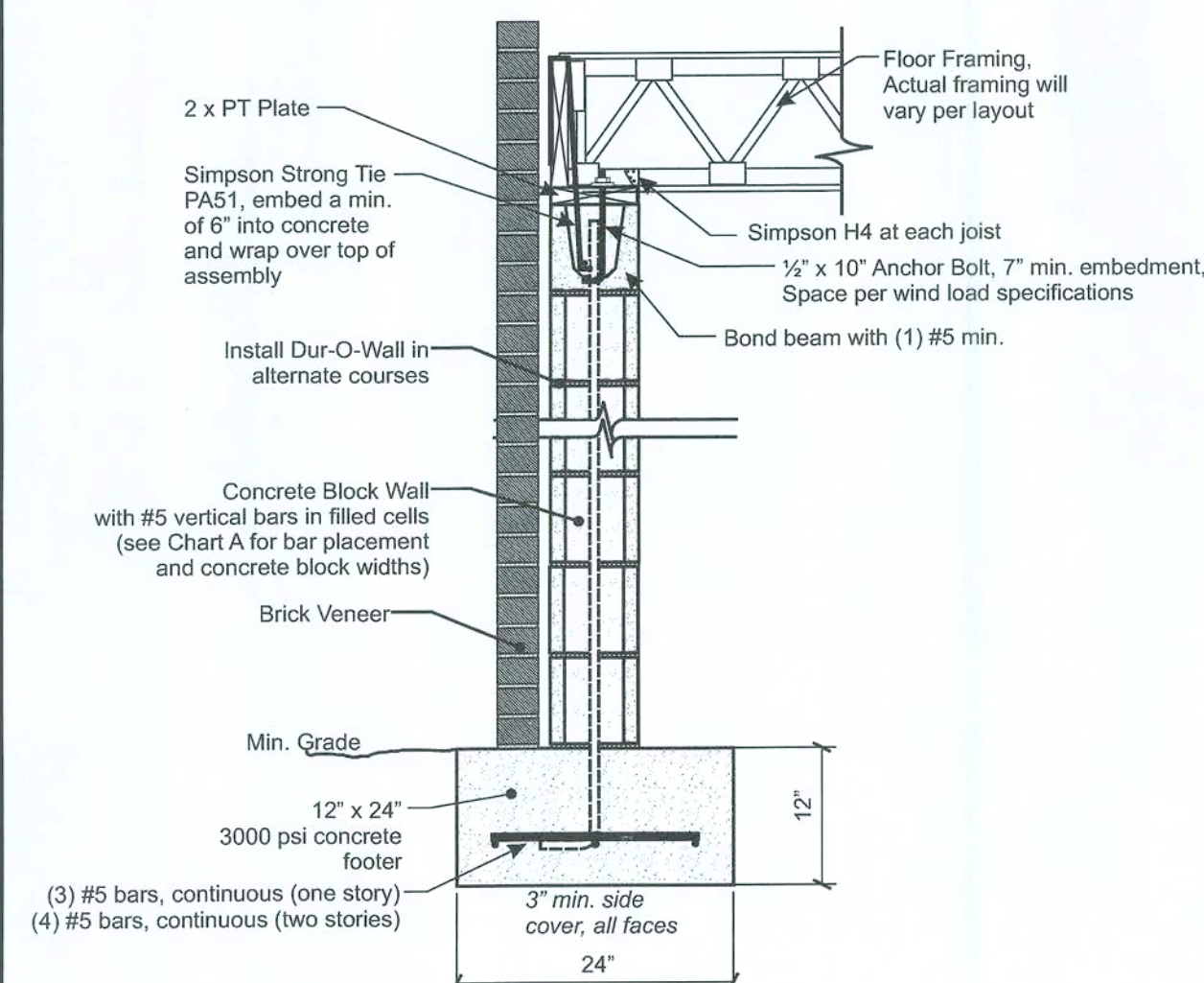


2 Typical Stem-Wall at Attached Deck
Scale: 3/4"=1'-0"



4 Typical 16" x 16" Pier - Tall Applications
Scale: 3/4"=1'-0"

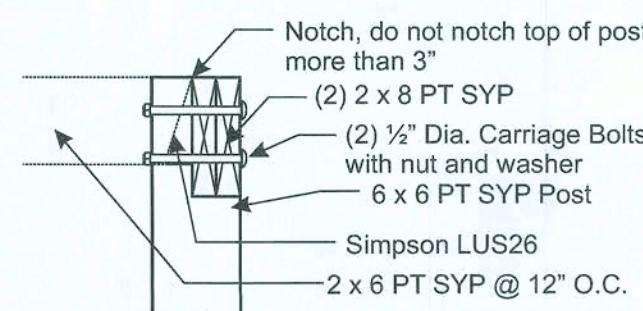
Note: Provide grade beam per section 5 where indicated in foundation layout



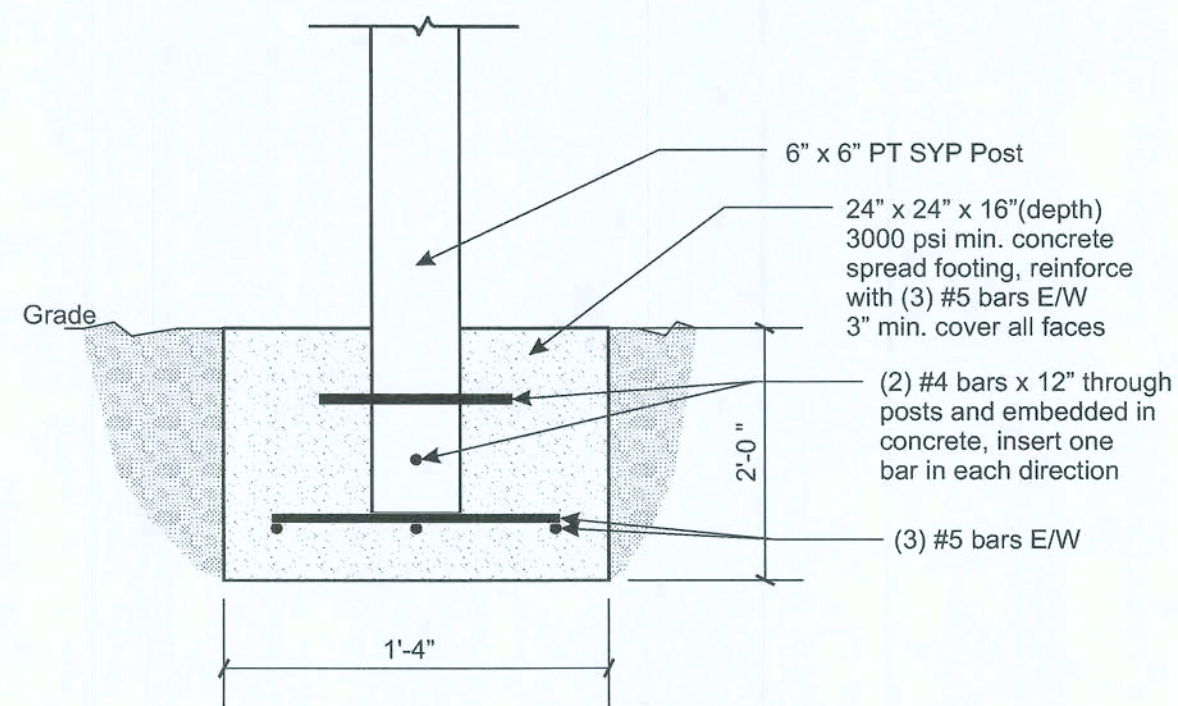
7 Typical Stem-Wall with Brick Ledge
Scale: 3/4"=1'-0"

General Notes For Special Foundation

- All construction conform to the 2004 Florida Building Code with 2006 revisions.
- In the event of a conflict between plans and the codes, the codes shall govern.
- Lot shall be landscaped to prevent the detention of surface water.
- Concrete: 3000 psi Steel: Grade 60
- All fill shall be compacted to 95% of maximum dry density as determined by the Modified Proctor Test.
Definition:
 - Compaction test will not be required when the fill is less than 12 inches in depth, the inspector's shall use best judgement.
 - When the fill is 12 inches to 18 inches in depth, compaction test will be required only if the inspector's judgement is that the compaction is questionable.
 - When the fill is 18 inches in depth or more, compaction test will be required.
- All splices in footing steel shall be lapped 40 bar diameters in concrete block and 30 bar diameters in monolithic slabs.
- Steel interior grade beams shall be spliced to steel in exterior grade beams to assure continuity of footing throughout structure.
- Exterior grade beams shall run continuous around the perimeter of the structure to assure continuity.
- All concrete slabs shall have control joints to control cracking spaced maximum of 15 feet in each direction.
- Soil shall be chemically treated for termites.
- The contractor shall verify all dimensions at the site prior to beginning construction.
- All reinforcing steel shall be located a minimum of 3" from concrete surface.
- A clean compacted sand fill at least 18 inches thick shall be placed under all exterior and interior grade beams. Note: This may be omitted in areas that have at least 30 inches of clean compacted natural soil that has minimum bearing capacity of 2000 psf and is free of mulch, organic material and plastic clays and consist of at least 50% sand (ext.)
- Any organic material under foundation shall be removed prior to construction, unless otherwise specified.
- For stem walls 56" or higher, formwork shall be braced before backfilling.
- Concrete block shall have minimum compressive strength of 1500 psi (Grade N-1 or better) as per 2001 Florida Building Code Table 2106.2.
- Additional #5 with filled cells at load bearing points on walls.



Notch Detail
Scale: 1" = 12"



6 Typical Post Support
Scale: 3/4"=1'-0"

**Design based on assumed soil properties with minimum bearing capacity of 1000 psf

CHART A VERTICAL BAR PLACEMENT FOR BLOCK WALL WITH CONCRETE FLOOR SLAB OR JOIST DESIGN

For floor joist design use bond beam with (1) #5 reinforced bar continuous for slab floor, pour into block with welded wire mesh. (See chart below)

In all cases vertical bars shall be placed at either side of openings in wall and at each corner. Vertical bars shall be bent 24" into slab, each reinforced cell shall be filled with concrete.

***Floor system to be placed before backfilling

H (Height of wall)	Width of Block	Vertical Bar Spacing
H <= 32"	8"	No. 5 @ 72" O.C.
32 < H <= 56	8"	No. 5 @ 48" O.C.
56 < H <= 72	8"	No. 5 @ 32" O.C.
72 < H <= 88	12"	No. 5 @ 32" O.C. with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 32" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
88 < H <= 120	12"	No. 5 @ 24" O.C. with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
96 < H <= 120	12"	No. 5 @ 16" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
120 < H <= 132	12"	No. 5 @ 8" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.

CHART B PHYSICAL PROPERTIES OF MASONRY CEMENTS

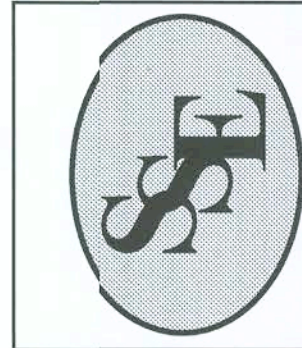
Masonry Cement Type	N	*S	*M
Time of setting Initial set, minimum, hr. Final set, maximum, hr.	2 24	1 1/2 24	1 1/2 24
Compressive strength (average of 3 cubes, min.) 7 days, (psi) 28 days (psi)	500 900	1300 2100	1800 2900

*For the purpose of these plans, use grade "S" or "M"

STRUCTURAL ONLY
THOMAS E. BEITELMAN
LICENSE #51870

Thomas E. Beitelman

Copyright Sound Structures Engineering, Inc. 2004



Sound Structures Engineering, Inc.
Structural Engineering

William E. Douglas P.E., President

2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT: Jolley Residence - 459 NW Everett Terrace, White Springs

TITLE: Foundation Details CLIENT: Pennyworth Homes, Inc.

SCALE: Varies

Revision By: Date: Description:

File Name: 08S-374.cdr

Designed: TEB

Drawn: TEB

Checked: TEB

Date: 7/2/09

Sheet S3 of 4

No. 08S-374

