

APPLICANTWILLIAM H. JONES,III.

PHONE752.2803

ADDRESS734SE PEACOCK TERRACE

LAKE CITYFL32025

OWNERWILLIAM H. JONES,III.

PHONE752.2803

ADDRESS495SW PATHFINDER GLEN

FT. WHITEFL32038

CONTRACTORDALE HOUSTON

PHONE752.7814

LOCATION OF PROPERTY

47-S TO HERLONG RD,TL GO TO OLD WIRE RD, TR GO TO PATHFINDER GLN,TL AND IT'S 3/10 OF A MILE LOT 12 ON L.

TYPE DEVELOPMENTM/H & UTILITY

ESTIMATED COST OF CONSTRUCTION.00

HEATED FLOOR AREA

TOTAL AREA

HEIGHT.00

STORIES

FOUNDATION

WALLS

ROOF PITCH

FLOOR

LAND USE & ZONINGA-3

MAX. HEIGHT

Minimum Set Back Requirments:

STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.0

FLOOD ZONEX

DEVELOPMENT PERMIT NO.

PARCEL ID13-6S-16-03818-212

SUBDIVISIONDUDLEY ESTATES

LOT12


BLOCK

PHASE

UNIT

TOTAL ACRES10.01

IH0000040



Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

PRIVATE

05-0524-N

BLK

HD

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS:

STORM DAMAGED M/H ON PEACOCK ROAD.NEW M/H WILL BE ON NEW PARCEL OF LAND LOCATED ON PATHFINDER GLEN. 1 FOOT ABOVE ROAD.

NO CHARGE.ASSESSMENTS CHARGED

Check # or Cash

NO CHARGE

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

Pool

date/app. by

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$

.00

CERTIFICATION FEE \$

.00

SURCHARGE FEE \$

.00

MISC. FEES \$

.00

ZONING CERT. FEE \$

FIRE FEE \$

WASTE FEE \$

FLOOD ZONE DEVELOPMENT FEE \$

CULVERT FEE \$

TOTAL FEE

.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

Zoning Official BLK 23.05-05

Building Official HD 5-23-05

AP# 0505-47

Date Received 5/10/05

By JW

Permit # 2319

Flood Zone X

Development Permit N/A

Zoning A-3

Land Use Plan Map Category A-3

Comments

- NO CHARGE - NO RELEASE & Flood Document Needed

- STORM Damage original home - NEW MH will be on new parcel of land

FEMA Map #

Elevation

Finished Floor

River

In Floodway

☒ Site Plan with Setbacks shown ☐ Environmental Health Signed Site Plan ☒ Env. Health Release

☒ Well letter provided ☒ Existing Well

CASSESSMENT Charge / Tax office

Revised 9-23-04

13-65-16-03818-812

Property ID _____ Must have a copy of the property deed

New Mobile Home X Used Mobile Home _____ Year 2005

Subdivision Information DUDLEY ESTATES LOT 12

Applicant WILLIAM H JONES III Phone # 386 752-2803

Address 734 SE Peacock Teks, LAKE CITY FL 32025

Name of Property Owner William & Rose JONES Phone # 386-2803

911 Address 495 SW Path Finder Glen Ft. White, FL 32038

Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progressive Energy

Name of Owner of Mobile Home William Jones III Phone # 386-752-2803

Address 495 S.W Path Finder Glen Ft. White, FL 32038

Relationship to Property Owner SELF

Current Number of Dwellings on Property 0

Lot Size 330' x 1322.24 Total Acreage 10.01

Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit

Driving Directions 90 West To 4th South To 47 South To Herlong
Turn Left Then go 1.8 miles To OLD wire RD

Turn Right Then go 1.3 Then Turn Left on SW path Finder Glen
Go 0.3 1/2 mile To Lot 12 on left

Is this Mobile Home Replacing an Existing Mobile Home NO (no charge)

Name of Licensed Dealer/Installer Dale Houston Phone # 386-752-7814

Installers Address 136 S.W. Barb Glen Lake City, FL 32024

License Number TH0000040 Installation Decal # 244291

PERMIT NUMBER

Installer DALE Houston License # IA 0000047

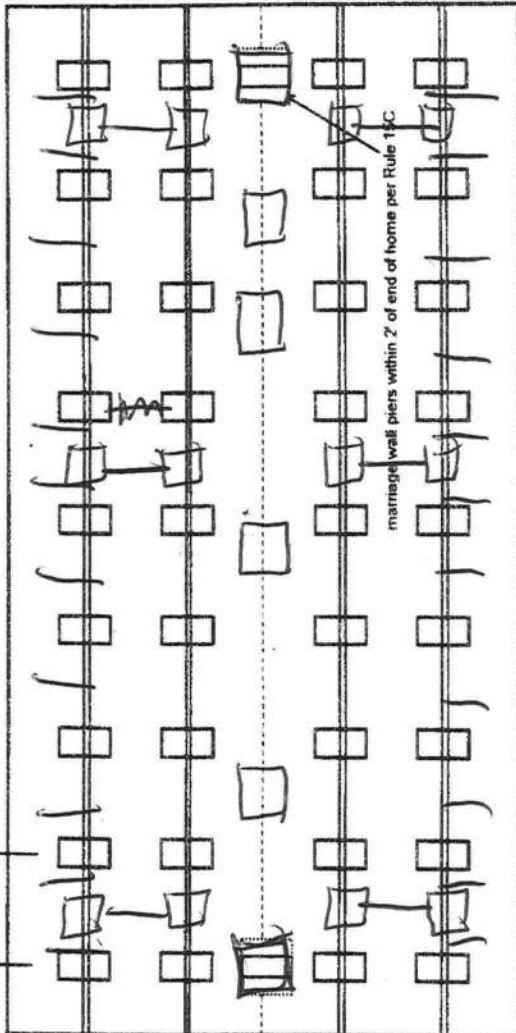
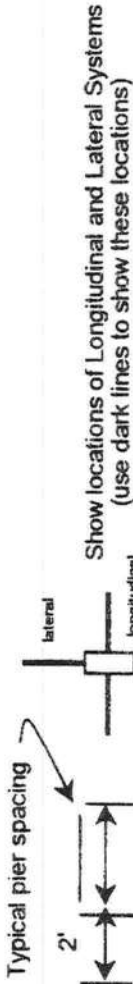
Address of home being installed 495 SW Parkway Glen
St. Albans, VT 05408

Manufacturer Horton Length x width 60 X 28

NOTE: If home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials DH



1000 Soil 17x25
Piers - 12 per side 5'0
Anchor - 11 per side 5'4 OK
Co. Oliver New Steel
Foundation Syst

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 244291

Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

I-beam pier pad size

Perimeter pier pad size

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening _____ Pier pad size _____

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number _____

Sidewall _____

Longitudinal _____

Marriage wall _____

Shearwall _____

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer _____

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to without testing or check here to declare 1000 lb. soil

X

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X

X

X

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5 anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline points where the torque test reading is 275 or less and where the probe home manufacturer may requires anchors with 4000 lb holding capacity. Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

DALE THURSH

Date Tested

5/1/08

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 3

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 4
Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 4

Site Preparation

Debris and organic material removed Yes Swale Yes Pad Yes Other _____

Fastening multi wide units

Floor: Type Fastener: WAS Length: 6" Spacing: MAX 24"
Walls: Type Fastener: SH22 Length: 6" Spacing: 12"
Roof: Type Fastener: WAS Length: 6" Spacing: MAX 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

DT

Type gasket

foam

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. 12
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

DALE THURSH

Date

5/1/08

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS

By Gail Harden
Deputy Clerk

Date 5/4/05



Prepared by:
Duane E Thomas
Duane E. Thomas, Attorney at Law
210 South Marion Avenue
Lake City, Florida 32025

File Number: 05-162

Inst:2005010173 Date:05/03/2005 Time:13:32

Doc Stamp-Deed : 419.30

DC, P. DeWitt Cason, Columbia County B:1044 P:2669

General Warranty Deed

Made this March 30, 2005 A.D. By **Claudette R Legall, an unmarried woman Glenn E Joseph, a married man**, 596 SW Scout Glenn, Fort White FL 32038, hereinafter called the grantor, to **William Henley Jones III and Rose Anna Jones, husband and wife**, whose post office address is: 734 SE Peacock Ter., Lake City, Florida 32025, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 12 DUDLEY ESTATES, an unrecorded subdivision lying partly in Section 13, Township 6 South, Range 16 East, Columbia County, Florida, said Lot 12 being more particularly described as follows:

****The West 1/2**
~~the West 1/2~~ of the West 1/2 of the Northwest 1/4 of the Northwest 1/4 of Section 13, Township 6 South, Range 16 East, Columbia County, Florida.

TOGETHER WITH an subject to an easement for ingress and egress over and across the Southerly 30 feet thereof.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: ~~20346-134~~ R3818-212

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Robert Cabral Jr
Witness Printed Name

Therese Y Thomas
Witness Printed Name
Glenn E. Joseph

State of Florida
County of Columbia

Claudette R Legall (Seal)
Claudette R Legall
Address: 596 SW Scout Glenn, Fort White FL 32038

Glenn E Joseph (Seal)
Glenn E Joseph
Address: 6523 SW Old Wire Rd, Fort White FL 32038

The foregoing instrument was acknowledged before me this 30th day of March, 2005, by Claudette R Legall, an unmarried woman Glenn E Joseph, a married man, who is/are personally known to me or who has produced FL DRIVER Lic. as identification.



Therese Y Thomas
Notary Public
Print Name: Therese Y Thomas
My Commission Expires: 3-10-08

DEED Individual Warranty Deed With Non-Homestead Legal on 05/03/2005
Closers' Choice

130001274

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949

PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

42nd To Lip Boy

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: APRIL 20, 2005

ENHANCED 9-1-1 ADDRESS:

495 SW PATHFINDER GLN (FORT WHITE, FL 32038)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: _____

PROPERTY APPRAISER MAP SHEET NUMBER: 77

PROPERTY APPRAISER PARCEL NUMBER: 13-6S-16-03818-212

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: LOT 12 DUDLEY ESTATES UNR S/D

Address Issued By: _____

Columbia County 9-1-1 Addressing Department

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

LYNCH WELL DRILLING, INC.

1735 W YOUNG PI

LAKE CITY, FL 32025

PHONE (386) 752-6677

FAX (386) 752-1477

RESIDENTIAL WATER WELL BUILDING PERMIT INFORMATION

Building Permit # _____

Owners Name

William Jones III

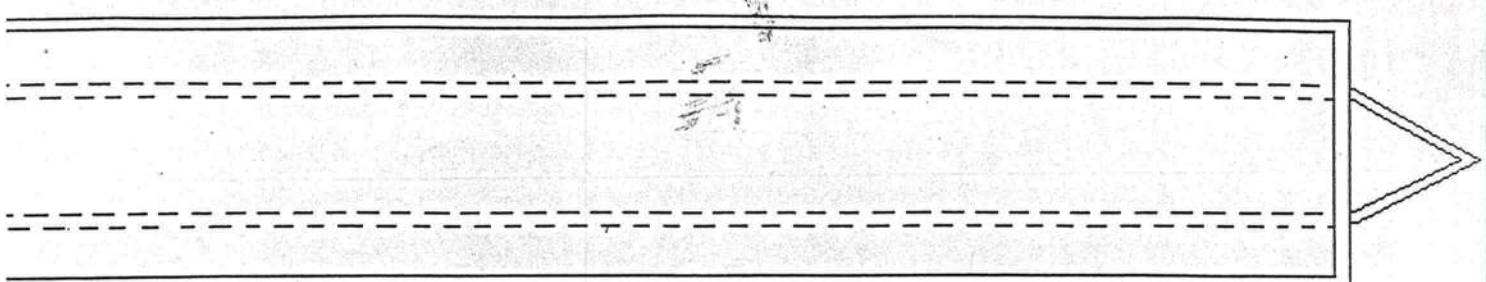
Well Depth _____ Ft. Casing Depth _____ Ft. Water Level _____ Ft.

Casing Size 4 PVC _____ Steel XPump Installation: Submersible X Deep Well Jet _____ Shallow Well _____Pump Make Red Jacket Pump Model # 100F2112068 Hp 1System Pressure (PSI) _____ On 30 Off 50 Avg. Pressure 40
(PSI)Pumping System GPM at average pressure and pumping level 20 (GPM)Tank Installation: Precharged (Baldder) X Atmospheric (Galvanized) _____Make Challenger Model PC 244 Size 81Tank Draw-down per cycle at system pressure 26.1 GallonsI HEREBY CERTIFY THAT THIS WATER WELL SYSTEM HAS BEEN
INSTALLED AS PER ABOVE INFORMATION.Signature Linda NewcombPrint Name Linda NewcombLicense Number 2609Date 5-6-05

Applicant shall provide layout from manufacturer specific to the model installed. This form may be used if the layout from the manufacturer is not available.

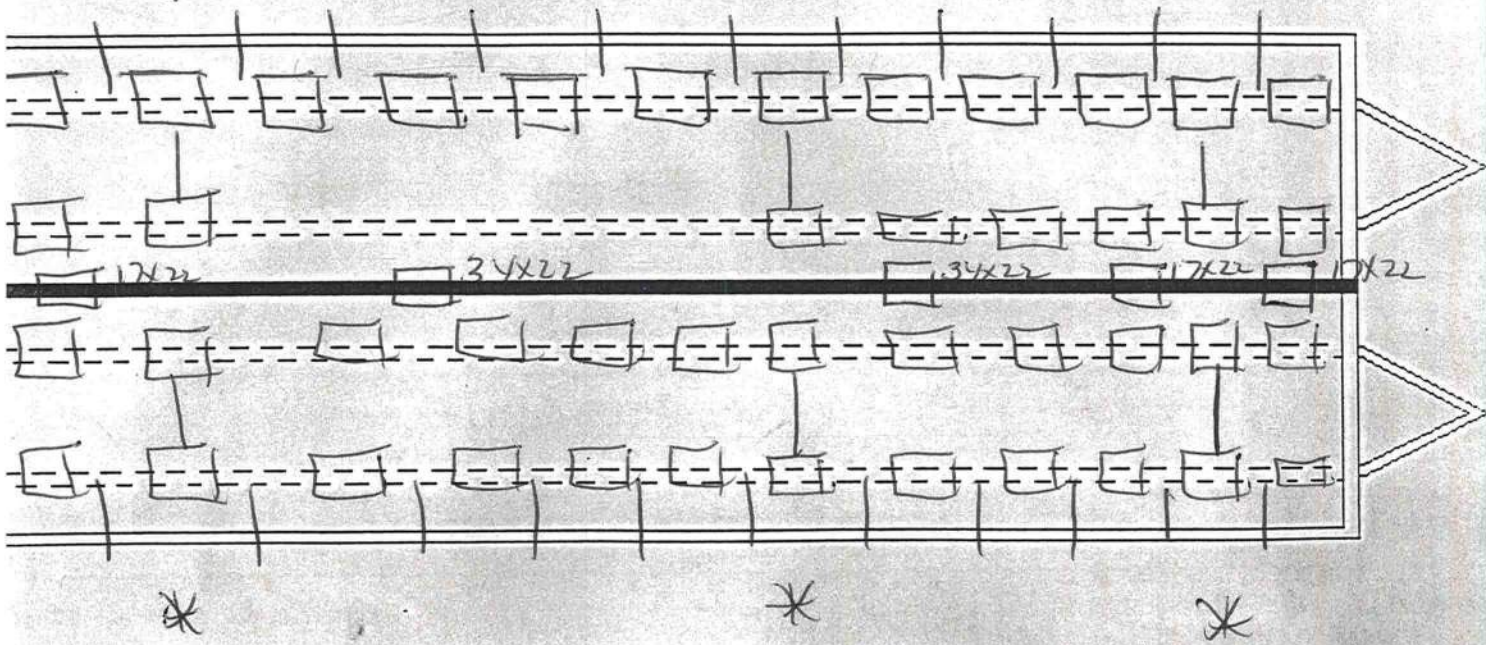
William Jones III

SINGLE WIDE MOBILE HOME



1000 soil - 28x56.
purs - 12 per side - 5'0 0/c
Anchors - 11 per side - 5'4 0/c

* 6 - ^{Oliver} Longitudinal Lateral System



DOUBLE WIDE MOBILE HOME


ANCHOR


PIER


PIER FOOTING

Show all pier (with size of piers & pads) and anchor location, with maximum spacing and distance from end s. as required in the manufacturer's specifications. Any special pier footing required (over 16 x 16 inches) shall be d separately with required dimensions per the manufacturer's specifications. To determine footing size and ing, a soil bearing capacity test shall be used. Pier footings to be poured-in-place, whether required by ufacturer's specifications or by preference, must be inspected by the Building Department prior to pouring.

PIR'NH, FT, PR

- Assignment of Authority

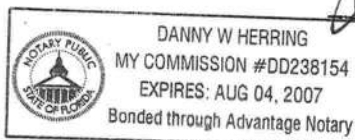
I, Dale Houston, A licensed installer, Installer # IH0000040, authorize customer ROSE JONES, Wm JONES to be my representative, and to act on my behalf in all aspects of applying for permits. For Model # HORTON BDS Serial# H182349 GLTR

Dale Houston
Dale Houston

5/4/05
Date

Sworn and subscribed before me on this 4th Day of May 2005.

Danny W Herring
Notary Public

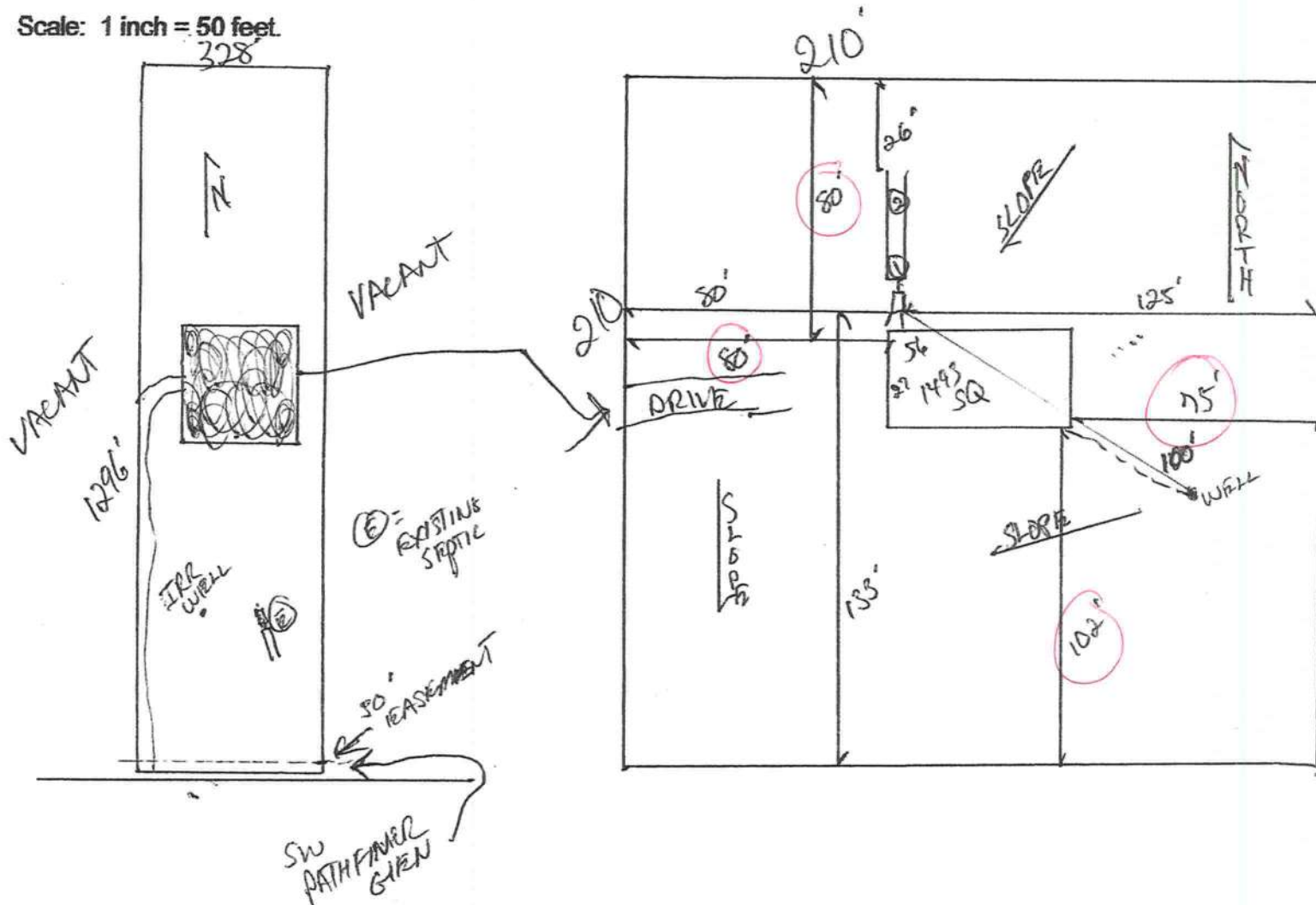


My Commission Expires:

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT
Permit Application Number _____

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet



Notes: 1 of 10 Acres

Site Plan submitted by: Rock D 7-0

Plan Approved _____

Not Approved _____

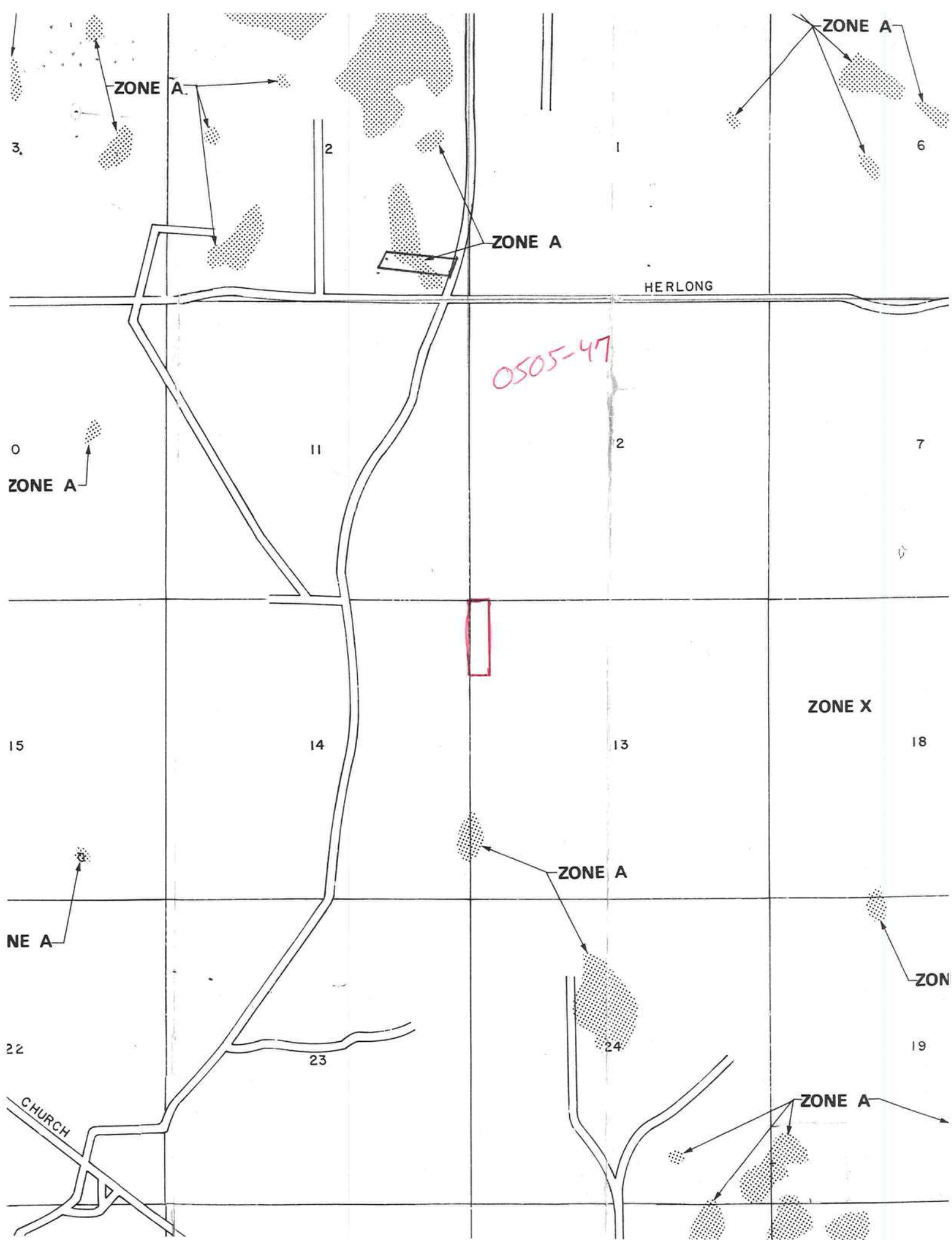
MASTER CONTRACTOR

Date _____

By _____

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



Permit Application Number 05-0524N

Scale: 1 inch = 50 feet.



1 of 10 Acres

Site Plan submitted by:

Plan Approved

By _____

Not Approved

MASTER CONTRACTOR

Date 8-17-25

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

GENERAL
OF
COLUMBIA COUNTY

M/H O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 13-6S-16-03818-212

Building permit No. 000023191

Permit Holder DALE HOUSTON

Owner of Building WILLIAM H. JONES, III.

Location: 495 SW PATHFINDER GLEN, DUDLEY EST. LOT 12

Date: 06/13/2005

Harry Dickson

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

