

DATE 03/18/2011

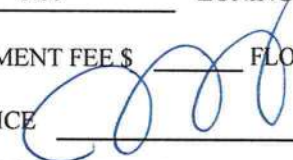
Columbia County Building Permit**PERMIT****This Permit Must Be Prominently Posted on Premises During Construction****000029249**

APPLICANT	ROBERT MCINTOSH		PHONE	386.754.8678	
ADDRESS	289	NW CORINTH DRIVE	LAKE CITY	FL	32055
OWNER	EVERETT & JANET PARKER		PHONE	754-8524	
ADDRESS	249	NW LIVE OAK PLACE	LAKE CITY	FL	32025
CONTRACTOR	MICHAEL DELAHOZ		PHONE	386.754.8678	
LOCATION OF PROPERTY	LAKE JEFFREY RD. TO OAKHAVEN S.D., TL TO INDIAN SPRINGS DR, TR TO LIVE OK PL, TL AND IT'S THE 2ND HOME ON L.				
TYPE DEVELOPMENT	POOL ENCLOSURE		ESTIMATED COST OF CONSTRUCTION	16127.00	
HEATED FLOOR AREA	TOTAL AREA		HEIGHT	STORIES	
FOUNDATION	WALLS		ROOF PITCH	FLOOR	
LAND USE & ZONING	A-3		MAX. HEIGHT		
Minimum Set Back Requirments:	STREET-FRONT		30.00	REAR	25.00
				SIDE	25.00
NO. EX.D.U.	1		FLOOD ZONE	DEVELOPMENT PERMIT NO.	
PARCEL ID	12-3S-15-00167-034		SUBDIVISION	OAK HAVEN	
LOT	5	BLOCK	C	PHASE	UNIT
				TOTAL ACRES	4.01
	SCC056689				
Culvert Permit No.	Culvert Waiver	Contractor's License Number		Applicant/Owner/Contractor	
EXISTING		BLK		TC	N
Driveway Connection	Septic Tank Number	LU & Zoning checked by		Approved for Issuance	New Resident
COMMENTS:	NOC ON FILE.				
	Check # or Cash 4032				

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power	date/app. by	Foundation	date/app. by	Monolithic	date/app. by
Under slab rough-in plumbing	date/app. by	Slab	date/app. by	Sheathing/Nailing	date/app. by
Framing	date/app. by	Insulation	date/app. by		
Rough-in plumbing above slab and below wood floor	date/app. by	Electrical rough-in	date/app. by		
Heat & Air Duct	date/app. by	Peri. beam (Lintel)	date/app. by	Pool	date/app. by
Permanent power	date/app. by	C.O. Final	date/app. by	Culvert	date/app. by
Pump pole	date/app. by	Utility Pole	date/app. by	M/H tie downs, blocking, electricity and plumbing	date/app. by
Reconnection	date/app. by	RV	date/app. by	Re-roof	date/app. by

BUILDING PERMIT FEE \$	85.00	CERTIFICATION FEE \$	0.00	SURCHARGE FEE \$	0.00
MISC. FEES \$	0.00	ZONING CERT. FEE \$	50.00	FIRE FEE \$	0.00
FLOOD DEVELOPMENT FEE \$		FLOOD ZONE FEE \$		CULVERT FEE \$	
				TOTAL FEE	135.00
INSPECTORS OFFICE			CLERKS OFFICE		

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

ek#
1032

For Office Use Only		Application # <u>1103-07</u>	Date Received <u>3/7</u>	By <u>JW</u>	Permit # <u>29249-</u>
Zoning Official <u>B2K</u>	Date <u>12.03.11</u>	Flood Zone <u>N/A</u>	Land Use <u>A-3</u>	Zoning <u>A-3</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>J.C.</u>	Date <u>3-11-11</u>
Comments _____					
☒ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____					
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter _____					
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____					
School _____ = TOTAL <u>Accessory Use</u>					

Septic Permit No. _____ Fax 386-755-1751

Name Authorized Person Signing Permit Robert or Madean McIntosh Phone 386-754-8678

Address 289 NW Corinth Dr Lake City, FL 32055

Owners Name Parker, Everett & Janel Phone _____

911 Address 249 NW Live Oak Pl Lake City, FL 32025

Contractors Name Michael A Delahos Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, FL 32701

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 12-35-15-00167-034 Estimated Cost of Construction 116,127⁰⁰

Subdivision Name Oakhaven Lot 5 Block C Unit _____ Phase _____

Driving Directions Lake Jeffery Rd. (250) over 75, Left at Oakhaven S/D, Left on NW Live Oak Pl, 2nd House on Left.

Number of Existing Dwellings on Property 1

Construction of Pool Enclosure Total Acreage 4.010 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 256.69 Side 128.09 Side 75.99 Rear 294.28

Number of Stories _____ Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

JW spoke w/Bob. 3.17.11

Return to: (enclose self-addressed stamped envelope)

Name: Advantage Pools

Address: 757 S.W. SR. 247 Suite 101 Lake City FL 32025

This Instrument Prepared by:

Name: Advantage Pools

Address: 757 S.W. SR. 247 Suite 101 Lake City FL 32025

Property Appraisers Parcel Identification

386-758-7522

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE OF COMMENCEMENT

Permit No. _____

Tax Folio No. _____

State of Florida

County of Columbia }

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) 249 NW Live Oak Place Lake City
FL - Lot 5 Block C - Oakhaven S/D. DB 843-1358, Trust 923-02, 969-2331, 968-
2332 WD 1014-03 WD 1192-2385

General description of improvements Swimming Pools & screen Enclosure.

Owner's Name Everett Parker

Address 249 NW Live Oak Place Lake City, FL 32025

Owner's Interest in site of the improvement _____

Fee Simple Title holder (if other than owner) SAME

Address _____ Phone: _____ Fax: _____

Contractor Advantage Pools

Address 757 S.W. SR. 247 Suite 101 Lake City FL 32025 Phone: 386-758-7522 Fax: 386-758-6932

Surety _____ Phone: _____ Fax: _____

Address _____ Amount of bond \$ _____

Lender's Name _____

Address: _____ Phone: _____ Fax: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name Ray Lussier

Address 7570 SE 247 Suite 101 Phone: 386-758-7522 Fax: 386-758-6932

In addition to himself, owner designates Frank Federmeyer
of Advantage Pools Inc. Phone: 386-758-7522 Fax: 386-758-6932

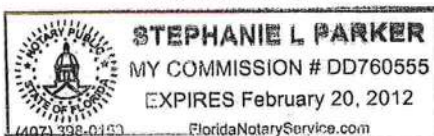
to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)

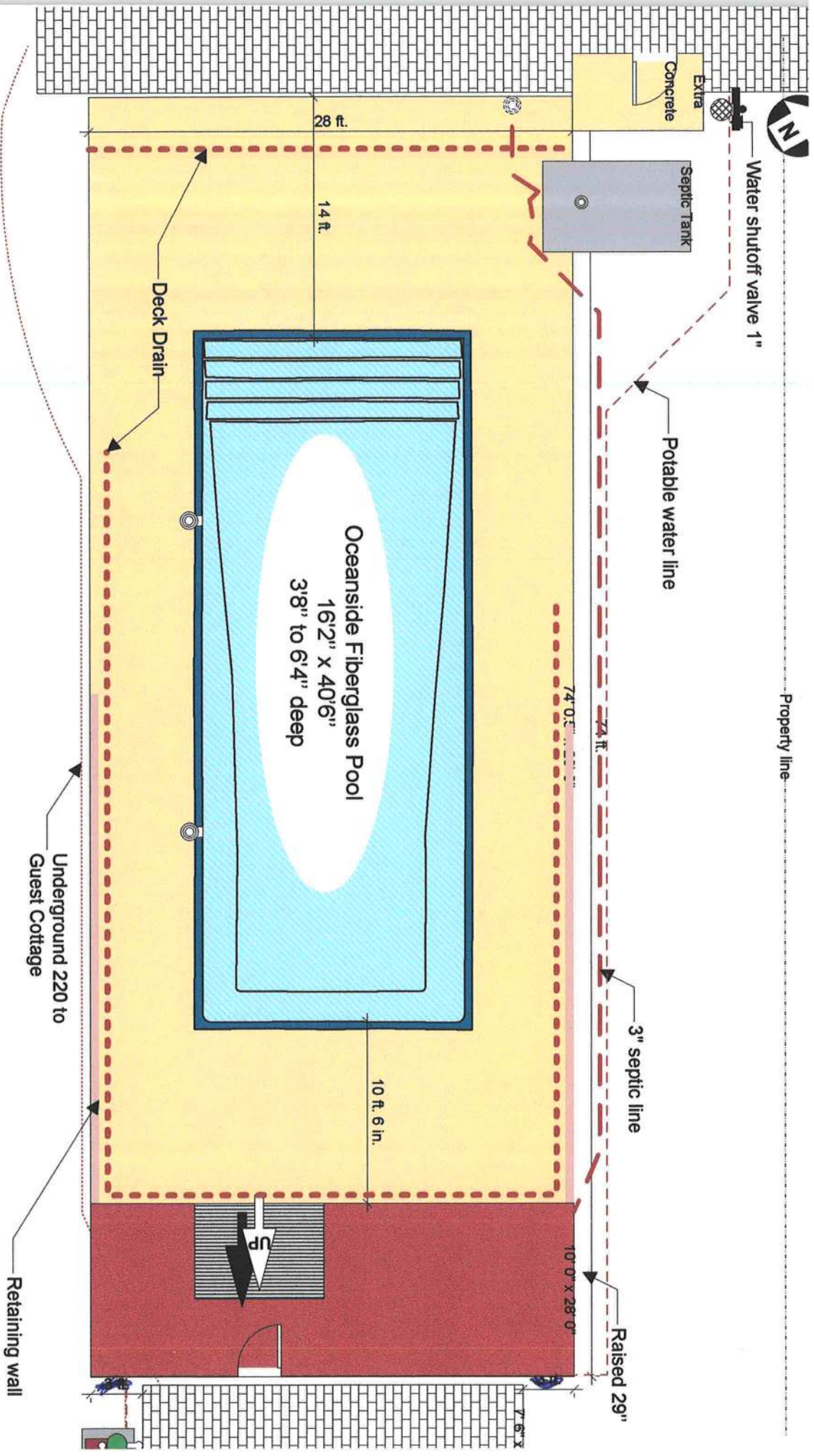
Everett L. Parker
Signature of Owner

Everett L. PARKER
Printed Name of Owner

NOTARY RUBBER STAMP SEAL



I have relied upon the following identification of the Affiant FL Driver's
License Plate 212-45-457-0
Sworn to and subscribed before me this 21st day of JAN 2011
Stephanie L. Parker
Notary Signature
Printed Name Stephanie L. Parker



Advantage Pools
 757 SW SR 247 Suite 101
 Lake City FL 32025
 Phone: 386-758-7522
 Fax: 386-758-6932
 Designed by:
 Ray Lussier
 Accepted by:
 Everett Parker

Columbia County Property Appraiser

DB Last Updated: 1/6/2011

2010 Tax Year

Parcel: 12-3S-15-00167-034

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel

Next Higher Parcel >>

Interactive GIS Map

Print

Owner & Property Info

<< Prev

Search Result: 19 of 64

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Owner's Name	PARKER EVERETT L & JANET L		
Mailing Address	719 MOOSEHEAD LAKE RD GREENVILLE, ME 04441		
Site Address	249 NW LIVE OAK PL		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	12315
Land Area	4.010 ACRES	Market Area	01
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 5 BLOCK C OAKHAVEN S/D. ORB 843-1358, TRUST 923-02, 969-2331, 969-2332, WD 1014-03 WD 1192-2385,			

**Property & Assessment Values**

2010 Certified Values		
Mkt Land Value	cnt: (0)	\$45,785.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$200,180.00
XFOB Value	cnt: (1)	\$1,172.00
Total Appraised Value		\$247,137.00
Just Value		\$247,137.00
Class Value		\$0.00
Assessed Value		\$222,068.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value		Cnty: \$172,068 Other: \$172,068 Schl: \$197,068

2011 Working Values**NOTE:**

2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/15/2010	1192/2385	WD	I	Q	01	\$295,000.0
4/30/2004	1014/3	WD	I	Q		\$232,000.0
12/9/2002	969/2331	WD	I	Q		\$235,900.0
12/9/2002	969/2332	WD	I	U	03	\$100.0
3/22/2001	923/2	WD	I	U	01	\$0.0
8/1/1997	843/1358	WD	V	Q		\$26,000.0

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1998	COMMON BRK (19)	2858	4769	\$190,568.00

Note: All S.F. calculations are based on exterior building dimensions.

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1998	\$1,172.00	0000781.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1 LT - (0000004.010AC)	1.00/1.00/1.00/0.85	\$36,628.00	\$36,628.00

Columbia County Property Appraiser

DB Last Updated: 1/6/2011

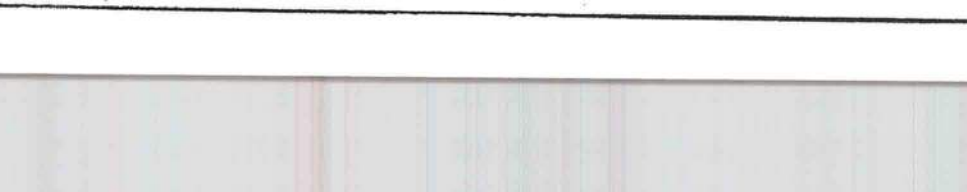
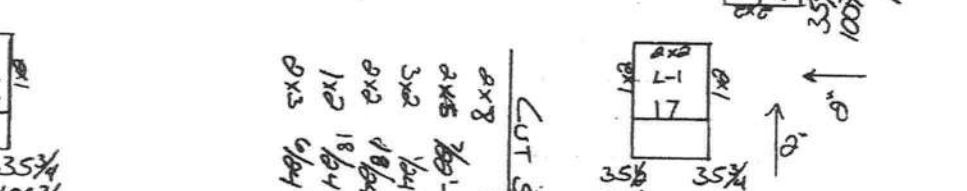
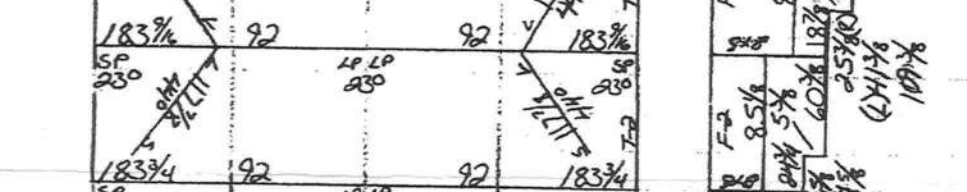
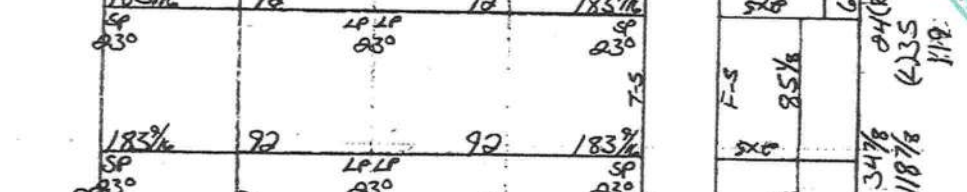
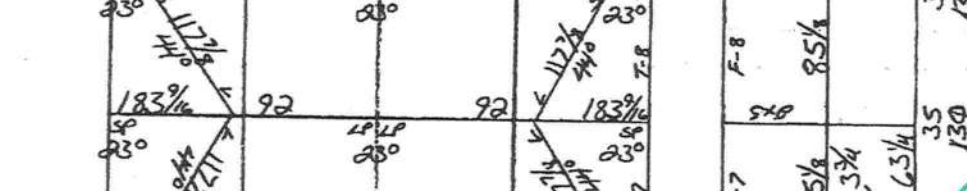
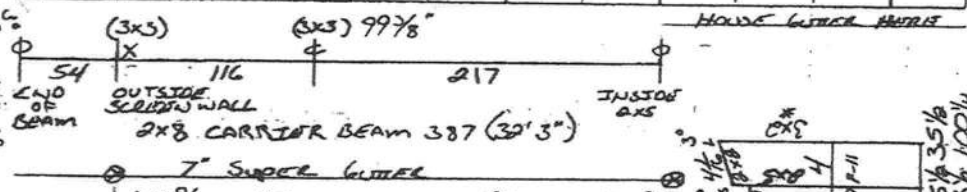
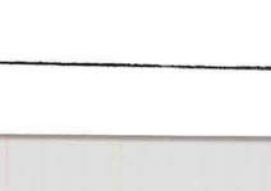
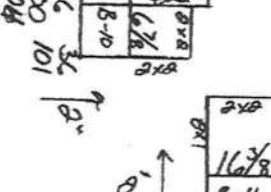
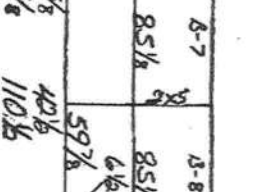
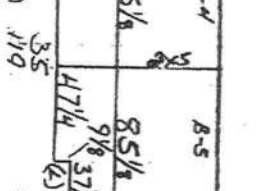
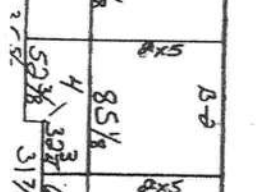
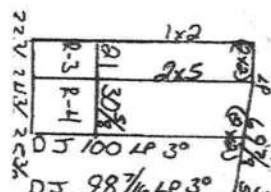
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DISCLAIMER

30



13
6270
3078
11/19
133

RECEIVED
COLUMBIA COUNTY BUILDING DEPARTMENT
for
FILE COPY
Code
Compliance
EXAMINER'S

LC

P.R.M.

24.60' (PLAT)

N.89°15'00"E. 294.60' (FIELD)

30' DRAINAGE EASEMENT

121.4

ALUMINUM SHED

254.28'

SEE "B" INSERT

LOT 6

620.38' (PLAT)
619.72' (FIELD)

N.00°45'00"W.
N.00°48'25"W.

128.09'

120.67'

DIRT DRIVE

223.60'

SEE "A" INSERT

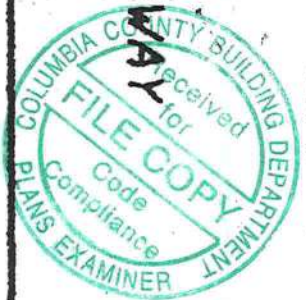
210.69'

10' UTILITY EASEMENT

10' UTILITY EASEMENT

LIVE OAK LANE (PAVED) (PUBLIC)

S.89°13'33"W. 255.09' (FIELD)
S.89°15'00"W. 255.63' (PLAT)



PLATTED
RIGHT-OF-WAY

17.75'
18.49'
30.00'

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev./Date	Description
6/05 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC

DESCRIPTION:
Screen Enclosure Details

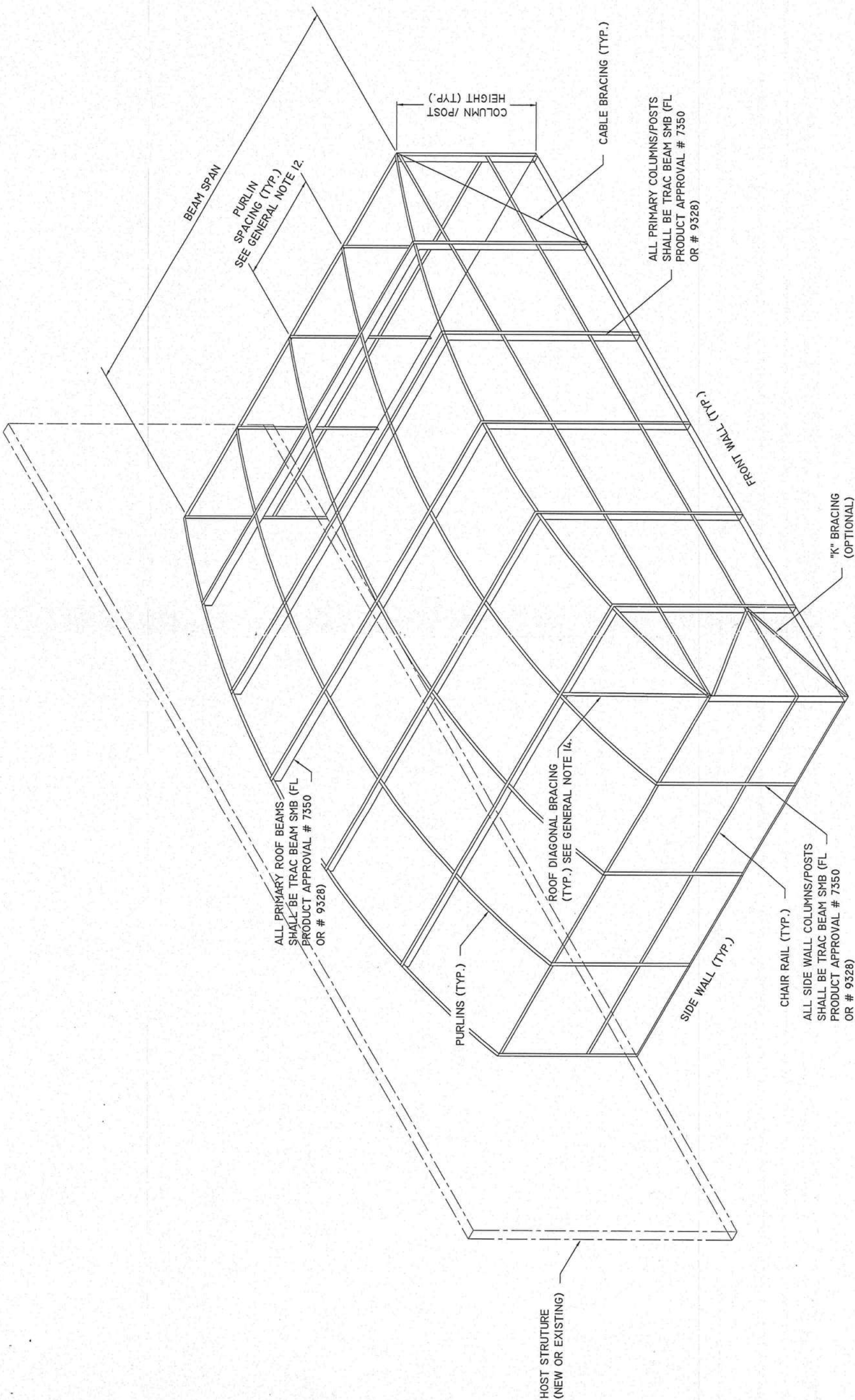
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
C/E # 28887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

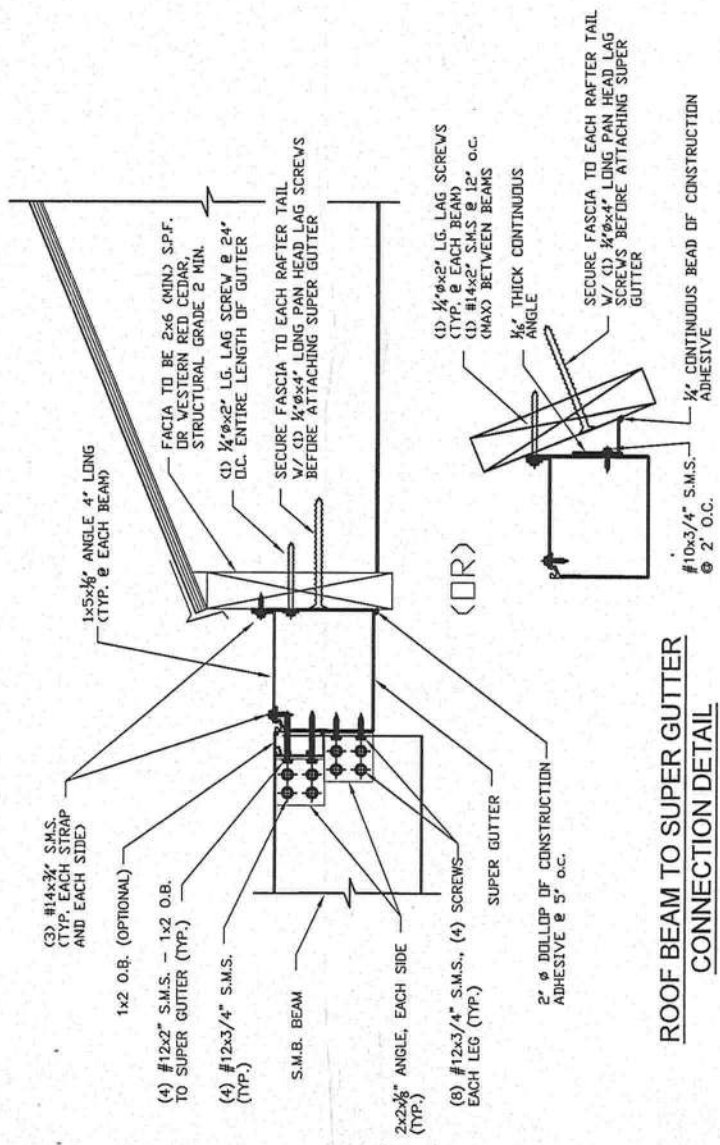
2-25-11

Drawing No. - 060905
SHEET 4 OF 7

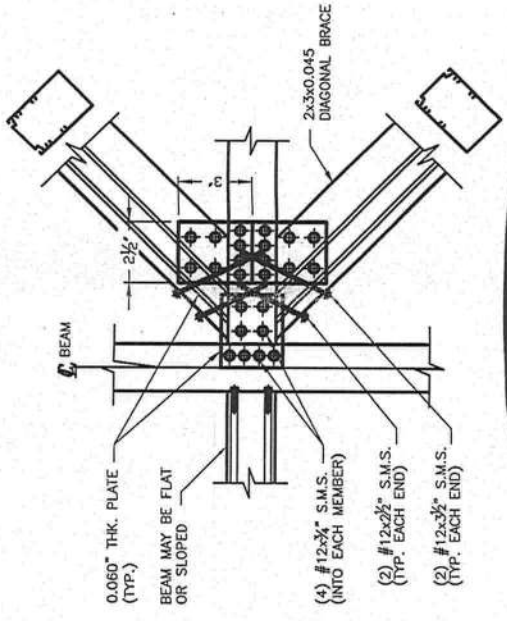


TYPICAL DOME ROOF

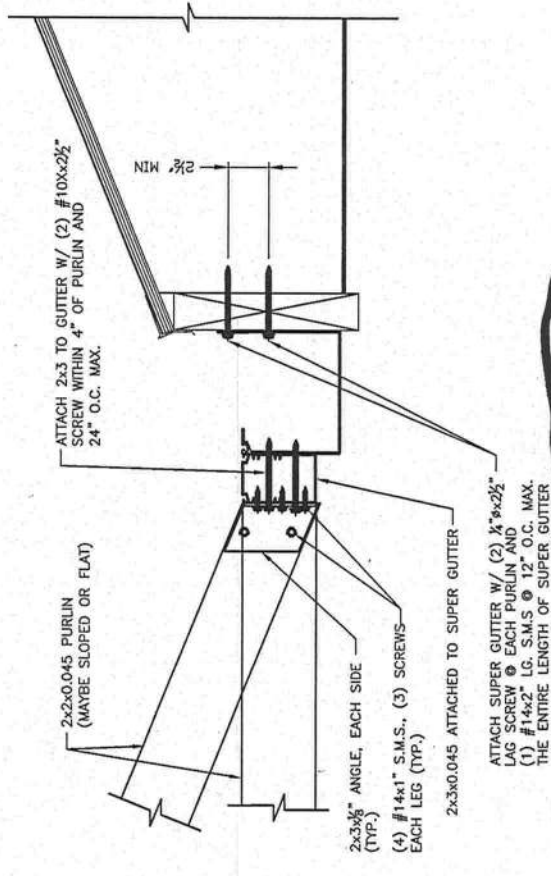
NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.



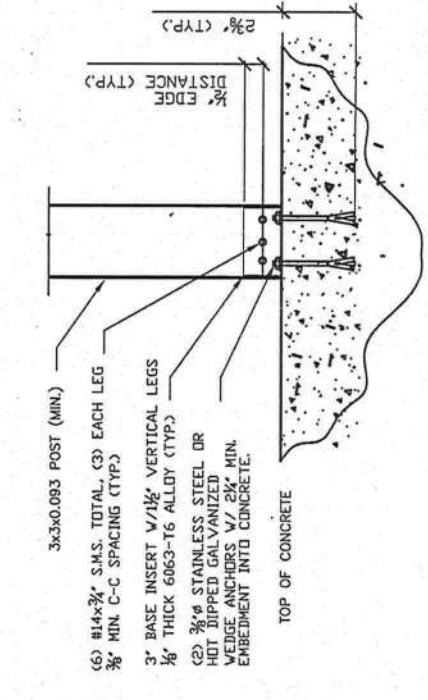
ROOF BEAM TO SUPER GUTTER CONNECTION DETAIL



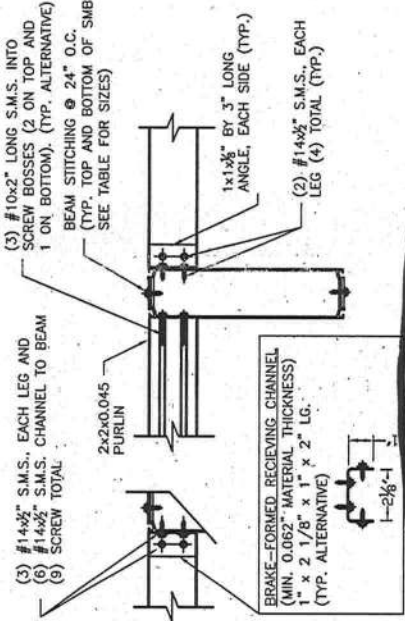
PLAN - TYPICAL ROOF BRACE TO BEAM CONNECTION



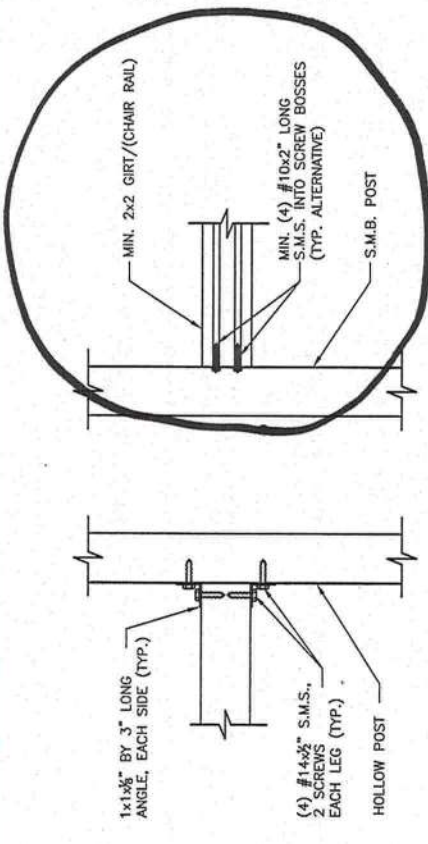
PURLIN TO SUPER GUTTER



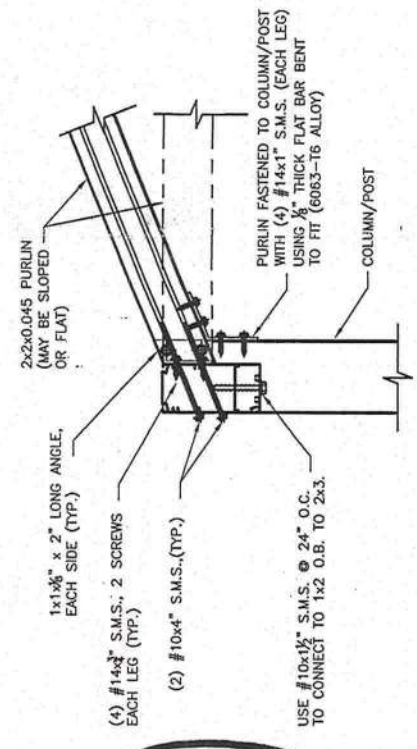
SCREEN ROOF TO PANEL/COMPOSITE COLUMN TO FOUNDATION CONNECTION DETAIL



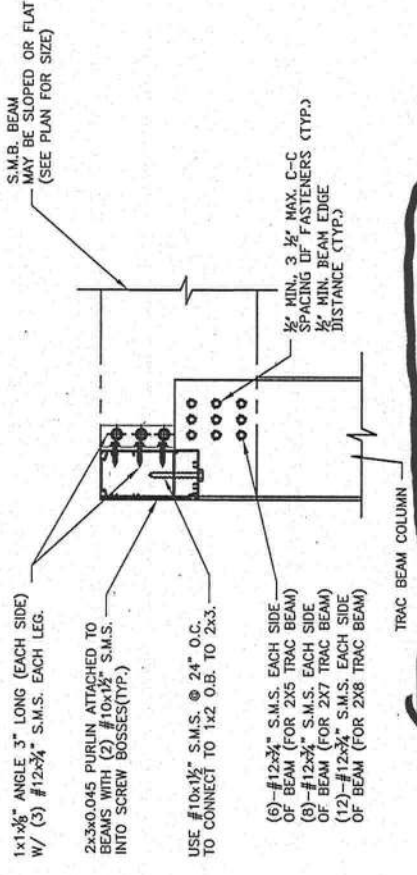
PURLIN TO ROOF BEAM CONNECTION DETAIL



CHAIR RAIL / GIRT TO POST CONNECTION DETAIL



SIDEWALL POST / COLUMN TO PURLIN CONNECTION DETAIL



MAIN POST / COLUMN TO ROOF BEAM CONNECTION DETAIL

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION: Screen Enclosure Details

DRAWN BY: DYK
CHECKED BY: DYK
SCALE: AS SHOWN
DATE: 9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 28887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

Drawing No. - 060905

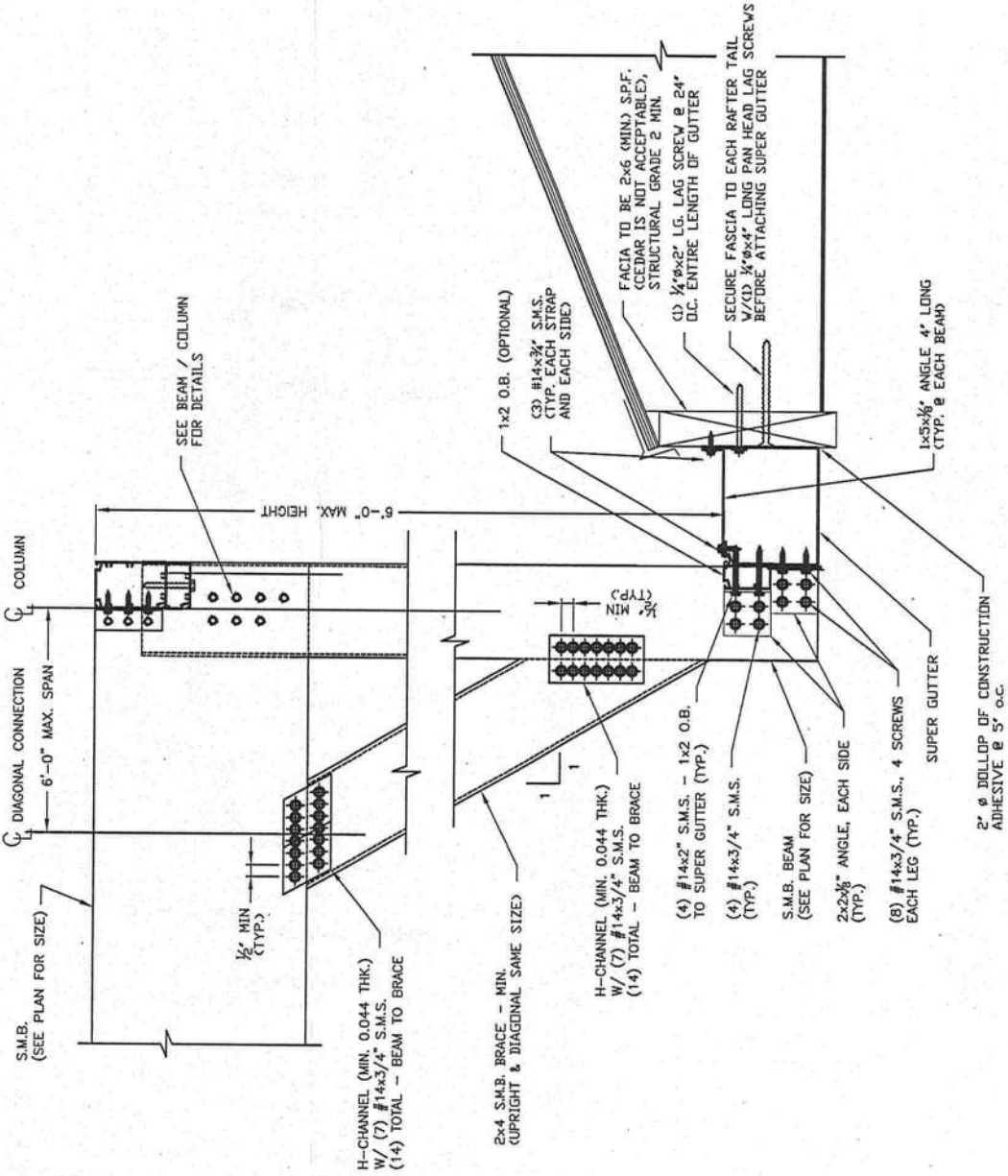
DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS
3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
005/2008	ISSUED
006/2008	
007/2008	
008/2008	
009/2008	
010/2008	

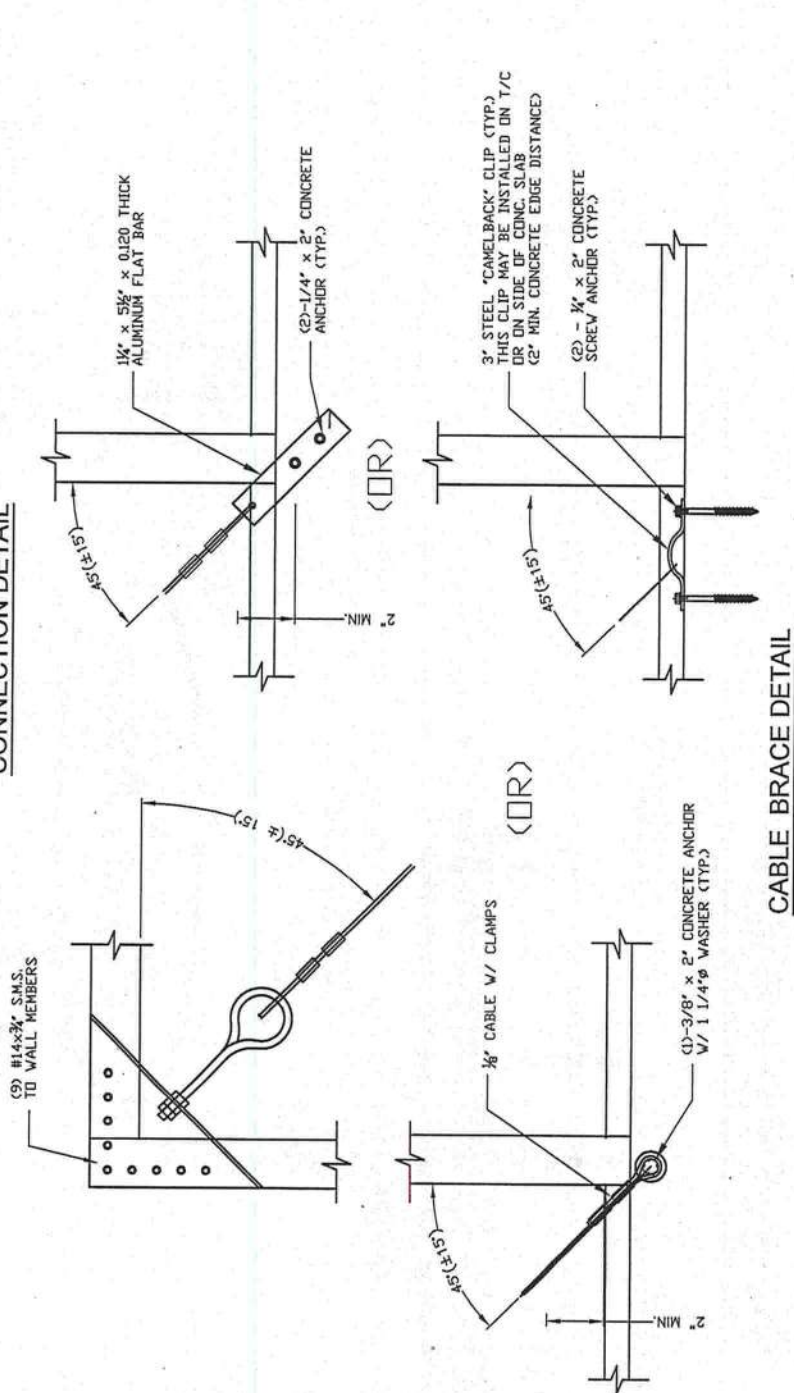
General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration. The licensed contractor shall be the delegated designer as allowed by FL Statutes for design and construction of these structures covered in these sheets. DKA is solely responsible for the design of the details as shown on these drawings and the contractor shall be in responsible charge to design the structure as allowed by FL Statutes.
- Concrete shall be minimum 28 day compressive strength of f'c=2500 psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 18 x 14 x 0.013" mesh.
- Connections using screw bosses shall have minimum (4)-#10x2" per connection unless shown otherwise.
- Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	5/8"	1/2"
#12	0.219	3/4"	9/8"
#14 (1/4")	0.250	1/2"	5/8"
- Structure has been designed to meet the 2007 FBC w/ 2009 Supplement. Project is sited with basic wind speed up to 120 mph (3-sect gust). I=0.77 for screen enclosures. Exposure C. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, GCp, of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titen Screws or approved equal.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 4.25 P.S.I.
- Diagonal bracing shall be installed on 50% of roof screen panels that have at least one side adjacent to an exterior screen wall.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided on the front screen wall for each 500 sf of screened wall area that the wind load is being applied to the side wall orthogonal to the front wall.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights. 2x2 and 1x2 aluminum components shall have nominal wall thickness of 0.044". Structural super gutter shall be min. 0.065" for spans 25' or less and 0.096" wall thickness for spans greater than 30'.
- All Aluminum members shall be 6005-T5 Alloy or stronger unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



NON-GABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)						
BEAM	TRIBUTARY WIDTH					
	10'	15'	20'	25'	30'	
2X5 TRAC	23.5'	19.8'	17.0'	15.0'	13.5'	
2X7 TRAC	25.7'	22.3'	20.1'	18.1'	16.6'	
2X8 TRAC	40.0'	34.3'	29.6'	28.2'	26.8'	

Design wind speed up to 120 mph. Exposure B. Reduce spans by 8% for Exposure C.

Beam Stitching Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)	
Beam Size	Beam Stitching Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"
2" x 5" x 0.050 x 0.116	#8 x 1/2"
2" x 6" x 0.050 x 0.120	#10 x 3/4"
2" x 7" x 0.055 x 0.120	#10 x 3/4"
2" x 8" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.082 x 0.306	#14 x 3/4"
2" x 10" x 0.092 x 0.389	#14 x 3/4"

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& ASSOCIATES, LLC
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ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev./Date	Description
605 2008	ISSUED

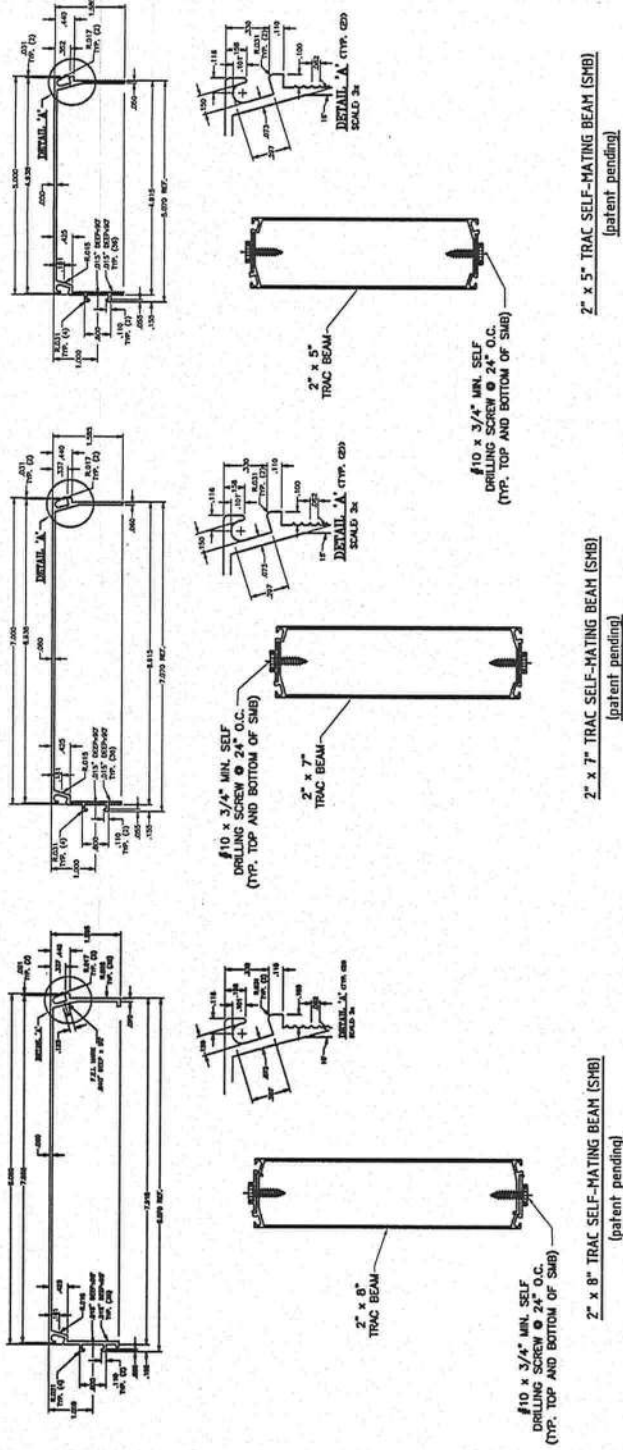
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33604

Drawing No. - 060905

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



Trac Beam Notes:

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professionals.
 2. Drawings are illustrative purposes only.
 3. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduced 7% for each five feet increment. Then reduce spans by 10% for Exposure C. Spans with >25' shall be 25' for Exposure C.
 4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
 5. Allowable spans tables are based on 2007 FBC w/ 2009 Supplement.
 6. Wind loads are based on Chapter 20 and Table 2004.4.
 7. Consult a licensed design professional for use of this product information.
- Maximum allowable deflections limits of L/80 in HWHZ.
professional. L/80 in HWHZ.

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' O.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' O.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' O.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' O.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' O.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' O.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' O.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' O.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' O.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	25'	25'	25'	24.12'	23.27'
6' O.C.	25'	25'	25'	23.06'	22.12'
7' O.C.	25'	25'	23.51'	22.16'	21.33'
8' O.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' O.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' O.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' O.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	37.82'	37.62	34.63'	31.23'	28.00'
6' O.C.	35.18'	35.01	31.23'	27.37'	23.61'
7' O.C.	32.65'	32.43	28.00'	23.48'	23.05'
8' O.C.	30.00'	29.82	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' O.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' O.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' O.C.	20.55'	19.59'	18.08'	16.58'	15.08'

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Rev./Date	Description
605 / 2008	ISSUED
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Δ	
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Δ	
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CLIENT: Florida Pool Enclosures, INC

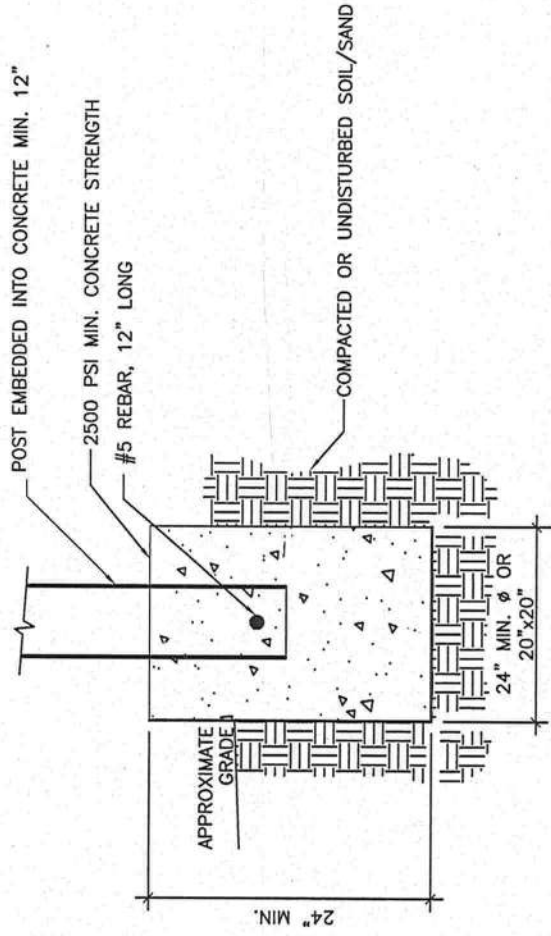
DESCRIPTION:
Screen Enclosure Details

DRAWN BY: DYK
CHECKED BY: DYK
SCALE: AS SHOWN
DATE: 9/05/08

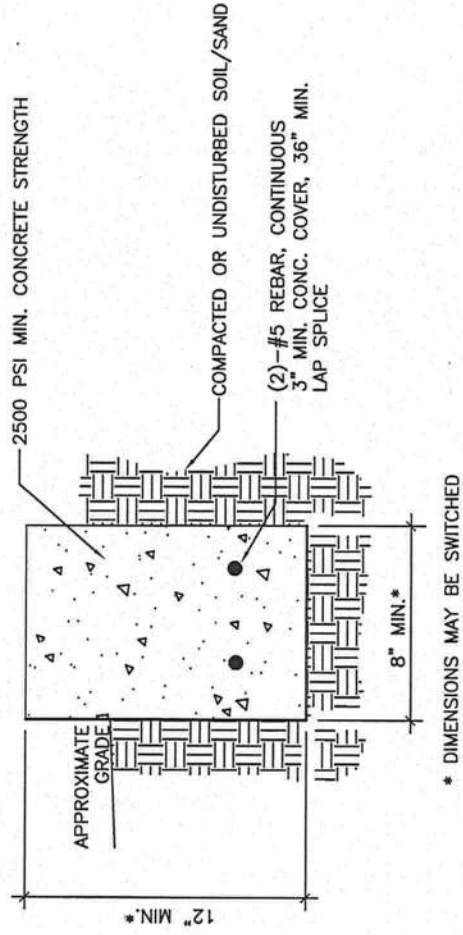
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

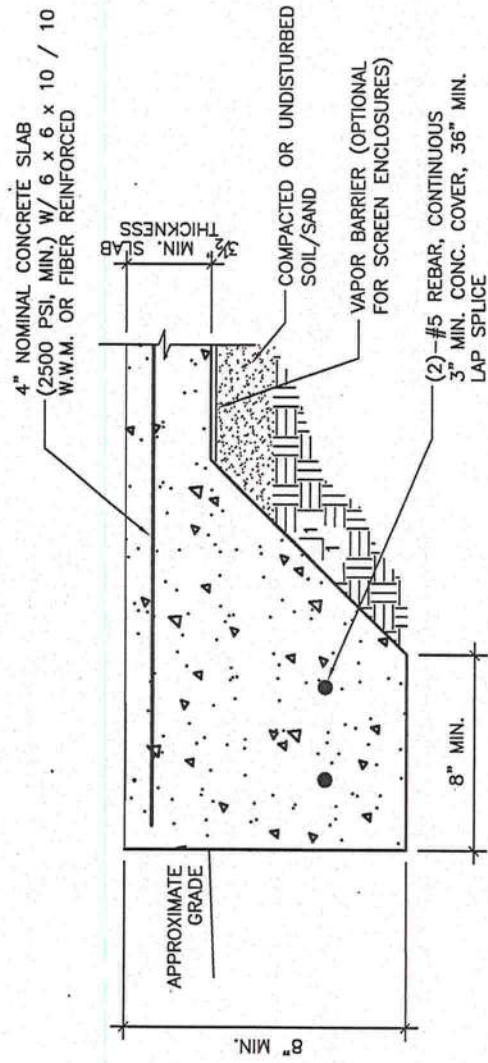
Drawing No. - 060905



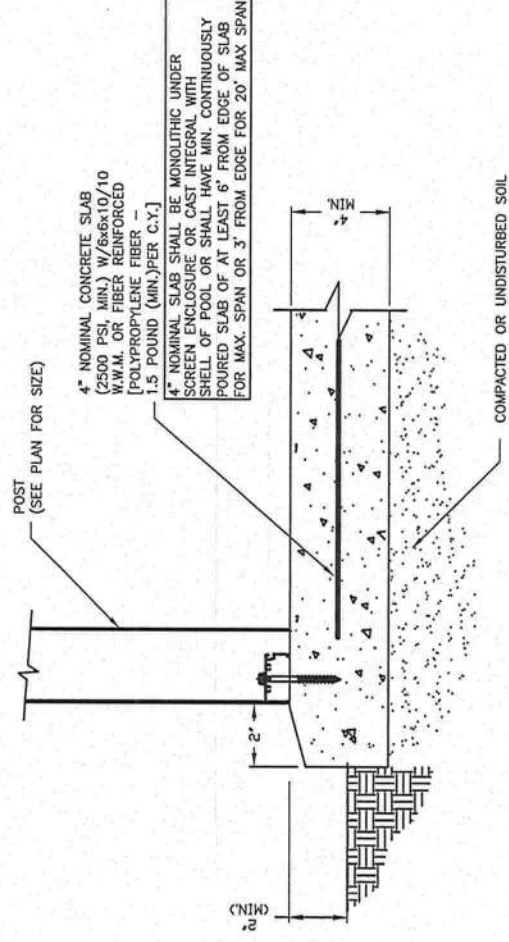
STANDARD TYP. ISOLATED FOOTER



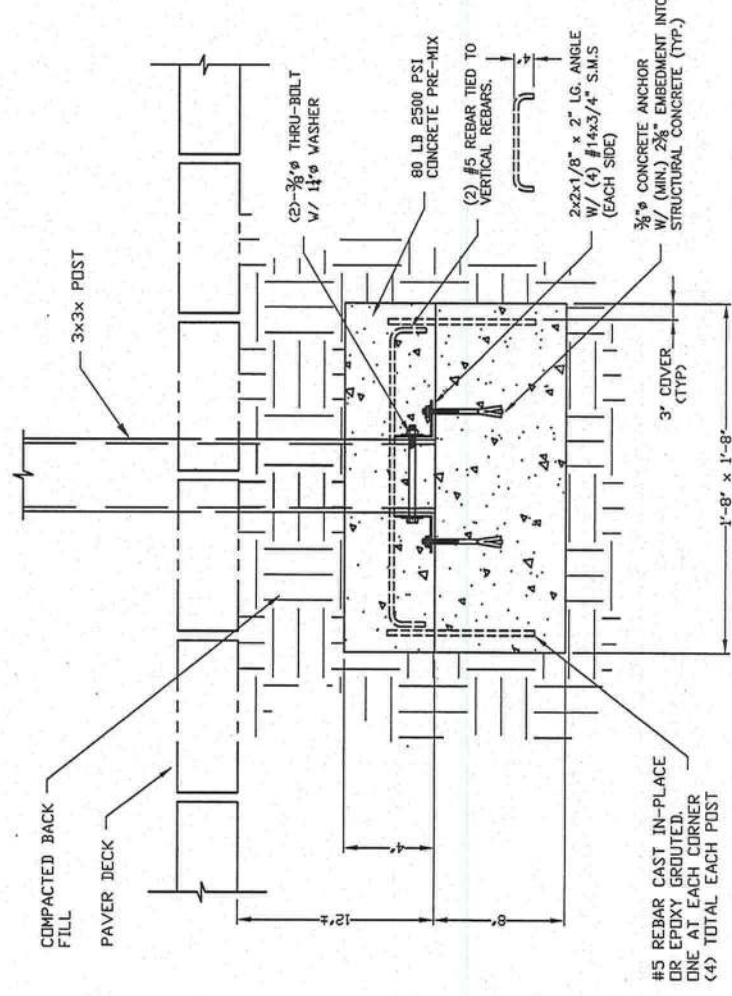
STANDARD TYP. CONTINUOUS PERIMETER FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



STANDARD TYP. TURNDOWN SLAB FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



POST / CONCRETE SLAB DETAIL
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')



POST FOR CARRIER BEAM TO
BURIED FOOTING
CONNECTION DETAIL

DO KIM
& ASSOCIATES, LLC

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STRUCTURAL
ENGINEERS**

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Rev./Date	Description
8/05/2008	ISSUED

CLIENT: Florida Pool Enclosures, INC

DESCRIPTION: Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

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Drawing No. - 060905

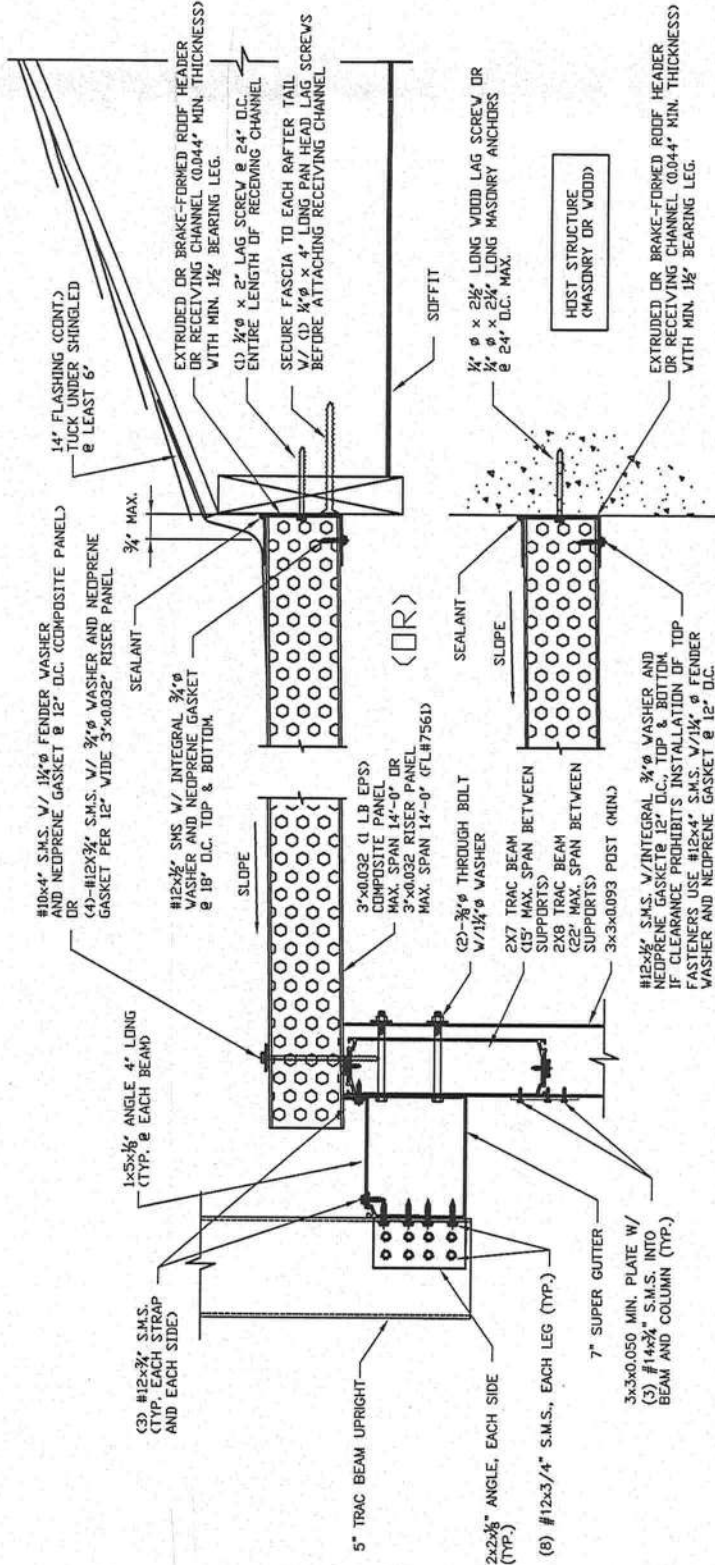
Rev/Date	Description
6/05 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC

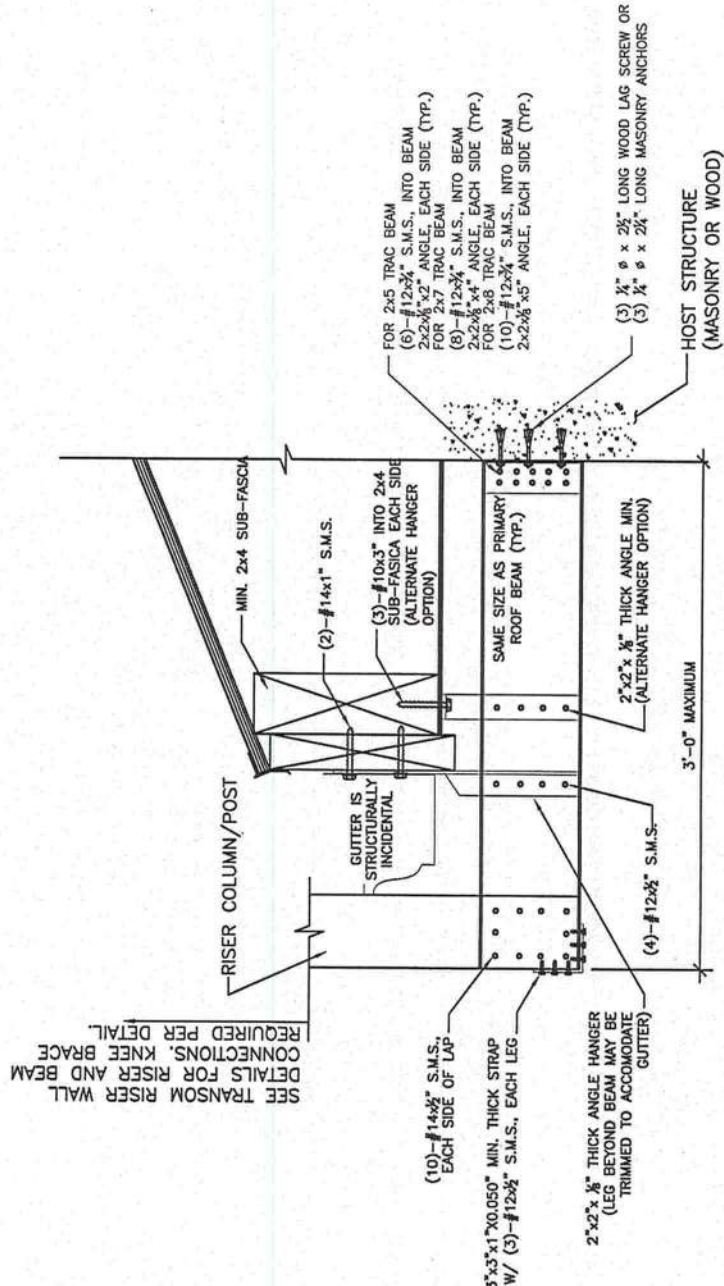
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

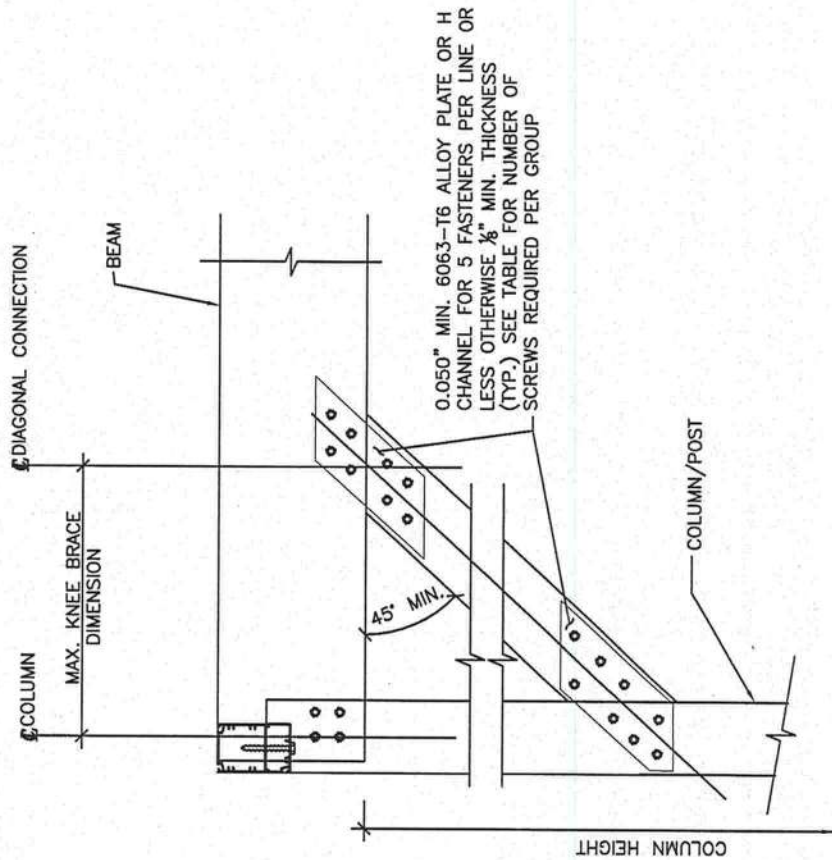
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DO KIM & ASSOCIATES, LLC
FLA. REG. NUMBER 49887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL



CANTILEVER TRANSOM (RISER) TO HOST WALL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x1/2\" S.M.S.
2\"x2\"x0.044\" HOLLOW	36 INCHES	3
2\"x3\"x0.045\" HOLLOW	44 INCHES	4
2\"x4\"x0.050\" HOLLOW	50 INCHES	5
2\"x4\"x0.046x0.100 SMB	62 INCHES	6