

DATE 05/10/2007

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025800

APPLICANT LINDA RODER PHONE 752-2281  
ADDRESS 387 SW KEMP CT LAKE CITY FL 32024  
OWNER DAVID FANNEY PHONE 758-7998  
ADDRESS 938 SW RIDGE ST LAKE CITY FL 32024  
CONTRACTOR AARON CADY PHONE 867-1458

LOCATION OF PROPERTY 47 S, PAST INTERSTATE, R ONRIDGE ST, LOT IS JUST  
PAST SW GERTRUDIS ON LEFT

TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 47600.00

HEATED FLOOR AREA TOTAL AREA 952.00 HEIGHT 15.90 STORIES 1

FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB

LAND USE & ZONING AG-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 25-4S-16-03155-106 SUBDIVISION OAK RIDGE ESTATES

LOT 6 BLOCK PHASE UNIT 3 TOTAL ACRES 3.93

CGC1508421  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 07-346-M BK JH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ADDITION TO SFD, NOC ON FILE

Check # or Cash 007

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 240.00 CERTIFICATION FEE \$ 4.76 SURCHARGE FEE \$ 4.76  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 324.52

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# Columbia County Building Permit Application

clct#007

For Office Use Only Application # 0704-68 Date Received 4-26-07 By LH Permit # 25800  
 Application Approved by - Zoning Official B2K Date 03.08.07 Plans Examiner OK JTH Date 5-7-07  
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments \_\_\_\_\_  
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permit

Name Authorized Person Signing Permit Linda or Melanie Roder Phone 752-2281

Address 387 SW Kemp Ct Lake City FL 32024

Owner Name David Fanney Phone 758-7998

911 Address 938 SW Ridge St. Lake City FL 32024

Contractors Name Aaron Cady Phone 867-1458

Address PDB 123 Lake City FL 32056

Fee Sample Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Will Myers / Mark Disosway

Mortgage Lenders Name & Address NA

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 25-45-16-03155-106 Estimated Cost of Construction 5000

Subdivision Name Oak Ridge Estates Lot 6 Block III Phase III

Driving Directions 47 S. past interstate, R on Ridge St, Lot is just past SW Gertrudis Dr on left

Type of Construction addition SFD Number of Existing Dwellings on Property 1

Total acreage 3.93 ac Lot Size 3.93 ac Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Driv

Actual Distance of Structure from Property Lines - Front 85' Side 90' Side 190' Rear 88'

Total Building Height 15'-9" Number of Stories 1 Heated Floor Area 0 Roof Pitch 6-12

TOTAL 952 unheated

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNER'S AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Owner Builder or Authorized Person by Notarized Letter \_\_\_\_\_ Contractor Signature \_\_\_\_\_

STATE OF FLORIDA Linda R. Roder Commission #DD303255 Contractors License Number CCC-1508421  
 COUNTY OF COLUMBIA Expires: Mar 24, 2008 Competency Card Number \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me \_\_\_\_\_ NOTARY STAMP/SEAL

this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_ Notary Signature \_\_\_\_\_ (Revise Sept. 2006)



0704-68

NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

\*\*\*THIS DOCUMENT MUST BE RECORDED AT THE COUNTY  
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.\*\*\*

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 25-45-16-03155-106

1. Description of property: (legal description of the property and street address or 911 address)

988 SW Ridge St.  
Lake City FL 32024

2. General description of improvement: addition to home of carport and  
bathroom

3. Owner Name & Address David & Cindy Lou Fannery 988 SW Ridge St  
Lake City FL 32024 Interest in Property home site

4. Name & Address of ~~the~~ Simple Owner (if other than owner): David & Cindy Lou Fannery  
988 SW Ridge St. Lake City, FL 32024

5. Contractor Name Agar Cady Phone Number 752-2878  
Address POB 123 Lake City FL 32056

6. Surety Holders Name NA Phone Number \_\_\_\_\_  
Address \_\_\_\_\_ Inst: 2007010327 Date: 05/08/2007 Time: 14:33  
Amount of Bond NA DC, P. Dewitt Cason, Columbia County B: 1118 P: 1794

7. Lender Name NA  
Address \_\_\_\_\_

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name NA Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

9. In addition to himself/herself the owner designates NA of \_\_\_\_\_  
\_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -  
(a) 7. Phone Number of the designee \_\_\_\_\_

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) NA

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

David & Cindy Lou Fannery  
Cindy L. Fannery  
Signature of Owner

Sworn to (or affirmed) and subscribed before  
day of 4-30, 2007

NOTARY STAMP/SEAL



Linda R. Roder  
Commission #DD303275  
Expires: Mar 24, 2008  
Bonded Thru  
Atlantic Bonding Co., Inc.

Linda R. Roder  
Signature of Notary



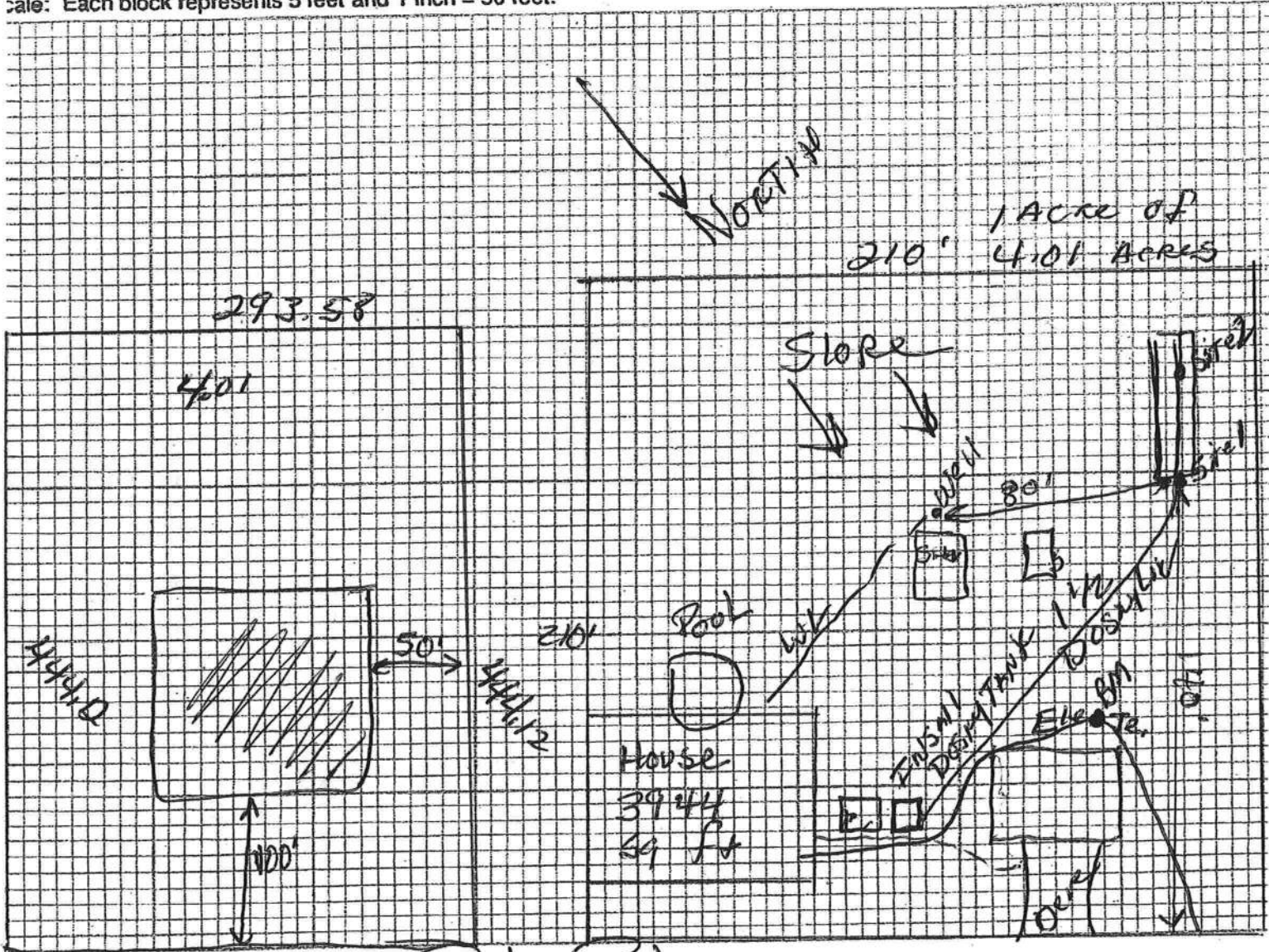


*Aaron Cadg*  
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 02-346M

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

293.58' Ridge Rd.

David Farnley

LOT 6 UNIT III OAK RIDGE ESTATES

Site Plan submitted by:

*[Signature]*

Signature

Plan Approved

Not Approved

by

*MA*

Columbia

Agent

Title

Date 5/8/08

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

REVISED  
5/4/1



Notice of Authorization

I Aaron Cady, do hereby authorize Linda Roder or Melanie Roder,

to be my representative and act on my behalf in all aspects of applying for any septic and  
building permit to be located in Columbia county.

Any homeowner and legal description

[Signature]

Contractor's signature

4-18-07

Date



Linda R. Roder  
Commission #DD303275  
Expires: Mar 24, 2008  
Bonded Thru  
Atlantic Bonding Co., Inc.

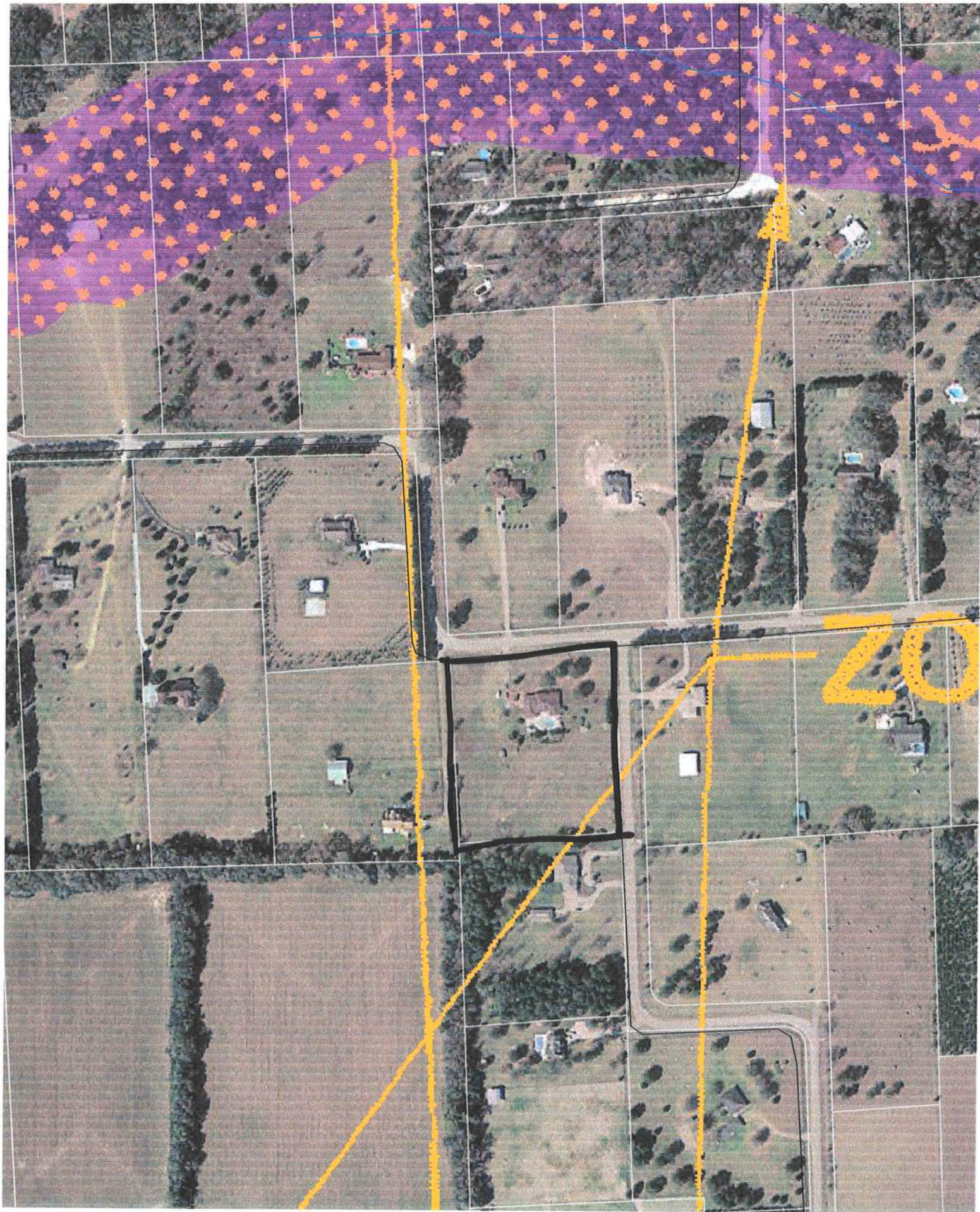
Sworn and subscribed before me this 18 day of April, 20047

[Signature]

Notary Public

My commission expires: \_\_\_\_\_  
Commission No. \_\_\_\_\_  
Personally known \_\_\_\_\_  
Produced ID (Type): \_\_\_\_\_

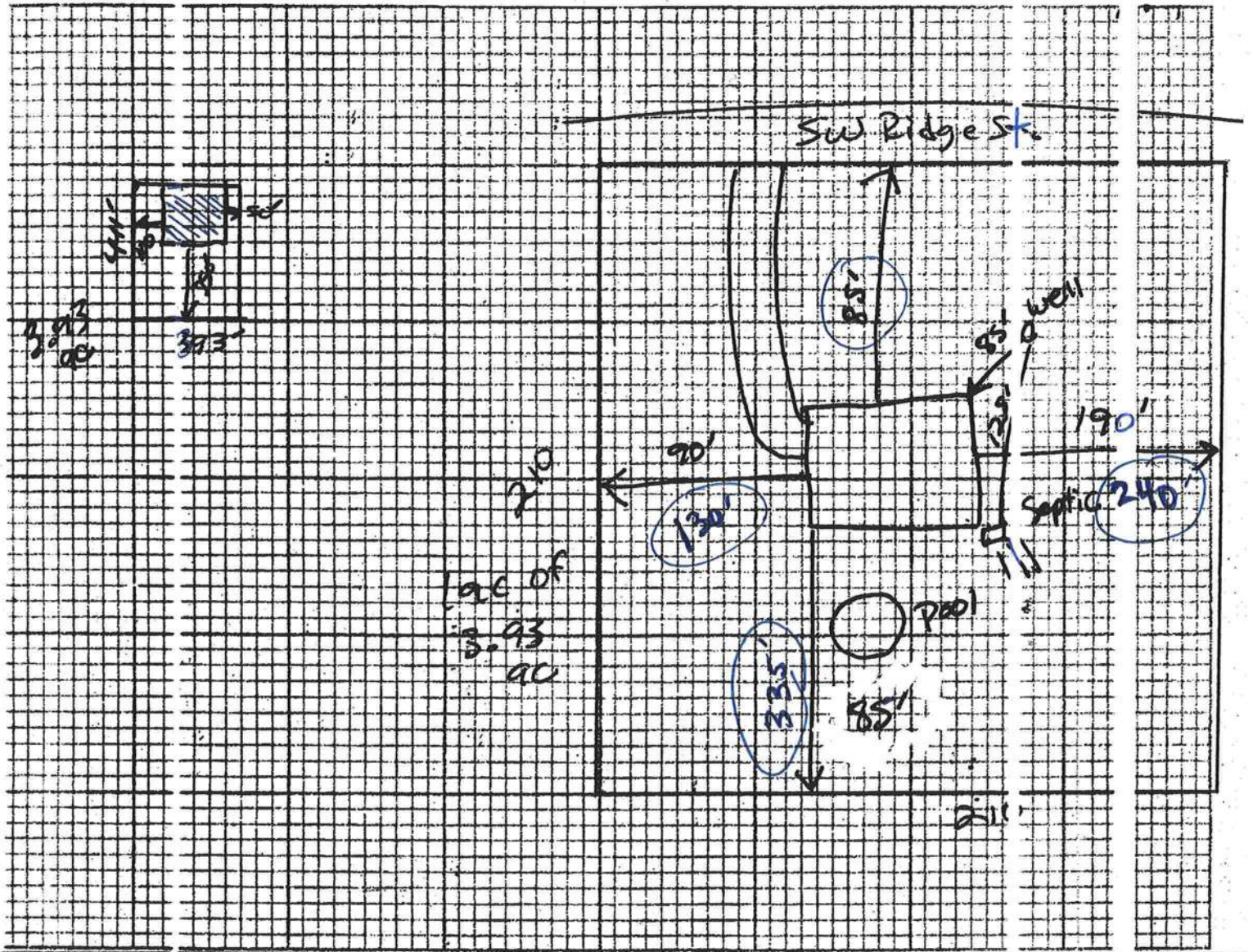






# David Fanney. Site Plan

25-45-16-03155-106



Circled numbers are to the actual Property lines. Other numbers are for the one acre site plan for E.H.



Rec. 10:50  
Dec 984.50

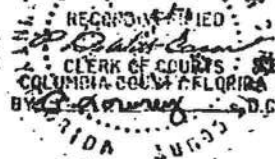
90-13914

FILED AND RECORDED IN PUBLIC  
RECORDS OF COLUMBIA COUNTY, FL.

BK 0735 PG 0916

NOV 15, PM 12:46

OFFICIAL RECORDS



THIS INSTRUMENT WAS PREPARED BY:  
TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

WARRANTY DEED

THIS INDENTURE, made this 15th day of November, 1990, between TERRY S. SMITH, SR., and his wife, MARIANN C. SMITH, of the County of Columbia, State of Florida, grantor\*, and DAVID GRAFTON FANNERY and his wife, CINDY LOU FANNERY, whose post office address is Route 14, Box 8-M, Lake City, Florida 32055, of the County of Columbia, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 6, OAK RIDGE ESTATES, UNIT III, a subdivision according to the plat thereof recorded in Plat Book 5, Pages 52-52A of the public records of Columbia County, Florida.

N.B.: The above described property shall be subject to Paragraphs 1-9 and 11-15 of those Declaration of Restrictions recorded in Official Records Book 525, Page 145 of the public records of Columbia County, Florida, as amended by Amendment to Declaration of Restrictions recorded in Official Records Book 530, Page 623 of the public records of Columbia County, Florida, and further amended by Second Amendment to Declaration of Restrictions recorded in Official Records Book 531, Page 493 of the public records of Columbia County, Florida, for the same period of time as the above Restrictions.

SUBJECT TO: Distribution Right-of-Way Easement to Clay Electric Cooperative, Inc., recorded in Official Records Book 615, Pages 206-207 of the public records of Columbia County, Florida, over and across the West 10 feet and the East 15 feet of said lot.

SUBJECT TO: Mortgage held by Community National Bank, recorded in Official Records Book 706, Pages 077-082 of the public records of Columbia County, Florida. By accepting this deed, the Grantees hereby assume and agree to pay the outstanding balance owed on said mortgage.

DOCUMENTARY STAMP 984.50  
INTANGIBLE TAX 5  
D. WITT CASON, CLERK OF  
COURTS, COLUMBIA COUNTY  
BY P. Fannery D.C.



BN 0735 PG0917

OFFICIAL RECORDS

TAX IDENTIFICATION NO.: DAVID GRAFTON FANNY - [REDACTED]  
CINDY LOU FANNY - [REDACTED]

PROPERTY APPRAISER'S PARCEL ID #25-4S-[REDACTED]

and said grantor does hereby fully warrant the title to said land,  
and will defend the same against the lawful claims of all persons  
whomsoever.

\*"Grantor" and "grantee" are used for singular or plural, as  
context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand  
and seal the day and year first above written.

Signed, sealed and delivered  
in our presence:

[Signature]  
Marilyn Ann McElroy

[Signature] (SEAL)  
Terry S. Smith, Sr.  
[Signature] (SEAL)  
Mariann C. Smith

STATE OF FLORIDA  
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day before me, an officer duly  
qualified to take acknowledgements, personally appeared TERRY S.  
SMITH, SR. and his wife, MARIANN C. SMITH, to me known to be the  
persons described in and who executed the foregoing instrument and  
acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last  
aforesaid this 15th day of November 1990.

[Signature]  
Notary Public  
My Commission Expires: 2-12-91



## EFFECTIVE MARCH 1, 2002

Applicant	Plans Examiner	
<input type="checkbox"/>	<input type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designers name and signature on document (FBC 104.2.1). If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Site Plan including:</u>
		a) Dimensions of lot
		b) Dimensions of building set backs
		c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d) Provide a full legal description of property.
		<u>Wind-load Engineering Summary, calculations and any details required</u>
		a) Plans or specifications must state compliance with FBC Section 1606
		b) The following information must be shown as per section 1606.1.7 FBC
		a. Basic wind speed (MPH)
		b. Wind importance factor (I) and building category
		c. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
		d. The applicable internal pressure coefficient
		e. Components and Cladding. The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Elevations including:</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a) All sides
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b) Roof pitch
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c) Overhang dimensions and detail with attic ventilation
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d) Location, size and height above roof of chimneys
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e) Location and size of skylights
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f) Building height
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g) Number of stories



<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Floor Plan including:**

- a) Rooms labeled and dimensioned
- b) Shear walls
- c) Windows and doors (including garage doors) showing size, mfg., approval listing and attachment specs. (FBC 1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- d) Fireplaces (gas appliance) (vented or non-vented) or wood burning with hearth
- e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- f) Must show and identify accessibility requirements (accesssable bathroom)

**Foundation Plan including:**

- a) Location of all load-bearing wall with required footings indicated as standard Or monolithic and dimensions and reinforcing
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling
- d) Location of any vertical steel

**Roof System:**

- a) Truss package including:
  - 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
  - 2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- b) Conventional Framing Layout including:
  - 1. Rafter size, species and spacing
  - 2. Attachment to wall and uplift
  - 3. Ridge beam sized and valley framing and support details
  - 4. Roof assembly (FBC 104.2.1 Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

**Wall Sections including:**

- a) Masonry wall
  - 1. All materials making up wall
  - 2. Block size and mortar type with size and spacing of reinforcement
  - 3. Lintel, tie-beam sizes and reinforcement
  - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
  - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
  - 6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
  - 7. Fire resistant construction (if required)
  - 8. Fireproofing requirements
  - 9. Shoe type of termite treatment (termiteicide or alternative method)
  - 10. Slab on grade
    - a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
    - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
  - 11. Indicate where pressure treated wood will be placed
  - 12. Provide insulation R value for the following:
    - a. Attic space
    - b. Exterior wall cavity
    - c. Crawl space (if applicable)



☒☐**b) Wood frame wall**

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
7. Roof assembly shown here or on roof system detail (FBC 04.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termiteicide or alternative method)
11. Slab on grade
  - a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed)
  - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
  - a. Attic space
  - b. Exterior wall cavity
  - c. Crawl space (if applicable)

☐☐**c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)****Floor Framing System:**

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

**Plumbing Fixture layout****Electrical layout including:**

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment

**HVAC information**

- a) Manual J sizing equipment or equivalent computation
- b) Exhaust fans in bathroom

**Energy Calculations (dimensions shall match plans)****Gas System Type (LP or Natural) Location and BTU demand of equipment****Disclosure Statement for Owner Builders****Notice Of Commencement****Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

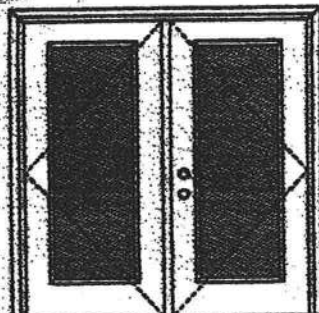
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**XX**  
*Glazed Outswing Unit*

## WOOD-EDGE STEEL DOORS

### APPROVED ARRANGEMENT:



**Note:**  
 Units of other sizes are covered by this report as long as the panels used do not exceed 3'0" x 6'6".

**Double Door**  
 Maximum unit size = 6'0" x 6'6"

**Design Pressure**  
**+40.5/-40.5**

Limited water unless special threshold design is used.

**Large Missile Impact Resistance**

**Hurricane protective system (shutters) is REQUIRED.**

Actual design pressure and impact resistant requirements for a specific building design and geographic location is determined by ASCE 7-section 1, state or local building codes specify the edition required.

### MINIMUM ASSEMBLY DETAIL:

Compliance requires that minimum assembly details have been followed — see MAD-WL-MA001 1-02 and MAD-WL-MA0041-02.

### MINIMUM INSTALLATION DETAIL:

Compliance requires that minimum installation details have been followed — see MID-WL-MA00 2-02.

### APPROVED DOOR STYLES:

#### 1/4 GLASS:



100 Series



125, 126 Series



136 Series



600 Series



822 Series

#### 1/2 GLASS:



105 Series\*



106, 106 Series\*



129 Series\*



200 Series\*



12 RL, 23 RL, 34 RL Series\*



107 Series\*



108 Series



34 Series

\*This glass kit may also be used in the following door styles: 5-panel; 5-panel with scroll; Eyebrow 5-panel; Eyebrow 5-panel with scroll.

**Johnson**  
**Entry Systems**

March 25, 2002  
 Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

**PREMDORE**  
 Premium Quality Doors

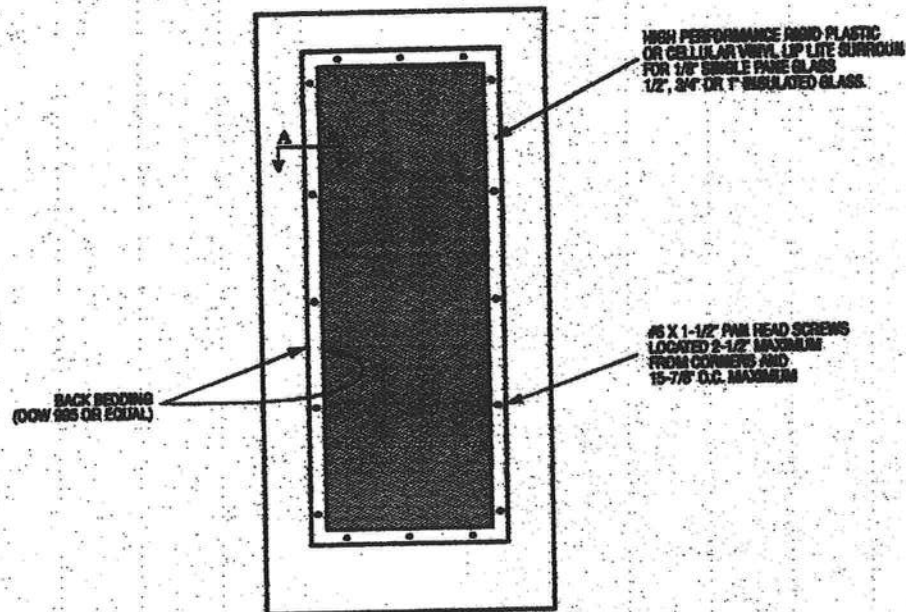


Exclusively for  
**Masonite**  
 Masonite International Corporation

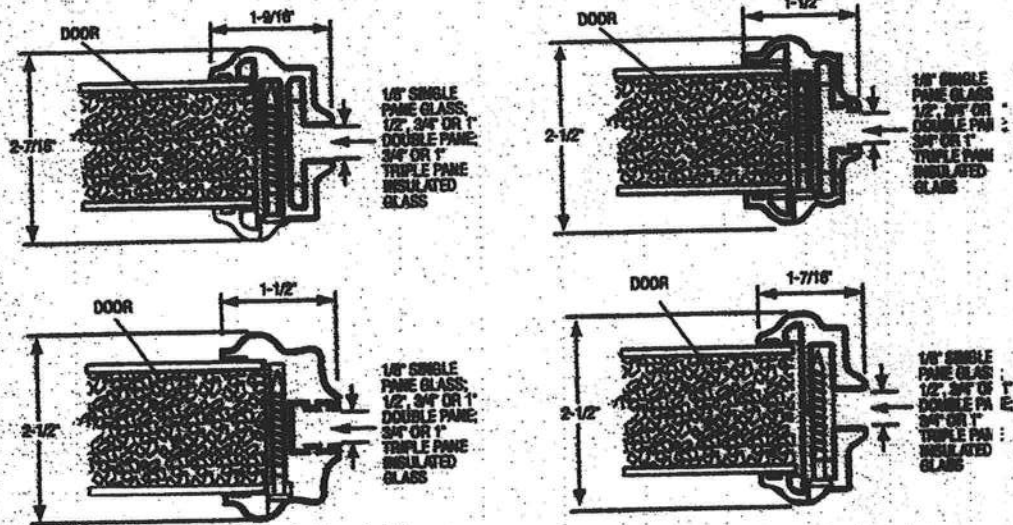


MAC-WL-MAC041-01

# GLASS INSERT IN DOOR OR SIDELITE PANEL



## SECTION A-A TYPICAL RIGID PLASTIC LIP LITE SURROUND



March 28, 2002  
Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

**PREMIER Collection**  
Premium Quality Doors

Exclusively by  
**Masonite**  
Masonite International Corporation



**XX**

Glazed Outswing Unit

DOOR-GLAZED-OUTSWING-XX

**WOOD-EDGE STEEL DOORS****APPROVED DOOR STYLES:****3/4 GLASS:**

404 Series



410 Series



450 Series

**FULL GLASS:**

100 Series

114, 120, 122  
Series

132 Series



140 Series



200 Series

**CERTIFIED TEST REPORTS:**

NCTL 210-1897-7, 8, 9, 10, 11, 12; NCTL 210-1884-5, 6, 7, 8; NCTL 210-2178-1, 2, 3

Certifying Engineer and License Number: Barry D. Portney, P.E. / 16258.

Unit Tested in Accordance with Miami-Dade BCCO PA202.

Evaluation report NCTL-210-2794-1

Door panels constructed from 26-gauge 0.017" thick steel skins. Both stiles constructed from wood. Top end rails constructed of 0.041" steel. Bottom end rails constructed of 0.021" steel. Interior cavity of slab filled with rigid polyurethane foam core. Slab glazed with insulated glass mounted in a rigid plastic lip lite surround.

Frame constructed of wood with an extruded aluminum bumper threshold.

**PRODUCT COMPLIANCE LABELING:**

TESTED IN  
ACCORDANCE WITH  
MIAMI-DADE BCCO PA202

COMPANY NAME  
CITY, STATE

To the best of my knowledge and ability the above side-hinged exterior door unit conforms to the requirements of the 2001 Florida Building Code, Chapter 17 (Structural Tests and Inspections).

*Kurt L Balthazor*

State of Florida, Professional Engineer  
Kurt Balthazor, P.E. - License Number 56533

**Johnson**  
EntrySystems

March 29, 2002  
Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

PREMIERE Collection  
Premium Quality Doors

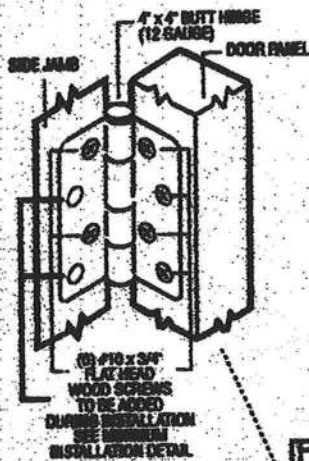


Exclusively by  
**Masonite**  
Masonite International Corporation

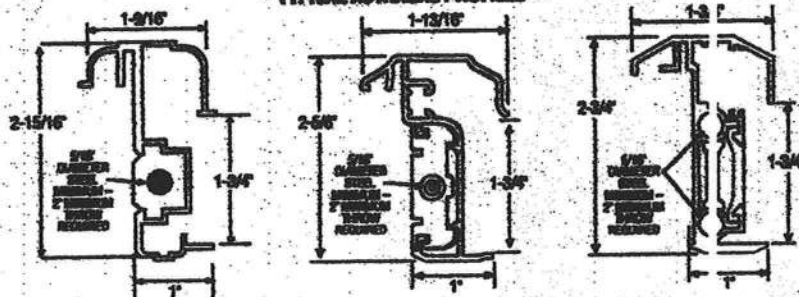
**XX**  
Unit

# OUTSWING UNITS WITH DOUBLE DOOR

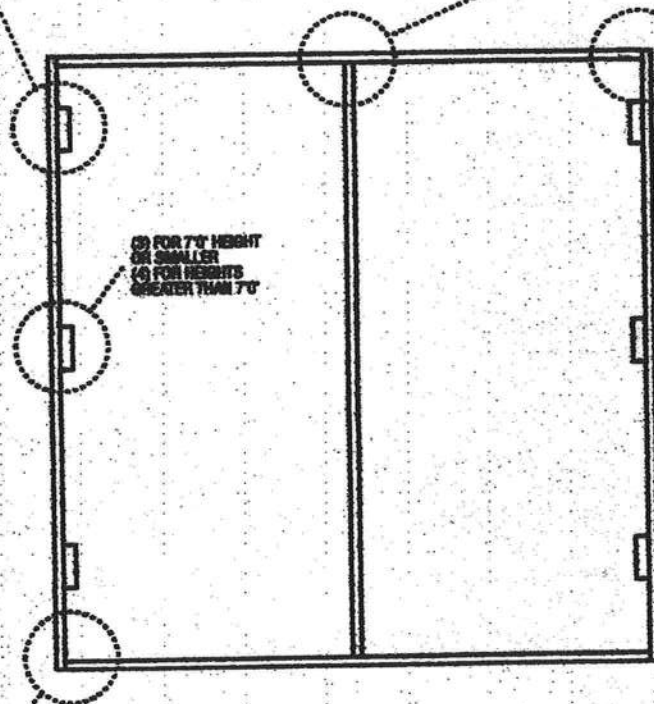
## TYPICAL HINGE ATTACHMENT



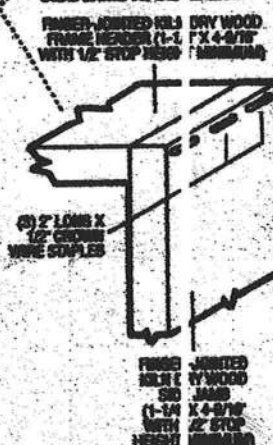
## TYPICAL ASTRAGAL PROFILES



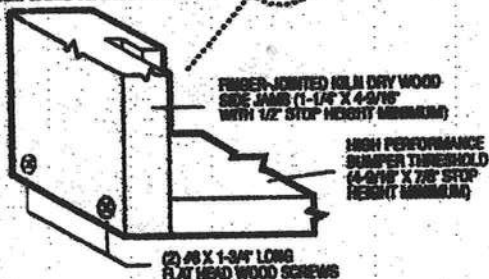
ALUMINUM EXTRUDED ASTRAGAL (0.05\"/>



## TYPICAL HEADER & SIDE JAMB ATTACHMENT



## TYPICAL THRESHOLD & SIDE JAMB ATTACHMENT



March 23, 2002  
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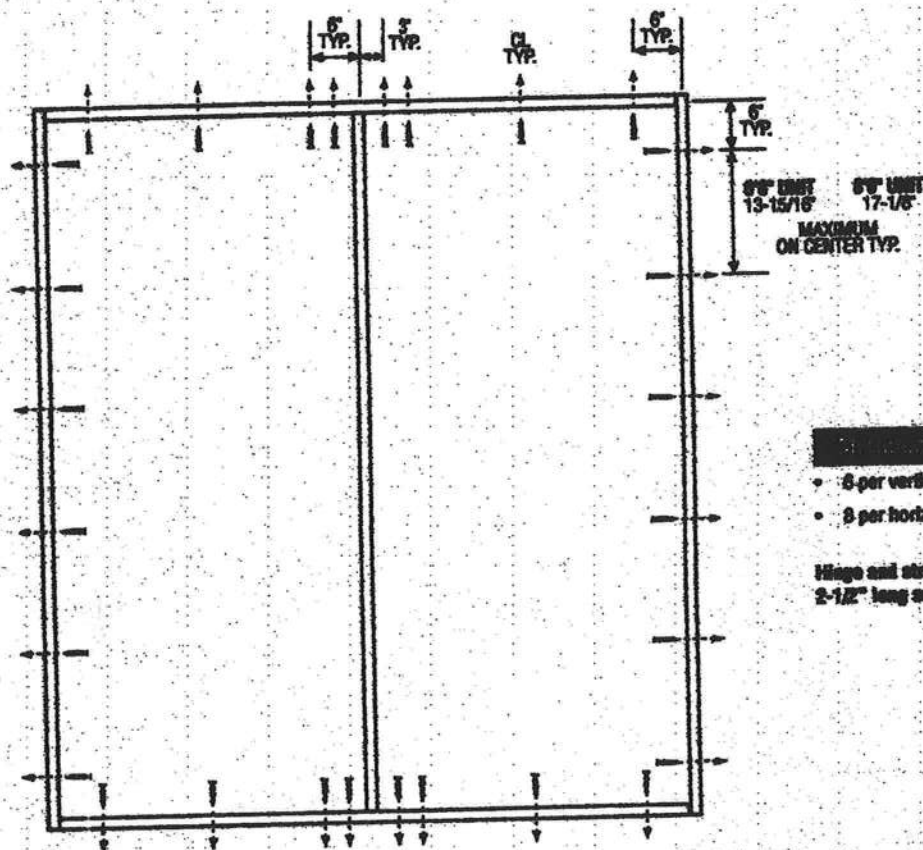
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**XX**  
Unit

IND-WH-MASCON-01

## DOUBLE DOOR



- 8 per vertical framing member
- 8 per horizontal framing member

Hinge and strike plates require two 2-1/2\"

### Latching Hardware:

- Compliance requires that GRADE 2 or better (ANSI/BHMA A156.2) cylindrical and deadlock hardware be installed.

### Notes:

1. Anchor calculations have been carried out with the lowest (least) fastener rating from the different fasteners being considered for use. Fasteners analyzed for this unit include #6 and #10 wood screws or 3/16\"
2. The wood screw single shear design values come from Table 11.3A of ANSI/APA & PA NDS for southern pine lumber with a side member thickness of 1-1/4\"
3. Wood bucks by others, must be anchored properly to transfer loads to the structure.

March 29, 2002

Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.



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**Product Approval**  
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FL #

FL1956-R1

Application Type

Revision

Code Version

2004

Application Status

Approved

Comments

Archived



Product Manufacturer  
Address/Phone/Email

TAMKO Building Products, Inc.  
PO Box 1404  
Joplin, MO 64802  
(800) 641-4691 ext 2394  
fred\_oconnor@tamko.com

Authorized Signature

Frederick O'Connor  
fred\_oconnor@tamko.com

Technical Representative  
Address/Phone/Email

Frederick J. O'Connor  
PO Box 1404  
Joplin, MO 64802  
(800) 641-4691  
fred\_oconnor@tamko.com



Quality Assurance Representative  
Address/Phone/Email

Category  
Subcategory

Roofing  
Asphalt Shingles

Compliance Method

Certification Mark or Listing

Certification Agency

Underwriters Laboratories Inc.

Referenced Standard and Year (of  
Standard)

Standard  
ASTM D 3462

Year  
2001

Equivalence of Product Standards  
Certified By

Product Approval Method

Method 1 Option A

Date Submitted

06/09/2005

Date Validated

06/20/2005

Date Pending FBC Approval

06/25/2005

Date Approved

06/29/2005

**Summary of Products**

**FL #**

**Model, Number or Name**

**Description**

slopes of 2:12 or greater. Not approved for use in HVHZ.

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DCA Administration

**Department of Community Affairs  
Florida Building Code Online**

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**Product Approval Accepts:**







**Underwriters  
Laboratories Inc.**

**Northbrook Division**  
333 Plimpton Field  
Northbrook, IL 60062-2086 USA  
www.ul.com  
tel: 1 847 272 8000

June 17, 2005

Tamko Roofing Products  
Ms. Kerri Eden  
P.O. Box 1404  
221 W. 4<sup>th</sup> Street  
Joplin, MO 64802-1404

Our Reference: R2919

This is to confirm that "Elite Glass-Seal AR", "Heritage 30 AR", "Heritage 50 AR", "Glass-Seal AR" manufactured at Tuscaloosa, AL and "Elite Glass-Seal AR", "Heritage 30 AR", "Heritage XL AR", "Heritage 50 AR" manufactured at Frederick, MD and "Heritage 30 AR", "Heritage XL AR", and "Heritage 50 AR" manufactured in Dallas, TX are UL Listed asphalt glass mat shingles and have been evaluated in accordance with ANSI/UL 790, Class A (ASTM E108), ASTM D3462, ASTM D3161 or UL 997 modified to 110 mph when secured with four nails.

Let me know if you have any further questions.

Very truly yours,

Alpesh Patel (Ext. 42522)  
Engineer Project  
Fire Protection Division

Reviewed by,

Randall K. Laymon (Ext. 42687)  
Engineer Sr Staff  
Fire Protection Division



## Application Instructions for

# HERITAGE® VINTAGE™ AR – Phillipsburg, KS LAMINATED ASPHALT SHINGLES

THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS.

THIS PRODUCT IS COVERED BY A LIMITED WARRANTY, THE TERMS OF WHICH ARE PRINTED ON THE WRAPPER.

IN COLD WEATHER (BELOW 40°F), CARE MUST BE TAKEN TO AVOID DAMAGE TO THE EDGES AND CORNERS OF THE SHINGLES.

**IMPORTANT:** It is not necessary to remove the plastic strip from the back of the shingles.

## 1. ROOF DECK

These shingles are for application to roof decks capable of receiving and retaining fasteners, and to inclines of not less than 2 in. per foot. For roofs having pitches 2 in. per foot to less than 4 in. per foot, refer to special instructions titled "Low Slope Application". Shingles must be applied properly. TAMKO assumes no responsibility for leaks or defects resulting from improper application, or failure to properly prepare the surface to be roofed over.

**NEW ROOF DECK CONSTRUCTION:** Roof deck must be smooth, dry and free from warped surfaces. It is recommended that metal drip edges be installed at eaves and rakes.

**PLYWOOD:** All plywood shall be exterior grade as defined by the American Plywood Association. Plywood shall be a minimum of 3/8 in. thickness and applied in accordance with the recommendations of the American Plywood Association.

**SHEATHING BOARDS:** Boards shall be well-seasoned tongue-and-groove boards and not over 6 in. nominal width. Boards shall be a 1 in. nominal minimum thickness. Boards shall be properly spaced and nailed.

TAMKO does not recommend re-roofing over existing roof.

## 2. VENTILATION

Inadequate ventilation of attic spaces can cause accumulation of moisture in winter months and a build up of heat in the summer. These conditions can lead to:

1. Vapor Condensation
2. Buckling of shingles due to deck movement.
3. Rotting of wood members.
4. Premature failure of roof.

To insure adequate ventilation and circulation of air, place louvers of sufficient size high in the gable ends and/or install continuous ridge and soffit vents. FHA minimum property standards require one square foot of net free ventilation area to each 150 square feet of space to be vented, or one square foot per 300 square feet if a vapor barrier is installed on the warm side of the ceiling or if at least one half of the ventilation is provided near the ridge. If the ventilation openings are screened, the total area should be doubled.

**IT IS PARTICULARLY IMPORTANT TO PROVIDE ADEQUATE VENTILATION.**

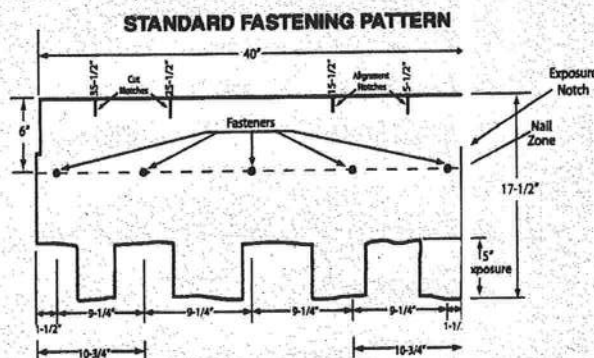
## 3. FASTENERS

**WIND CAUTION:** Extreme wind velocities can damage these shingles after application when proper sealing of the shingles does not occur. This can especially be a problem if the shingles are applied in cooler months or in areas on the roof that do not receive direct sunlight. These conditions may impede the sealing of the adhesive strips on the shingles. The inability to seal down may be compounded by prolonged cold weather conditions and/or blowing dust. In these situations, hand sealing of the shingles is recommended. Shingles must also be fastened according to the fastening instructions described below.

Correct placement of the fasteners is critical to the performance of the shingle. If the fasteners are not placed as shown in the diagram and described below, this will result in the termination of TAMKO's liabilities under the limited warranty. TAMKO will not be responsible for damage to shingles caused by winds in excess of the applicable miles per hour as stated in the limited warranty. See limited warranty for details.

**FASTENING PATTERNS:** Fasteners must be placed 6 in. from the top edge of the shingle located horizontally as follows

**1) Standard Fastening Pattern.** (For use on decks with slopes 2 in. per foot to 21 in. per foot.) One fastener 1-1/2 in. back from each end, one 10-3/4 in. back from each end and one 20 in. from one end of the shingle for a total of 5 fasteners. (See standard fastening pattern illustrated below).



**2) Mansard or Steep Slope Fastening Pattern.** (For use on decks with slopes greater than 21 in. per foot.) Use standard nailing instructions with four additional nails placed 6 in. from the butt edge of the shingle making certain nails are covered by the next (successive) course of shingles.

(Continued)

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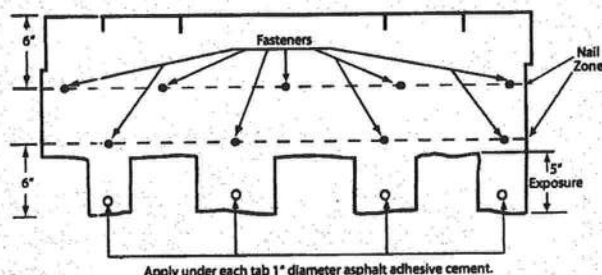


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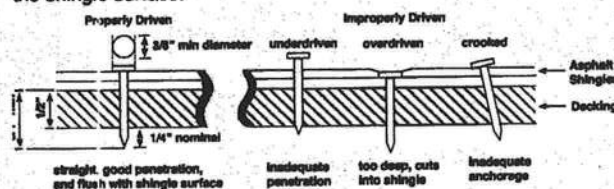
## HERITAGE® VINTAGE™ AR – Phillipsburg, KS LAMINATED ASPHALT SHINGLES

Each shingle tab must be sealed underneath with quick setting asphalt adhesive cement immediately upon installation. Spots of cement must be equivalent in size to a \$.25 piece and applied to shingles with a 5 in. exposure, use 9 fasteners per shingle.

### MANSARD FASTENING PATTERN



**NAILS:** TAMKO recommends the use of nails as the preferred method of application. Standard type roofing nails should be used. Nail shanks should be made of minimum 12 gauge wire, and a minimum head diameter of 3/8 in. Nails should be long enough to penetrate 3/4 in. into the roof deck. Where the deck is less than 3/4 in. thick, the nails should be long enough to penetrate completely through plywood decking and extend at least 1/8 in. through the roof deck. Drive nail head flush with the shingle surface.



### 4. UNDERLAYMENT

**UNDERLAYMENT:** An underlayment consisting of asphalt saturated felt must be applied over the entire deck before the installation of TAMKO shingles. Failure to add underlayment can cause premature failure of the shingles and leaks which are not covered by TAMKO's limited warranty. Apply the felt when the deck is dry. On roof decks 4 in. per foot and greater apply the felt parallel to the eaves lapping each course of the felt over the lower course at least 2 in. Where ends join, lap the felt 4 in. If left exposed, the underlayment felt may be adversely affected by moisture and weathering. Laying of the underlayment and the shingle application must be done together.

Products which are acceptable for use as underlayment are:

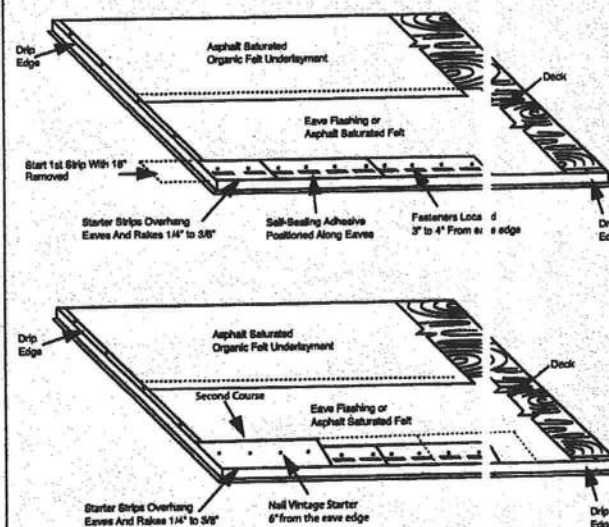
- TAMKO No. 15 Asphalt Saturated Organic Felt
- A non-perforated asphalt saturated organic felt which meets ASTM: D226, Type I or ASTM D4869, Type I
- Any TAMKO non-perforated asphalt saturated organic felt
- TAMKO TW Metal and Tile Underlayment, TW Underlayment and Moisture Guard Plus® (additional ventilation maybe required. Contact TAMKO's technical services department for more information)

In areas where ice builds up along the eaves or a back-up of water from frozen or clogged gutters is a potential problem, TAMKO's Moisture Guard Plus® waterproofing underlayment (or any specialty eaves flashing product) may be applied to eaves, rakes, ridges, valleys, around chimneys, skylights or dormers to help prevent water damage. Contact TAMKO's Technical Services Department for more information. TAMKO does not recommend the use of any substitute products as shingle underlayment.

### 5. APPLICATION INSTRUCTIONS

**STARTER COURSE:** Two starter course layers must be applied prior to application of Heritage Vintage AR Shingles.

The first starter course may consist of TAMKO Shingle Starter, three tab self-sealing type shingles or a 9 inch wide strip of mineral surface roll roofing. If three tab self-sealing shingles are used, remove the exposed tab portion and install with the factory applied adhesive adjacent to the eaves. If using three tab self-sealing shingles or shingle starter, remove 18 in. from first shingle to offset the end joints of the Vintage Starter. Attach the first starter course with approved fasteners along a line parallel to and 3 in. to 4 in. above the eave edge. The starter course should overhang both the eave and rake edge 1/4 in. to 3/8 in. Over the first starter course, install Heritage Vintage Starter AR and begin at the left rake edge with a full size shingle and continue across the roof nailing the Heritage Vintage Starter AR along a line parallel to and 6 in. from the eave edge.



**Note:** Do not allow Vintage Starter AR joints to be visible between shingle tabs. Cutting of the starter may be required.

**HERITAGE VINTAGE STARTER AR**  
12 1/2" x 36" 20 PIECES PER BUNDLE  
60 LINEAL FT. PER BUNDLE

(Continued)

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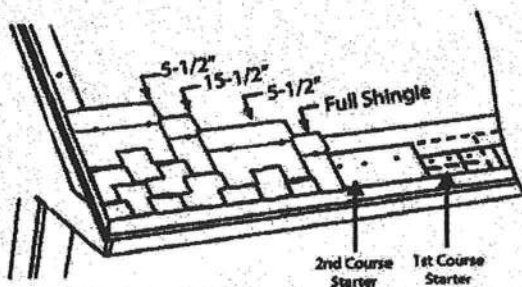
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(CONTINUED from Pg. 2)

# • **HERITAGE® VINTAGE™ AR** – Phillipsburg, KS **LAMINATED ASPHALT SHINGLES**

**SHINGLE APPLICATION:** Start the first course at the left rake edge with a full size shingle and overhang the rake edge 1/4 in. to 3/8 in.. To begin the second course, align the right side of the shingle with the 5-1/2 in. alignment notch on the first course shingle making sure to align the exposure notch. (See shingle illustration on next page) Cut the appropriate amount from the rake edge so the overhang is 1/4" to 3/8". For the third course, align the shingle with the 15-1/2 in. alignment notch at the top of the second course shingle, again being sure to align the exposure notch. Cut the appropriate amount from the rake edge. To begin the fourth course, align the shingle with the 5-1/2 in. alignment notch from the third course shingle while aligning the exposure notch. Cut the appropriate amount from the rake edge. Continue up the rake in as many rows as necessary using the same formula as outlined above. Cut pieces may be used to complete courses at the right side. As you work across the roof, install full size shingles taking care to align the exposure notches. Shingle joints should be no closer than 4 in.



## **6. LOW SLOPE APPLICATION**

On pitches 2 in. per foot to 4 in. per foot cover the deck with two layers of underlayment. Begin by applying the underlayment in a 19 in. wide strip along the eaves and overhanging the drip edge by 1/4 to 3/4 in. Place a full 36 in. wide sheet over the 19 in. wide starter piece, completely overlapping it. All succeeding courses will be positioned to overlap the preceding course by 19 in. If winter temperatures average 25°F or less, thoroughly cement the laps of the entire underlayment to each other with plastic cement from eaves and rakes to a point of a least 24 in. inside the interior wall line of the building. As an alternative, TAMKO's Moisture Guard Plus self-adhering waterproofing underlayment may be used in lieu of the cemented felts.

## **7. VALLEY APPLICATION**

TAMKO recommends an open valley construction with Heritage Vintage AR shingles.

To begin, center a sheet of TAMKO Moisture Guard Plus, TW Underlayment or TW Metal & Tile Underlayment in the valley.

After the underlayment has been secured, install the recommended corrosion resistant metal (26 gauge galvanized metal or an equivalent) in the valley. Secure the valley metal to the roof deck. Overlaps should be 12" and cemented.

Following valley metal application; a 9" to 12" wide strip of TAMKO Moisture Guard Plus, TW Underlayment or TW Metal & Tile Underlayment should be applied along the edges of the metal valley flashing (max. 6" onto metal valley flashing) and on top of the valley underlayment. The valley will be completed with shingle application.

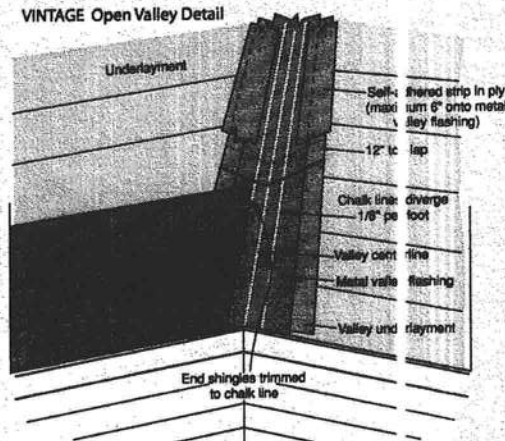
## **SHINGLE APPLICATION INSTRUCTIONS (OPEN VALLEY)**

- Snap two chalk lines, one on each side of the valley centerline over the full length of the valley flashing. Locate the upper ends of the chalk lines 3" to either side of the valley centerline.
- The lower end should diverge from each other by 1/8" per foot. Thus, for an 8' long valley, the chalk lines should be 7" either side of the centerline at the eaves and for a 16' valley 8".

As shingles are applied toward the valley, trim the last shingle in each course to fit on the chalk line. Never use a shingle trimmed to less than 12" in length to finish a course running into a valley. If necessary, trim the adjacent shingle in the course to allow a longer portion to be used.

- Clip 1" from the upper corner of each shingle on a 45° angle to direct water into the valley and prevent it from penetrating between the courses.
- Form a tight seal by cementing the shingle to the valley lining with a 3" width of asphalt plastic cement (conforming to ASTM D 4586).

VINTAGE Open Valley Detail



## **• CAUTION:**

Adhesive must be applied in smooth, thin, even layer.

Excessive use of adhesive will cause blistering to this product.

TAMKO assumes no responsibility for blistering.

(Continued)

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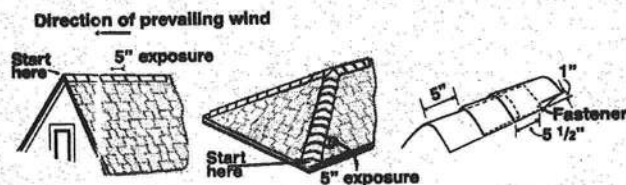
# • **HERITAGE® VINTAGE™ AR** – Phillipsburg, KS **LAMINATED ASPHALT SHINGLES**

## **8. HIP AND RIDGE FASTENING DETAIL**

Apply the shingles with a 5 in. exposure beginning at the bottom of the hip or from the end of the ridge opposite the direction of the prevailing winds. Secure each shingle with one fastener on each side, 5-1/2 in. back from the exposed end and 1 in. up from the edge. TAMKO recommends the use of TAMKO Heritage Vintage Hip & Ridge shingle products.

Fasteners should be 1/4 in. longer than the ones used for shingles.

IMPORTANT: PRIOR TO INSTALLATION, CARE NEEDS TO BE TAKEN TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLE IN COLD WEATHER.



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TAMKO®, Moisture Guard Plus®, Nail Fast® and Heritage® are registered trademarks and Vintage™ is a trademark of TAMKO Building Products, Inc.

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Lake City (386) 755-3611  
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## Notice of Intent for Preventative Treatment for Termites

(As required by Florida Building Code (FBC) 104.2.6)

Aspen Pest Control, Inc.  
 (386) 755-3611  
 State License # - JB109476  
 State Certification # - JF104376

David Fannery - 938 S.W Ridge St. Lake City, Fl. 32024

Address of Treatment or Lot/Block of Treatment

Bora-Care Wood Treatment - 23% Disodium Octaborate Tetrahydrate

Method of Termite Prevention Treatment - Soil Barrier, Wood Treatment, Bait System, Other

Application onto Structural Wood

Description of Treatment

The above named structure will receive a complete treatment for the prevention of subterranean termites at the dried-in stage of construction. Treatment is done in accordance with the rules and laws established by the Florida Department of Agriculture and Consumer Services and according to EPA registered label directions as stated in Florida Building Code Section 1861.1.8.

Celia Orsden  
 Authorized Signature

4-23-07  
 Date





## LATERAL TOE-NAIL DETAIL

## ST-TOENAIL

MiTek Industries, Chesterfield, MO Page 1 of 1

## NOTES:

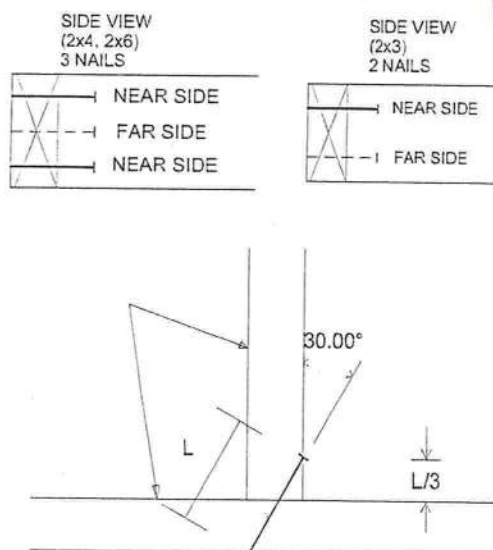
1. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END AS SHOWN.
2. THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
3. ALLOWABLE VALUE SHALL BE THE LESSER VALUE OF THE BOTTOM CHORD SPECIES FOR MEMBERS OF DIFFERENT SPECIES.

TOE-NAIL SINGLE SHEAR VALUES PER NDS 2001 (lb/nail)

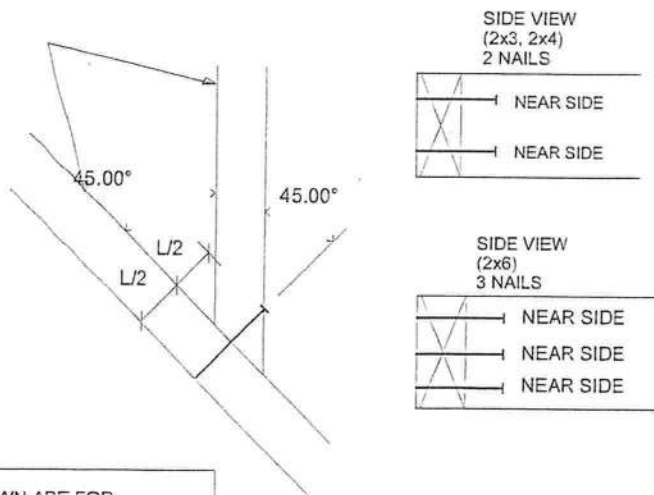
	DIAM.	SYP
3.5" LONG	.131	83.3
	.135	89.6
	.162	118.3
3.25" LONG	.128	80.5
	.131	83.3
	.148	102.1
3.0" LONG	.120	70.5
	.128	80.5
	.131	83.3
	.148	102.1

VALUES SHOWN ARE CAPACITY PER TOE-NAIL.  
APPLICABLE DURATION OF LOAD INCREASES MAY BE APPLIED.

## SQUARE CUT

45 DEGREE ANGLE  
BEVEL CUT

This detail may only be applied to Pre-engineered truss drawings signed and sealed by Structural Engineering and Inspections Inc.



VIEWS SHOWN ARE FOR  
ILLUSTRATION PURPOSES ONLY

The seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any particular building design is the responsibility of the building designer.

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[Term Glossary](#)[Online Help](#)**Licensee Details****Licensee Information**

Name: **CADY, AARON MATTHEW (Primary Name)**  
**CADY HOMES & ASSOCIATES INC (DBA Name)**  
Main Address: **POST OFFICE BOX 3356**  
**LAKE CITY Florida 32056-3356**

License Mailing:

License Location: **701 S W STONERIDGE DR**  
**LAKE CITY FL 32025**  
County: **COLUMBIA**

**License Information**

License Type: **Certified General Contractor**  
Rank: **Cert General**  
License Number: **CGC1508421**  
Status: **Current,Active**  
Licensure Date: **01/27/2005**  
Expires: **08/31/2008**

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Job L236480	Truss CJ1	Truss Type JACK	Qty 8	Ply 1	CADY HOMES - DR. FANNEY CARPORT
Builders FirstSource, Lake City, FL 32055			Job Reference (optional) 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Apr 19 14:30:36 2007 Page 1		

WindRoofZone~2

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1-0-0      1-0-0

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4

3x6 =

1-0-0

1-0-0

Scale = 1:7.5

<b>LOADING (psf)</b> TCLL 20.0 TCCL 7.0 BCLL 10.0 BCDL 5.0	<b>SPACING</b> 2-0-0 Plates Increase 1.25 Lumber Increase 1.25 Rep Stress Incr YES Code FBC2004/TPI2002	<b>CSI</b> TC 0.26 BC 0.01 WB 0.00 (Matrix)	<b>DEFL</b> in (loc) l/defl L/d Vert(LL) -0.00 2 >999 240 Vert(TL) -0.00 2 >999 180 Horz(TL) 0.00 3 n/a n/a	<b>PLATES</b> GRIP MT20 244/190 Weight: 7 lb
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**LUMBER**

TOP CHORD 2 X 4 SYP No.2

BOT CHORD 2 X 4 SYP No.2

**REACTIONS** (lb/size) 2=266/0-3-8, 4=14/Mechanical, 3=90/Mechanical

Max Horz 2=72(load case 5)

Max Uplift 2=279(load case 5), 4=9(load case 3), 3=90(load case 1)

Max Grav 2=266(load case 1), 4=14(load case 1), 3=119(load case 5)

**FORCES** (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=0/40, 2-3=-60/62

BOT CHORD 2-4=0/0

**JOINT STRESS INDEX**

2 = 0.13

**NOTES**

1) Wind: ASCE 7-02; 110mph (3-second gust); h=14ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; porch left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.

2) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi

3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 279 lb uplift at joint 2, 9 lb uplift at joint 4 and 90 lb uplift at joint 3.

**LOAD CASE(S)** Standard

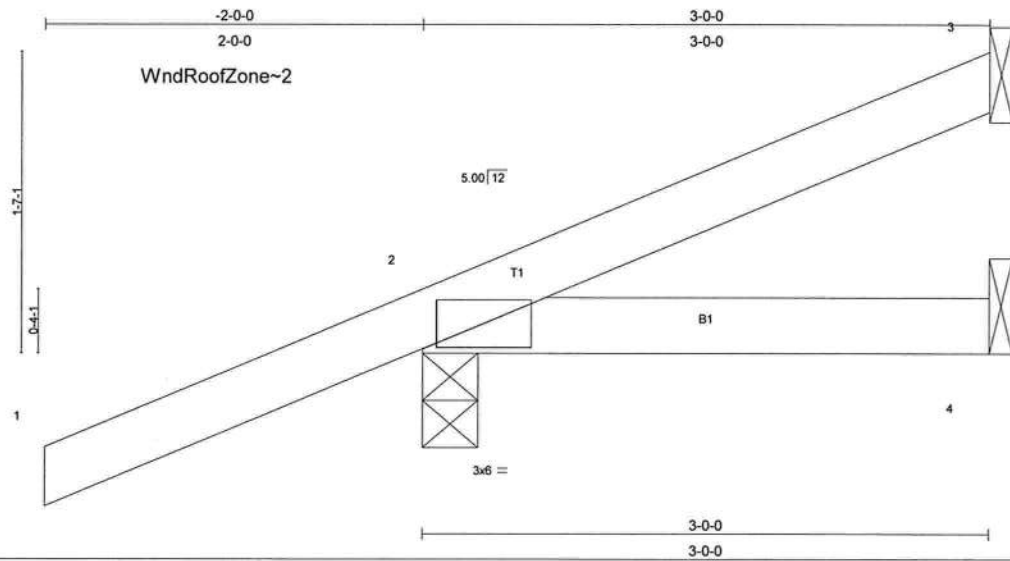
**BRACING**

TOP CHORD Structural wood sheathing directly applied or 1-0-0 oc purlins.

BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.



Job L236480	Truss CJ3	Truss Type JACK	Qty 8	Ply 1	CADY HOMES - DR. FANNEY CARPORT
Builders FirstSource, Lake City, FL 32055			Job Reference (optional) 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Apr 19 14:30:38 2007 Page 1		



**LOADING** (psf)  
 TCCL 20.0  
 TCCL 7.0  
 BCCL 10.0  
 BCDL 5.0

**SPACING** 2-0-0  
 Plates Increase 1.25  
 Lumber Increase 1.25  
 Rep Stress Incr YES  
 Code FBC2004/TPI2002

**CSI**  
 TC 0.28  
 BC 0.08  
 WB 0.00  
 (Matrix)

**DEFL** in (loc) l/defl L/d  
 Vert(LL) 0.01 2-4 >999 240  
 Vert(TL) -0.01 2-4 >999 180  
 Horz(TL) -0.00 3 n/a n/a

**PLATES** **GRIP**  
 MT20 244/190  
 Weight: 13 lb

**LUMBER**  
 TOP CHORD 2 X 4 SYP No.2  
 BOT CHORD 2 X 4 SYP No.2

**BRACING**  
 TOP CHORD Structural wood sheathing directly applied or 3-0-0 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

**REACTIONS** (lb/size) 3=31/Mechanical, 2=278/0-3-8, 4=42/Mechanical  
 Max Horz 2=110(load case 5)  
 Max Uplift 3=25(load case 6), 2=-240(load case 5), 4=-27(load case 3)

**FORCES** (lb) - Maximum Compression/Maximum Tension  
 TOP CHORD 1-2=0/40, 2-3=-49/6  
 BOT CHORD 2-4=0/0

**JOINT STRESS INDEX**  
 2 = 0.12

#### NOTES

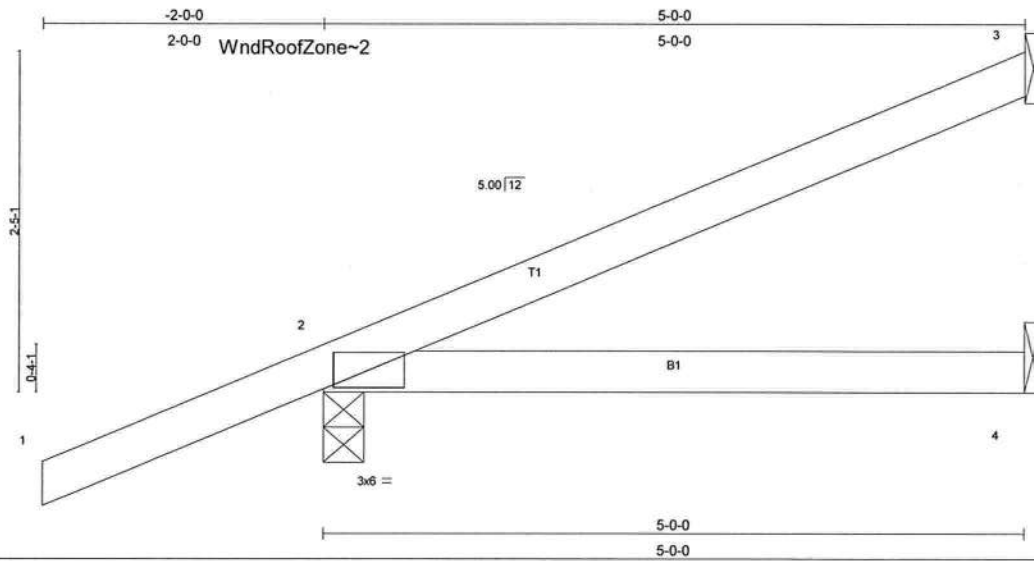
- 1) Wind: ASCE 7-02; 110mph (3-second gust); h=14ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; porch left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 2) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 25 lb uplift at joint 3, 240 lb uplift at joint 2 and 27 lb uplift at joint 4.

**LOAD CASE(S)** Standard

Job L236480	Truss CJ5	Truss Type JACK	Qty 8	Ply 1	CADY HOMES - DR. FANNEY CARPORT
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Builders FirstSource, Lake City, FL 32055

6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Apr 19 14:30:41 2007 Page 1



Scale = 1:15.5

<b>LOADING</b> (psf)	<b>SPACING</b> 2-0-0	<b>CSI</b>	<b>DEFL</b> in (loc) l/defl L/d	<b>PLATES</b>	<b>GRIP</b>
TCLL 20.0	Plates Increase 1.25	TC 0.28	Vert(LL) 0.09 2-4 >663 240	MT20	244/190
TCDL 7.0	Lumber Increase 1.25	BC 0.24	Vert(TL) 0.07 2-4 >774 180		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a n/a		
BCDL 5.0	Code FBC2004/TPI2002	(Matrix)			
				Weight: 19 lb	

**LUMBER**

TOP CHORD 2 X 4 SYP No.2  
 BOT CHORD 2 X 4 SYP No.2

**BRACING**

TOP CHORD Structural wood sheathing directly applied or 5-0-0 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

**REACTIONS**

(lb/size) 3=103/Mechanical, 2=343/0-3-8, 4=72/Mechanical  
 Max Horz 2=148(load case 5)  
 Max Uplift 3=80(load case 5), 2=-267(load case 5), 4=-46(load case 3)

**FORCES** (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=0/40, 2-3=-71/31  
 BOT CHORD 2-4=0/0

**JOINT STRESS INDEX**

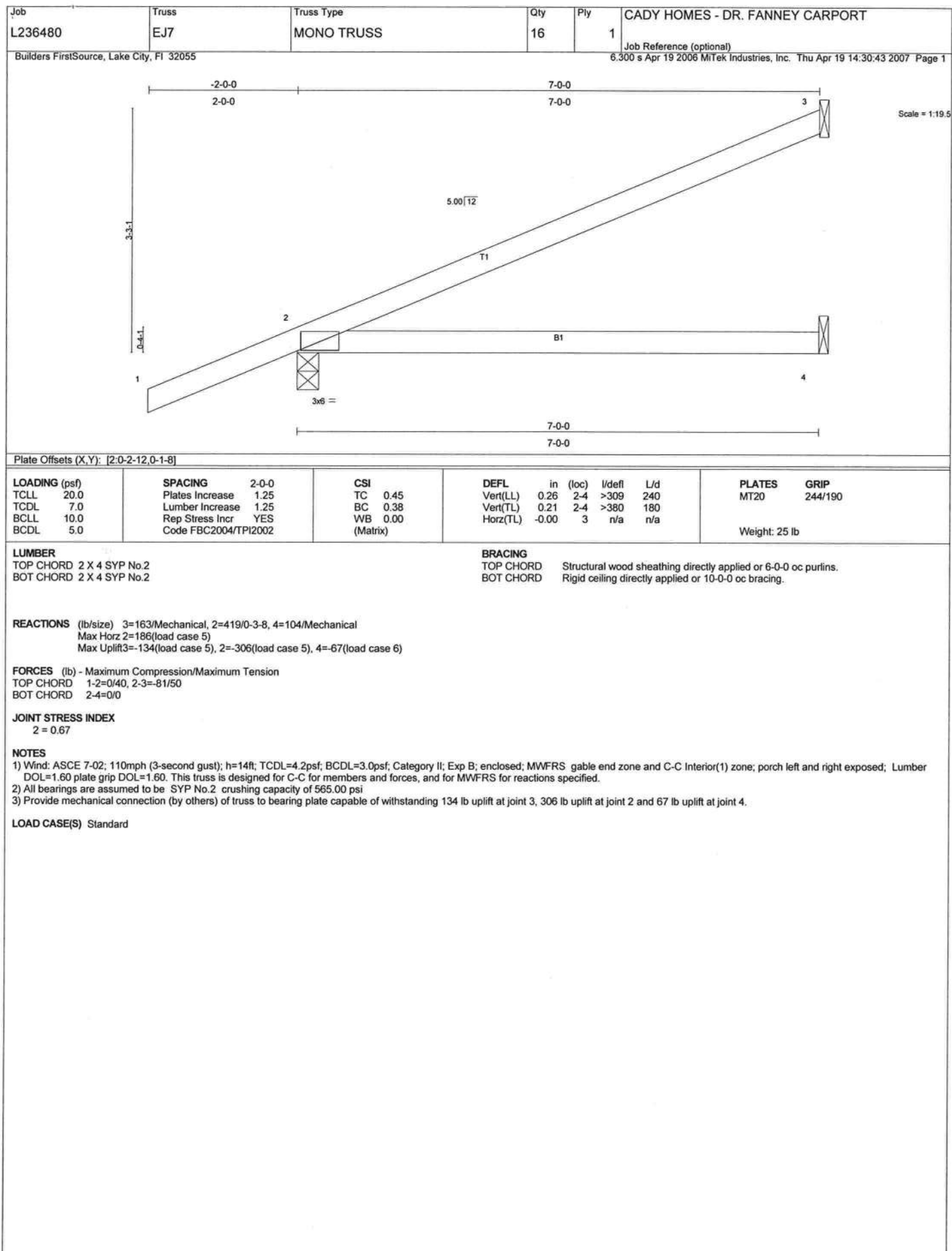
2 = 0.13

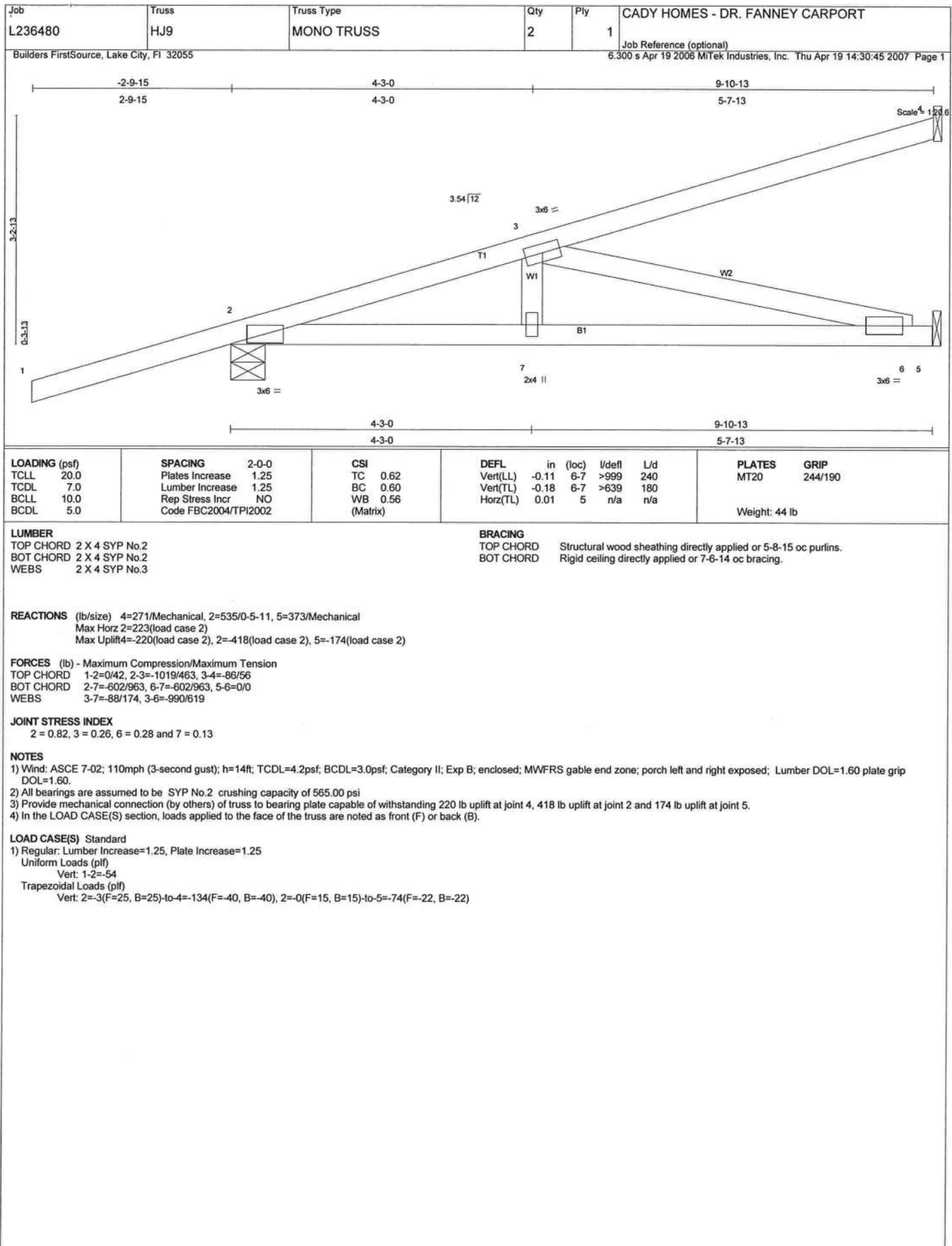
**NOTES**

- 1) Wind: ASCE 7-02; 110mph (3-second gust); h=14ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; porch left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 2) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 80 lb uplift at joint 3, 267 lb uplift at joint 2 and 46 lb uplift at joint 4.

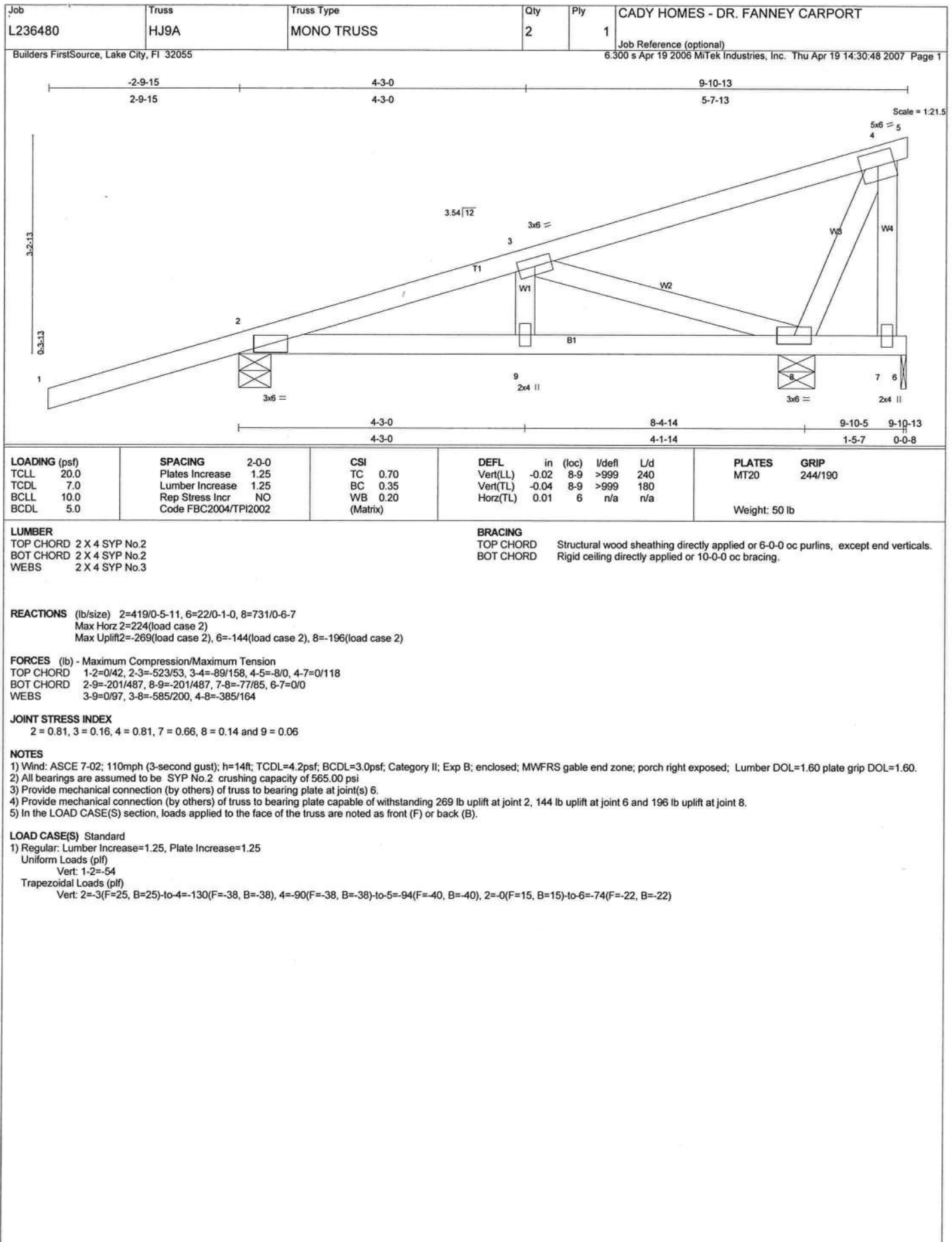
LOAD CASE(S) Standard

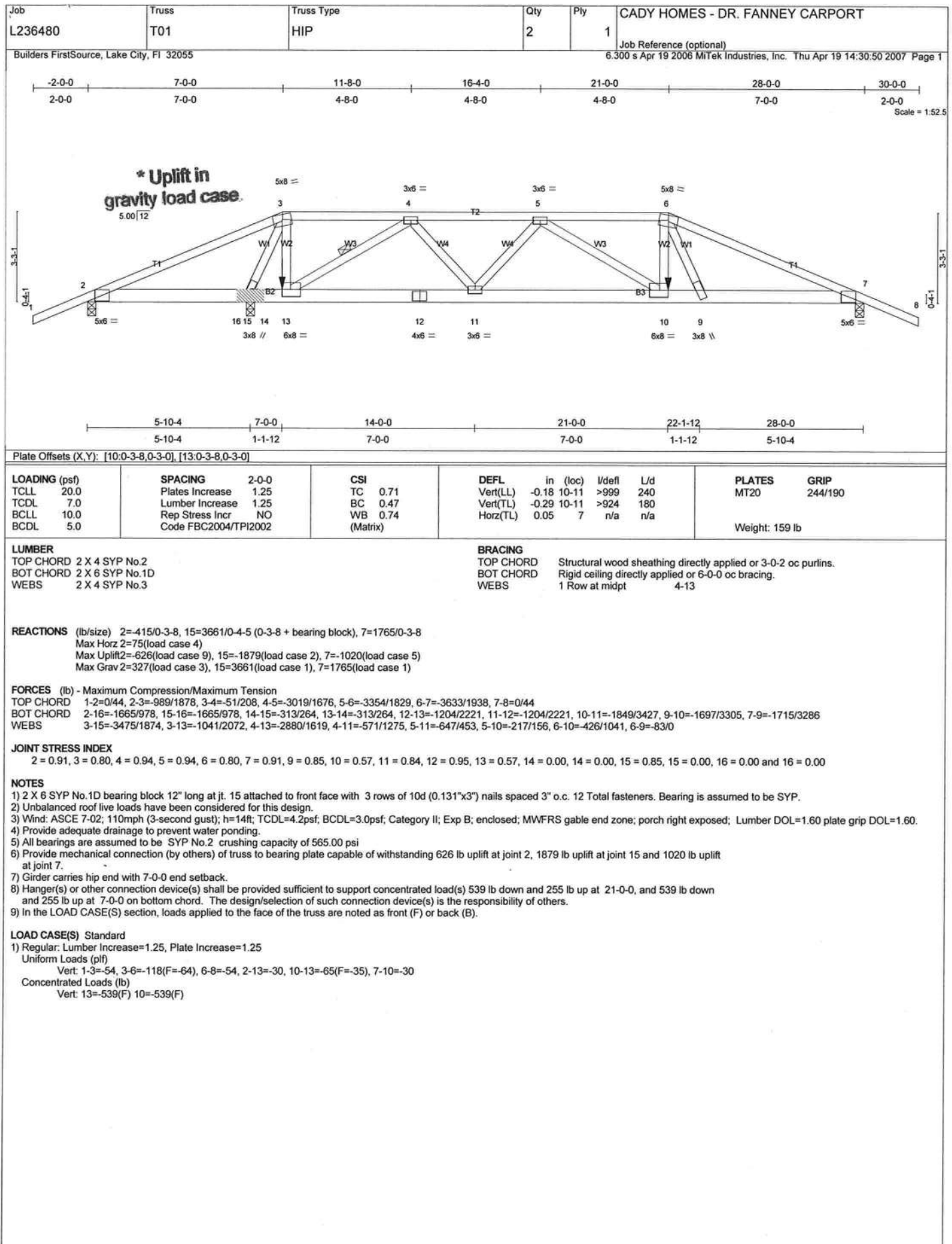




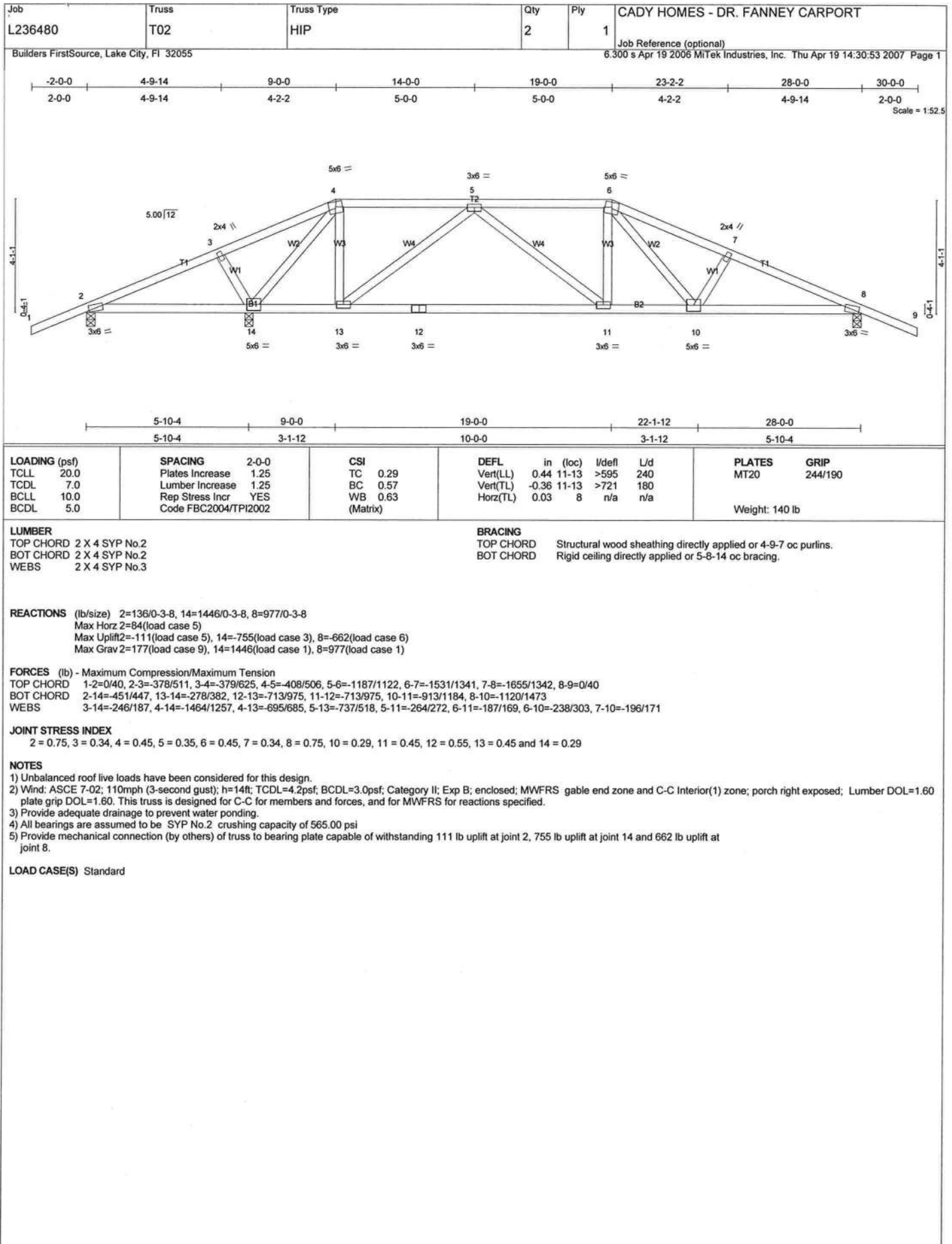


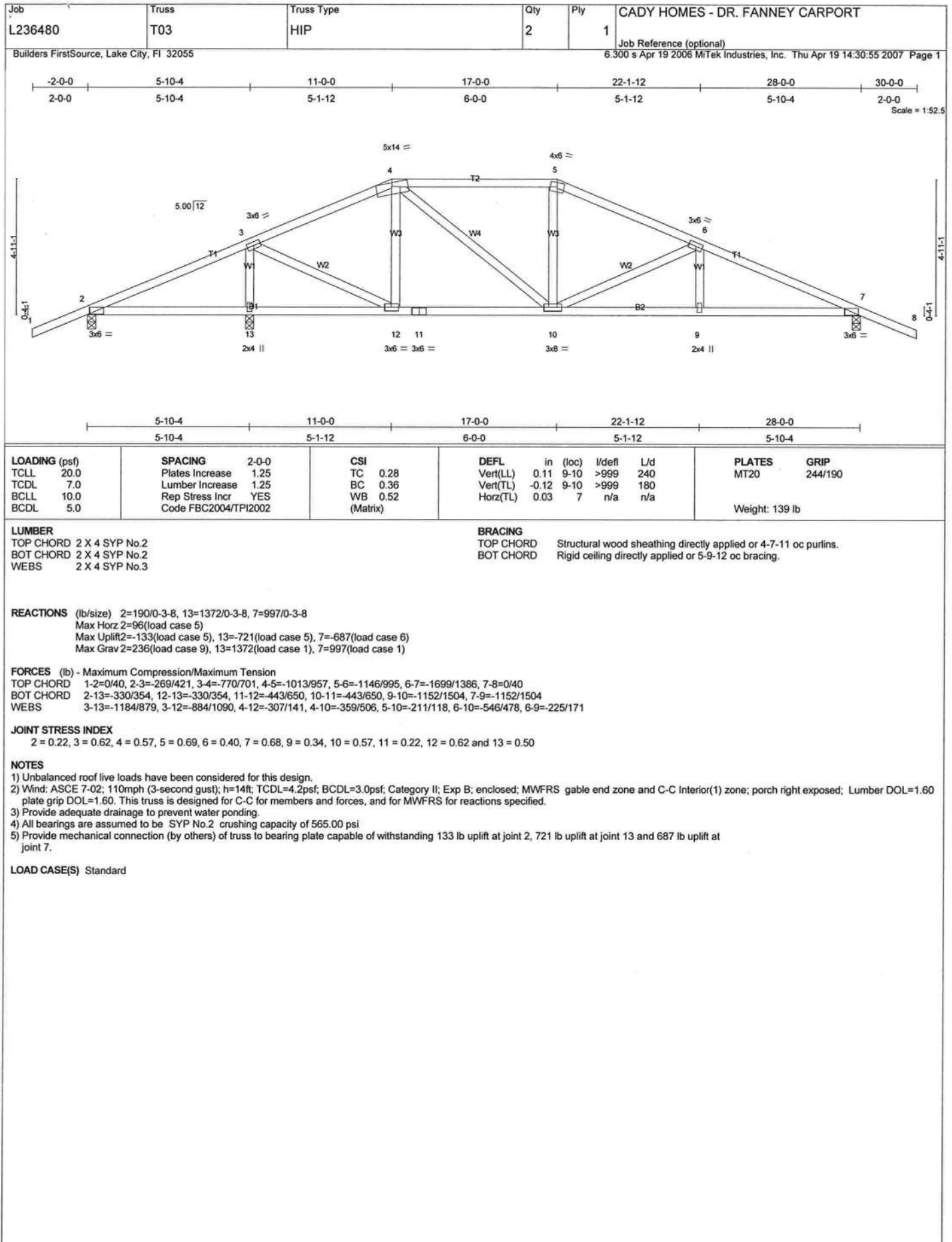




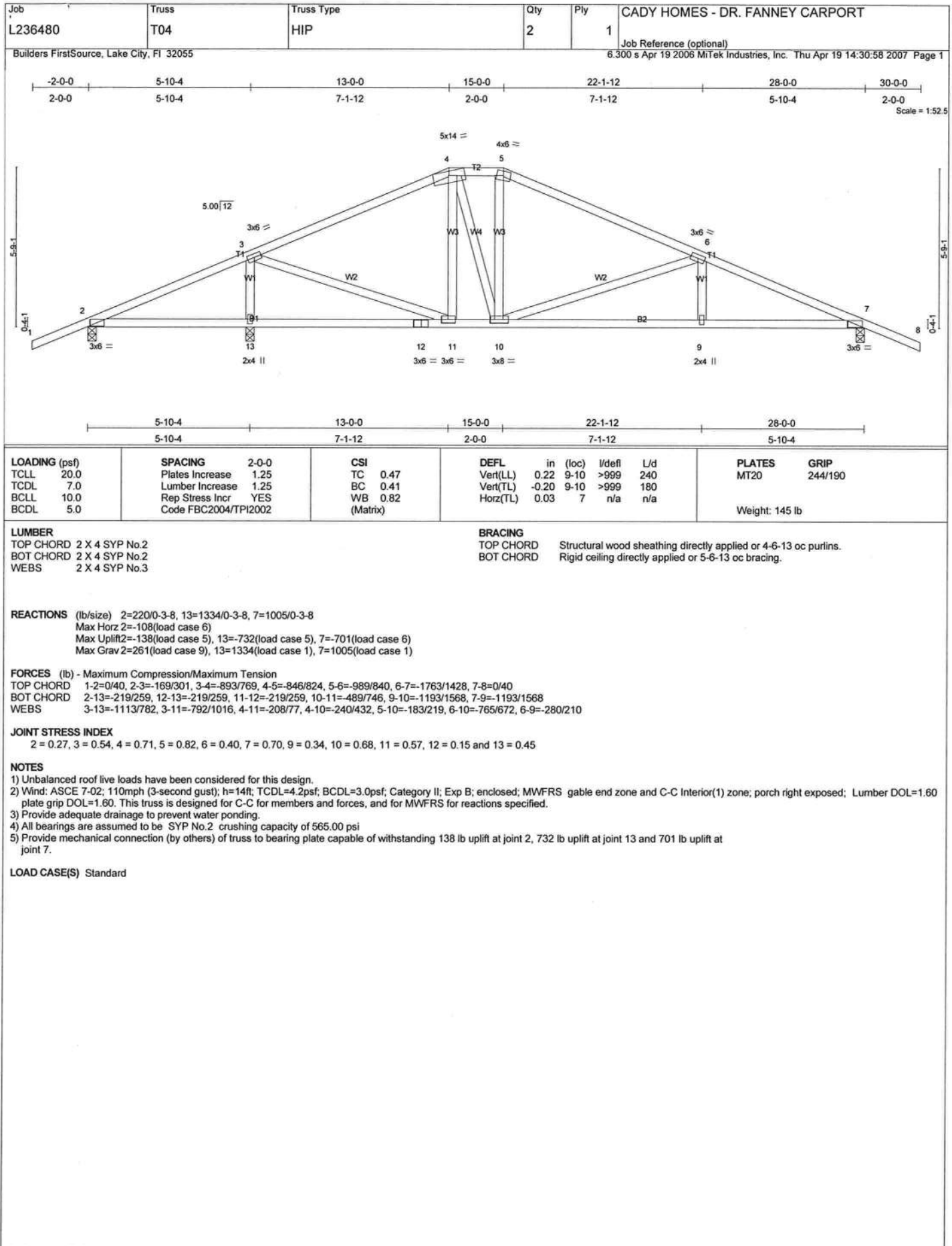


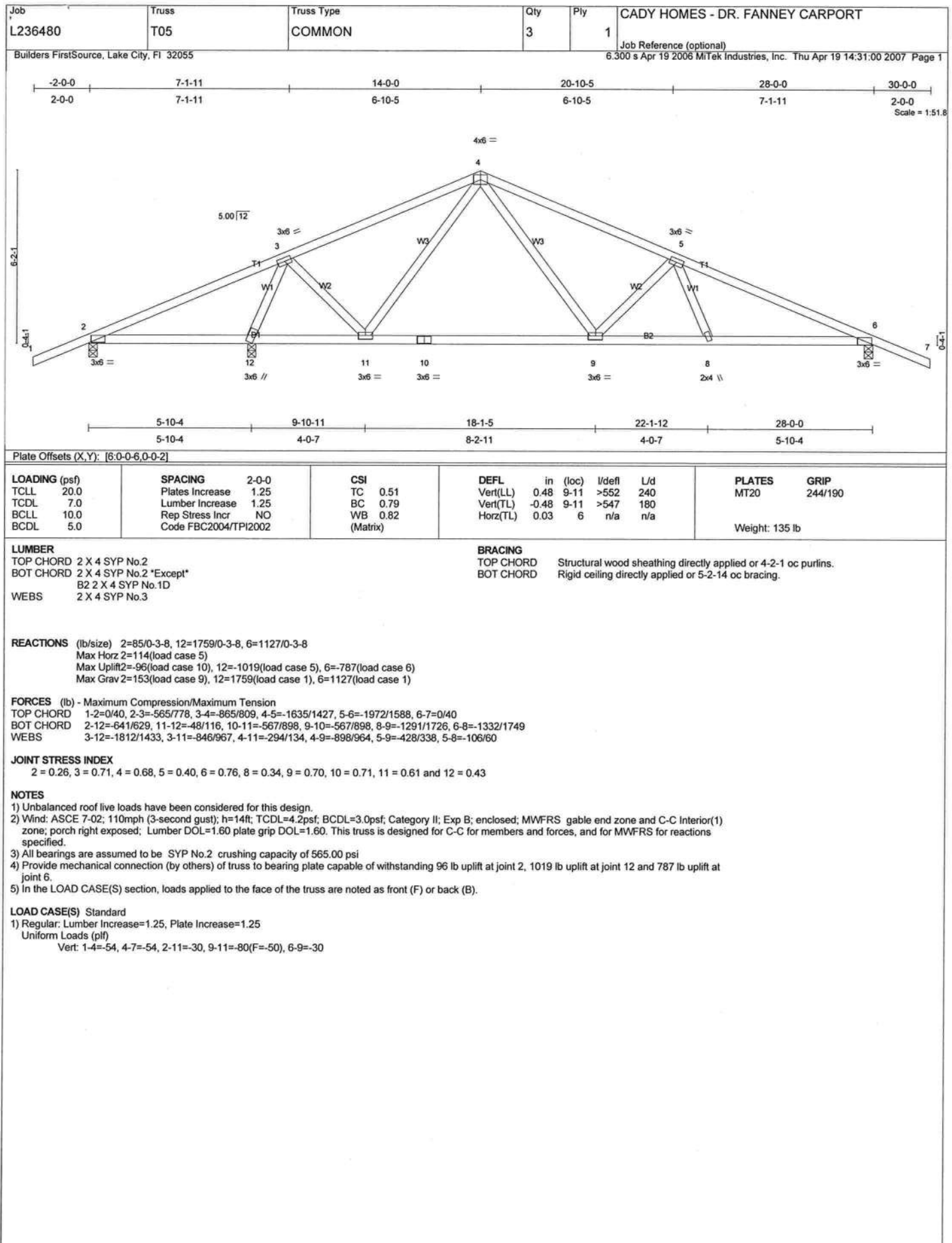


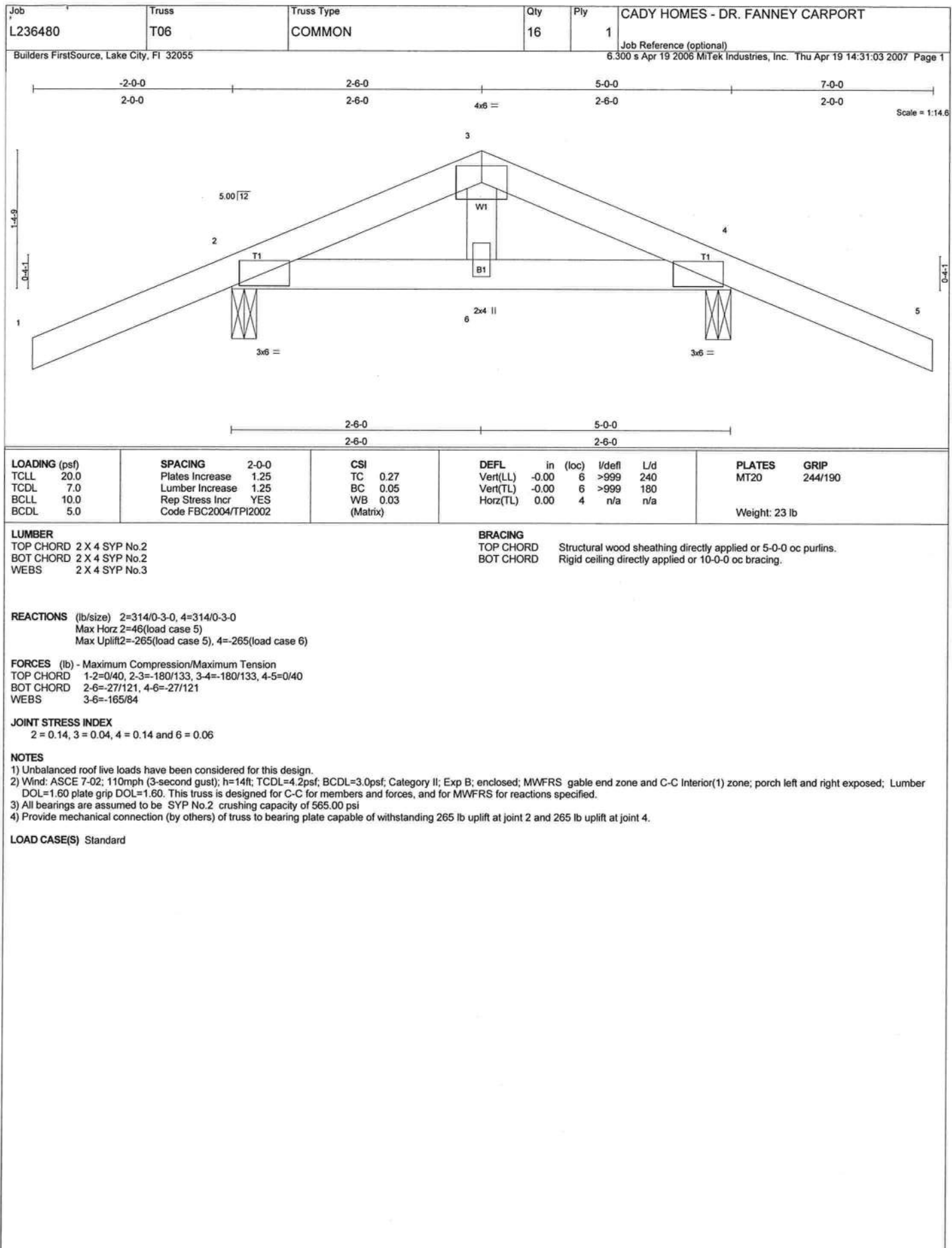






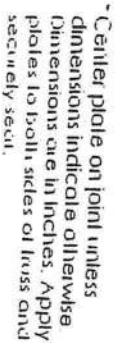








### PLATE LOCATION AND ORIENTATION



- This symbol indicates the required direction of slots in connector plates.

The first dimension is the width, perpendicular to slots. Second dimension is the length, parallel to slots.

Indicates location of required continuous lateral bracing.

Indicates location of joints at which bearings (supports) occur.

The diagram shows a truss structure with the following labels:

- TOP CHORD** (at the top)
- TOP CHORDS** (in the middle section)
- TOP CHORD** (at the bottom)
- BOTTOM CHORDS** (on the left side)
- Joints:** J1, J2, J3, J4, J5, J6, J7
- Members:** C1, C2, C3, C4, C5, C6, C7, C8, C9, C10, C11, C12, C13, C14, C15, C16, C17, C18, C19, C20, C21, C22, C23, C24, C25, C26, C27, C28, C29, C30, C31, C32, C33, C34, C35, C36, C37, C38, C39, C40, C41, C42, C43, C44, C45, C46, C47, C48, C49, C50, C51, C52, C53, C54, C55, C56, C57, C58, C59, C60, C61, C62, C63, C64, C65, C66, C67, C68, C69, C70, C71, C72, C73, C74, C75, C76, C77, C78, C79, C80, C81, C82, C83, C84, C85, C86, C87, C88, C89, C90, C91, C92, C93, C94, C95, C96, C97, C98, C99, C100

JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRUSS STARTING AT THE LOWEST JOINT FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

### CONNECTOR PLATE CODE APPROVALS

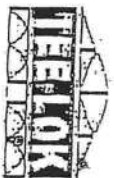
BOCA 96-31, 96-67

ICBO 3907.4922

SBCCI 9667.9432A

WISC/DII IIR 960022-W, 97M36-1

561 MER



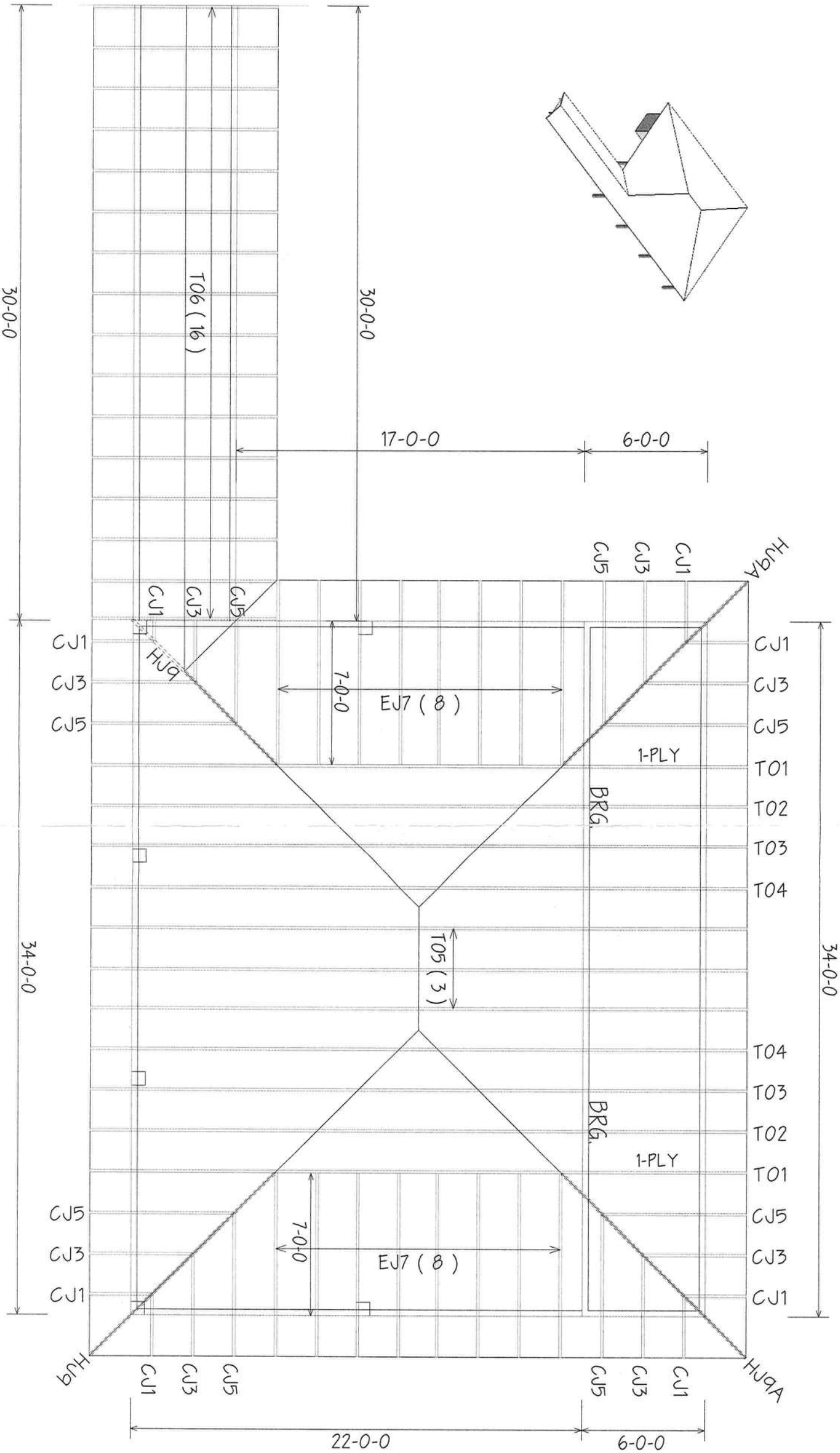
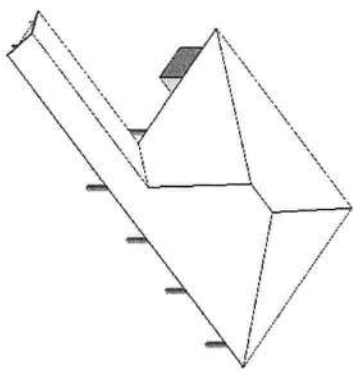
Hittell Engineering Reference Sheet: HIR-7473

## General Safety Notes

### Failure to Follow Could Cause Properly Damage or Personal Injury

1. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
2. Cui members to bear tightly against each other.
3. Place plates on each face of truss at each joint and embed fully. Avoid knots and wane at joint locations.
4. Unless otherwise noted, locate chord splices at 1/4 panel length (1.5' from adjacent joint.)
5. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
6. Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
7. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
8. Plate type, size and location dimensions shown indicate minimum plating requirements.
9. Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified.
10. Top chords must be sheathed or pultrus provided at spacing shown on design.
11. Bottom chords require lateral bracing at 10 ft spacing, or less. If no ceiling is installed, unless otherwise noted.
12. Anchorage and / or load transferring connections to trusses are the responsibility of others unless shown.
13. Do not overload roof or floor trusses with loads of construction materials.
14. Do not cut or alter truss member or plate without prior approval of a professional engineer.
15. Care should be exercised in handling, erection and installation of trusses.

5/12 PITCH - 2'0" O/H



NOTES:

- 1) REFER TO HB 91 (RECOMMENDATIONS FOR HANDLING INSTALLATION AND TEMPORARY BRACING) REFER TO ENGINEERED DRAWINGS FOR PERMANENT BRACING REQUIRED
- 2) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEY FRAMING) MUST BE COMPLETELY DECKED OR REFER TO DETAIL V05 FOR ALTERNATE BRACING REQUIREMENTS.
- 3) ALL VALLEYS ARE TO BE CONVENTIONALLY FRAMED BY BUILDER
- 4) ALL TRUSSES ARE DESIGNED FOR 2' o.c. MAXIMUM SPACING, UNLESS OTHERWISE NOTED.
- 5) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.
- 6) S142 TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.
- 7) ALL ROOF TRUSSES HANGERS TO BE SIMPSON HT1028 UNLESS OTHERWISE NOTED. ALL FLOOR TRUSSES HANGERS TO BE SIMPSON TH4422 UNLESS OTHERWISE NOTED.
- 8) BEAM/HEADER/INTEL. (HGR) TO BE FURNISHED BY BUILDER

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VIDS. ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS, REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Request Return Date: \_\_\_\_\_

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_



**Builders FirstSource**  
Bunnell  
PHONE: 904 437 3349 FAX: 904 437-3404  
Lake City  
PHONE: 904 772 6100 FAX: 904 772 1973  
Sanford  
PHONE: 407 322-0059 FAX: 407 322-5953

**CADY HOMES**

**DR. FANNNEY CARPORT**

**CUSTOM**

DATE: 4-20-07  
SCALE: NTS  
L236480