

DATE 08/30/2006

Columbia County Building Permit

PERMIT
000024932

This Permit Expires One Year From the Date of Issue

APPLICANT THOMAS DUNCAN PHONE 497-2207
ADDRESS 15638 SW SR 47 SOUTH FORT WHITE FL 32038
OWNER SAME PHONE
ADDRESS FL
CONTRACTOR OWNER PHONE
LOCATION OF PROPERTY 47 S, ON RIGHT IT'S 3/4 BEFORE 238 SEE YELLOW TUBE RENTAL
SIGN, DRIVE VEERS OFF 47

TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 36400.00
HEATED FLOOR AREA 728.00 TOTAL AREA 728.00 HEIGHT 14.00 STORIES 1
FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 4/12 FLOOR SLAB
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 16-6S-16-03837-000 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 5.00

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-0780-N BK JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ADDITION TO EXISTING RESIDENCE, NOC ON FILE
FDOT DRIVEWAY APPROVAL ATTACHED

Check # or Cash CASH

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 185.00 CERTIFICATION FEE \$ 3.64 SURCHARGE FEE \$ 3.64
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 267.28

INSPECTORS OFFICE L.H. CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION. IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0608-83 Date Received 8/23/06 By G Permit # 24932
 Application Approved by - Zoning Official BLK Date 30-08-06 Plans Examiner OK JH Date 8-28-06
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A3
 Comments PLDT PLAN ON PAGE 1 OF PLANS
EH

Applicants Name Thomas J Duncan Phone 386-497-2207
 Address PO Box 481 Ft. White Fla 32038
 Owners Name Thomas J Duncan Phone 386-497-2207
 911 Address 15638 S.W. SR 47 Ft. White Fla 32038
 Contractors Name SAME Phone _____
 Address _____
 Fee Simple Owner Name & Address Thomas J Duncan PO 481 Ft White Fla 32038
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address Freeman 161 NW Madison St Suite #102 Lake City Fla
 Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 16-65-16-03837-000 Estimated Cost of Construction 30,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions 47 south to Columbia City From Flashing light
continue south on 47 about 6 miles to drive way on right
see 911 address 15638 SW SR 47 Ft White Fla 32038

Type of Construction Addition to SFD Number of Existing Dwellings on Property 1

Total Acreage 5 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 100' Side 196' Side 310' Rear 296'

Total Building Height 14'8" Number of Stories 1 Heated Floor Area 728sqft Roof Pitch 4/12
TOTAL 728

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

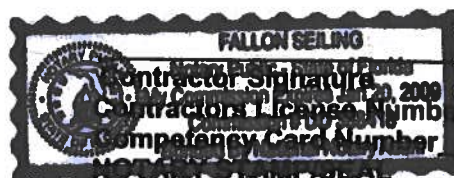
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Thomas J Duncan
 Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 23 day of Aug 2006
 Personally known _____ or Produced Identification ✓



Fallon Seiling
 Notary Signature

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

*****THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.*****

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 16-65-16-03237-000

PERMIT NUMBER 24932

1. Description of property: (legal description of the property and street address or 911 address)

15638 SW SR 47 Fort White Fla 32038

2. General description of improvement: Addition to back of existing home.

3. Owner Name & Address Thomas J Duncan PO Box 481
Fort White Fla 32038 Interest in Property Fee simple

4. Name & Address of Fee Simple Owner (If other than owner):

5. Contractor Name Thomas J Duncan Phone Number 386-797-2207
Address PO Box 481 Ft. White Fla 32038

6. Surety Holders Name _____ Phone Number _____

Address _____

Amount of Bond _____

:2006020735 Date:08/30/2006 Time:16:33

7. Lender Name _____ DC, P. Dewitt Cason, Columbia County B:1094 P:1480

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name _____

Phone Number _____

Address _____

9. In addition to himself/herself the owner designates _____ of _____ to receive a copy of the Llenor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____

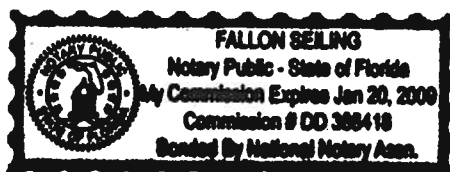
NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Thomas J Duncan
Signature of Owner

Sworn to (or affirmed) and subscribed before
day of 23rd Aug, 2006

NOTARY STAMP/SEAL



Fallon Seeling
Signature of Notary

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

- ☐ Single Family Dwelling
- ☐ Farm Outbuilding
- ☐ New Construction

☐ Two-Family Residence

☐ Other _____

☒ Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Thomas J Duncan, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Thomas J Duncan
Signature

Aug 23, 2006
Date

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date _____ Building Official/Representative _____

0860 152574

98-18175

FILED AND RECORDED IN PUBLIC
RECORDS OF CLERK OF COURT

1998 NOV 12 PM 1:04

US 11-1233

U. S. Title
642 N.E. Santa Fe Blvd.
High Springs, FL 32643

(Space Above This Line for Recording Data)

Parcel I.D. No: 16-8S-16-03837-000

WARRANTY DEED

This Indenture made this 9th day of November, 1998 BETWEEN WILLIAM F. MILLER, JR., A MARRIED MAN, GRANTOR*, whose post office address is 507 ORAN WAY, JESUP, GEORGIA 31545, and THOMAS J. DUNCAN, A SINGLE MAN, GRANTEE*, whose post office address is P.O. BOX 481, FORT WHITE, FLORIDA 32038.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of COLUMBIA, State of Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Grantor herein covenants that subject property is not his homestead property nor is it contiguous to his homestead property.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever

*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES

[Signature]
Typed Name: Thomas J. Duncan

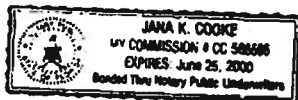
William F. Miller, Jr.
WILLIAM F. MILLER, JR.

[Signature]
Typed Name: Jana K. Cooke

COUNTY OF
STATE OF

THE FOREGOING INSTRUMENT was acknowledged before me on November 9th, 1998 by WILLIAM F. MILLER, JR., A MARRIED MAN who is/are personally known to me or has produced his/her Driver's License as identification

[Seal]



[Signature]
NOTARY PUBLIC, STATE OF FL AT LARGE
Name: _____
COMMISSION EXPIRATION: _____

THIS INSTRUMENT WAS PREPARED BY Jana K. Cooke, an employee of U.S. TITLE, 642 N.E. SANTA FE BLVD., HIGH SPRINGS, FLORIDA 32643, as a necessary incident to fulfill the requirements of a Title Insurance Binder issued by it. USH-1233.

Documentary Stamp 140.00
Intangible Tax 5
P. DeWitt Cason
Clerk of Court
By [Signature] D.C.

EX 0868 PG2575

OFFICIAL RECORDS

EXHIBIT "A"

DESCRIPTION:

A PART OF THE SE 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 16 EAST; MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE SOUTHEAST CORNER OF SAID SE 1/4 AND RUN S.88°54'43"W., ALONG THE SOUTH LINE THEREOF, 1309.33 FEET TO A POINT ON THE WESTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 830 PAGE 1838 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.21°04'03"E., ALONG SAID LINE, 6.40 FEET FOR A POINT OF BEGINNING; THENCE S.88°45'30"W., 392.89 FEET; THENCE N.1°05'17"W., 451.06 FEET; THENCE N.88°54'43"E., 578.13 FEET TO A POINT ON THE WESTERLY LINE OF LANDS DESCRIBED IN SAID OFFICIAL RECORDS BOOK 830 PAGE 1838 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE S.21°04'03"W. ALONG SAID LINE, 460.00 FEET TO THE POINT OF BEGINNING.

COLUMBIA COUNTY, FLORIDA.

CONTAINING 5.01 ACRES, MORE OR LESS.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE SE 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 16 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE SOUTHEAST CORNER OF SAID SE 1/4 AND RUN S.88°54'43"W., ALONG THE SOUTH LINE THEREOF, 1309.33 FEET; THENCE N.21°04'03"E., 492.28 FEET FOR A POINT OF BEGINNING OF SAID INGRESS AND EGRESS EASEMENT; THENCE S.88°54'43"W., 32.59 FEET; THENCE N.21°53'34"E., 1145.47 FEET; THENCE S.80°47'09"E., 29.25 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S.9°12'51"W., ALONG THE WEST LINE THEREOF, 60.00 FEET; THENCE N.80°47'09"W., 12.00 FEET; THENCE S.21°53'34"W., 1078.00 FEET TO THE POINT OF BEGINNING.

COLUMBIA COUNTY, FLORIDA.

STATE OF FLORIDA, COUNTY OF COLUMBIA

I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DEWITT CASON, CLERK OF COURTS



By Rose Ann Wells
Deputy Clerk
Date August 17, 2006

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **Duncun**
Address:
City, State: ,
Owner:
Climate Zone: **South**

Builder:
Permitting Office:
Permit Number:
Jurisdiction Number:

- | | | |
|--|-------------------------------|-----------------------|
| 1. New construction or existing | Addition | ___ |
| 2. Single family or multi-family | Single family | ___ |
| 3. Number of units, if multi-family | 1 | ___ |
| 4. Number of Bedrooms | 1 | ___ |
| 5. Is this a worst case? | Yes | ___ |
| 6. Conditioned floor area (ft ²) | 728 ft ² | ___ |
| 7. Glass area & type | Single Pane | Double Pane |
| a. Clear glass, default U-factor | 0.0 ft ² | 276.0 ft ² |
| b. Default tint | 0.0 ft ² | 0.0 ft ² |
| c. Labeled U or SHGC | 0.0 ft ² | 0.0 ft ² |
| 8. Floor types | | ___ |
| a. Slab-On-Grade Edge Insulation | R=0.0, 108.0(p) ft | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 9. Wall types | | ___ |
| a. Frame, Wood, Exterior | R=13.0, 864.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| d. N/A | | ___ |
| e. N/A | | ___ |
| 10. Ceiling types | | ___ |
| a. Under Attic | R=30.0, 800.8 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 11. Ducts | | ___ |
| a. Sup: Unc. Ret: Unc. AH: Interior | Sup. R=6.0, 28.0 ft | ___ |
| b. N/A | | ___ |

- | | |
|--|----------------------------------|
| 12. Cooling systems | |
| a. Central Unit | Cap: 12.0 kBtu/hr
SEER: 13.00 |
| b. N/A | ___ |
| c. N/A | ___ |
| 13. Heating systems | |
| a. Electric Heat Pump | Cap: 12.0 kBtu/hr
HSPF: 8.00 |
| b. N/A | ___ |
| c. N/A | ___ |
| 14. Hot water systems | |
| a. Electric Resistance | Cap: 50.0 gallons
EF: 0.90 |
| b. N/A | ___ |
| c. Conservation credits
(HR-Heat recovery, Solar
DHP-Dedicated heat pump) | ___ |
| 15. HVAC credits | MZ-C, PT, CF, ___ |
| (CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating) | |

Glass/Floor Area: 0.38

Total as-built points: 11170

Total base points: 11433

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: William H. Fuoma

DATE: 5/1/06

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area				Type/SC Overhang Ornt Len Hgt Area X SPM X SOF = Points							
.18	728.0	32.50	4258.8	Double, Clear	SE	1.5	6.0	180.0	69.60	0.90	11254.0
				Double, Clear	SW	1.5	6.0	60.0	64.05	0.90	3455.1
				Double, Clear	SW	1.5	6.0	30.0	64.05	0.90	1727.5
				Double, Clear	NE	1.5	4.0	6.0	48.54	0.84	244.6
				As-Built Total: 276.0 16681.3							
WALL TYPES Area X BSPM = Points				Type R-Value Area X SPM = Points							
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior			13.0	864.0	2.40		2073.6
Exterior	864.0	2.70	2332.8								
Base Total: 864.0 2332.8				As-Built Total: 864.0 2073.6							
DOOR TYPES Area X BSPM = Points				Type Area X SPM = Points							
Adjacent	0.0	0.00	0.0	Exterior Wood				19.0	9.40		179.0
Exterior	19.0	6.40	121.9								
Base Total: 19.0 121.9				As-Built Total: 19.0 179.0							
CEILING TYPES Area X BSPM = Points				Type R-Value Area X SPM X SCM = Points							
Under Attic	728.0	2.80	2038.4	Under Attic			30.0	800.8	2.77 X 1.00		2218.2
Base Total: 728.0 2038.4				As-Built Total: 800.8 2218.2							
FLOOR TYPES Area X BSPM = Points				Type R-Value Area X SPM = Points							
Slab	108.0(p)	-20.0	-2160.0	Slab-On-Grade Edge Insulation			0.0	108.0(p)	-20.00		-2160.0
Raised	0.0	0.00	0.0								
Base Total: -2160.0				As-Built Total: 108.0 -2160.0							
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
	728.0	18.79	13679.1					728.0	18.79		13679.1

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE					AS-BUILT										
Summer Base Points: 20271.0					Summer As-Built Points: 32671.2										
Total Summer Points	X	System Multiplier	=	Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	=	Cooling Points
20271.0		0.4266		8647.6	32671.2 32671.2		1.000 1.00		(1.073 x 1.165 x 0.90) 1.125		0.262 0.262		0.857 0.857		8266.4 8266.4

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	728.0	2.36	309.3	Double, Clear	SE	1.5	6.0	180.0	2.87	1.04	539.0
				Double, Clear	SW	1.5	6.0	60.0	3.63	1.01	220.1
				Double, Clear	SW	1.5	6.0	30.0	3.63	1.01	110.1
				Double, Clear	NE	1.5	4.0	6.0	4.18	1.00	25.0
				As-Built Total:				276.0	894.1		
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		864.0	0.60		518.4	
Exterior	864.0	0.60	518.4								
Base Total:				As-Built Total:		864.0		518.4			
DOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Exterior Wood			19.0	2.80		53.3	
Exterior	19.0	1.80	34.3								
Base Total:				As-Built Total:		19.0		53.3			
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	728.0	0.10	72.8	Under Attic	30.0		800.8	0.10 X 1.00		80.1	
Base Total:				As-Built Total:		800.8		80.1			
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	108.0(p)	-2.1	-226.8	Slab-On-Grade Edge Insulation	0.0		108.0(p)	-2.10		-226.8	
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:		108.0		-226.8			
INFILTRATION Area X BWPM = Points						Area X WPM = Points					
728.0 -0.06 -43.7						728.0 -0.06		-43.7			

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT									
Winter Base Points: 664.2				Winter As-Built Points: 1275.4									
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	= Heating Points
664.2		0.6274	416.7	1275.4 1275.4		1.000 1.00		(1.099 x 1.137 x 0.91) 1.137		0.426 0.426		0.950 0.950	587.3 587.3

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X Tank Ratio	Multiplier X Credit Multiplier	= Total
1		2369.00	2369.0	50.0	0.90	1	1.00	2316.36	2316.4
				As-Built Total:					2316.4

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+ Hot Water Points = Total Points	Cooling Points	+	Heating Points	+ Hot Water Points = Total Points
8648		417	2369 11433	8266		587	2316 11170

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 83.5

The higher the score, the more efficient the home.

1. New construction or existing	Addition	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 12.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	1	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	728 ft²		
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear - single pane	0.0 ft² 276.0 ft²	a. Electric Heat Pump	Cap: 12.0 kBtu/hr
b. Clear - double pane	0.0 ft² 0.0 ft²		HSPF: 8.00
c. Tint/other SHGC - single pane	0.0 ft² 0.0 ft²	b. N/A	
d. Tint/other SHGC - double pane		c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 108.0(p) ft	a. Electric Resistance	Cap: 50.0 gallons
b. N/A			EF: 0.90
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 864.0 ft²	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	MZ-C, PT, CF,
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 800.8 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 28.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs.*

Energy Gauge Version: FLRCPB v3.30)

BUILDING INPUT SUMMARY REPORT

PROJECT	Title: Duncun		Family Type: Single		Address Type: Street Address			
	Owner: (blank)		New/Existing: Addition		Lot #: N/A			
	# of Units: 1		Bedrooms: 1		Subdivision: N/A			
	Builder Name: (blank)		Conditioned Area: 728		Platbook: N/A			
	Climate: South		Total Stories: 1		Street: (blank)			
	Permit Office: (blank)		Worst Case: Yes		County: (blank)			
Jurisdiction #: (blank)		Rotate Angle: (blank)		City, St, Zip: , ,				
FLOORS	#	Floor Type	R-Val	Area/Perimeter	Units			
	1	Slab-On-Grade Edge Insulation	0.0	108.0(p) ft	1			
CEILINGS	#	Ceiling Type	R-Val	Area	Base Area	Units		
	1	Under Attic	30.0	800.8 ft²	728.0 ft²	1		
Credit Multipliers: None								
WALLS	#	Wall Type	Location	R-Val	Area	Units		
	1	Frame - Wood	Exterior	13.0	864.0 ft²	1		
WINDOWS	#	Panes	Tint	Ornt	Area	OH Length	OH Hght	Units
	1	Double	Clear	N	30.0 ft²	1.5 ft	6.0 ft	6
	2	Double	Clear	E	30.0 ft²	1.5 ft	6.0 ft	2
	3	Double	Clear	E	15.0 ft²	1.5 ft	6.0 ft	2
	4	Double	Clear	W	6.0 ft²	1.5 ft	4.0 ft	1
DOORS	#	Door Type	Orientation	Area	Units			
	1	Wood	Exterior	19.0 ft²	1			
COOLING	#	System Type	Efficiency	Capacity				
	1	Central Unit	SEER: 13.00	12.0 kBtu/hr				
Credit Multipliers: MZ-C, Ceil Fn, CrossVent, WholeHF, PT								
HEATING	#	System Type	Efficiency	Capacity				
	1	Electric Heat Pump	HSPF: 8.00	12.0 kBtu/hr				
Credit Multipliers: PT								
DUCTS	#	Supply Location	Return Location	Air Handler Location	Supply R-Val	Supply Length		
	1	Uncond.	Uncond.	Interior	6.0	28.0 ft		
Credit Multipliers: None								
WATER	#	System Type	EF	Cap.	Conservation Type	Con. EF		
	1	Electric Resistance	0.90	50.0	None	0.00		
REFR.	#	Use Default?	Annual Operating Cost	Electric Rate				
	1	Yes	N/A	N/A				
MISC	Rater Name: CodeOnlyPro		Class #: 3		Pool Size: 0			
	Rater Certification #: CodeOnlyPro		Duct Leakage Type: N/A		Pump Size: 0.00 hp			
	Area Under Fluorescent: 0.0		Visible Duct Disconnects: N/A		Dryer Type: Electric			
	Area Under Incandescent: 728.0		Leak Free Duct System Proposed: No		Stove Type: Electric			
	NOTE: Not all Rating info shown		HRV/ERV System Present?: No		Avg Ceil Hgt:			

Residential System Sizing Calculation

Summary

Project Title:
Duncun

Code Only
Professional Version
Climate: South

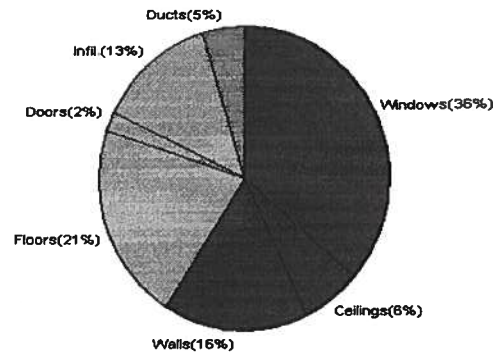
5/1/2006

Location for weather data: Gainesville - Defaults: Latitude(29) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)			
Winter design temperature	31 F	Summer design temperature	93 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	39 F	Summer temperature difference	18 F
Total heating load calculation	16269 Btuh	Total cooling load calculation	19013 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	73.8 12000	Sensible (SHR = 0.5)	35.1 6000
Heat Pump + Auxiliary(0.0kW)	73.8 12000	Latent	310.0 6000
		Total (Electric Heat Pump)	63.1 12000

WINTER CALCULATIONS

Winter Heating Load (for 728 sqft)

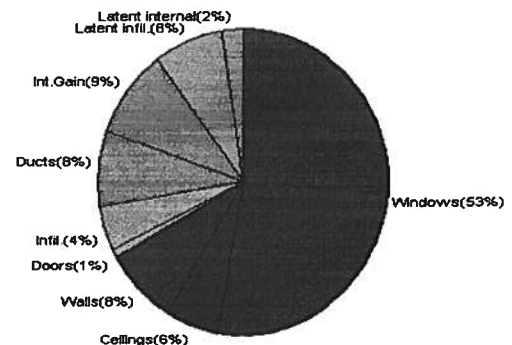
Load component		Load	
Window total	276 sqft	5934	Btuh
Wall total	864 sqft	2678	Btuh
Door total	19 sqft	342	Btuh
Ceiling total	801 sqft	1041	Btuh
Floor total	108 ft	3413	Btuh
Infiltration	49 cfm	2086	Btuh
Subtotal		15494	Btuh
Duct loss		775	Btuh
TOTAL HEAT LOSS		16269	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 728 sqft)

Load component		Load	
Window total	276 sqft	10052	Btuh
Wall total	864 sqft	1503	Btuh
Door total	19 sqft	190	Btuh
Ceiling total	801 sqft	1137	Btuh
Floor total		0	Btuh
Infiltration	43 cfm	843	Btuh
Internal gain		1800	Btuh
Subtotal(sensible)		15525	Btuh
Duct gain		1552	Btuh
Total sensible gain		17077	Btuh
Latent gain(infiltration)		1476	Btuh
Latent gain(internal)		460	Btuh
Total latent gain		1936	Btuh
TOTAL HEAT GAIN		19013	Btuh



EnergyGauge® System Sizing based on ACCA Manual J.

PREPARED BY: *W. J. Miller*

DATE: *5/1/06*



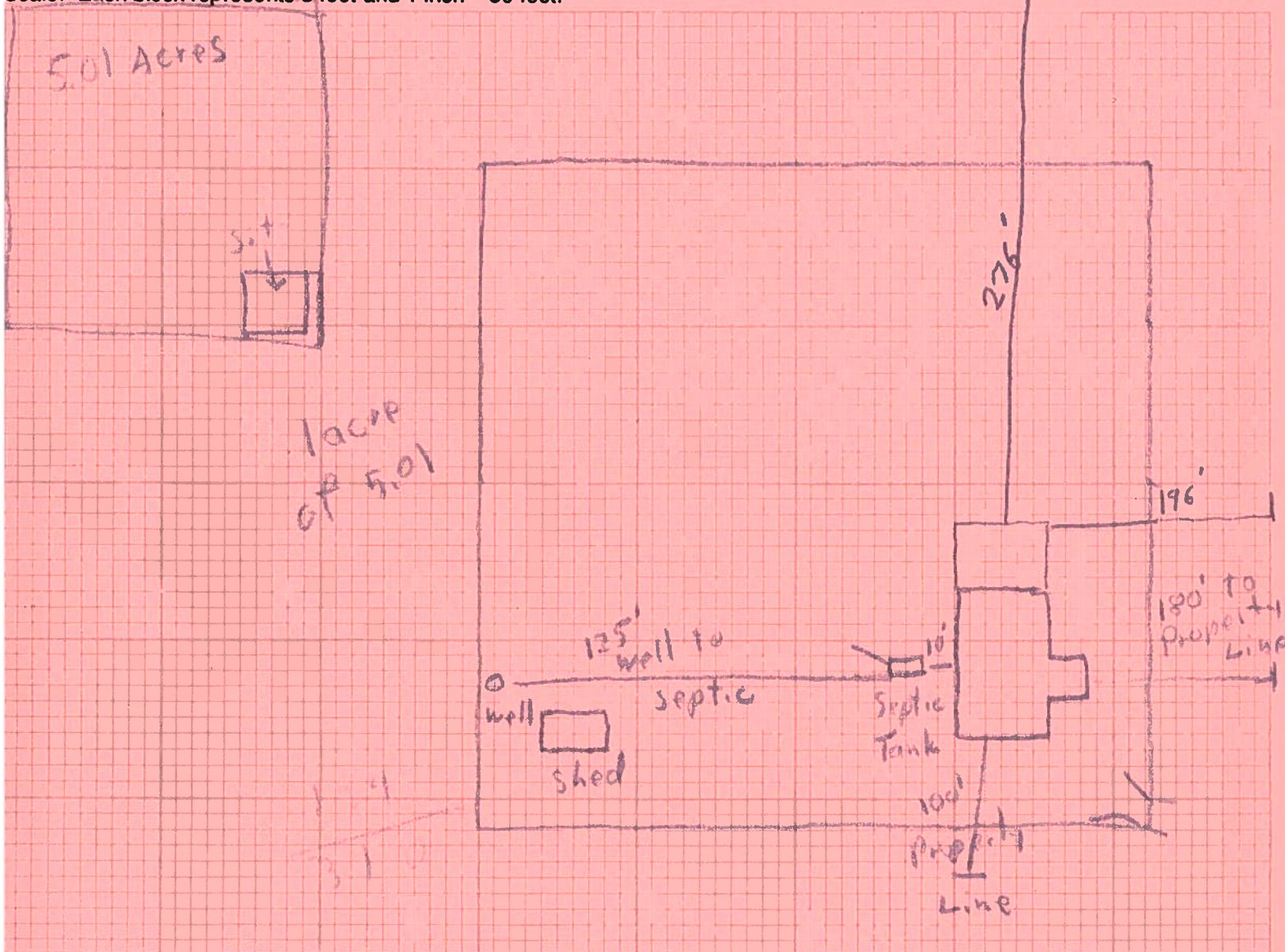
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: _____

Signature

Title

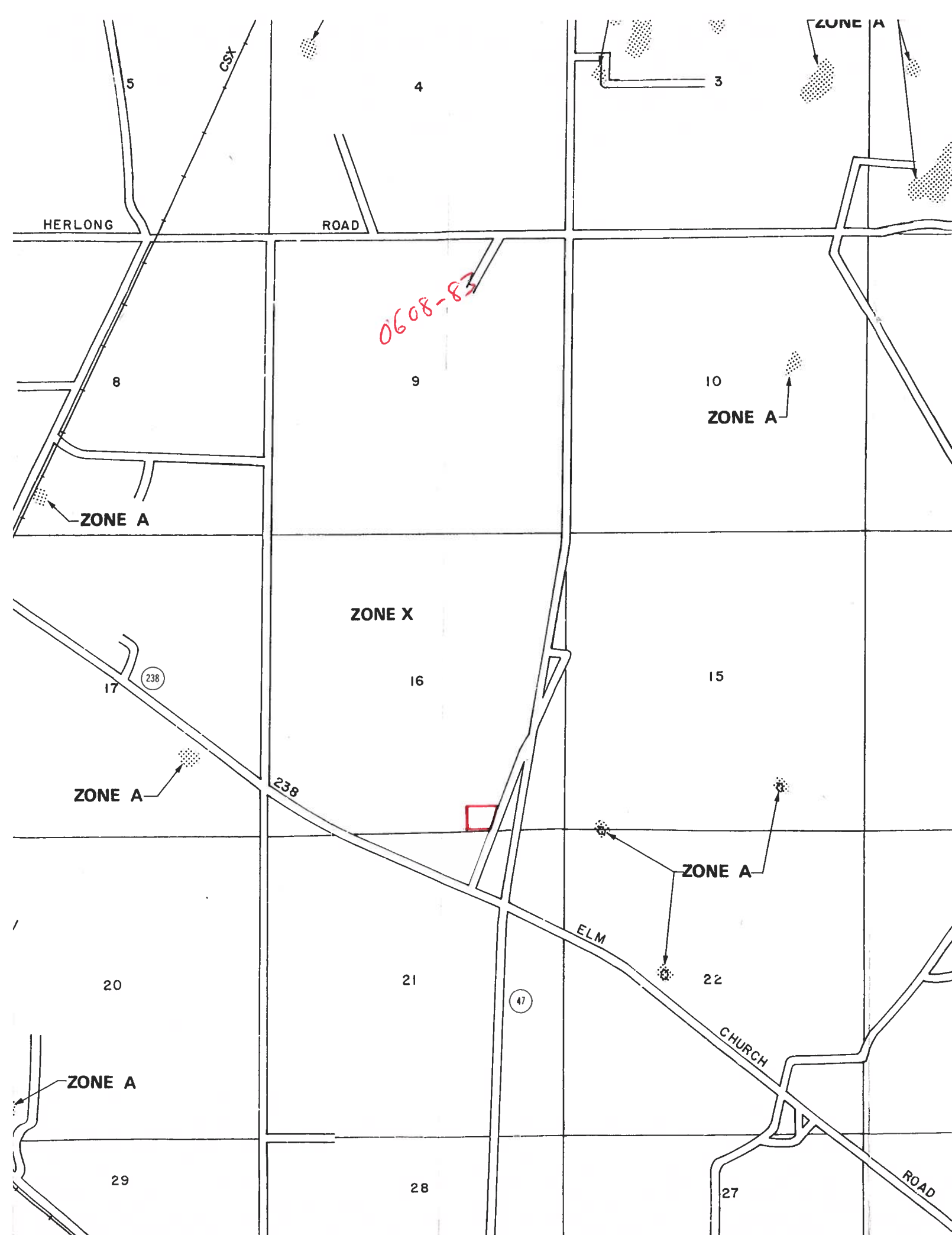
Plan Approved _____

Not Approved _____

Date _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 8-31-2006 **Fax No. 386-961-7183**
Attention:

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: Existing Res. D/W / Inspected On: 8-31-2006

PROJECT: Thomas J. Duncan/ Existing: Res. Access S.R.47 (S)

PARCEL ID No: 16-6s-16-03837-000 **PERMIT#** N/A **SEC#**29020

MILE POST N/A +- **Engineer:** N/A

Mr. Kerce:

Please accept this as our legal notice of final passing inspection for an existing residential driveway for **Thomas J. Duncan** P.O. Box 481 FT. White ,Fl. 320380481.

This access has been inspected and the connection is acceptable and meets FDOT ACCESS Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

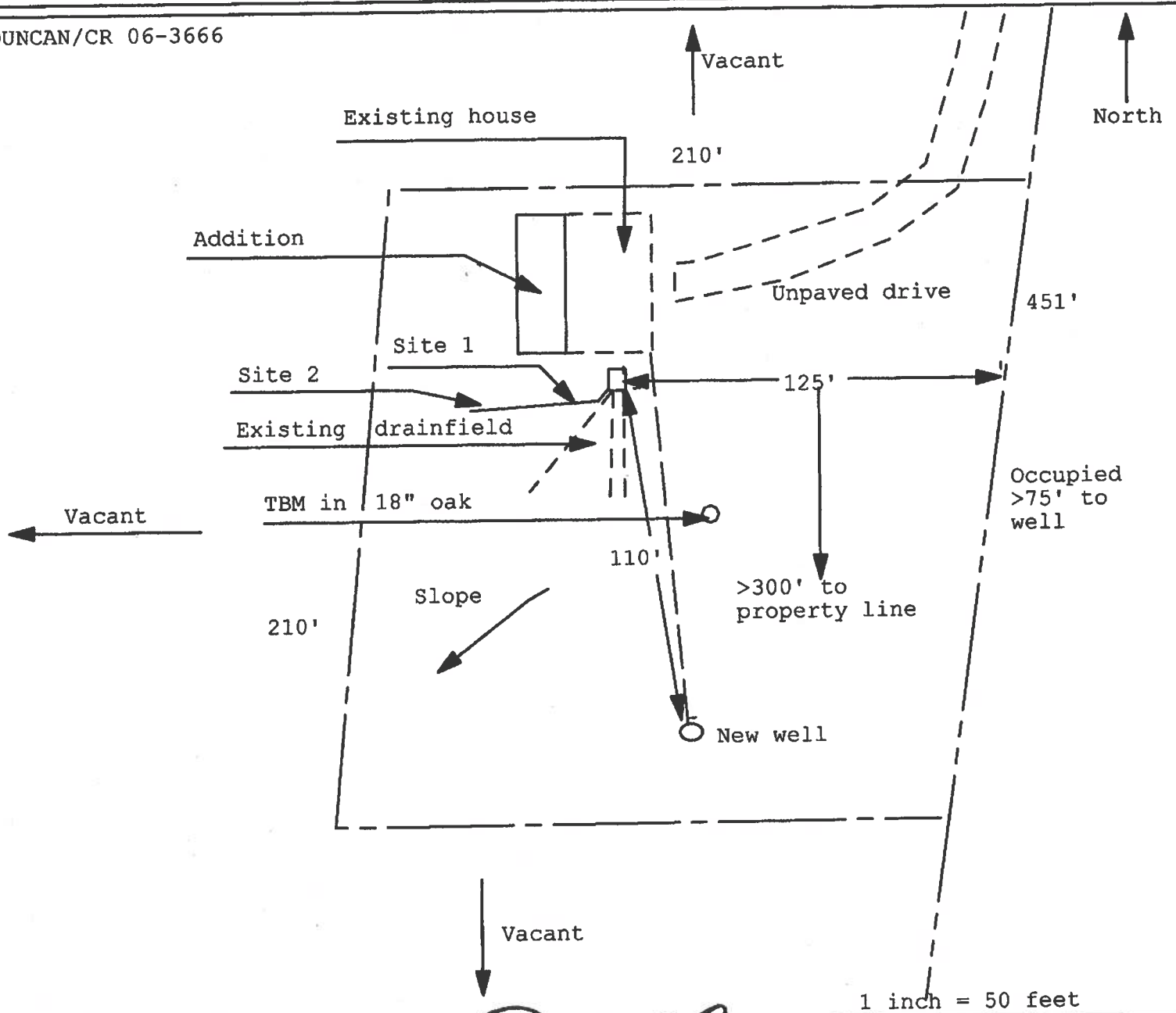
Sincerely,



Dale L. Cray
Access Permits Inspector

Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan
Permit Application Number: 06-0780N

DUNCAN/CR 06-3666


$$1 \text{ inch} = 50 \text{ feet}$$

Site Plan Submitted By Paul D. [Signature] Date 5/31/06
Plan Approved _____ Not Approved _____ Date _____
By [Signature] Columbia CPHU

Notes: _____

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Site Plan including:</u> <ol style="list-style-type: none"> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Wind-load Engineering Summary, calculations and any details required</u> Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC <ol style="list-style-type: none"> a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, I_w, and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf (kN/m^2) to be used for the design of exterior component and cladding materials not specifi ally designed by the registered design professional.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Elevations including:</u> <ol style="list-style-type: none"> a) All sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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100

- a. Attic space
- b. Exterior wall cavity
- c. Crawl space (if applicable)

b) Wood frame wall

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers) shall be designed by a Windload engineer using the engineered roof truss plans.
7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termiticide or alternative method)
11. Slab on grade
 - a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms
- h) Exhaust fans in bathroom

HVAC information

- a) Energy Calculations (dimensions shall match plans)
- b) Manual J sizing equipment or equivalent computation
- c) Gas System Type (LP or Natural) Location and BTU demand of equipment

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS – PLEASE DO NOT ASK

Location: _____**Project Name:** _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys		
14. Cements-Adhesives – Coatings		
15. Roof Tile Adhesive		
16. Spray Applied Polyurethane Roof		
17. Other		
E. SHUTTERS		
1. Accordion		
2. Bahama		
3. Storm Panels		
4. Colonial		
5. Roll-up		
6. Equipment		
7. Others		
F. SKYLIGHTS		
1. Skylight		
2. Other		
G. STRUCTURAL COMPONENTS		
1. Wood connector/anchor		
2. Truss plates		
3. Engineered lumber		
4. Railing		
5. Coolers-freezers		
6. Concrete Admixtures		
7. Material		
8. Insulation Forms		
9. Plastics		
10. Deck-Roof		
11. Wall		
12. Sheds		
13. Other		
H. NEW EXTERIOR ENVELOPE PRODUCTS		
1.		
2.		

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection

Contractor or Contractor's Authorized Agent Signature

Location

Print Name

Date

Permit # (FOR STAFF USE ONLY)



Columbia County 9-1-1 Addressing / GIS Department

P.O. Box 1787, Lake City, FL 32056

Telephone: (386) 758-1125 * Fax: (386) 758-1365 * E-mail: ron_croft@columbiacountyfla.com



9-1-1 Address Request Form

NOTE: ADDRESS ASSIGNMENT MAY REQUIRE UP TO 10 WORKING DAYS. IF THE ADDRESSING DEPARTMENT NEEDS TO CONDUCT ON SITE GPS LOCATION IDENTIFICATION, ADDITIONAL TIME MAY BE REQUIRED.

Date of Request: _____

Requester Last Name: _____

First Name: _____

Contact Telephone Number: _____

(Cell Phone Number if Provided): _____

Requested for Self: _____ or Requested for Company: _____
(check one)

If Address is Requested by a Company, Provide Name of Requesting Company:

Parcel Identification Number: _____ - _____ - _____ - _____

If in Subdivision, Provide Name Of Subdivision:

Phase or Unit Number (if any): _____ Block Number (if any): _____

Lot Number: _____

Attach Site Plan or you may use back of Request Form for Site Plan:

Requirements for Site Plan Are Listed on Back of Request Form:
(NOTE: Site Plan Does NOT have to be a survey or to scale; FURTHER a Environmental Health Dept. Site Plan showing only a 210 by 210 cutout of a property will NOT suffice for Addressing Requirements.)

Addressing / GIS Department Use Only:

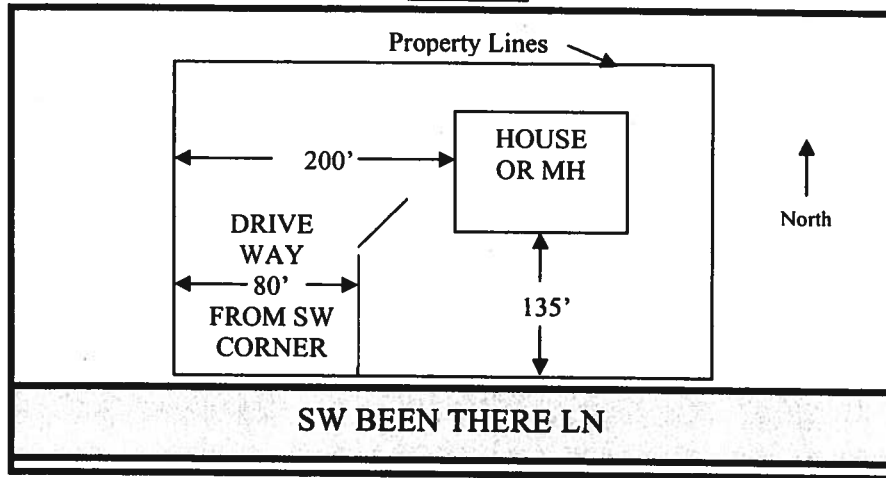
Date Received: _____

Date Assigned: _____

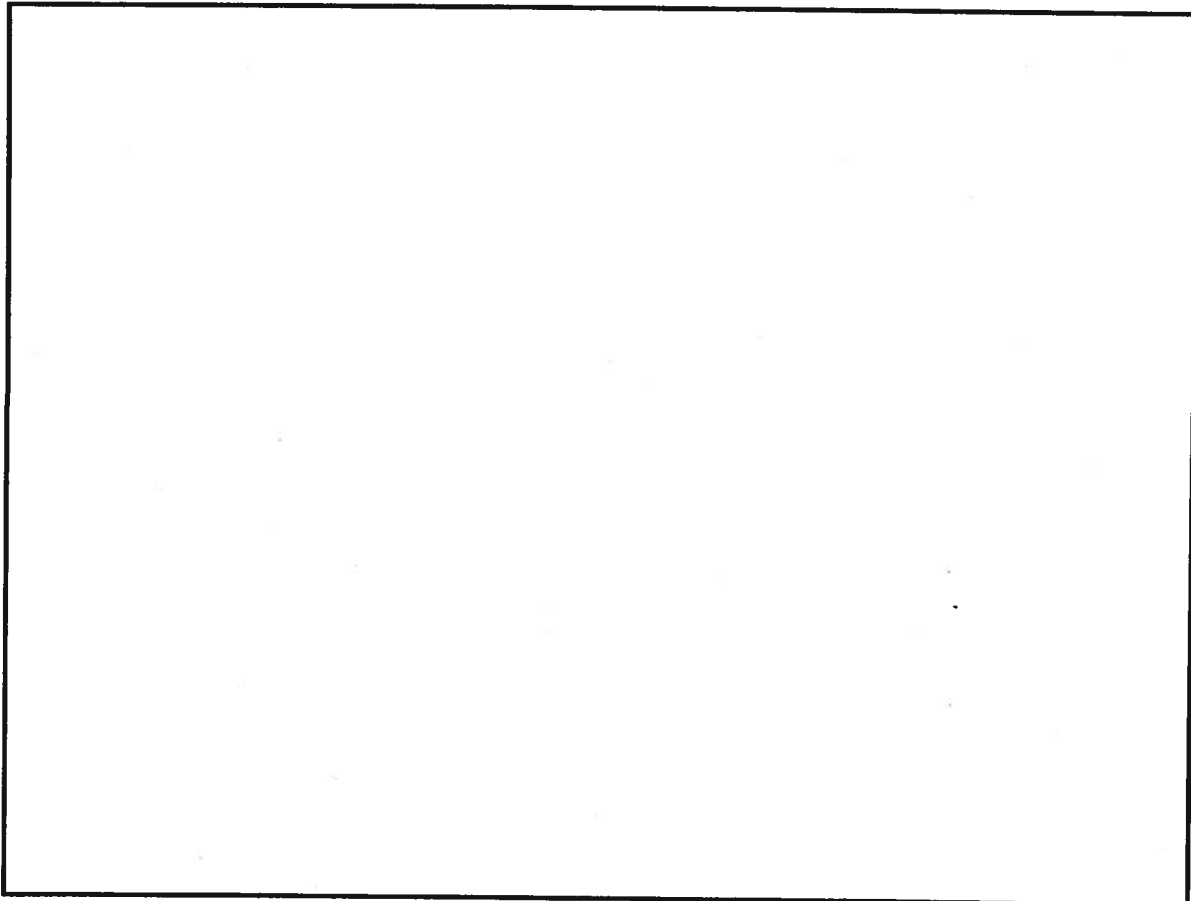
ID Number: _____

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



4/19/07



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Ceco Door Products
9159 Telecom Drive
Milan, TN 38358

out swing

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "Regent" & "Omega" 18 ga. 3⁰-7⁰ Outswing Commercial Steel Door

APPROVAL DOCUMENT: Drawing No. RD0087, titled "3-0 x 7-0 Series", sheets 1 through 7 of 7, dated 5/30/97 with revision C dated 2/24/00, prepared by the manufacturer, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

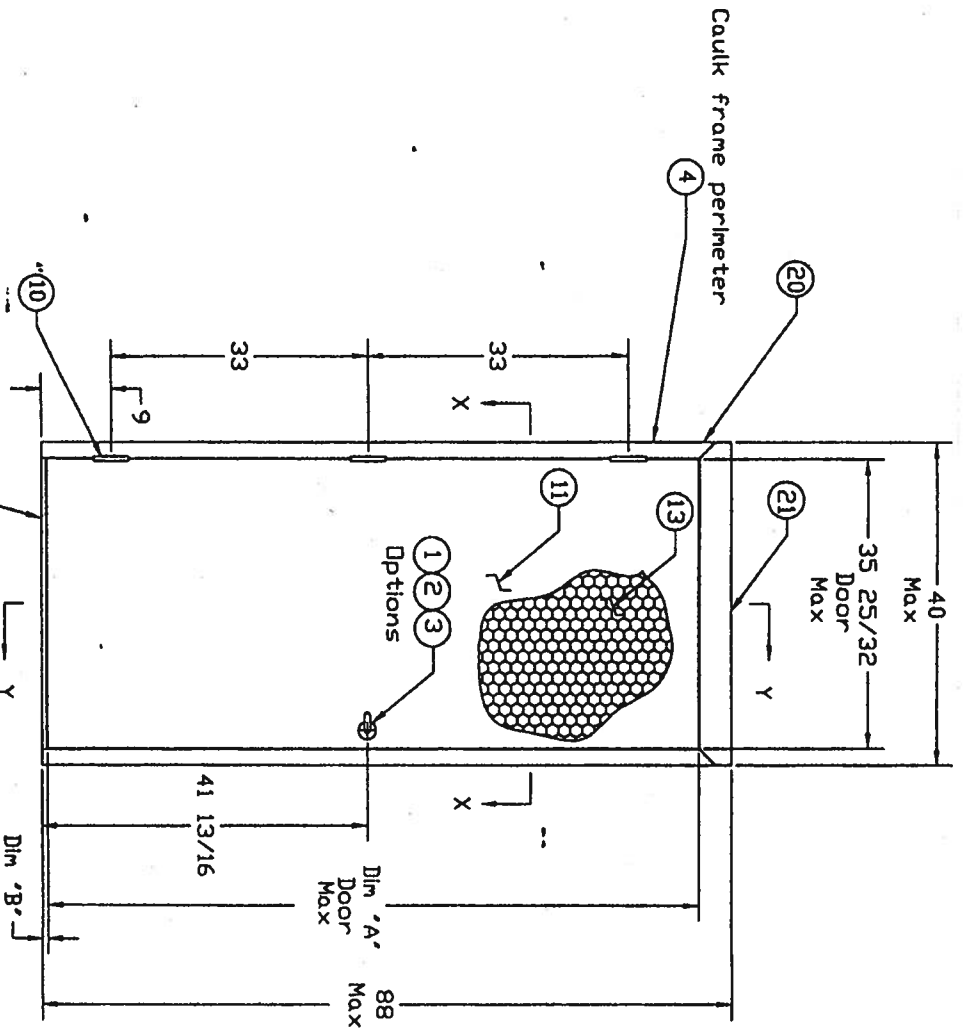
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0315.03 and consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 03-0411.01
Expiration Date August 14, 2008
Approval Date: May 15, 2003
Page 1



Design Pressure	
Tested For Water Penetration	
With Overhang	+85 psf -60 psf
Without Overhang	+60 psf -60 psf

	Dim 'A'	Dim 'B'
3/4' Undercut	83 1/8	3/4
3/8' Undercut	83 1/2	3/8

Caulk Underneath Threshold

Sheet 2	Frame Anchor Installation
Sheet 3	Threshold Installation
Sheet 3	Weatherstrip Installation
Sheet 4	Door Latch Reinforcement
Sheet 5-6	Cross Section View
Sheet 7	Bill Of Material

PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. 08-041.01
Expiration Date 10/15/2008
By: *Michael Stiles*
Miami Dade Product Control
Unit

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE 08-08-09
BY: *Michael Stiles*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 08-0315.03

MATERIAL SPECIFICATIONS:

Finish: Rust Inhibitive Primer

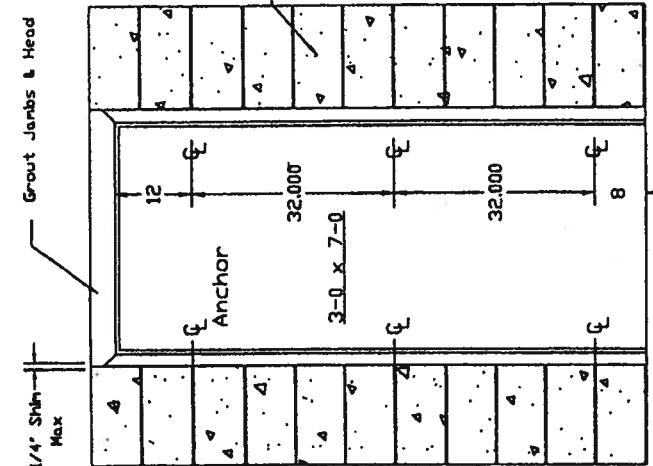
3-0 x 7-0 Series
Elevation Drawing

CECD DOOR PRODUCTS
Millon, Tennessee 38358

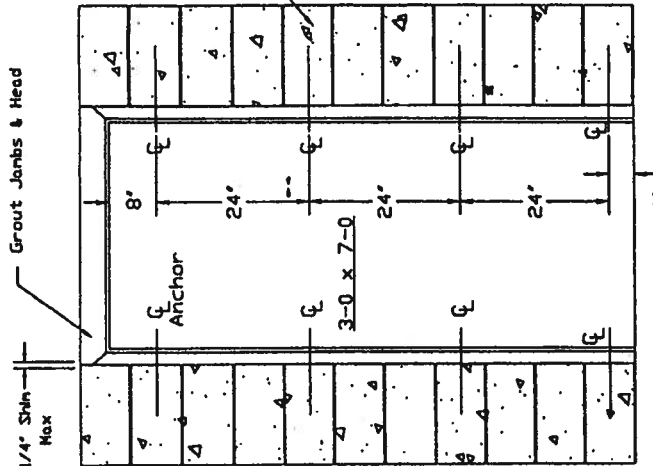
DRAWING NUMBER:
RD0087
Sheet 1 of 7

ISSUE
DRAWN BY: CWS
DATE: 5/30/97
REVISIONS

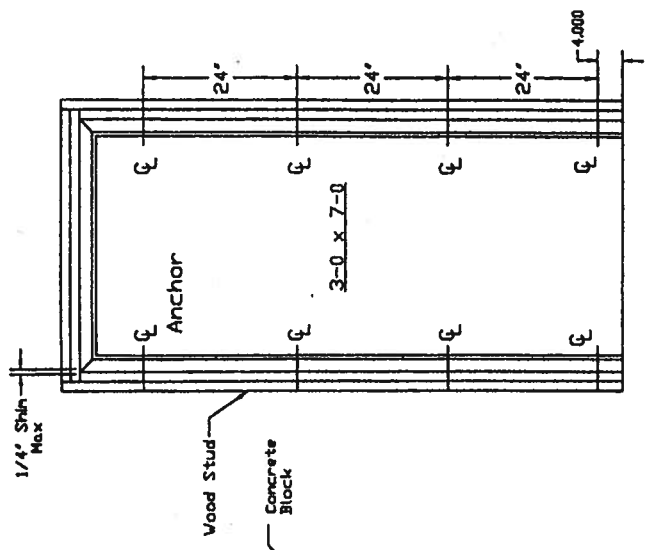
Revised Form, Transferred
Information from ROK
7/22/97
Revised 02 Drawings
CWS



Masonry 'T' Anchor

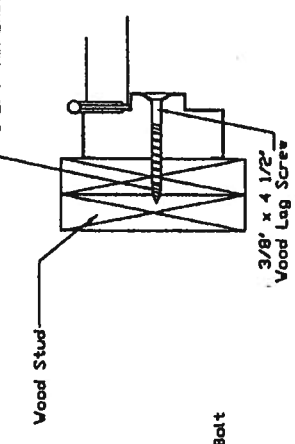
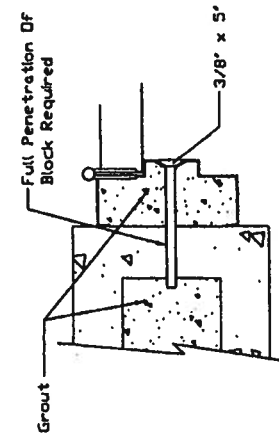
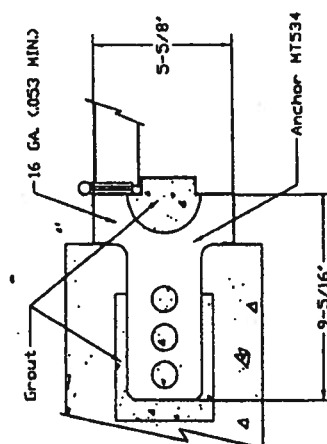


Existing Opening Anchor Into Block



Existing Opening Anchor Into Wood Stud

PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. 03-0411.01
Expiration Date: 03-16-2008
By: *Mauldin*
Miami Code Product Control
Division



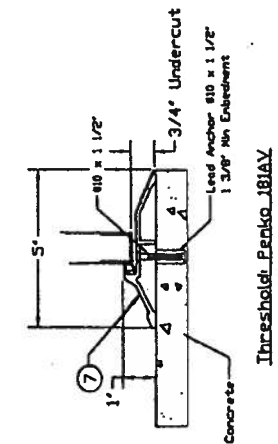
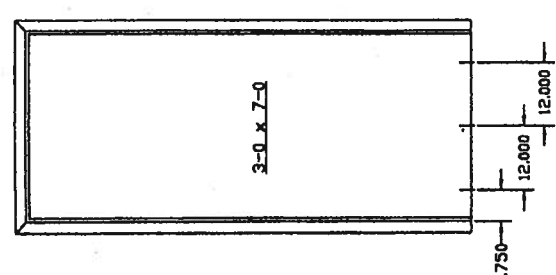
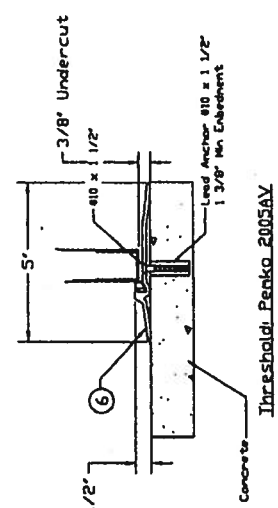
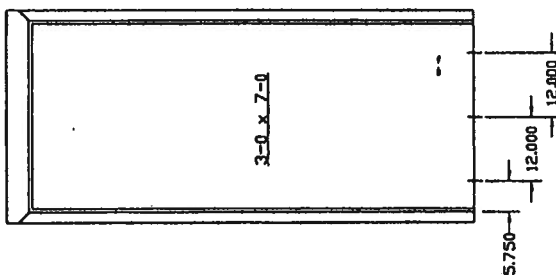
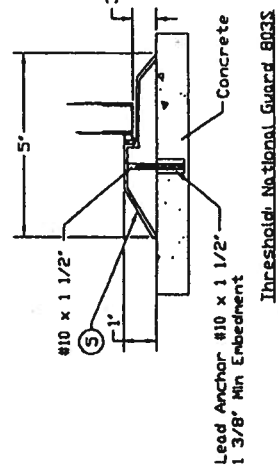
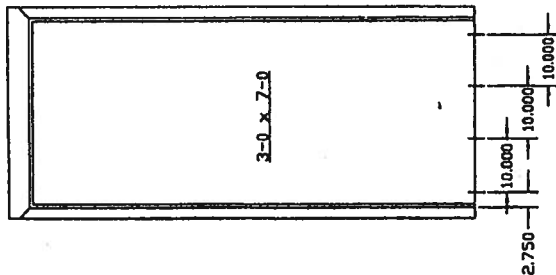
NOTES:
1. SEE SHEET 7 FOR BILL OF MATERIALS

MATERIAL SPECIFICATIONS:

Frame Anchor
Installation Details
CECO DOOR PRODUCTS
Millen, Tennessee 38358

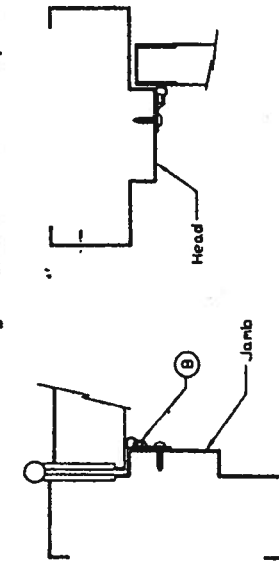
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: *June 08, 2000*
BY: *Mauldin*
PRODUCT CONTROL DIVISION
BUILDING-CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0315-03

2/27/97	Revised Format, Transferred Information from NOA
7/22/97	Revised Sheet Number
ISSUE	REVISIONS
DRAWN BY: GWS	DATE: 5/30/97
DRAWING NUMBER: RD0087	Sheet 2 of 7

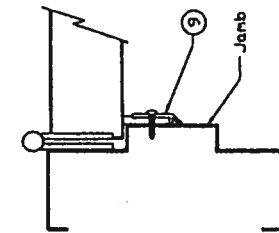


NOTE: 1. All thresholds shown are made from extruded aluminum with slide-in vinyl weatherstrip insert.

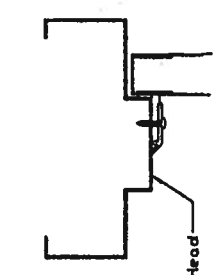
PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 03-0411-D1
Expiration Date 03/16/2008
By *Michael J. [Signature]*
Miami Code Product Control
Unit



Weatherstrip: Penko 303AS
NOTE:
2. LOCATION: ALONG THE ENTIRE HEAD AND JAMB
PERIMETER. ATTACHED WITH THIRTY FOUR (34)
#8 X 3/4" PPH SMS SPACED AT 6" O/C.



Weatherstrip: National Guard 130NA
NOTE:
3. LOCATION: ALONG THE ENTIRE HEAD AND JAMB
PERIMETER. ATTACHED WITH THIRTY FOUR (34)
#8 X 3/4" PPH SMS SPACED AT 6" O/C.



APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: *June 08 2000*
BY: *Michael J. [Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0315-03

2/2/00	Revised Formet, Transferred Information from NOA
7/22/01	Revised Sheet Number
ISSUE	REVISIONS
DRAWN BY: GWS	DATE: 5/30/97

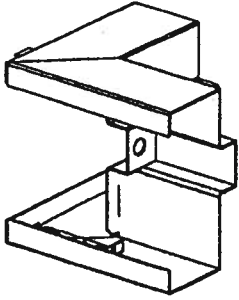
MATERIAL SPECIFICATIONS:

Threshold & Weatherstrip Installation details

NOTE: 4. See Sheet 7 For Bill of Material

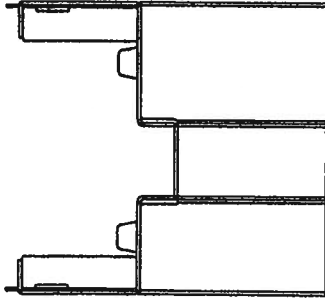
CECO DOOR PRODUCTS
Millon, Tennessee 38358

RD0087
Sheet 3 of 7

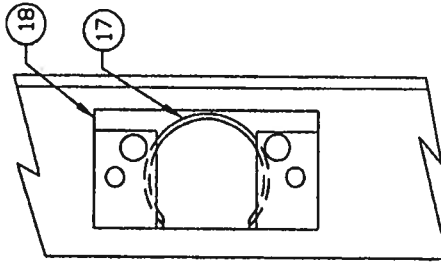
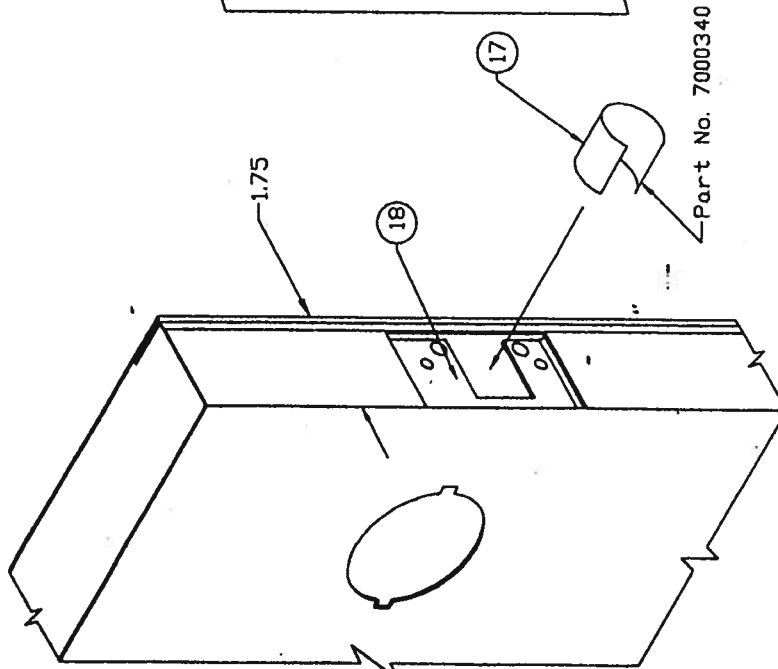


Interlocking Fold Over Tab

Frame Head



Frame Jamb



Note: 1. For Cylindrical Lock Only
2. See Sheet 7 For Bill Of Material

MATERIAL SPECIFICATIONS:

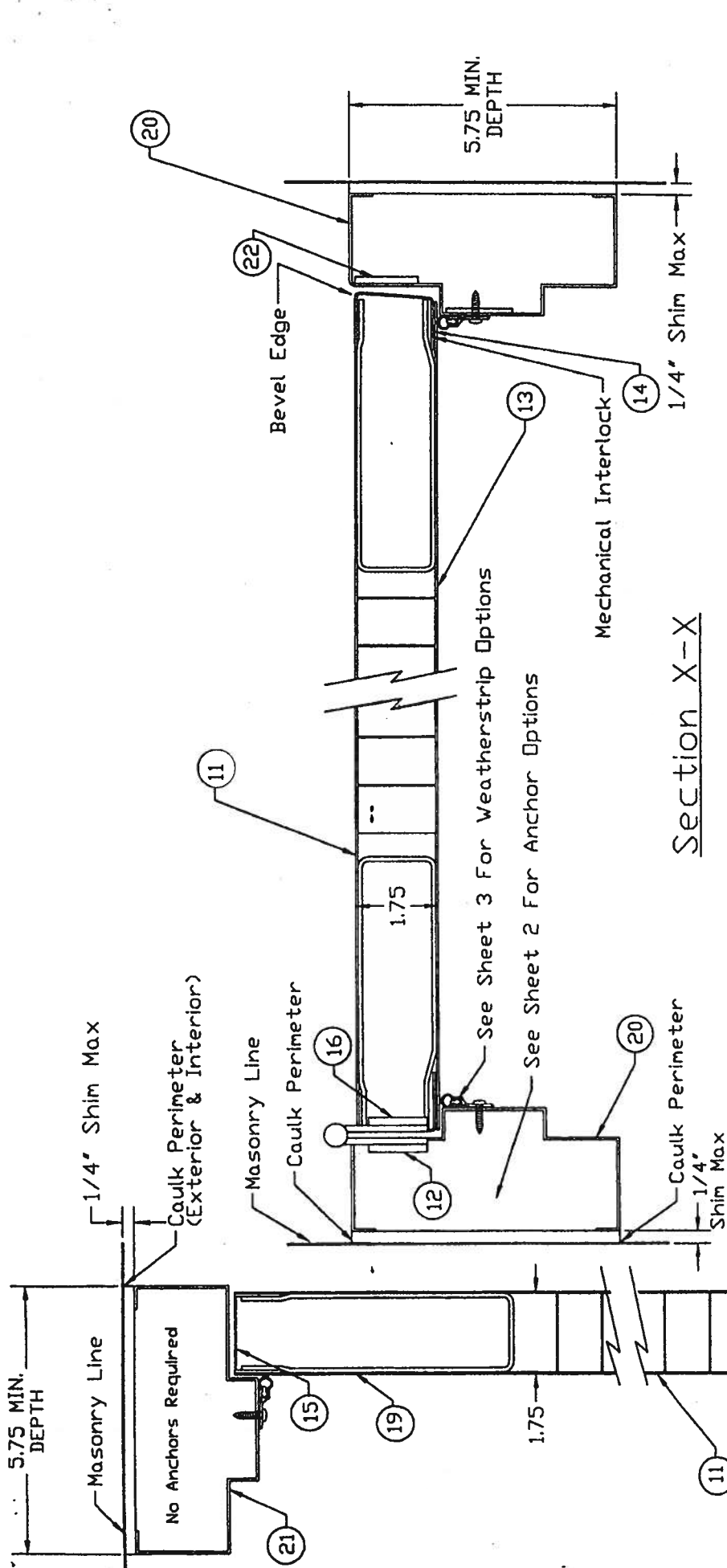
Cylindrical Lock Reinforcement
and "SF" Series Frame Corner
Installation Details

 CECO DOOR PRODUCTS
Milan, Tennessee 38358

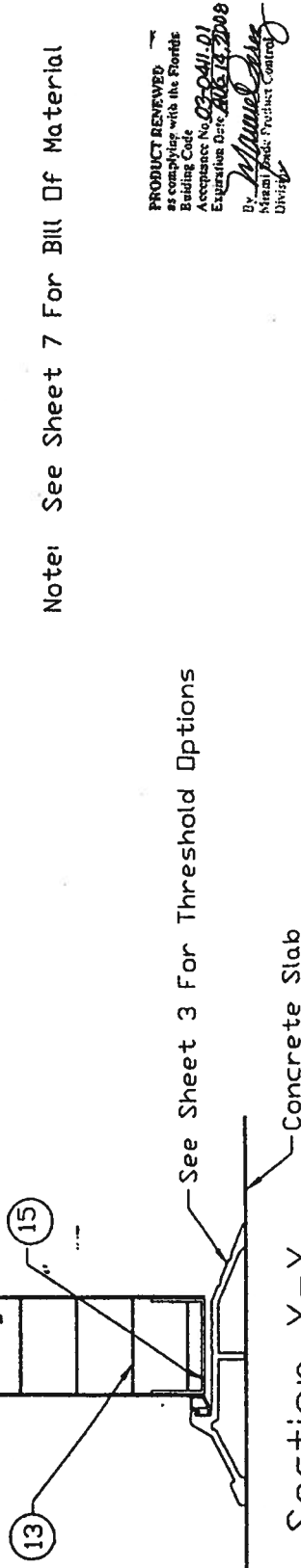
PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 03-041-01
Expiration Date 2/16/18
By *Mauro Dwyer*
Miami Dade Product Control
Division

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE *June 08/2000*
BY *Mauro Dwyer*
PRODUCED BY: DIVISION ON
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-031-03

Revised Format, Transferred 2/16/18 GWS	Revised Sheet Number
ISSUE	REVISIONS
DRAWN BY: GWS	DATE: 6/06/97
DRAWING NUMBER: RD0087	
Sheet 4 of 7	



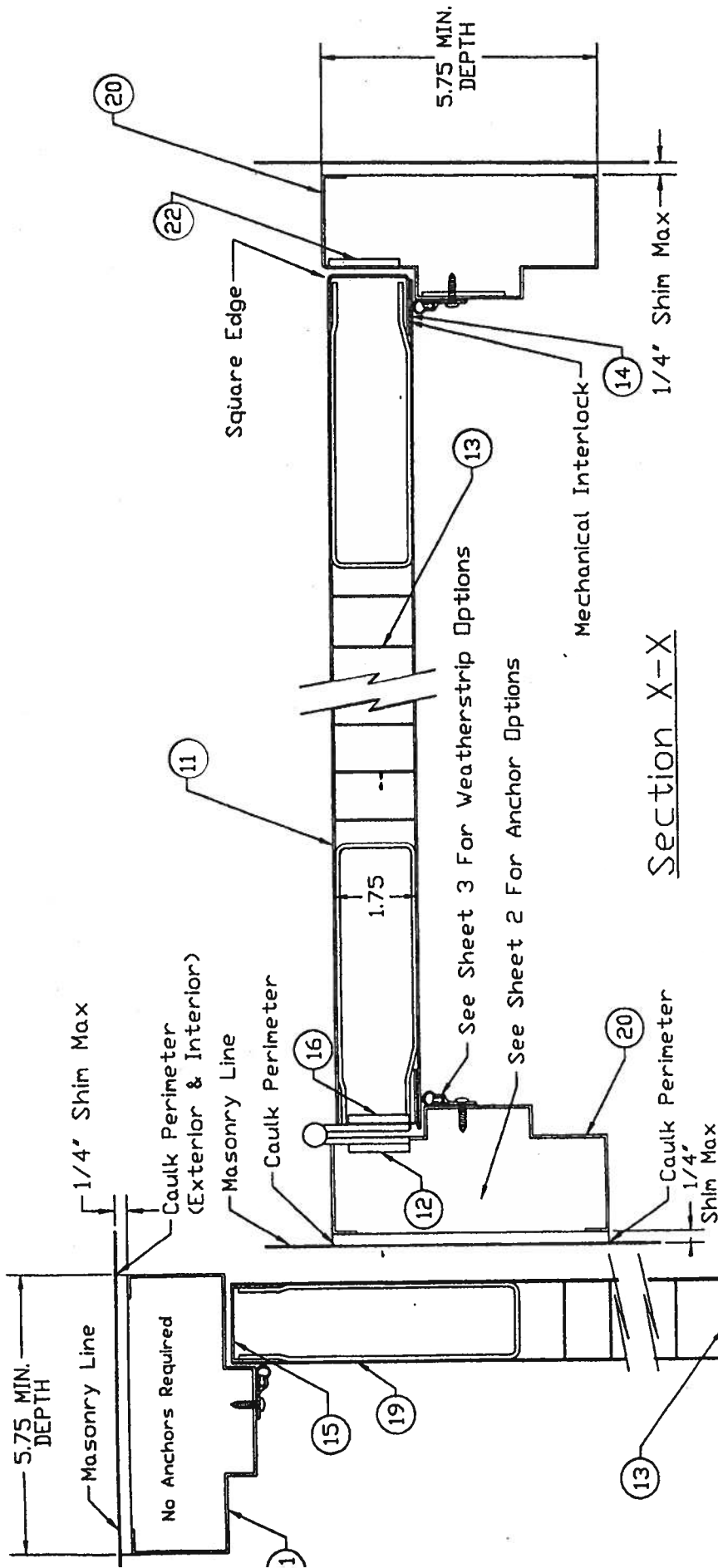
Section X-X



Note: See Sheet 7 For Bill Of Material

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE <u>June 08/2000</u> BY <u>Manuel Diaz</u> PRODUCT COMPLIANCE DIVISION BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. <u>00-0315-03</u>		Revised Form, Transferred Information from NOA 7/22/97 Revised Sheet Number
PRODUCT REVIEWED as complying with the Florida Building Code Acceptance No. <u>02-0411-01</u> Examination Date <u>May 14, 2008</u> By <u>Manuel Diaz</u> Miami Product Control Division		REVISIONS DRAWN BY: <u>GWS</u> DATE: <u>5/30/97</u> DRAWING NUMBER: <u>RDO087</u> Sheet 5 of 7

MATERIAL SPECIFICATIONS:	Cross Section View Regent Door
	CECO DOOR PRODUCTS Milan, Tennessee 38358



Section X-X

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE: <u>Sept. 09, 2000</u> BY: <u>Michael Davis</u>		PRODUCT CODE COMPLIANCE OFFICE BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. <u>00-0315-03</u>	
C. 610.000 1/28		Revised Format, Transferred Information from NOA	
6/22/97 GWS		Revised Sheet Number	
ISSUE		REVISIONS	
DRAWN BY: GWS		DATE: 5/30/97	
DRAWING NUMBER: RD0087		Sheet 6 of 7	

Note: See Sheet 7 For Bill Of Material

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 03-041-01
Expiration Date Dec. 15, 2008
By: Michael Davis
Miami, Mass. Product Control
Division

Concrete Slab

Section Y-Y

MATERIAL SPECIFICATIONS:

Cross Section View

Omega Door

 **CECO DOOR PRODUCTS**
Milan, Tennessee 38358

ITEM	QTY	DESCRIPTION	MATERIAL	SIZE
1	1	SCHLAGE SERIES A5300 GRADE 2, LATCH LOCK, SINGLE LEVER OR KNOB OPERATED		
2	1	HARKS SERIES 170AB GRADE 2, LATCH LOCK, INSIDE/OUTSIDE LEVER OPERATED		
3	1	YALE SERIES A053070 GRADE 2 LATCH LOCK, SINGLE LEVER OR KNOB OPERATED		
4	1	CAULK FOR INSTALLATION AND WEATHERSTRIP ADAPTER SCREWS FRAME PERIMETER (INSIDE & OUT) AND FRAME SILL CORNERS	GE SILICONE HOUSEHOLD SEALANT	
5	1	NATIONAL GUARD #8035		
6	1	PEKCO #2005AV		
7	1	PEKCO #181AV		
8	1 ROW	PEKCO #303AS HIGH SURFACE APPLIED EXTRUDED ALUMINUM WEATHERSTRIP ADAPTER WITH A SILICON (TM) BULB INSERT		
9	1 ROW	NATIONAL GUARD #130NA 1-1/4" WIDE X 0.188" SURFACE APPLIED EXTRUDED ALUMINUM WEATHERSTRIP ADAPT. WITH A FOAM INSERT EACH ATTACHED WITH EIGHT #12-24 X 1/2" FH MS		
10	3	HAGAR BB1279, 4-1/2" X 4-1/2" X .0134" THICK STEEL HINGE		
11	1	FACE SHEET CONFORMING TO ASTM A366 AND ASTM-A568	COMMERCIAL QUALITY COLD ROLLED STEEL MINIMUM YIELD STR. OF Fy=36,000 psi	18 GAUGE (0.042" MIN. THICK) 1-1/4" X 9" X 7 GA.
12	3	HINGE REINFORCING PLATE PLATE SPOT WELDED TO FRAME JAMB AT EACH HINGE LOCATION	STEEL	
13	1	CORR FULL HONEYCOMB CORE PERMANENTLY BONDED TO THE INSIDE OF EACH FACE SKIN WITH NON-FLAMMABLE ADHESIVE	PHENOLIC RESIN-IMPREGNATED KRAFT PAPER	1-1/8" CELL
14	1	DEFLEX 3500 STRUCTURAL ADHESIVE EPOXY		
15	1	ROLL FORMED STEEL CHANNEL ON THE TOP AND BOTTOM OF THE DOOR SPOT WELDED TO EXTERIOR AND GLUED TO INTERIOR SKIN		1" X 1-3/4" X 1" X 16 GA. (0.053" MIN)
16	3	DOOR HINGE REINFORCEMENT		1-1/4" X 9" X 7 GA.
17	1	DOOR LATCH REINFORCEMENT, STEEL "C" RING	28 GA. GALV.	.015" THICK X 1.313 INSIDE DIAMETER
18	1	DOOR LOCK REINFORCEMENT	STEEL	16 GA. (0.053")
19	1	DOOR CLOSER REINFORCEMENT, ROLLED FORM CHANNELS TACK WELDED TO DOOR END CHANNELS	STEEL	12 GA. (0.093")
20	2	SERIES "SF", FRAME JAMB, DOUBLE RABBIT PROFILE	16 GA. (0.053" MIN.) STEEL	2" FACE, 5-3/4" DEPTH MIN.
21	1	FACE SHEET CONFORMING TO ASTM A366 AND ASTM-A653	COMMERCIAL QUALITY COLD ROLLED STEEL MINIMUM YIELD STR. OF Fy=40,000 psi	2" FACE, 5-3/4" DEPTH MIN.
22	1	SERIES "SF", FRAME HEAD, DOUBLE RABBIT PROFILE	16 GA. (0.053" MIN.) STEEL	2" FACE, 5-3/4" DEPTH MIN.
		FACE SHEET CONFORMING TO ASTM A366 AND ASTM-A653	COMMERCIAL QUALITY COLD ROLLED STEEL MINIMUM YIELD STR. OF Fy=40,000 psi	2" FACE, 5-3/4" DEPTH MIN.
		JAMB LOCK STRIKE REINFORCING PLATE	STEEL	1-1/8" X 2-1/2" X 12 GA.

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE

DATE June 08, 2000
BY Matthew Baker

PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-03-15-03

Revised Format, Transferred
Information from NOA

7/22/97
GWS

ISSUE
GWS

REVISIONS

DRAWN BY: GWS DATE: 6/02/97

DRAWING NUMBER
RD00087
Sheet 7 of 7


PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. 02-041-01
Expiration Date 08/01/2008

By: Matthew Baker
Florida Building Code Official

MATERIAL SPECIFICATIONS:

3-0 x 7-0 Series

Bill Of Materials

 **CECO DOOR PRODUCTS**
Millen, Tennessee 38358



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Ceco Door Products
9159 Telecom Drive
Milan, TN 38358

In Swing

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: The Ceco Series Single Flush / Embossed Inswing Commercial Steel Doors -Impact

APPROVAL DOCUMENT: Drawing No RD0728, titled "3-0 x 7-0 , Series Regent, Omega, Imperial, Versa door", prepared by manufacturer, sheets 1 through 9 of 9 dated 05/22/02 and latest revised on 10-10-02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

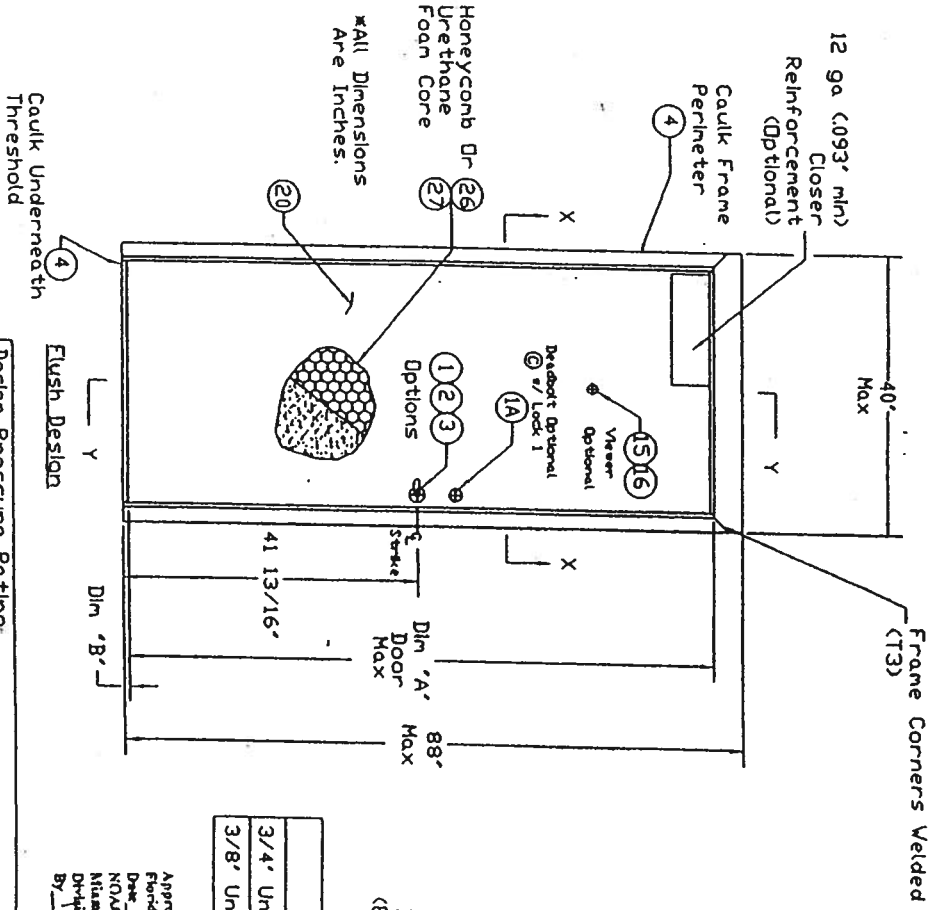
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



NOA No 02-0807.04
Expiration Date: October 31, 2007
Approval Date: October 31, 2002
Page 1

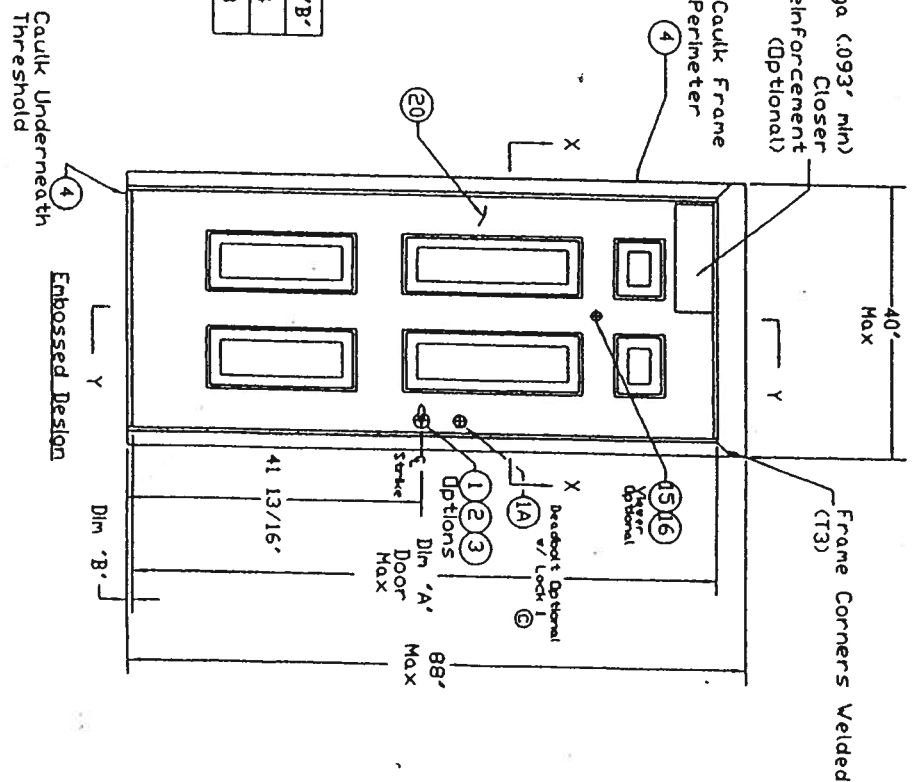


	Dim 'A'	Dim 'B'
3/4' Undercut	83 1/8	3/4
3/8' Undercut	83 1/2	3/8

Approved as complying with the
Florida Building Code
Door 021024.31, 2002
NOMA 02-0807-04
Mital Door Product Council
By: William J. Leland

Design Pressure Rating		
Where Water Infiltration Requirement Is Needed	Where Water Infiltration Requirement Is Not Needed	
Positive	Not Approved	+70 PSF
Negative	Not Approved	-70 PSF

Sheet 2	Frame Anchor Installation
Sheet 3	Threshold Installation
Sheet 3	Weatherstrip Installation
Sheet 4	Door Latch Reinforcement
Sheet 5-8	Cross Section View
Sheet 9	Bill Of Material



- Notes:
- 1) In-swing Not Approved For Water Infiltration
 - 2) This Door Does Not Need A Hurricane Protection System
 - 3) Hinge Spacing Is 33" O.C., 13' From Top Of Frame & 9' From The Bottom.

MATERIAL SPECIFICATIONS:
Finish: Rust Inhibitive Primer

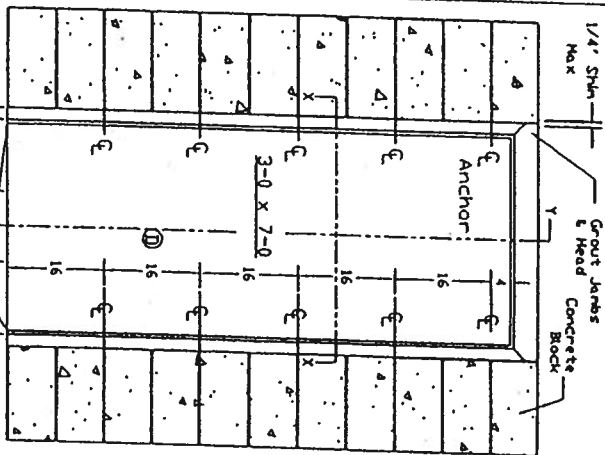
3-0 x 7-0 Series
Regent, Omega, Imperial, & Versadoor
In-Swing Elevation Drawing
 CECO DOOR PRODUCTS
Milan, Tennessee 38358

ISSUE	REVISIONS	DATE
1	Revised Per Market Up Drawings From LIT	10/10/02
2	Revised Per Market Up Drawings From LIT	8/28/02
3	Revised Per Market Up Drawings From LIT	5/22/02

DESIGNING: RD0728
Sheet 1 of 9

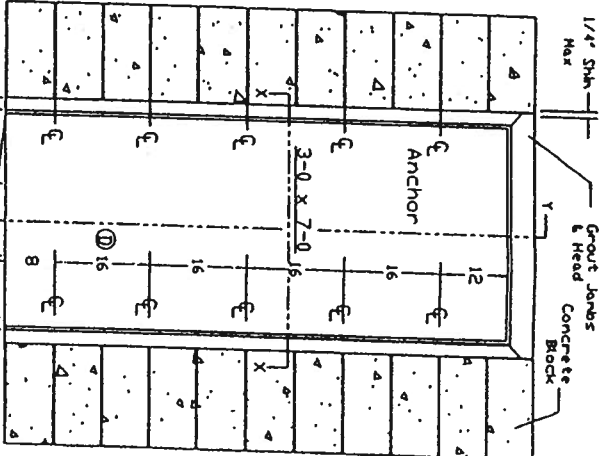
Hasnacy 1" Anchor

Mn. 3500 PSI



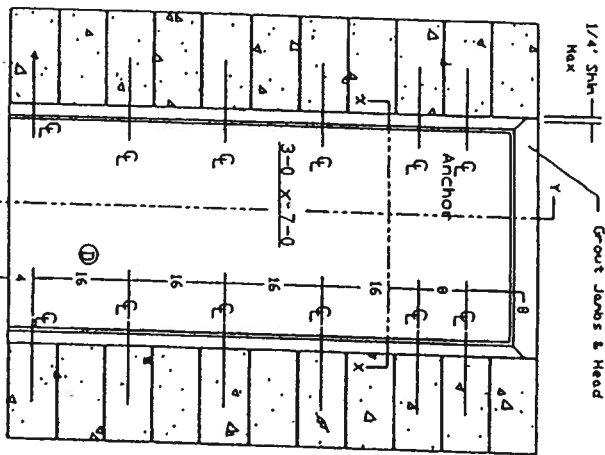
Hasnacy Wire Anchor

Mn. 3500 PSI

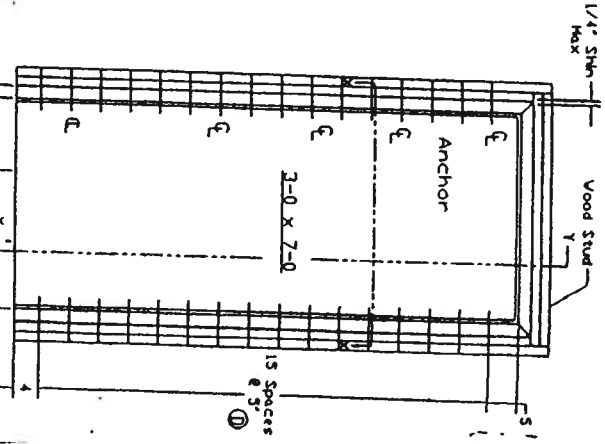


Existing Opening V/Lockbolt or Sleeve Anchor Into Block

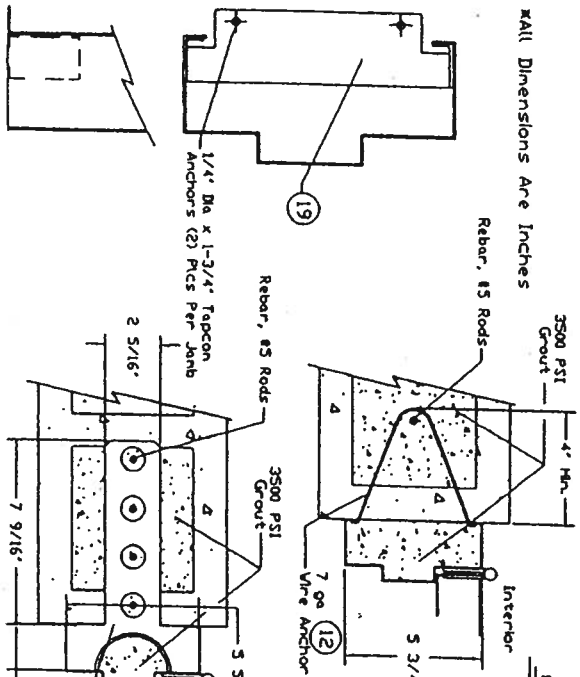
Mn. 3500 PSI



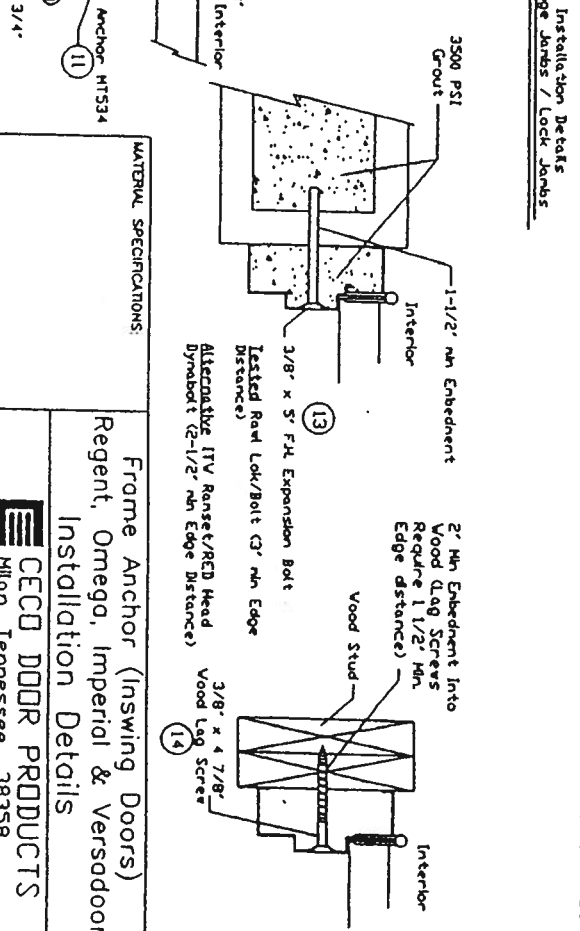
Existing Opening Anchor Into Wood Stud



Wall Dimensions Are Inches



Installation Details
Wedge Joints / Lock Joints



MATERIAL SPECIFICATIONS:

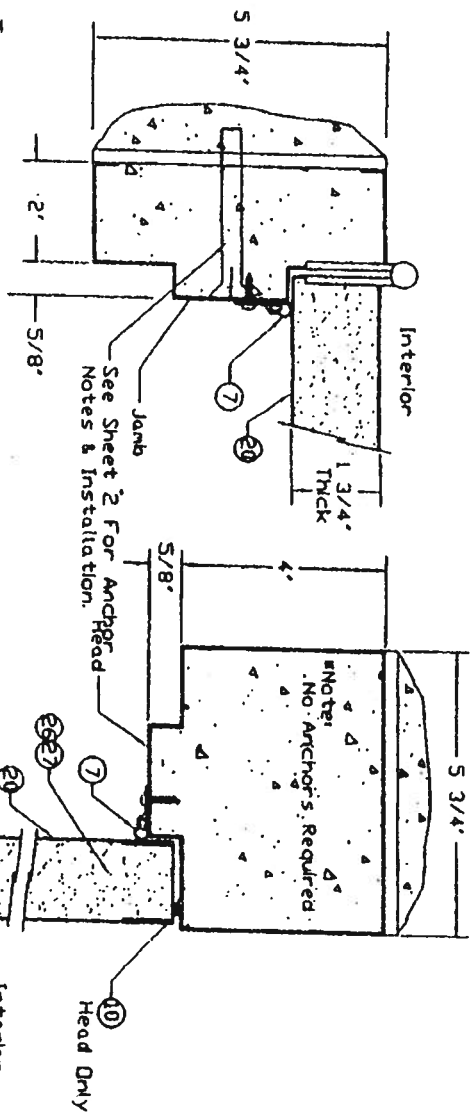
Frame Anchor (Inswing Doors)
Regent, Omega, Imperial & Versador
Installation Details

CECD DOOR PRODUCTS
Milton, Tennessee 38358

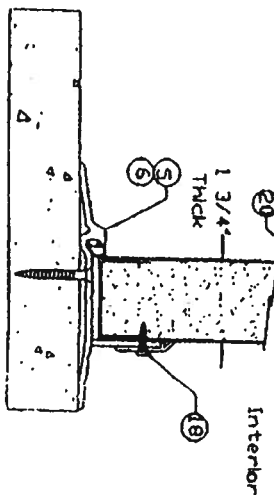
Approved as complying with the
Florida Building Code
Date: OCT 31 2003
NOA 03-000704
Michael Davis Technical Control
Division
By: [Signature]
A
Revised Per Marked
LT
Isaac Chanda.
ISSUE
DATE: 5/22/02
DRAWN BY: LT
DRAWING NUMBER: RD0728
Sheet 2 of 9

Note: Thresholds Not Approved For Water.

Inswing
(Not Approved For Water)



Section Y-Y



③ 3/16" Dia x 1-3/4" F.H. Tapcon
Anchor Located 5-3/4" From The
End And 12" On Center

Interior

3/4' Undercut

Threshold Pemko : 81AY

MATERIAL SPECIFICATIONS:

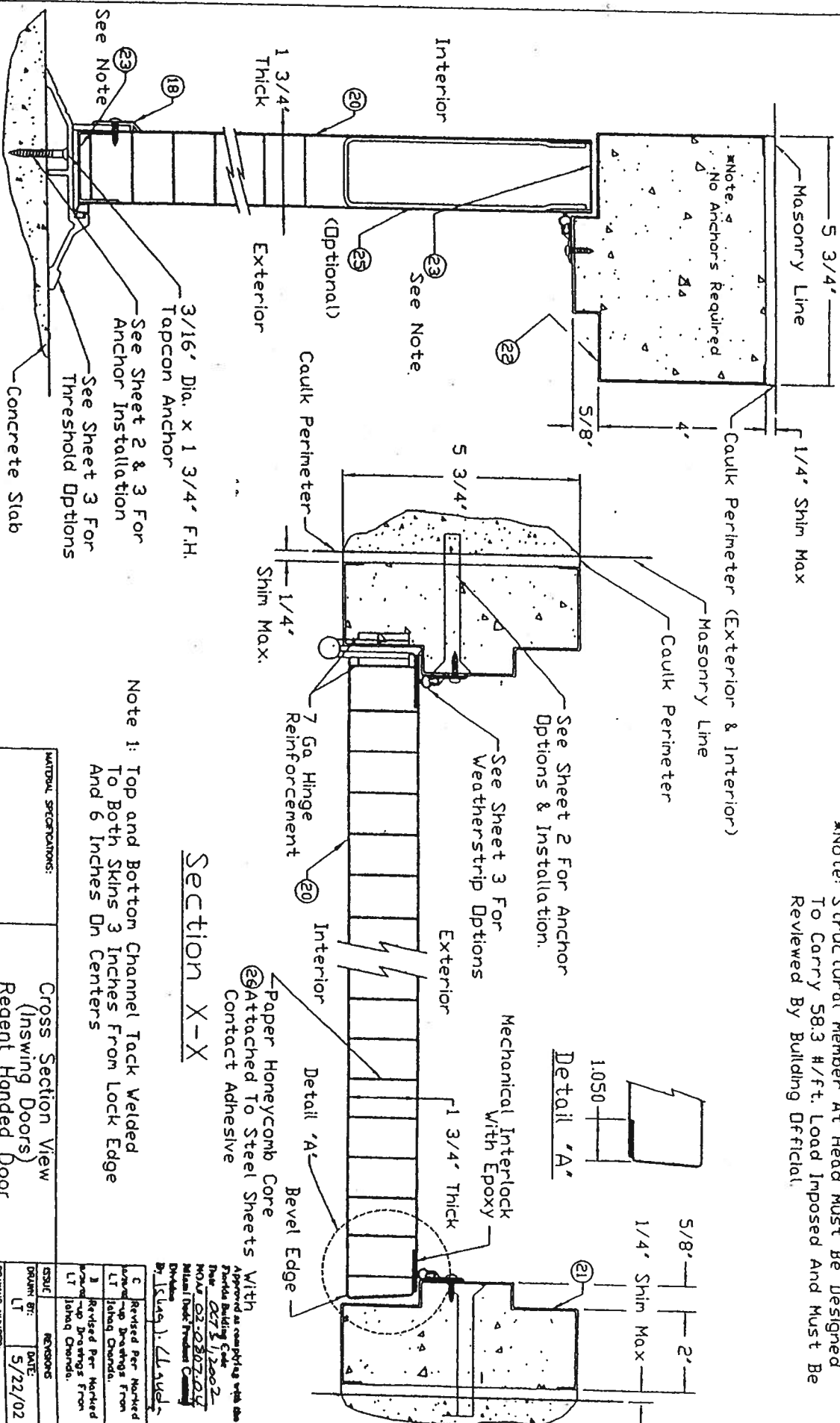
Threshold & Weatherstrip (Inswing Doors)
Regent, Omega, Imperial, Versadoor
Installation Details

CECD DOOR PRODUCTS
Milan, Tennessee 38358

RD0728
Sheet 3 of 9

Approved as complying with the
Florida Building Code
Date 07/31/2007
NOA# 03-080704
Issued To: Duke Products Company
Division
By: Charles J. Leland

*Note: Structural Member At Head Must Be Designed To Carry 58.3 #/ft. Load Imposed And Must Be Reviewed By Building Official.

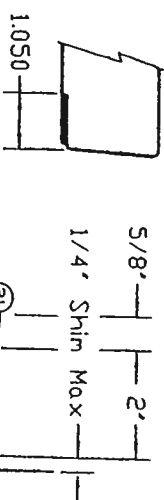


Note 1: Top and Bottom Channel Tack Welded To Both Skins 3 Inches From Lock Edge And 6 Inches On Centers

Section X-X

Paper Honeycomb Core
 Attached To Steel Sheets With Contact Adhesive

Detail 'A'



ADDITIONAL SPECIFICATIONS:

Cross Section View
 (Inswing Doors)

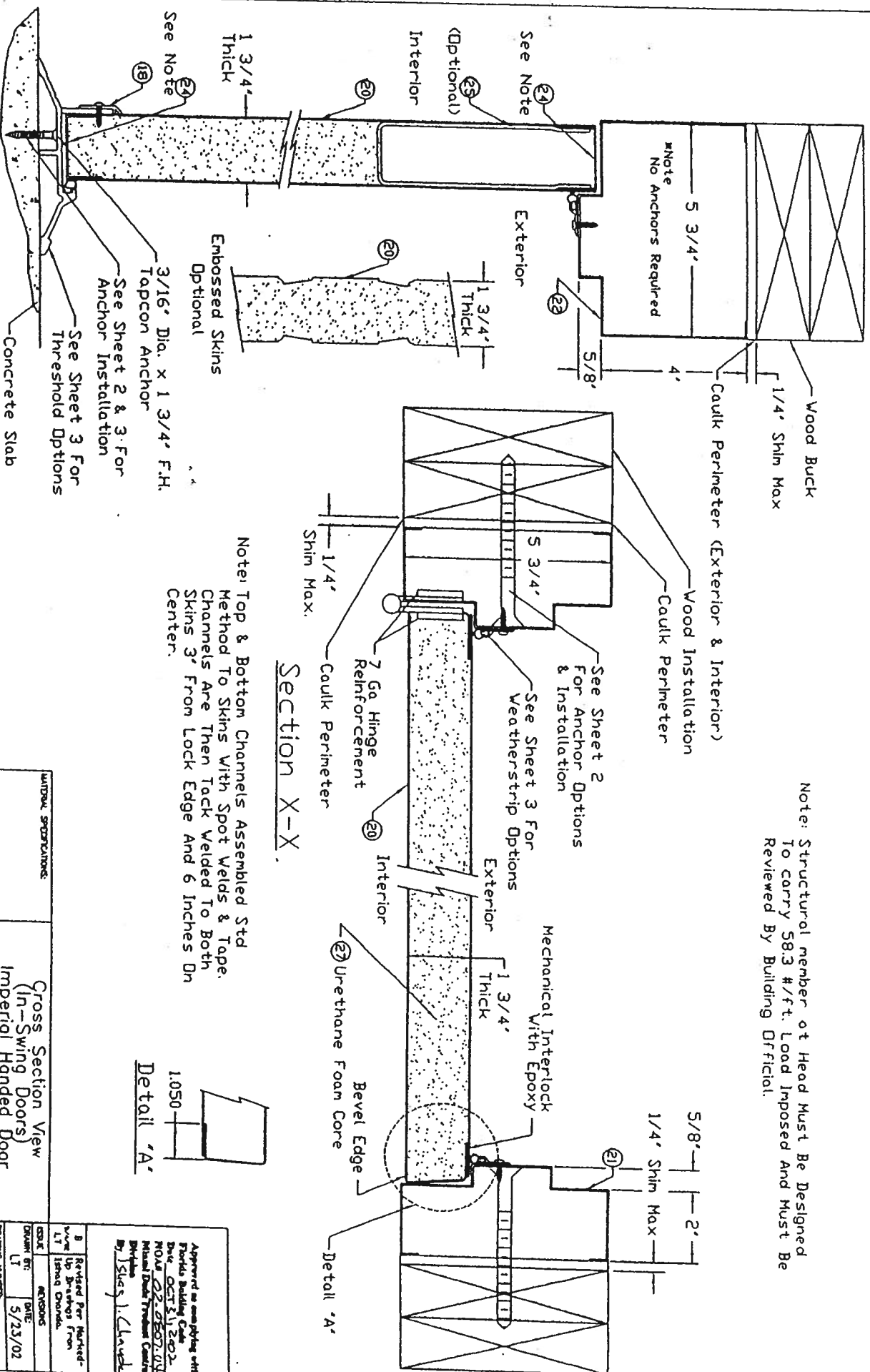
Regent Handed Door

CECO DOOR PRODUCTS
 Milan, Tennessee 38358

DATE	REVISIONS
02/22/02	1 Revised Per Marked
02/22/02	2 Revised Per Marked
02/22/02	3 Revised Per Marked
02/22/02	4 Revised Per Marked
02/22/02	5 Revised Per Marked
02/22/02	6 Revised Per Marked
02/22/02	7 Revised Per Marked
02/22/02	8 Revised Per Marked
02/22/02	9 Revised Per Marked

RD0728
 Sheet 5 of 9

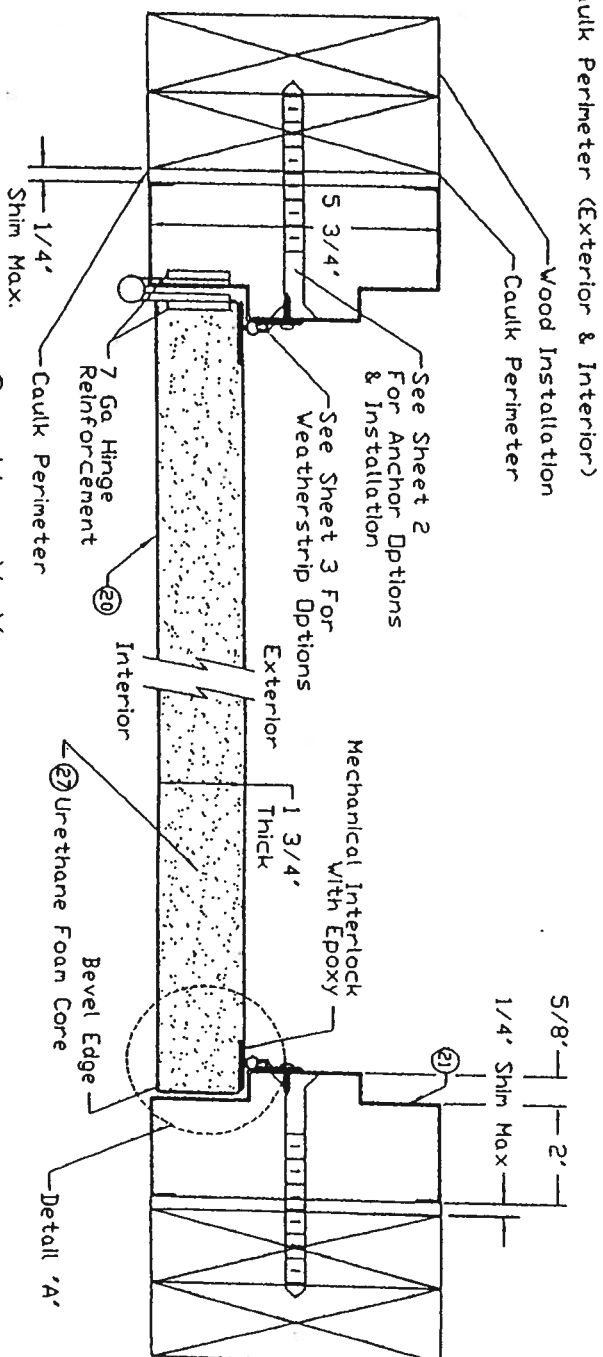
Note: Structural member at Head Must Be Designed To carry 58.3 #/ft. Load Imposed And Must Be Reviewed By Building Official.



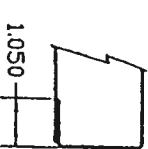
AUTOMATIC OPERATORS		Cross Section View (In-Swing Doors)	
		Imperial Handed Door	
		CECD DDDR PRODUCTS	
		Mem, Tennessee 38338	
DESIGN	DATE	REVISIONS	REVISIONS
LT	5/23/02	1	Revised Per Manufacturer's
LT		2	Up Drawings from
LT		3	Issued Drawings
RD0728		RD0728	
Sheet 7 of 9		Sheet 7 of 9	

Approved as engineering with Florida Building Code
 Date: OCT 31, 2002
 MOLE: 02-0507-001
 Michael D. Durr
 By: [Signature] (Checked)

Note
No Anchors Required



Note: Top & Bottom Channels Assembled Std Method To Skins With Spot Welds & Tape. Channels Are Then Tack Welded To Both Skins 3" From Lock Edge And 6 Inches Dn Center.



Detail "A"

Section Y-Y

[illegible]

1	Cylindrical Lock & Lock Reinforcement (RD0528)	Schlage	AL53PD
1A	Deadbolt (Optional) ⑩	Schlage	BI00
2	Dr Cylindrical Lock & Lock Reinforcement	Saflok	Premier SL2500
3	Dr Mortise Lock	Saflok	MT
4	Caulk	Dow Corning	899 Silicone Glazing Sealant
5	Threshold	Penko	2005AV36
6	Dr	Penko	181AV36
7	Weatherstrip	Penko	303AV3684
8	Hinge (Ball Bearing)	Hager or Equal (Attached w/ (8) #12-24 x 1/2 HS Per Hinge)	4-1/2" x 4-1/2" x .134 (Std Weight)
9	Dr (Spring)	Hager or Equal (Attached w/ (8) #12-24 x 1/2 HS Per Hinge)	4-1/2" x 4-1/2" x .134 (Std Weight)
10	Weatherstrip	Penko	S88
11	Frame Anchor	Masonry Tee (RD0057)	16 ga (.053" min) Galv Steel Fymin = 30ksi
12	Dr	Wire, Relaxed Dimension 9' x 8'	#7 (.167" min) Galv Steel Wire (70,000 - 90,000 psi Tensile Strength)
13	Dr	Expansion Bolt	3/8" x 5" F.H. Rod Lok/Bolt
14	Dr	Wood Lag Screw	Dr 3/8" x 5" F.H. Ranset/RED Head
15	Viewer	Hager	3/8" x 4-5/8"
16	Dr	MAG Security	1755
17	Drip Cap Top	Penko	8724-C
18	Sweep	Penko	346
19	Floor Anchor	Fixed Floor Anchor	315 N
20	Face Sheet A60 Galv Conforming To ASTM A653	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	16 ga (.053" min) galvanized Steel
21	Series SF, Frame Janb, Double Rabbet Profile, A60 Galv Conforming To ASTM A653	16 Ga (.053" min)	16 Ga (.053" min)
22	Series SF, Frame Head, Double Rabbet, Profile A60 Galv Conforming To ASTM A653	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	2" Face, 5-3/4" Depth Min. (RD0033)
23	Door Channels Spot Welded To Bottom Skin	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	4" Face, 5-3/4" Depth Min. (RD0033)
24	Door Channels Spot Welded To Bottom Skin	16 Ga (.053" min) A60 Galv Conforming To ASTM A653	16 ga (.053" min) x 1" x 1-3/4" x 1"
25	Door Channels Spot Welded To Bottom Skin	16 Ga (.053" min) A60 Galv Conforming To ASTM A653	16 ga (.053" min) x 1" x 1-3/4" x 1"
26	Closer Reinforcement (Optional)	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	12 ga (.093" min) x 5-3/8" x 16"
27	Honeycomb Core	12 Ga (.093" min) CS Type B	1.2" Nominal Cell Size
28	Urethane Core	Non-impregnated Kraft Paper ⑥	2 lb/ft ³ Density

Approved as complying with the
Florida Building Code
Date: 04/31/2002
NOA# 02-0502-002
Miles and Back Freedom Control
Division
By: Steve J. Chasnet

MATERIAL SPECIFICATIONS:

3-0 x 7-0 Series
In-Swing Bill Of Materials

CECO DOOR PRODUCTS
Milton, Tennessee 38358

DRAWING NUMBER: **RD0728**
Sheet 9 of 9

B 10/10/02 LT	Revised Per Marked- Up Drawings From Ishaq Chanda.
A 9/4/02 LT	Revised Per Marked- Up Drawings From Ishaq Chanda.

Alpine Engineered Products, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 567
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: ISZY487-Z0621105051

Truss Fabricator: Anderson Truss Company
Job Identification: 6-306--Owner_Builder Thomas Duncan -- , **
Truss Count: 2
Model Code: Florida Building Code 2004
Truss Criteria: ANSI/TPI-2002(STD)/FBC
Engineering Software: Alpine Software, Version 7.24.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-02 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Details: A11015EE-GBLLETIN-

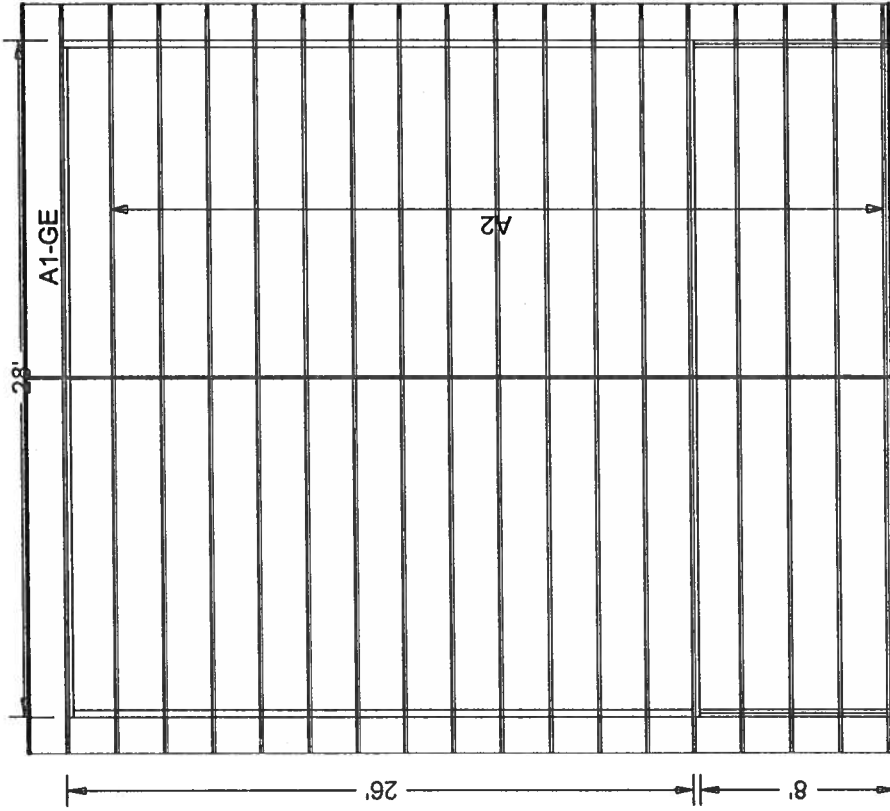
#	Ref	Description	Drawing#	Date
1	03499--A1-GE		06233141	08/21/06
2	03500--A2		06233142	08/21/06

Seal Date: 08/21/2006

-Truss Design Engineer-
Arthur R. Fisher
Florida License Number: 59687
1950 Marley Drive
Haines City, FL 33844

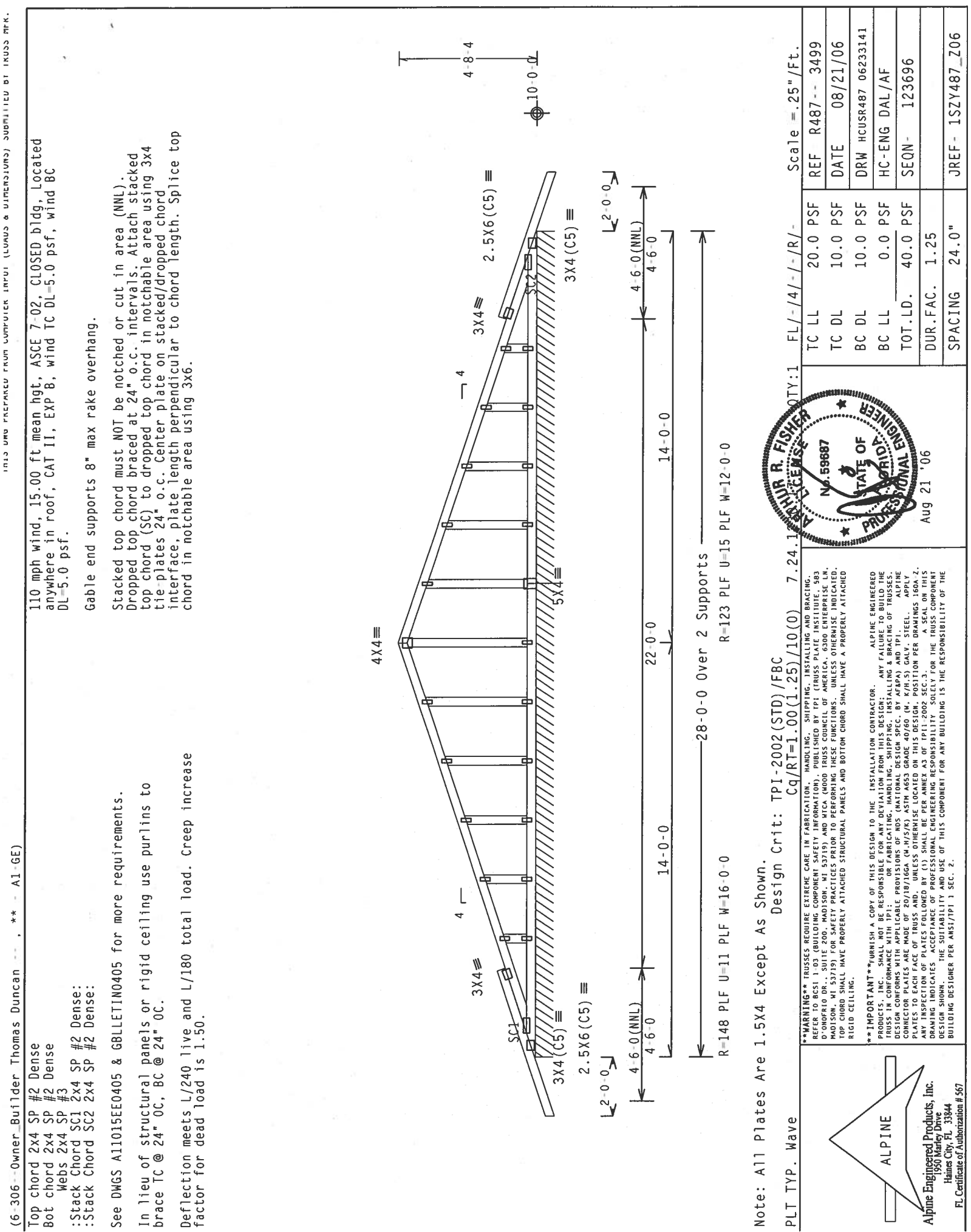
ALPINE





8/21/06 #6-306 THOMAS DUNCAN

Scale: 1/8" = 1'



(6-306-Owner_Builder Thomas Duncan, ** AI-GE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
Stack Chord SC1 2x4 SP #2 Dense:
Stack Chord SC2 2x4 SP #2 Dense:

See DWGS A11015EE0405 & GBLLETIN0405 for more requirements.
In lieu of structural panels or rigid ceiling use purlins to brace TC @ 24" OC, BC @ 24" OC.
Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.
Gable end supports 8" max rake overhang.

Stacked top chord must NOT be notched or cut in area (NNL).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notched area using 3x4 tie plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notched area using 3x6.

Design Crit: TPI-2002(STD)/FBC
Cq/RT=1.00(1.25)/10(0) 7.24.1

Note: All Plates Are 1.5X4 Except As Shown.
PLT TYP. Wave

Scale = .25" / Ft.

TC LL	20.0 PSF	FL / - / 4 / - / R / -
TC DL	10.0 PSF	
BC DL	10.0 PSF	
BC LL	0.0 PSF	
TOT. LD.	40.0 PSF	
DUR. FAC.	1.25	
SPACING	24.0"	

ALPINE

Alpine Engineered Products, Inc.
Haines City, FL 33844
FL Certificate of Authorization # 567

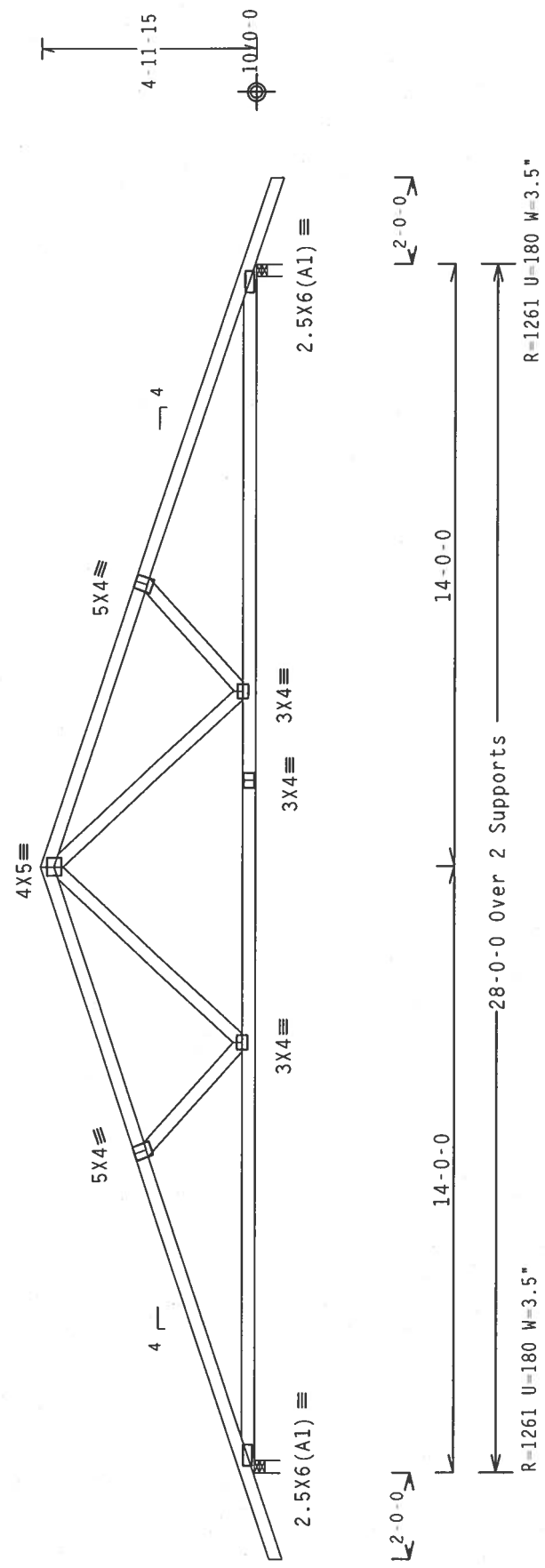
Professional Engineer
R. FISHER
No. 59887
STATE OF FLORIDA
Aug 21 '06

WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BC31 1.03 (BUILDING COMPONENT SAFETY INFORMATION) PROVIDED BY TPI. INSTRUCTIONS FOR THE PROPER INSTALLATION OF THIS TRUSS SYSTEM ARE PROVIDED IN THE TPI LITERATURE. THE TRUSS SYSTEM IS DESIGNED TO BE USED IN CONFORMANCE WITH THE 2000 INTERNATIONAL BUILDING CODES (IBC) AND THE 2000 INTERNATIONAL RESIDENTIAL CODES (IRC). THE TRUSS SYSTEM IS NOT TO BE USED IN ANY OTHER MANNER. THE TRUSS SYSTEM IS NOT TO BE USED IN ANY OTHER MANNER. THE TRUSS SYSTEM IS NOT TO BE USED IN ANY OTHER MANNER.

IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF IBC (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 2018/16GA (4 H/S/K) ASTM A653 GRADE 40/60 (M. K/H-S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A.2. INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 13.5. A SEAL ON THIS DRAWING INDICATES THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

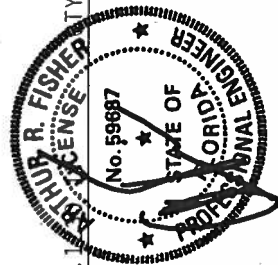
110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

Design Crit: TPI-2002(STD)/FBC
Cq/RT=1.00(1.25)

Scale = .25"/Ft.

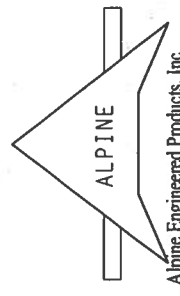
TC LL	20.0 PSF	REF	R487 - -	3500
TC DL	10.0 PSF	DATE	08/21/06	
BC DL	10.0 PSF	DRW	HCUSR487	06233142
BC LL	0.0 PSF	HC-ENG	DAL/AF	*
TOT.LD.	40.0 PSF	SEQN-	123694	
DUR.FAC.	1.25			
SPACING	24.0"	JREF-	1SZY487_Z06	



Aug 21 '06

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BESS 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLEK INSTITUTE, 583 DOWNSIDE RD., SUITE 200, MADISON, WI 53719) AND WICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN., MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT****TURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERS, INC., SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TP1. OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY AFAPA) AND TP1. ALPINE CONNECTOR PLATES ARE MADE OF 2018/16GA (W/H/5/8) ASTM A453 GRADE 40/60 (W. H/4/5) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER AMEX A3 OF TP11-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER AMEX/TP11 SEC. 2.



1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # S67

ASCE 7-02: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C

MAX CABLE VERTICAL LENGTH													
SPACING	2X4 GABLE VERTICAL SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE *			(2) 2X4 "L" BRACE **			(1) 2X6 "L" BRACE *			(2) 2X6 "L" BRACE *
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B		
24" O.C.	SPF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
	SP	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
24" O.C.	SPF	STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
		#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
		#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
16" O.C.	SP	STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
		#1 / #2	4' 11"	8' 5"	8' 5"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	STUD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SP	#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER
CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

CABLE END SUPPORTS LOAD FROM 4' 0"

OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS.

* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C.

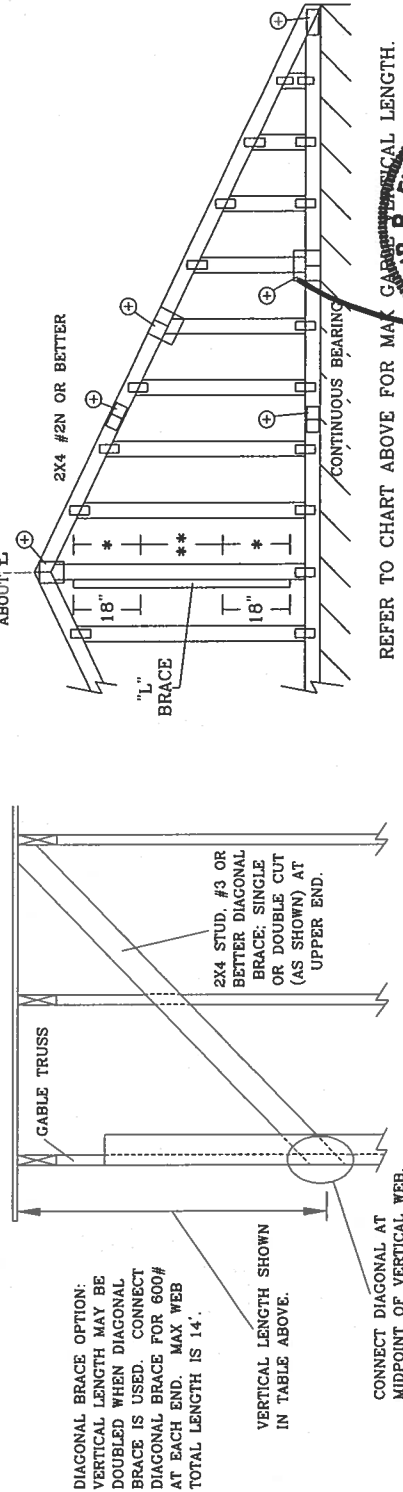
IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
 ** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C.

IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4
GREATER THAN 11' 6"	2.5X4

+ REFER TO COMMON TRUSS DESIGN FOR
PEAK, SPLICE, AND HEEL PLATES



REFER TO CHART ABOVE FOR MAX CARBON PIPERICAL LENGTH.

*****WARNING***** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BSI-1193 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS INSTITUTE), 10000 W. 15TH AVENUE, SUITE 100, DENVER, CO 80202, FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. ENTERPRISE IN MADISON, WI 53717, FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. IF THESE TRUSSES ARE USED IN ANY MANNER OTHER THAN AS SPECIFIED, THE MANUFACTURER SHALL HAVE NO LIABILITY. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID JOINT.

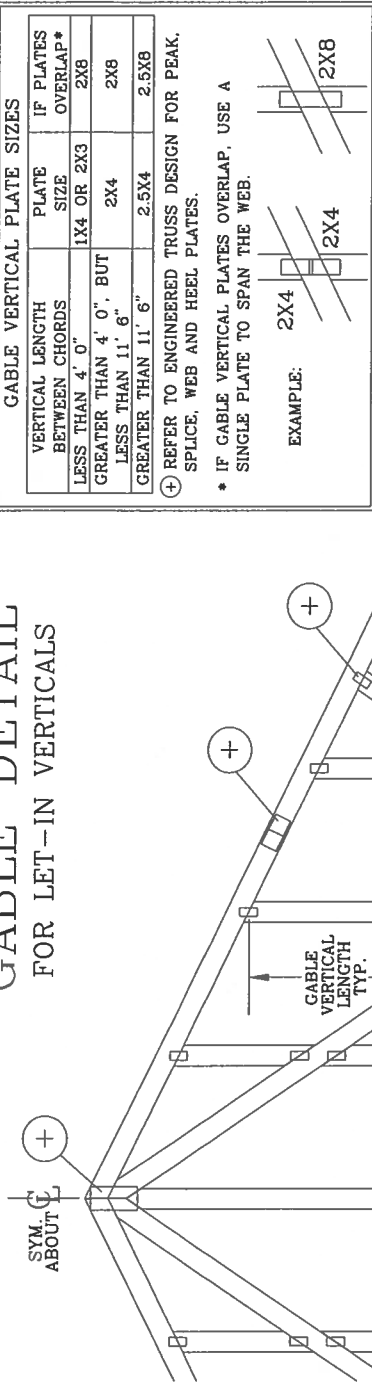
IMPORTANT: FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR APPLICABLE HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 2018/16GA (V.H/S/K) ASTM A653 GRADE 40/60 (V.H/S/K) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, ANY INSPECTION OF PLATES FOLLOWED BY (C) SHALL BE IN THIS DESIGN. POSITION PER DRAWINGS 16GA-2. ANY INSPECTION OF TRUSSES SHALL BE BY A PROFESSIONAL ENGINEERING FIRM. RESPONSIBILITY OF THE TRUSS COMPONENT DESIGN SHOWN, THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER ANSI/TPI 1 SEC. 2.

REF	ASCE7-02-GABI1015
DATE	04/15/05
DRWG	A11015EE0405
-ENG	

MAX. TOT. I.D. 60 PSF

MAX. SPACING 24.0"

GABLE DETAIL FOR LET-IN VERTICALS



TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" FACTOR BY LENGTH (BASED ON GABLE VERTICAL SPECIES, GRADE AND SPACING) FOR (1) 2X4 "L" BRACE, GROUP A, OBTAINED FROM THE APPROPRIATE ALPINE GABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

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CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 16-6S-16-03837-000

Building permit No. 000024932

Use Classification ADDITION TO SFD

Fire: 0.00

Permit Holder OWNER

Waste:

Owner of Building THOMAS J. DUNCAN

Total: 0.00

Location: 15638 SW STATE ROAD 47

Date: 12/29/2006



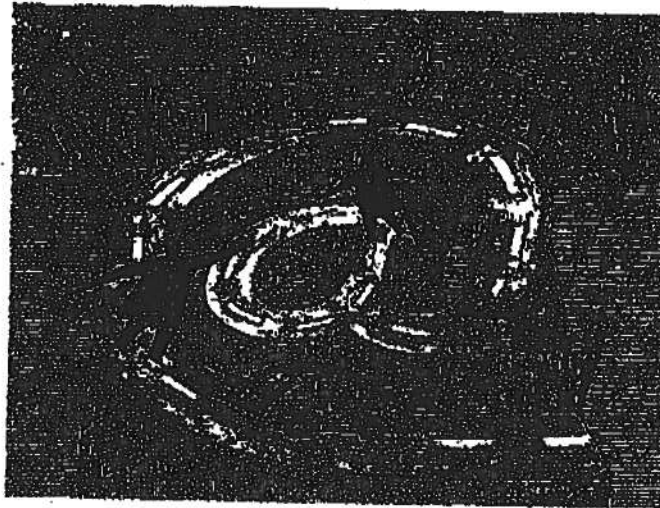
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

24932

FLORIDA DEPARTMENT OF TRANSPORTATION

LAKE CITY MAINTENANCE
SUNCOM (386) 862-7180
PHONE (386) 961-7180
FAX (386) 961-7183

FACSIMILE TRANSMITTALDATE: 8-31-2006TO: Mr. Sohn Kerre

ATTN: _____

FROM: Dde CraySUBJECT: Passing on existing DLWCOMMENTS: Please call if any questions

**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 8-31-2006 **Fax No.** 386-961-7183
Attention:

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: Existing Res. D/W / Inspected On: 8-31-2006

PROJECT: Thomas J. Duncan / Existing: Res. Access S.R. 47 (S)

PARCEL ID No: 16-6s-16-03837-000 **PERMIT#** N/A **SEC#** 29020

MILE POST N/A +- **Engineer:** N/A

Mr. Kerce:

Please accept this as our legal notice of final passing inspection for an existing residential driveway for **Thomas J. Duncan** P.O. Box 481 FT. White, FL 320380481.

This access has been inspected and the connection is acceptable and meets FDOT ACCESS Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

Sincerely,



Dale L. Cray
Access Permits Inspector

0862 12571

98-18175

RECEIVED COUNTY CLERK
OFFICE OF THE COUNTY CLERK

1998 NOV 12 PM 1:04

U.S. Title
642 N.E. Santa Fe Blvd.
High Springs, FL 32648

Parcel I.D. No: 18-0818-03837-000

(Space Above This Line for Recording Date)

WARRANTY DEED

This instrument made this 9th day of November, 1998 between WILLIAM F. MILLER, JR., A MARRIED MAN, GRANTOR, whose post office address is 507 OLAN WAY, JESUP, GEORGIA 31848, and THOMAS J. DUNCAN, A SINGLE MAN, GRANTEE, whose post office address is P.O. BOX 181, FORT WHITE, FLORIDA 32838.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100 Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of COLUMBIA, State of Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Grantor herein covenants that subject property is not his homestead property nor is it contiguous to his homestead property.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*Single and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES

James E. Cooke
Typed Name: James E. Cooke

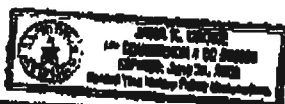
William F. Miller, Jr.
WILLIAM F. MILLER, JR.

James E. Cooke
Typed Name: James E. Cooke

COUNTY OF
STATE OF

THE FOREGOING INSTRUMENT was acknowledged before me on November 9th, 1998 by WILLIAM F. MILLER, JR., A MARRIED MAN who before personally known to me or has produced DEBRA DUNCAN's as identification.

(Seal)



James E. Cooke
NOTARY PUBLIC, STATE OF FLORIDA
My Comm. Expires 12/31/2000

THIS INSTRUMENT WAS PREPARED BY: JAMES E. COOKE, an employee of U.S. TITLE, ONE N.E. SANTA FE BLVD., HIGH SPRINGS, FLORIDA 32648, as a necessary incident to full the requirements of a Title Insurance Policy issued by U.S. 404-1234.

Documentary Stamp \$140.00
Intangible Tax
F. Death Duty
Chatt. of Dec.
By: [Signature] D.S.

EX 0868 F62575
OFFICIAL RECORDS

EXHIBIT "A"

DESCRIPTION:

A PART OF THE SE 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 16 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SE 1/4 AND RUN S.88°34'43"W., ALONG THE SOUTH LINE THEREOF, 1,309.33 FEET TO A POINT ON THE WESTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 830 PAGE 1838 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.21°04'03"E., ALONG SAID LINE, 6.40 FEET FOR A POINT OF BEGINNING; THENCE S.88°45'30"W., 382.89 FEET; THENCE N.1°05'17"W., 451.06 FEET; THENCE N.88°34'43"E., 378.13 FEET TO A POINT ON THE WESTERLY LINE OF LANDS DESCRIBED IN SAID OFFICIAL RECORDS BOOK 830 PAGE 1838 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE S.21°04'03"W., ALONG SAID LINE, 480.00 FEET TO THE POINT OF BEGINNING.

COLUMBIA COUNTY, FLORIDA.

CONTAINING 3.01 ACRES, MORE OR LESS.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE SE 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 16 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SE 1/4 AND RUN S.88°34'43"W., ALONG THE SOUTH LINE THEREOF, 1,309.33 FEET; THENCE N.21°04'03"E., 482.28 FEET FOR A POINT OF BEGINNING OF SAID INGRESS AND EGRESS EASEMENT; THENCE S.88°34'43"W., 382.89 FEET; THENCE N.21°03'34"E., 1148.47 FEET; THENCE S.80°47'08"E., 29.25 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S.8°12'51"W., ALONG THE WEST LINE THEREOF, 60.00 FEET; THENCE N.80°47'08"W., 12.00 FEET; THENCE S.21°03'34"W., 1078.00 FEET TO THE POINT OF BEGINNING.

COLUMBIA COUNTY, FLORIDA.

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DAVITT CASON, CLERK OF COURTS



P. Davitt Cason
Deputy Clerk
August 17, 2006

SearchResults

Page 1 of 2

Columbia County Property Appraiser

DB Last Updated: 8/1/2006

Parcel: 16-6S-16-03837-000

2006 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	DUNCAN THOMAS J
Site Address	
Mailing Address	P O BOX 481 FT WHITE, FL 320380481
Description	COMM SE COR OF SE1/4, RUN W 1309.33 FT, N 21 DG E 6.40 FT FOR POB, RUN W 392.89 FT, N 451.06 FT, E 576.13 FT, RUN S 21 DG W 460 FT TO POB, ORB 868-2574

Use Desc. (code)	SINGLE FAM (000100)
Neighborhood	16616.00
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	5.010 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$42,585.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$29,685.00
XFOB Value	cnt: (1)	\$150.00
Total Appraised Value		\$72,420.00

Just Value	\$72,420.00
Class Value	\$0.00
Assessed Value	\$72,420.00
Exempt Value	\$0.00
Total Taxable Value	\$72,420.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vimp	Sale Qual	Sale RCode	Sale Price
11/9/1998	868/2574	WD	I	Q		\$20,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1948	Vinyl Side (31)	1064	1304	\$29,685.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	0	\$150.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	5.010 AC	1.00/1.00/1.00/1.00	\$8,500.00	\$42,585.00

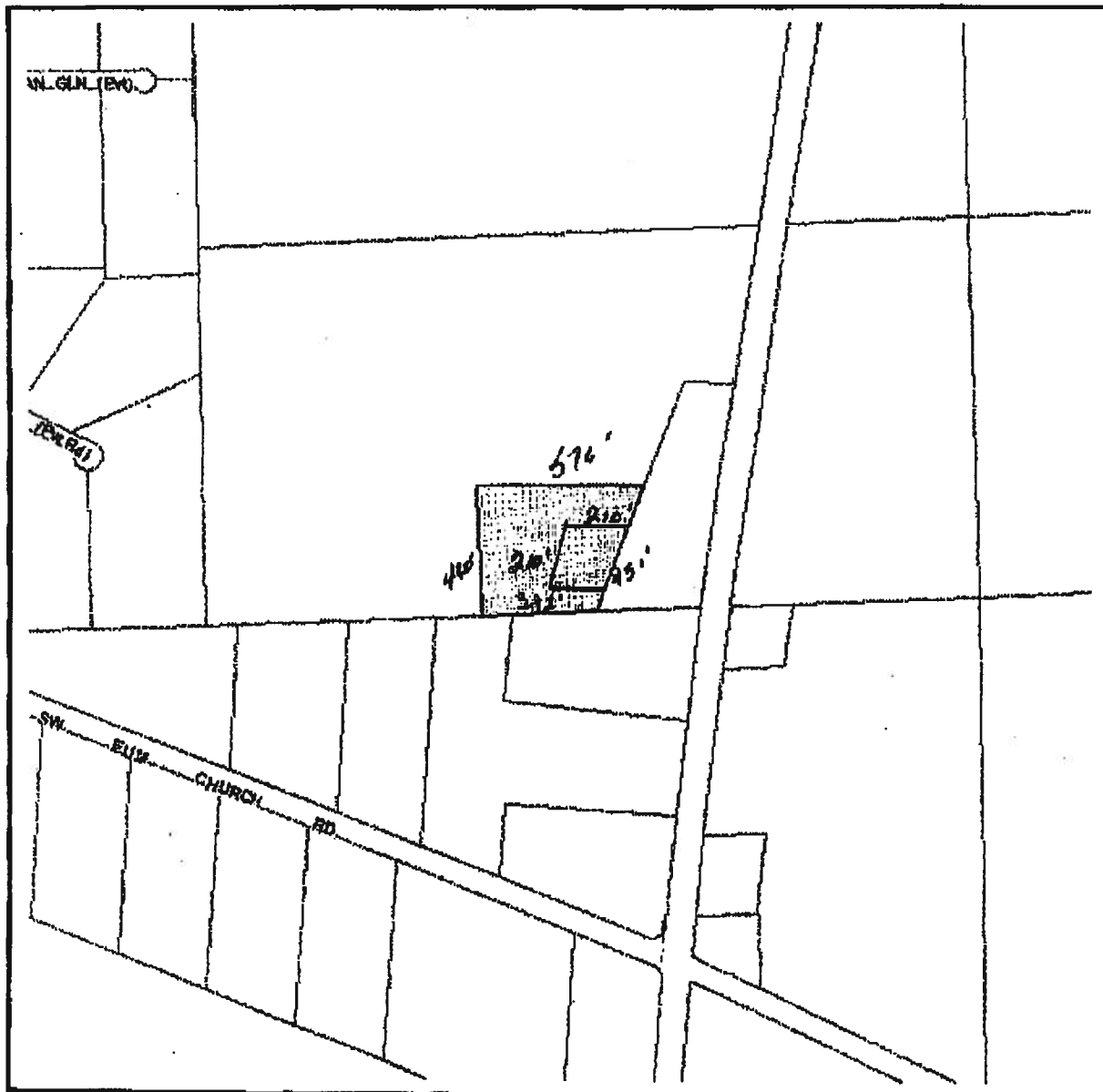
Columbia County Property Appraiser

DB Last Updated: 8/1/2006

1 of 1

Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for



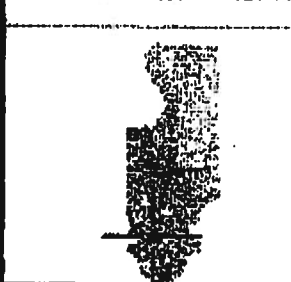
Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 16-6S-16-03837-000 - SINGLE FAM (000100)

Name: DUNCAN THOMAS J	LandVal	\$42,585.00
Site:	BldgVal	\$29,885.00
Mail: P O BOX 481	ApprVal	\$72,420.00
FT WHITE, FL 320980481	JustVal	\$72,420.00
Sales Info 11/9/1998 \$20,000.00 / Q	Assd	\$72,420.00
	Exempt	\$0.00
	Taxable	\$72,420.00

0 200 400 720 ft



This information, GIS Map Updated: 8/1/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

H & M Constr.
06-0694-N

S 45°16' W 75.21'

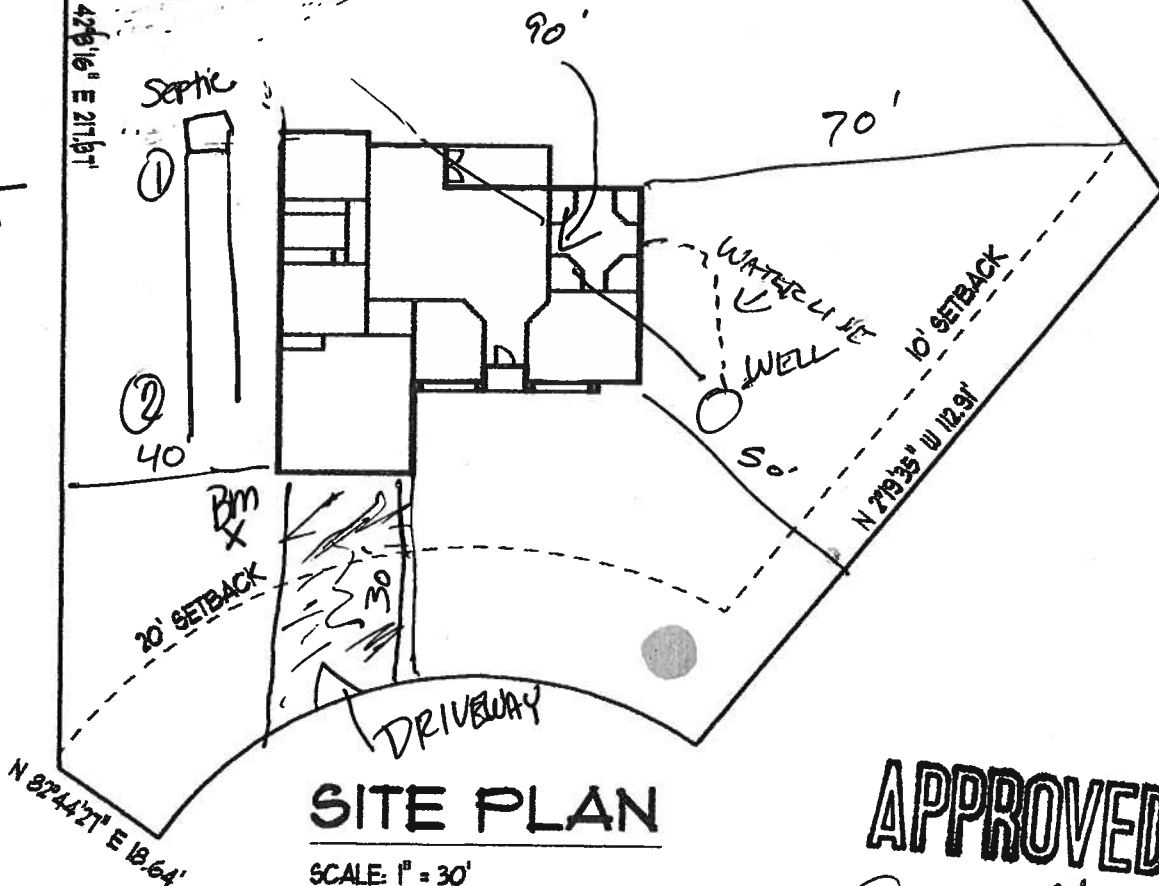
NOTE:
ALL DIMENSIONS SUBJECT
TO FIELD DETERMINATION

NOTE:
ACTUAL LOCATION OF HOME
TO BE DETERMINED BY OWNER
WITHIN SETBACKS

S 18°32' E 161.24'

S 42°16' E 211.87'

VACANT



SITE PLAN

SCALE: 1" = 30'

CANNON CREEK PLACE/LOT 12
/SECTION 24/TOWNSHIP 4 SOUTH/RANGE
16 EAST/COLUMBIA COUNTY, FLORIDA

APPROVED

Salbi Lladó

ES11

Columbia CHD

8-9-06