

PERMIT
000027007

Check # or Cash 3122

(footer/Slab)

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

COLUMBIA COUNTY
BUILDING PERMIT / APPLICATION
This Permit Expires One Year From Date of Issue

Permit

No 13300

DATE 11-13-97

NEW RESIDENT NO

APPLICANT'S NAME & ADDRESS GAYLA MORRISON PHONE 372-9767 (352)

OWNER'S NAME & ADDRESS DANIEL DOBBS, POB 1705 PHONE 454-4135
HIGH SPRINGS, FL 32643

CONTRACTOR'S NAME GATOR ALUMINUM- DONALD L. RUSSELL PHONE 372-9767 (352)

LOCATION OF PROPERTY 47-S TO C-138 TURN RIGHT, PAST THE US 27 JUNCTION GO 1.8 MILES TO LEFT
DRIVEWAY... HAS PVC STICKING IN GROUND....

TYPE DEVELOPMENT ROOFOVER M/H /8X19 ROOM ADD. ESTIMATED COST OF CONSTRUCTION \$ 8200.00
COMPOSITE

FLOOR AREA 152 HEIGHT STORIES 1 WALLS BRICK PANELS

FOUNDATION WOOD DECK ROOF (type & pitch) 1' 12 FLOOR CONC

LAND USE & ZONING A-1 LU A-3 MAX. HEIGHT

MINIMUM SET BACK: STREET - FRONT /SIDE 30 REAR 25 SIDE 25

NO. EX. D. U. -0- FLOOD ZONE OUT CERT. DATE N/A DEV. PERMIT N/A

LEGAL DESCRIPTION (acres)
25-7S-16-04321-035 10.00 ACRES OF LAND AKA LOT 5 RUN ISLAND RANCHES UNREC.

I certify that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction and that all the foregoing information is accurate and all work will be done in compliance with all applicable laws regulating construction and zoning.

RX 0041181

Contractor's License Number

Gayla Morrison
Applicant / Owner / Contractor

91-095

JLW

JLW-RK

Septic Tank Number

LU & Zoning checked by

Approved for issuance by

FOR BUILDING & ZONING DEPARTMENT ONLY

(Footer / Slab)

Temporary Power Foundation Monolithic
date / app. by date / app. by date / app. by

Under slab rough-in plumbing slab framing
date / app. by date / app. by date / app. by

Rough-in plumbing above slab and below wood floor

Electrical rough-in Heat and Air Duct Peri. beam
date / app. by date / app. by date / app. by

Permanent power Final Pool
date / app. by date / app. by date / app. by

COMMENTS: NO CONCRETE/....WOOD DECK.....

OTHER TYPES OF INSPECTIONS

Culvert EXISTING M / H tie downs, blocking, electricity and plumbing
date / app. by date / app. by

Utility Pole Pump pole Reconnection

BUILDING PERMIT FEE \$ 45.00 CK# 25149 ZONING CERT. FEE \$ 25.00 OTHER \$

INSPECTOR'S OFFICE *David G. Smith* CLERK'S OFFICE *C. Harris 11/17/97*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with all Deed Restrictions.

COLUMBIA COUNTY
BUILDING PERMIT / APPLICATION

Permit

No 7750

DATE Nov. 2, 1993

NEW RESIDENT _____

APPLICANT'S NAME & ADDRESS Tommy Matthews, P. O. Box 703, Ft. White PHONE 397-5847

OWNER'S NAME & ADDRESS ~~XXXXXXXX~~ Daniel Dobbs PHONE _____

CONTRACTOR'S NAME Tommy Matthews Const. PHONE _____

LOCATION OF PROPERTY Ru²¹ Island Lot #5

TYPE DEVELOPMENT Addition on Mobile Home ESTIMATED COST OF CONSTRUCTION \$ 28,000.

FLOOR AREA 720 HEIGHT _____ STORIES one WALLS fram

FOUNDATION conc ROOF (type & pitch) 5/12 FLOOR slab

LAND USE & ZONING A-1 L.U. A-4 MAX. HEIGHT 35

MINIMUM SET BACK: STREET - FRONT / SIDE 30 REAR 25 SIDE 2 5

NO. EX. D. U. no m FLOOD ZONE out CERT. DATE N/A DEV. PERMIT N/A

LEGAL DESCRIPTION (acres)
25-7s-16-04321-035

I certify that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction and that all the foregoing information is accurate and all work will be done in compliance with all applicable laws regulating construction and zoning.

CG C022001

Contractor's License Number

83-134

Janice Bryant


Applicant / Owner / Contractor

JMB/HD

Septic Tank Number

LU & Zoning checked by

Approved for issuance by

FOR BUILDING & ZONING DEPARTMENT ONLY

(Footer / Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date / app. by date / app. by date / app. by

Under slab rough-in plumbing _____ slab _____ framing _____
date / app. by date / app. by date / app. by

Rough-in plumbing above slab and below wood floor _____
date / app. by

Electrical rough-in _____ Heat and Air Duct _____ Peri. beam _____
date / app. by date / app. by date / app. by

Permanent power _____ Final _____ Pool _____
date / app. by date / app. by date / app. by

COMMENTS: Foundation Designed bason on infor. by owner. Per: Tommy Matthews

OTHER TYPES OF INSPECTIONS

Culvert existing M / H tie downs, blocking, electricity and plumbing _____
date / app. by date / app. by

Utility Pole _____ P ump pole _____ Reconnection _____
date / app. by date / app. by

BUILDING PERMIT FEE \$ 110.00 ZONING CERT. FEE \$ 25.00 OTHER \$ Radon 3.60
Cert. 3.60

INSPECTORS OFFICE Janice Bryant CLERKS OFFICE C. Harris 11/4/93

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CK 3122

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 11-30-07) Zoning Official CK 5/13/08 Building Official CK 5-13-08
AP# 0805-15 Date Received 5/8 By JW Permit # 27008
Flood Zone X Development Permit X Zoning A-3 Land Use Plan Map Category A-3
Comments Existing MH grandfathered in per M. Feagle 5/13/08
FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____
☒ Site Plan with Setbacks Shown ☒ EH # 08-0357-N ☐ EH Release ☐ Well letter ☐ Existing well
☐ Copy of Recorded Deed or Affidavit from land owner ☐ Letter of Authorization from installer
☐ State Road Access ☐ Parent Parcel # _____ ☒ STUP-MH 0805-19
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Property ID # 25-75-16-04321-035 Subdivision Lot 5 RUM ISLAND RANCHES UNR
▪ New Mobile Home ☒ Used Mobile Home _____ Year 2008
▪ Applicant Dale and Kelly Ford on Kelly Bishop Phone # 386-495-2311
▪ Address PO Box 33 Fort White, FL 32038
▪ Name of Property Owner Dobbs, Daniel + Shannon Phone# 386-454-2084
▪ 911 Address 1819 SW CR 138, Ft. White, FL 32038
▪ Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
▪ Name of Owner of Mobile Home Daniel Dobbs Phone # 386-454-2084
Address 791 RUM ISLAND TERR, Fort White, FL, 32038
▪ Relationship to Property Owner SAME
▪ Current Number of Dwellings on Property 2
▪ Lot Size 330 x 1325 Total Acreage 10
▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
▪ Is this Mobile Home Replacing an Existing Mobile Home NO YES
▪ Driving Directions to the Property 47 South, TL on US27, TR on CR 138, approx 2 miles to property on RIGHT 1819 on Post
▪ Name of Licensed Dealer/Installer Manuel Branvan Phone # 386-590-3289
▪ Installers Address 5707 CR 252 WELLSBORO FL 32094
▪ License Number TH0000868 Installation Decal # 285581

JW called Dale 5.13.08

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 25-7S-16-04321-035 HX VX

Owner & Property Info

Owner's Name	DOBBS DANIEL K & SHARON E		
Site Address	SW CR 138		
Mailing Address	1819 SW CR 138 FT WHITE, FL 32038		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	25716.02	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	10.000 ACRES		
Description	W1/2 OF W1/2 OF NE1/4 OF NW1/4 EX RD R/W. (AKA LOT 5 RUM ISLAND RANCHES UNREC) ORB 444-450,		

<< Prev

Search Result: 2 of 4

Next >>

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (3)	\$78,500.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$91,336.00
XFOB Value	cnt: (1)	\$300.00
Total Appraised Value		\$170,136.00

Just Value	\$170,136.00
Class Value	\$0.00
Assessed Value	\$72,512.00
Exempt Value	(code: HX VX) \$30,000.00
Total Taxable Value	\$42,512.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
NONE						

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1984	WD or PLY (08)	2093	3361	\$91,336.00

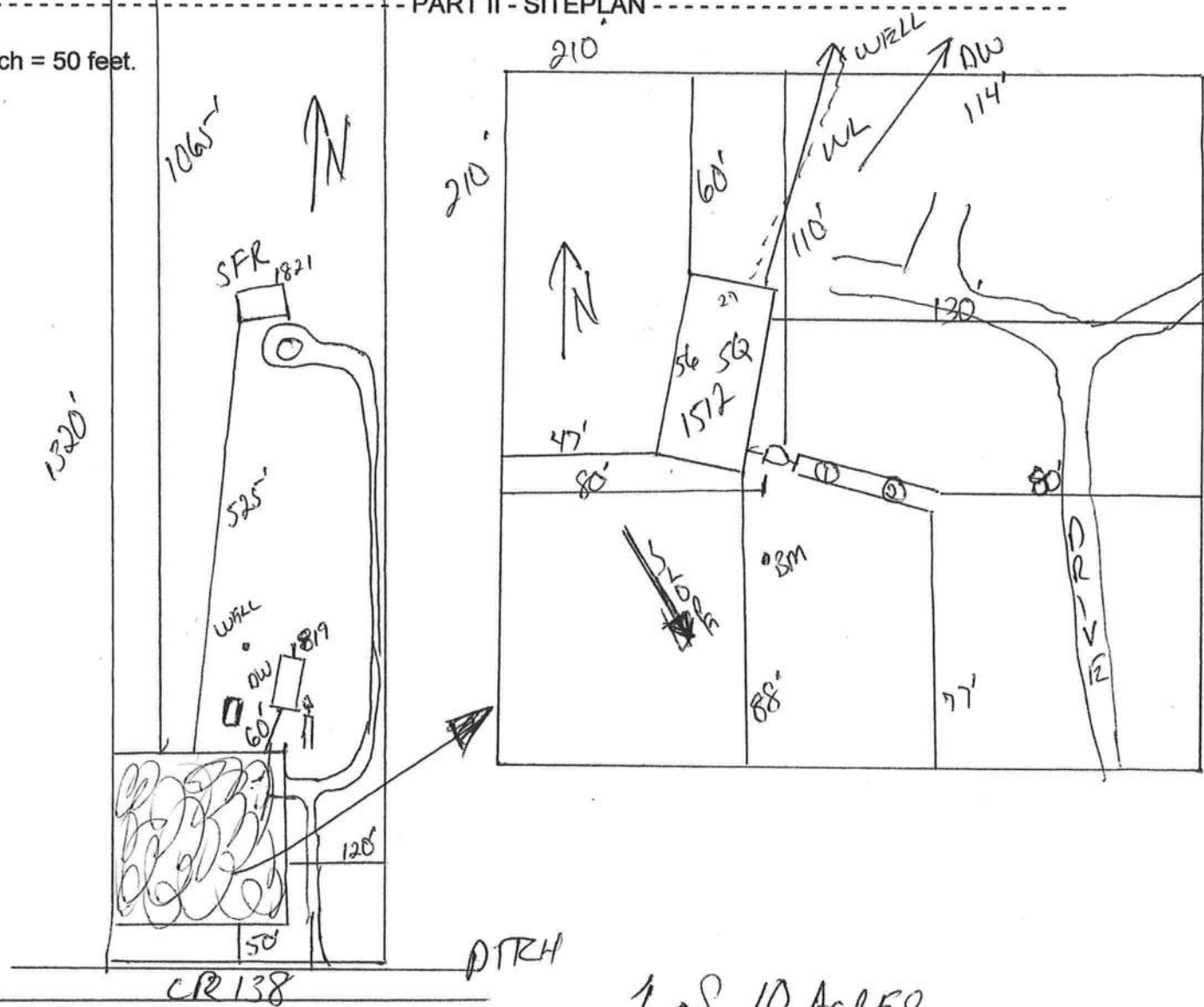
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II - SITEPLAN

Scale: 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: Rock D F MASTER CONTRACTOR
Plan Approved _____ Not Approved _____ Date _____
By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

PERMIT WORKSHEET

page 1 of 2

PERMIT NUMBER

Installer Manuel Brennan License # TH 0000868

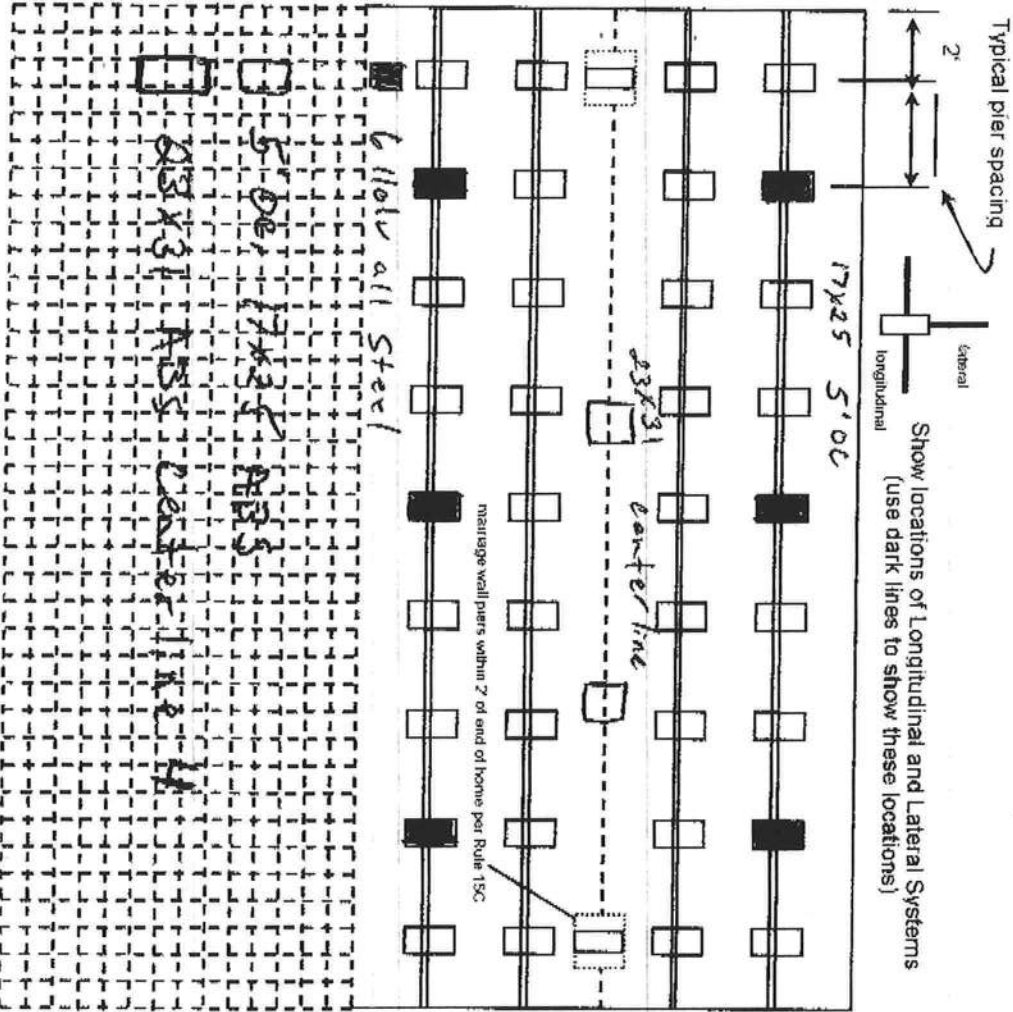
Address of home being installed CR 158

Manufacturer Flotek Length x width 56 x 27

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials MJB



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☐ Wind Zone III ☒

Double wide ☒ Installation Decal # 295581

Tripler/Quad ☐ Serial # TH-86865AB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'	6'	7'	8'	9'	10'
2000 psf	6'	8'	9'	10'	11'	12'
2500 psf	7'	8'	9'	10'	11'	12'
3000 psf	8'	8'	9'	10'	11'	12'
3500 psf	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25

Perimeter pier pad size 16x14

Other pier pad sizes (required by the mfg.) 23x31

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 17' Pier pad size 23x31

ANCHORS

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

O.T.

Sidewall Longitudinal Marriage wall Shearwall Number 28 4 AK

PERMIT NUMBER

PERMIT WORKSHEET

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1.5 psf or check here to declare 1000 lb. soil without testing.

X 1.5 X 1.5 X 1.5

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb increments, take the lowest reading and round down to that increment.

X 1.5 X 1.5 X 1.5

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewalk locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

MB Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Manuel Branan

Date Tested

4-29-08

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15-c

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15-c

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15-c

Site Preparation

Debris and organic material removed ☒ Swale ☐ Pad ☐ Other ☐

Water drainage: Natural

Fastening multi wide units

Floor: Type Fastener: L455 Length: 6" Spacing: 18"
Walls: Type Fastener: screws Length: 4" Spacing: 24"
Roof: Type Fastener: Strap Length: 12" Spacing: 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials MB

Type gasket Pg. 15-c

foam

Installed:
Between Floors ☒
Between Walls ☒
Bottom of ridgebeam ☒

Weatherproofing

The bottomboard will be repaired and/or taped. ☒ Pg.
Siding on units is installed to manufacturer's specifications. ☒
Fireplace chimney installed so as not to allow intrusion of rain water. ☒

Miscellaneous

Skirting to be installed. ☒ No ☐
Dryer vent installed outside of skirting. ☒ N/A
Range downflow vent installed outside of skirting. ☒ N/A
Drain lines supported at 4 foot intervals. ☒
Electrical crossovers protected. ☒
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the

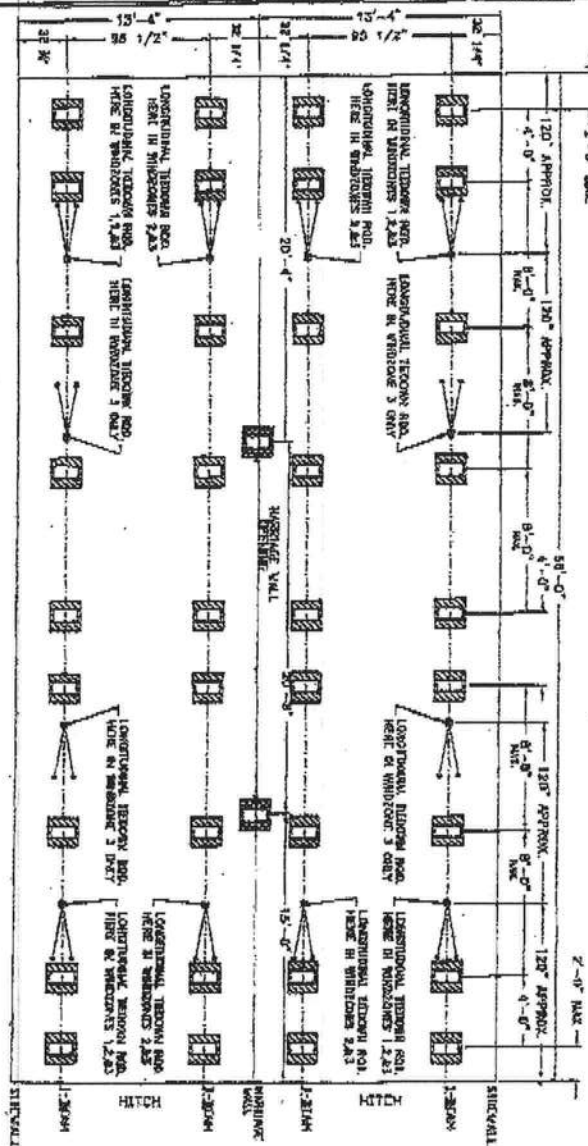
Installer Signature Manuel Branan

Date 4-29-08

27X56 MCS - FOUNDATION PLAN

NOTES:

1. THIS FOUNDATION DRAWING IS FOR 95' W 1-1/2" SPACING ONLY.
2. ADDITIONAL PILES ARE REQUIRED AT EXTERIOR WALL OPENINGS 48" IN WIDTH OR GREATER. (SEE CLASS SCHEDULING AND DETAIL.)
3. ADDITIONAL PILES ARE REQUIRED AT ENDS OF ALL SHEARWALLS IN ACCORDANCE WITH THE SETUP MANUAL. SHEARWALLS ARE MARKED ON PLANS WITH GRCEN THE DRIVEN PILES. REFER TO SETUP MANUAL FOR ADDITIONAL INFORMATION.
4. HARBAGE WALL PILES SHALL NOT BE REQUIRED AT HARBAGE WALL OPENINGS 48" IN WIDTH OR GREATER. HARBAGE WALL PILE LOCATIONS SHOWN ON PLAN ARE CORRECT PER MAX. TO ALLOW FOR VERTICAL ANCHORS.
5. HARBAGE PILE SPACING IS 6'-0". ACTUAL REQUIRED PILE SPACING WILL VARY ACCORDING TO FITTING SIZE AND SOIL CAPACITY. REFER TO SETUP MANUAL FOR ADDITIONAL INFORMATION.
6. LONGITUDINAL ANCHORS ARE REQUIRED ON ALL FRAMES. LOCATION AND QUANTITY OF LONGITUDINAL ANCHORS WILL VARY ACCORDING TO UNDERSTAND. SEE ABOVE DRAWING. REFER TO LONGITUDINAL FRAME TIE-IN INSTALLATION INFORMATION IN THE SETUP MANUAL.
7. THIS PLAN IS APPLICABLE FOR HULL CODE HONES ONLY AND IS ONLY INTENDED FOR THE MODEL SHOWN. THIS PLAN MAY NOT BE APPLICABLE FOR OTHER VARIATIONS OF THIS MODEL. REFER TO SETUP MANUAL FOR ALL SETUP INFORMATION.



PLAN KEY

- INDICATES TYPICAL LONGITUDINAL ANCHORING FOR 1-1/2\"/>



LIMITED POWER OF ATTORNEY

I, Manuel Brannan License LH-0000868 authorize Dale Burd, Rocky Ford or Kelly Bishop to be my representative and act on my behalf in all aspects of applying for a **MOBILE HOME PERMIT** to be installed any of the following Counties; Alachua, Baker, Bradford, Clay, Columbia, Dixie, Gilchrist, Hamilton, Lafayette, Levy, Madison, Suwannee & Union. This Power of attorney is valid thru 9/30/08.


(Signature)

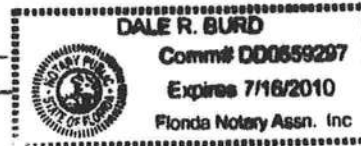
5/6/08
(Date)

Sworn and subscribed before me this 6 day of MAY, 2008.


Notary Public

Personally Known:
Produced ID (Type):

PZ D2



MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

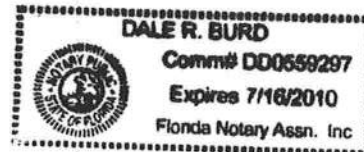
Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said License shall be renewed annually, and each licensee shall pay a fee of \$150.

I, Manuel Brannan, license number III - 0000868 do hereby state that the installation of the manufactured home for (applicant) Dale Burd, Rocky Ford or Kelly Bishop (customer name) POBBS in Columbia County will be done under my supervision.


Signature

Sworn to and subscribed before me this 6 day of MAY, 2008.

Notary Public: 



COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
APPLICATION

STUP Permit No. STUP - 0805-19 Date 5-19-08
Fee Paid 200.00 Receipt No. 3858 Building Permit No. _____

Name of Title Holder(s) DAVID & SHARON DOBBS
Address 1819 SW CR 138 City FORT WHITE
Zip Code 32038 Phone (386) 454-2084

NOTE: If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator MUST be attached to this application at the time of submittal stating such appointment.

Title Holder(s) Representative Agent(s) DAVID DOBBS, Realty Firm on Kelly Dr
Address PO Box 39 City FORT WHITE
Zip Code 32038
Phone (386) 497-2311

Tax Parcel ID# 25-08-16-04321-035
*** Provide a copy of your Deed or the Property Appraiser print out for proof of property ownership.***

Size of Property 10 ACRES

Proposed Temporary Use of Property DW MOBILE HOME

Proposed Duration of Temporary Use 12 (6 or 12 Months)

Paragraph Number Applying for 7 (1 thru 10 on pages 2 and 3)

CALL Dave & My P.S.
623-3404

Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
4. In any zoning district: mobile homes or travel trailers used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
5. In any zoning district: mobile homes or travel trailers used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.
7. In agricultural districts: In addition to the principal residential dwelling, one (1) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements, and shall not be located within required yard areas. Such mobile homes shall not be located within twenty (20) feet of any building. A temporary use permit for such mobile homes may be granted for a time period up to one (1) year. When the temporary use permit expires, the applicant may invoke the provisions of Section 14.9, entitled Special Family Lot Permits.
8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include written confirmation of the permission of the shopping center owner and a site plan which includes distances from

buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.

10. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
 - a. Demonstrate a permanent residence in another location.
 - b. Meet setback requirements.
 - c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.

Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.

Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

Dan Bural

Applicants Name (Print or Type)

[Signature]

Applicant Signature

5/6/08

Date

OFFICIAL USE

Present Land Use Classification

A-3

Present Zoning District

A-3

Approved

✓

By

CFS

5-13-08

Denied

By

Reason for Denial

Conditions (if any)

@ CAM170M01 S CamaUSA Appraisal System

Columbia County

5/08/2008 17:03 Permits Maintenance

78500 Land 003 *

Year T Property

AG 000

2008 R 25-7S-16-04321-035

91336 Bldg 001 *

1819 SW CR 138 FW

300 Xfea 001 *

HX DOBBS DANIEL K & SHARON E

170136 TOTAL B

Options: A=Add C=Change D=Delete N=Notes R=Restore V=Void

S	Seq	PermitNumber	Date Issued	BldgDept FinalInsp	Inspected Date / By	Completed Date / By
1		13300	11/13/1997		11/13/1998	
		Type 0013 Desc REMODEL		NoInsp	Permit\$	70
		IssuedTo				
		Entered	Voided	LastMtc	11/18/1997 MILN	
2		7750	11/02/1993		11/02/1994	
*		Type 0017 Desc M H		NoInsp	Permit\$	28000
		IssuedTo				
		Entered	Voided	LastMtc	11/09/1993 PINK	
		Type Desc		NoInsp	Permit\$	
		IssuedTo				
		Entered	Voided	LastMtc		

F1=Task F3=Exit F4=Prompt F9=Expand F10=GoTo PgUp/PgDn F24=More

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance Dobb's # 08-0515

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 5/8/2008 DATE ISSUED: 5/14/2008

ENHANCED 9-1-1 ADDRESS:

1819 SW COUNTY ROAD 138

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

25-78-16-04321-035

Remarks:

3RD LOCATION, LOT 5 RUM ISLAND RANCHES UNREC

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1190

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GERBRANCK & COMPANY
OF

M/H O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 25-7S-16-04321-035

Building permit No. 000027007

Permit Holder MANUEL BRANNON

Owner of Building DANIEL DOBBS

Location: 1819 SW CR 138, FT. WHITE, FL

Date: 05/28/2008

Harry Dickie

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

