

KC 1185 (KC910 Extended)

Lowe's Katrina Cottage Series

Design by: Cusato Cottages, LLC

Issued for Construction: May 22, 2007

TERMS AND CONDITIONS OF PURCHASE

These terms and conditions are between the purchaser of these plans (referred to herein as "Plans") and Cusato Cottages, LLC (referred to herein as "Cusato") and Lowe's (as defined below and referred to herein as "Lowe's"). The purchaser of these Plans acknowledges and agrees that it has read, accepts and will comply with the following terms and conditions.

It is understood and acknowledged that Lowe's does not construct or build the cottages that are contained in these plans and customers purchasing such plans and/or materials are solely responsible for obtaining the services required to complete any building project. Lowe's offers for sale these plans and offers for sale certain materials from a materials list to be used in conjunction with the construction of certain cottages and as a guide for purchasers.

It is further understood that various independent and separate corporations use this form. Therefore, within this Agreement, the term "Lowe's" shall refer individually to one of the following corporations: "Lowe's Home Centers, Inc.", a North Carolina corporation or "Lowe's HIW, Inc.", a Washington corporation.

In consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is mutually agreed as follows:

1. **Disclaimer.** PURCHASER ASSUMES ALL RESPONSIBILITY AND RISK FOR THE USE OF THE PLANS. THE PLANS ARE PROVIDED ON AN "AS IS" BASIS. CUSATO AND LOWE'S MAKE NO REPRESENTATIONS OR WARRANTIES OF ANY KIND, EXPRESS OR IMPLIED, AS TO THE USE OF THE PLANS TO CONSTRUCT A HOME OR OTHER STRUCTURE. TO THE FULL EXTENT PERMISSIBLE BY APPLICABLE LAW, CUSATO AND LOWE'S DISCLAIM ALL WARRANTIES, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, AND NON-INFRINGEMENT OF INTELLECTUAL PROPERTY RIGHTS OR OTHER PROPRIETARY RIGHTS. CUSATO AND LOWE'S WILL NOT BE LIABLE FOR ANY DAMAGES OR ANY KIND ARISING FROM THE USE OF THESE PLANS, INCLUDING, BUT NOT LIMITED TO DIRECT, INDIRECT, SPECIAL, INCIDENTAL, PUNITIVE, CONSEQUENTIAL DAMAGES OR DAMAGES RESULTING FROM PERSONAL INJURY OR LOSS OF PROPERTY ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE USE OF THESE PLANS, OR THE INABILITY TO USE THESE PLANS, OR ANY PORTION THEREOF, WHETHER BASED ON CONTRACT, TORT, NEGLIGENCE, STRICT LIABILITY OR OTHERWISE, EVEN IF CUSATO OR LOWE'S HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES.

2. **Release and Indemnification.** Purchaser hereby releases Cusato and Lowe's for any damages, liabilities or claims based upon Purchaser's use of these Plans. Purchaser agrees to defend, indemnify and hold harmless Cusato and Lowe's for any damages, liabilities or claims, including reasonable attorneys' fees, arising out of or based upon Purchaser's use of these Plans.

3. **Copyrights.** These Plans are protected by United States copyright law (Title 17, United States Code) and various international agreements (referred to herein as "Copyright Laws"). Cusato grants to the purchaser of these Plans a limited license to use the Plans for the sole purpose of constructing one (1) home, including the right to modify the plans as deemed necessary or desired by the purchaser or its representatives in connection with the construction of the one (1) home. Any modifications to the Plans constitute a derivative work under the Copyright Laws. The Copyright Laws prohibit any use of these Plans, any derivative works based upon these Plans, or any portion of the foregoing, to construct any home or other structure beyond the one-time use authorized herein, or any duplication, display, publication, sale, lease or distribution of these Plans, any derivative works based upon these Plans, or any portion of the foregoing, without the prior written consent of Cusato. Purchaser acknowledges and agrees that all rights, title and interest in the Plans, any derivative works based on the Plans, and the copyrights therein, are owned by Cusato. All rights reserved.

4. **Trademarks.** Lowe's is a registered trademark of LF, LLC, in the United States and other countries and may not be used in connection with any product or service that are not distributed by Lowe's, in any manner that is likely to cause confusion, or in any manner that disparages or discredits Lowe's.

5. **Scope of Plans and Professional Assistance.** These Plans provide ideas and concepts and are not intended to be complete in all respects and details. For example, the Plans do not specify or cover many requirements necessary to construct a home or other structure, including electrical, plumbing, and heating ventilating and air conditioning specifications and schematics, as well as construction related requirements such as nailing, gluing, caulking, insulating, flashing, roofing, weatherproofing and many other items and details. The Plans should be reviewed by a licensed architect, builder and/or engineer prior to the start of construction. It is the Purchaser's responsibility to provide or obtain standard construction detailing and practices, which will provide a structurally sound and weatherproof finished home. The Purchaser or its licensed construction representatives shall resolve any discrepancies or problems perceived prior to starting construction. Any use of these Plans, or modifications thereto, by the purchaser or the purchaser's licensed construction representatives is performed at their own risk.

6. **Local Building Requirements.** Building codes, zoning requirements, ordinances, building regulations and construction standards may vary because of the differences in geography and climate throughout the United States and Canada. Each state, county and municipality has its own building codes, zoning requirements, ordinances, building regulations and construction standards, as well as requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other matters (referred to herein as "Local Requirements"). The Plans may need to be modified to comply with the Local Requirements applicable to the purchaser's building site. It is the purchaser's responsibility to consult with the proper construction professionals to ascertain if the Plans comply with these Local Requirements governing the purchaser's building site, and, if necessary, to make any modifications or verifications to the Plans as required to comply with these Local Requirements.

7. **Additional Plans and Specifications Required.** These Plans do not include any plumbing, heating or air conditioning specifications or plans due to the wide variety of Local Requirements and climatic conditions that may be applicable. A licensed electrical engineer, mechanical engineer and/or builder should provide such specifications or plans, as may be required for permits and construction. The foundation plan and associated details contained in the Plans are provided as a basic guide for a typical spread footing or typical concrete piers and conventional wood framed system. It is the purchaser's responsibility to have a licensed architect, builder or licensed engineer review these Plans and, if deemed necessary, provide a site-specific foundation design. It is also the purchaser's responsibility to check, or have a licensed architect, builder or engineer check, all plan dimensions and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber, structural members, veneer, roofing, etc., all of which may require modifications to the Plans to revise the dimensions and details. Varying Local Requirements, foundation requirements and the addition of electrical and mechanical plans may also change details of these Plans and/or require modifications to the Plans.

8. **Construction Materials and Installation.** Names of articles, components, material, equipment and manufacturers shown on these Plans do not represent any endorsement or recommendation by Cusato or Lowe's. The final selection of the articles, components, material, equipment and manufacturers to be used is the responsibility of the purchaser, as is the proper installation of such items. Cusato and Lowe's have no control over, or responsibility for, the selection, installation, or use of such items. It is the purchaser's responsibility to assure that all manufactured articles, components, material, and equipment to be used in the construction of a home or structure based upon the Plans are of good quality and are applied, installed, connected, erected, used, cleaned, adjusted, operated and conditioned properly and as directed by the manufacturers of such items. The use of a different articles, components, material, and equipment may change details of the Plans and/or require modifications to the Plans.

9. General.

(a) Cusato reserves the right to make changes to its Plans from time to time. Therefore, Cusato and Lowe's do not warrant that the Plans will match any marketing, website or catalog images that the purchaser may have reviewed and/or consulted prior to ordering the Plans.

(b) Purchaser agrees that no joint venture, partnership, employment or agency relationship exists between Purchaser and Cusato and/or Lowe's as a result of these terms and conditions or Purchaser's use of these Plans.

(c) Cusato and Lowe's performance of these terms and conditions is subject to existing laws and legal process and nothing contained in these terms and conditions is in derogation of Cusato's and Lowe's right to comply with law enforcement requests or requirements relating to Purchaser's use of these Plans or information provided to or gathered by Cusato or Lowe's with respect to such use.

(d) These terms and conditions constitute the entire agreement between Purchaser and Cusato and Lowe's with respect to the Plans. These terms and conditions supersede all prior or contemporaneous communications and proposals, whether electronic, oral or written, between Purchaser and Cusato and Lowe's with respect to the Plans. No modification of these terms and conditions shall be effective unless it is authored by Cusato and Lowe's, or unless it is physically signed in blue ink by a Cusato and Lowe's executive officer. Any alleged waiver of any breach of these terms and conditions shall not be deemed to be a waiver of any future breach. A printed version of these terms and conditions and/or of any notice given by Cusato or Lowe's in electronic form shall be admissible in judicial or administrative proceedings based upon or relating to these terms and conditions or Purchaser's use of the Plans to the same extent and subject to the same conditions as other business documents and records originally generated and maintained by Cusato and Lowe's in printed form.

10. Controlling Law.

(a) Purchaser agrees that these terms and conditions and its use of the Plans are governed by the laws of the State of North Carolina, USA. Purchaser hereby consents to the exclusive jurisdiction and venue of the courts, tribunals, agencies and other dispute resolution organizations in Charlotte, North Carolina, USA in all disputes (a) arising out of, relating to, or concerning the Plans and/or these terms and conditions, (b) in which the Plans and/or these terms and conditions are an issue or a material fact, or (c) in which the Plans and/or these terms and conditions is referenced in a paper filed in a court, tribunal, agency or other dispute resolution organization.

(b) Use of the Plans is unauthorized in any jurisdiction that does not give full effect to all provisions of these terms and conditions, including without limitation this paragraph and the warranty disclaimers and liability exclusions above. Cusato and Lowe's have endeavored to comply with all legal requirements known to them in creating and distributing these Plans, but make no representation that the Plans are appropriate or available for use in any particular jurisdiction. Use of the Plans is unauthorized in any jurisdiction where all or any portion of the Plans may violate any legal requirements and Purchaser agrees not to use the Plans in any such jurisdiction. Purchaser is responsible for compliance with applicable laws. Any use in contravention of this provision or any provision of these terms and conditions is at Purchaser's own risk and, if any part of these terms and conditions is invalid or unenforceable under applicable law, the invalid or unenforceable provision will be deemed superseded by a valid, enforceable provision that most closely matches the intent of the original provision and the remainder of these terms and conditions shall govern such use.

11. DISPUTE RESOLUTION.

(a) WITH THE PRIOR AGREEMENT OF CUSATO AND LOWE'S, ANY CLAIM, DISPUTE OR CONTROVERSY ARISING OUT OF, RELATING TO OR CONCERNING THE PLANS AND/OR THESE TERMS AND CONDITIONS SHALL BE DECIDED BY BINDING ARBITRATION IN ACCORDANCE WITH THE RULES OF THE AMERICAN ARBITRATION ASSOCIATION AND ANY SUCH ARBITRATION PROCEEDINGS SHALL BE BROUGHT AND HELD IN CHARLOTTE, NORTH CAROLINA, USA. THE DECISIONS OF THE ARBITRATORS SHALL BE BINDING AND CONCLUSIVE UPON ALL PARTIES INVOLVED AND JUDGMENT UPON ANY AWARD OF THE ARBITRATORS MAY BE ENTERED BY ANY COURT HAVING COMPETENT JURISDICTION. THIS PROVISION SHALL BE SPECIFICALLY ENFORCEABLE IN ANY COURT OF COMPETENT JURISDICTION.

(b) ALTERNATIVELY, IF ARBITRATION CLAUSE IS DEEMED INVALID, PURCHASERS HEREBY CONSENTS TO EXCLUSIVE JURISDICTION AND VENUE IN NORTH CAROLINA.

GENERAL NOTES

- Do not scale drawings. Use only dimensions shown on drawings. The purchaser or the purchaser's licensed construction representatives shall verify all dimensions and conditions at jobsite.
- Larger scale drawings supersede smaller scale drawings.
- Coordinate location of utility meters on the site plan to keep them from public view and to minimize visual impact from any area of the site. Hold meters as low as possible to allow more effective screening.
- Use materials appropriate to the application for maximum life and optimum appearance.

DRAWINGS LIST

Drg #	Title
A-1	Cover Sheet
A-2	Architectural Floor Plan
A-3	Framing Plans & Notes
A-4	Elevations
A-5	Truss Profiles & Section
A-6	Wall Sections & Notes
A-7	Misc Details & Notes
A-8	Interior Details & Electrical Plan



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Design by Cusato Cottages, LLC

Lowe's Commercial Services
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LOWE'S KATRINA COTTAGE SERIES

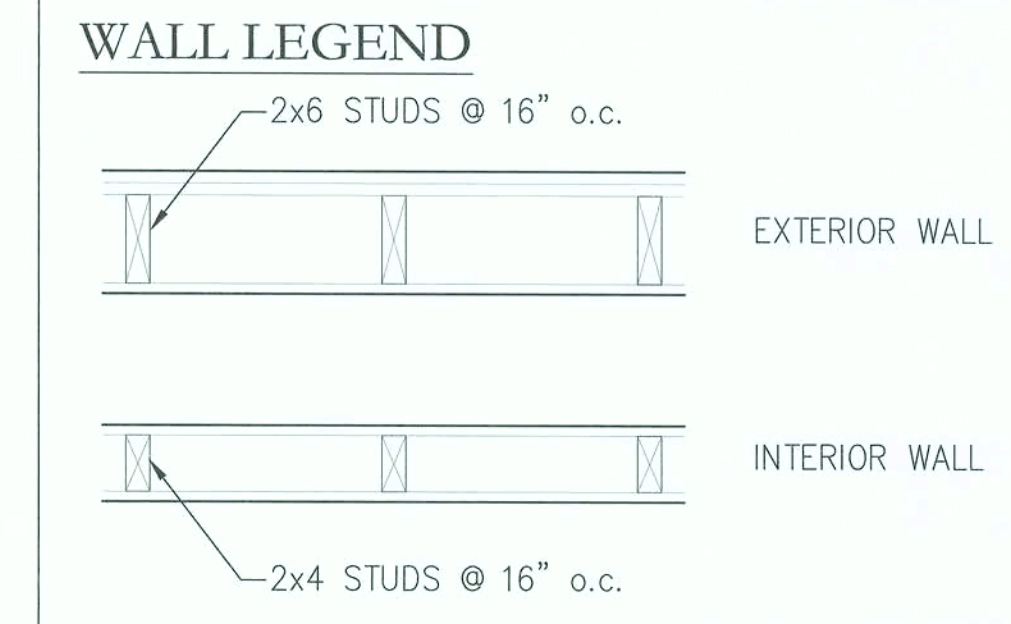
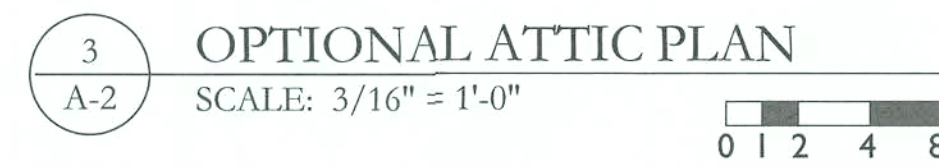
KC 1185 (KC910 Extended)

COVER SHEET

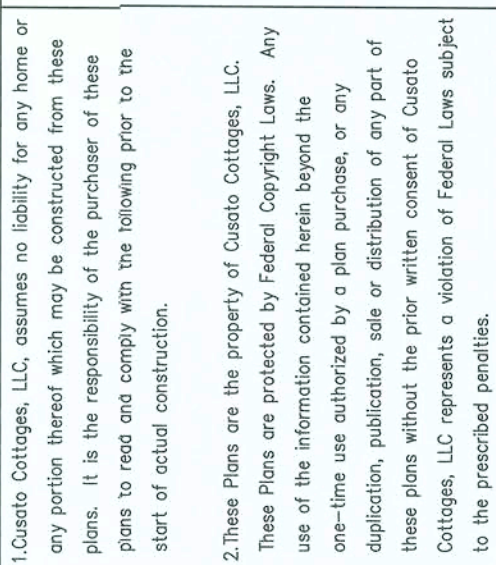
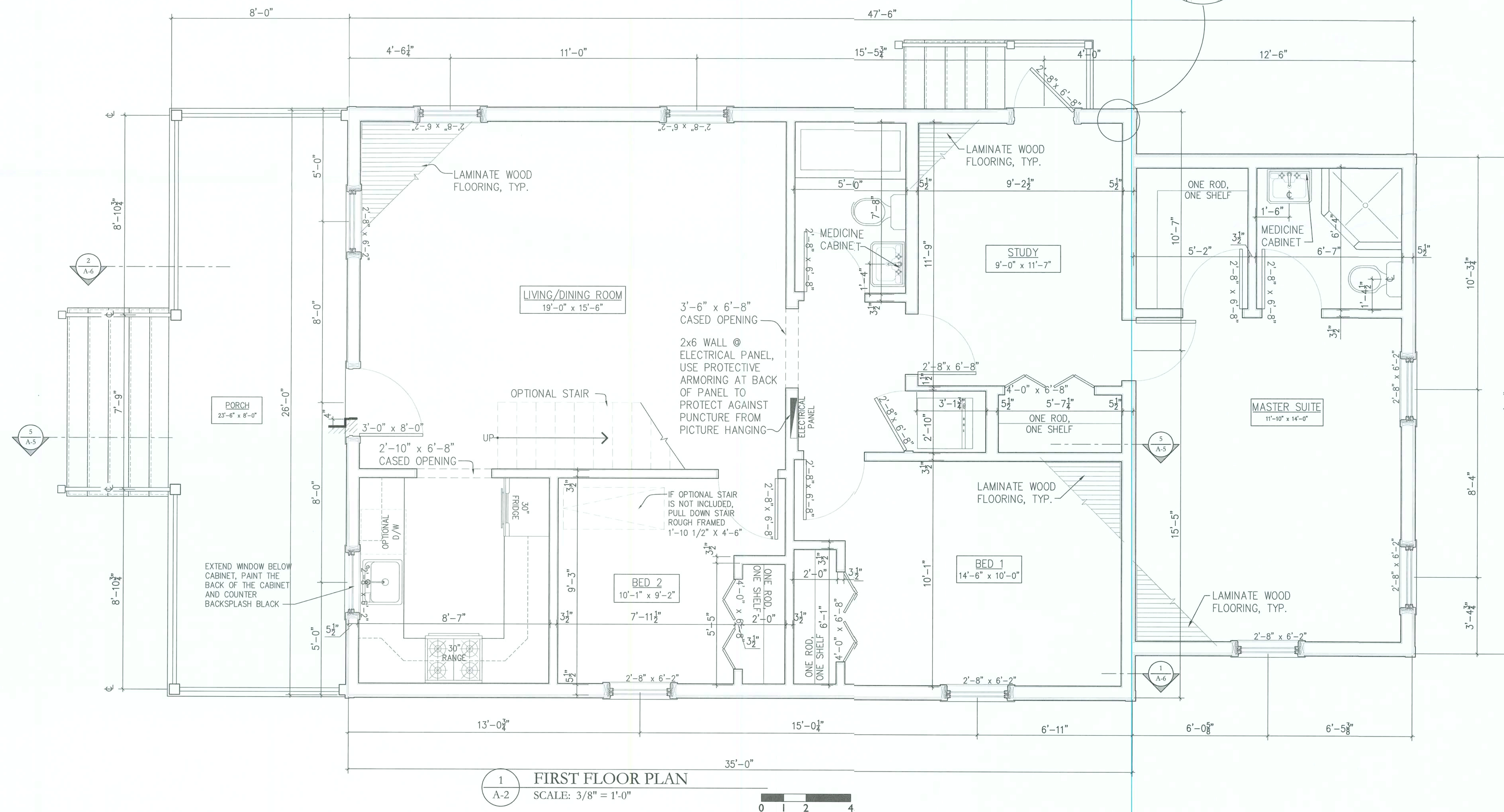
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Roof trusses, if used, shall be fabricated & erected in accordance w/ the "design specification for light metal plate connection roof trusses" of the truss plate institute. Truss manufacturer shall provide engineering design & shop drawings, which bear the seal of a registered engineer in the state in which work is to be performed. Shop drawings shall indicate the species, sizes & stress grades of lumber, metal connector plate sizes, types, bearing & anchorage details. Truss manufacturer shall also submit supporting design documents which indicate loading, section modulus, assumed allowable stress, stress diagrams, calculations & any other required supporting information. This information is for file purposes only; the designer shall not be responsible for checking calculations.



STAGE SERIES

Design by **Cusato Cottages, LLC**

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KC 1185 (KC 910 Extended)
ARCHITECTURAL
FLOORPLANS

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GENERAL NOTES

1. All installations shall comply with local building codes if more stringent than the following provisions. All structural information shown is for reference purposes only. Builder or local licensed structural engineer shall review actual site conditions & verify and/or specify all structural elements.
2. Builder or local licensed structural engineer to verify and/or specify all strapping connections meet or exceed all applicable building codes.

CONCRETE

1. All concrete work shall be in accordance with A.C.I. 301, unless otherwise noted.
2. All poured in place concrete shall be rated 3000 psi at 28 days, maximum size of aggregate shall be 3/4" with a permissible slump of 4" + 1".
3. Admixtures shall not be permitted without written approval of the Engineer.
4. Formwork shall be clean and free of defects.
5. Minimum concrete cover shall be as follows; Poured on ground = 3". Formed in contact with ground = 2

MASONRY WALLS

1. Concrete masonry units for load bearing walls shall conform to ASTM C-90. All other masonry units shall conform to ASTM C-129.
2. Mortar shall conform to ASTM C-270, type "M" (2500 psi).

REINFORCING STEEL

1. Reinforcing steel shall conform to the ASTM A-615, Grade 60, fabricated in accordance with the C.R.S.I. Manual and placed in accordance with the A.C.I. Manual.
2. Welded wire fabric shall conform to ASTM A-185.

FOUNDATION NOTES

1. All structural information shown is for reference purposes only. Builder or local licensed structural engineer shall review actual site conditions as well as verify and/or specify all structural elements to be in compliance with local building codes.
2. Builder shall inspect site & excavated conditions prior to beginning foundation construction. Builder shall notify owner and/or local licensed structural engineer of any non-typical conditions concerning soils, ground water or any other issue, which may require additional or special engineering design.

STRUCTURAL WOOD

1. Wood exposed to the weather or in contact with concrete or masonry shall be pressure treated. Use stainless steel or manufacturer approved anchors and fasteners for corrosion resistance. No galvanized fasteners are to be used in contact with pressure-treated members.
2. Roof framing to be engineered roof trusses, all connections, sizes and spacing to be detailed by manufacturer. Connection of the truss to building is the responsibility of builder/owner and shall be designed by others.
3. Bridging is to be provided as required by code, but not less than one center bridging for spans over 10 ft and 8 ft o.c. for spans over 16 ft.
4. Metal connectors shall conform to the latest requirement of the applicable codes. Provide and install hurricane clips throughout as per code requirements.
5. Metal exposed to the weather, including nails, flashing and drip edges, shall be galvanized, unless otherwise noted.

FRAMING NOTES

1. Wood framing & blocking shall be s.y. pine, spruce, or fir, stud grade or better for 2x4's, #2 SPF or better for all other sizes. All framing & blocking lumber shall be kiln-dried to a moisture content of 19% or better. Wood blocking shall be solid & shall match the depth of the primary framing members.
2. All joists installed crown up unless noted otherwise.
3. Provide solid blocking between joists at mid-span for joists exceeding 8'-0" between supports.
4. Provide solid blocking between joists above frame walls and beams.
5. Flush framed joists shall be secured to beams/girders with properly sized metal joist hangers.
6. Where frame walls are parallel to and rest on joists - provide 2 additional joists beneath wall.
7. Where frame walls are perpendicular to or at an angle to and rest on joists, provide solid blocking between joists at 24" oc.
8. In frame walls - provide solid blocking for all plywood sheathing edges which run perpendicular to wall studs.

FRAMING NOTES (cont'd.)

9. Bird-mouth rafters to fit beams and walls as indicated on the details, tie each rafter to frame wall or beam with specified "Simpson" hurricane anchor
10. Wall Types
 - a. Typical interior partition walls shall be 2x4 studs (3 1/2" thick) @16" o.c. unless noted
 - b. Typical exterior walls shall be 2x6 studs (5 1/2" thick) @ 16" o.c.
 - c. Plumbing wall to be 2x6 studs (5 1/2" thick) @ 16" o.c.
 - d. Notch maximum 25% of Stud depth
 - e. Bored hole maximum 40% Stud depth
11. All exterior stud walls to have 5/8" APA Ext. ply sheathing.
12. Typical header to be (3) 2x8's over doors & windows
13. Dimensions shown are to the face of stud on interior walls or face of stud on exterior walls unless noted otherwise.
14. Coordinate truss design with rough frame opening for pull down attic stair.

NOTE:

CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS, STRUCTURAL AND ENGINEERING DETAILS

CONTRACTOR TO VERIFY VENTILATION & WATER PROOFING DETAILS

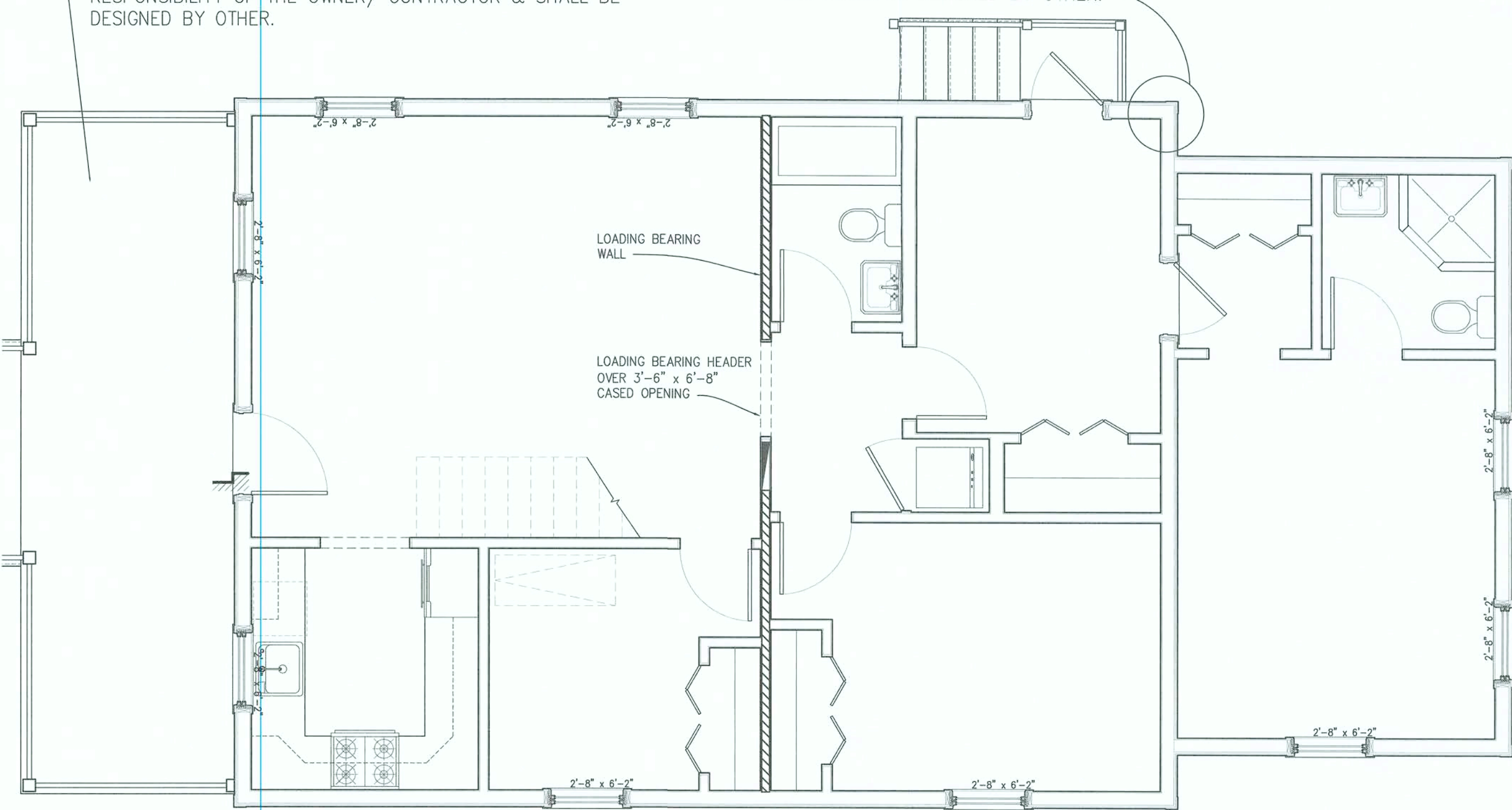
CONTRACTOR TO VERIFY AND/OR SPECIFY CONNECTIONS BETWEEN HOUSE AND FOUNDATION MEET ALL APPLICABLE BUILDING CODES

NOTE:

CONNECTION OF RIMBOARD OR OTHER BUILDING COMPONENTS TO BE DETERMINED BY OWNER/CONTRACTOR BASED ON LOCAL BUILDING FOUNDATION REQUIREMENTS

7/16" OSB OR OTHER STRUCTURALLY RATED EXTERIOR SOFFIT MATERIAL SHALL BE PROVIDED AT PORCH CEILING TO ENSURE THAT THE BUILDING ENVELOPE REMAINS ENCLOSED AND/OR TO ENSURE ROOF DIAPHRAGM LOADS MAY BE TRANSFERRED TO THE SHEARWALLS. DESIGN OF THE SOFFIT MATERIAL IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR & SHALL BE DESIGNED BY OTHER.

CORNER FRAMING SHALL BE CONSTRUCTED TO BE SUITABLE FOR ADEQUATE LOAD TRANSFER DUE TO SHEARWALL OVERTURN FORCES. SHEARWALL DESIGN IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR AND SHALL BE DESIGNED BY OTHER.



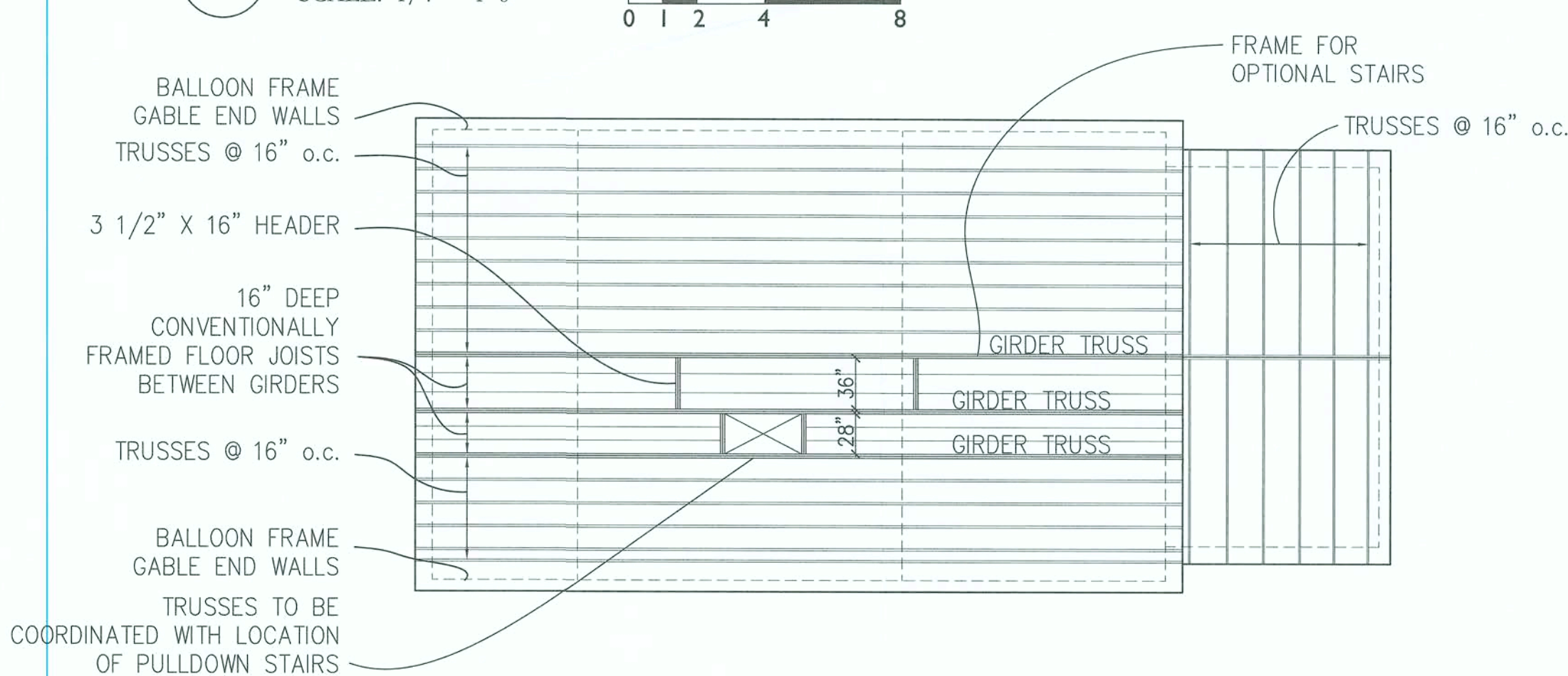
THIS BUILDING MUST BE DESIGNED TO MEET THE LOCALLY ENFORCED BUILDING CODES AND STANDARDS. WHERE NO CODE HAS CURRENTLY BEEN ADOPTED, THE BUILDING SHALL BE DESIGNED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE INTERNATIONAL BUILDING AND RESIDENTIAL CODES (IBC/IRC). THE BUILDING IS INTENDED FOR USE IN EXPOSURE TERRAIN "B" AS DEFINED IN THE IBC WITH A MAXIMUM 3-SECOND GUST WIND SPEED OF 140 MPH.

ALL WINDOW AND DOOR GLAZING AND INSTALLATION SHALL BE PROVIDED TO RESIST THE DESIGN WIND LOADS THAT ARE PRODUCED FROM THE LOCAL 3-SECOND GUST WIND SPEED.

THIS BUILDING IS NOT INTENDED FOR USE AS PARTIALLY ENCLOSED DESIGN OR IN AREAS OF EXPOSURE TERRAIN "C" AS DEFINED IN IRC. BUILDINGS INTENDED FOR USE IN THESE CONDITIONS MUST BE CERTIFIED BY A LOCAL LICENSED PROFESSIONAL ENGINEER

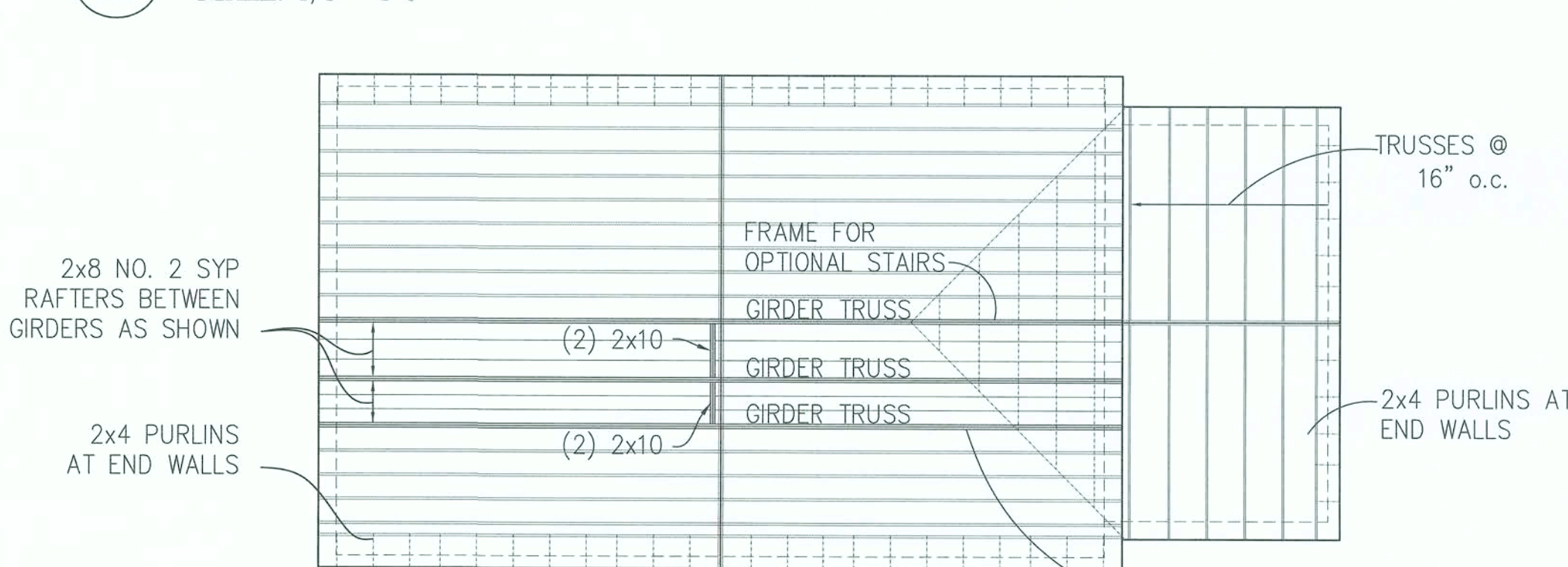
1 STRUCTURAL WALL FRAMING PLAN

SCALE: 1/4" = 1'-0"



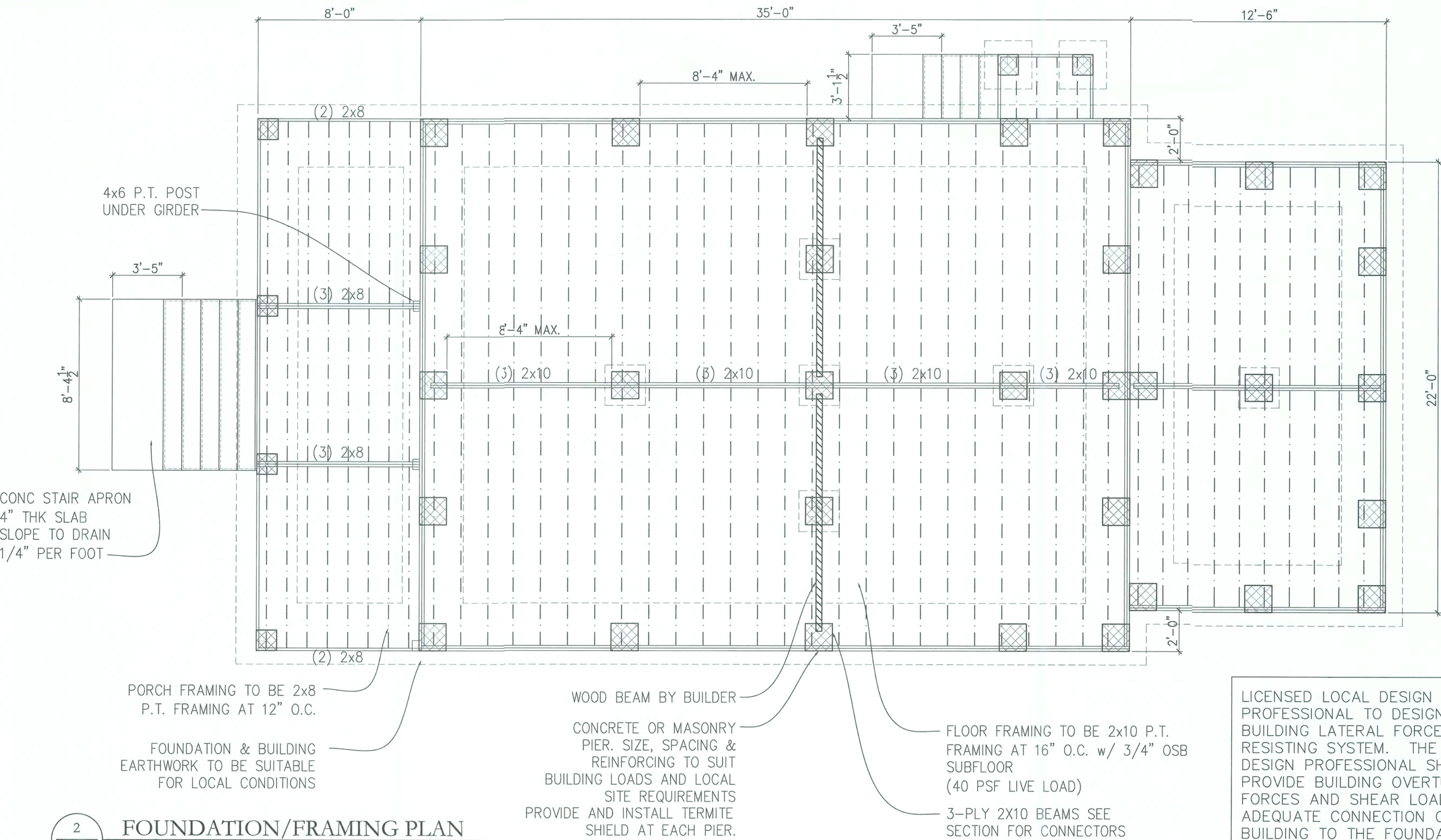
3 CONVENTIONALLY FRAMED ATTIC FLOOR PLAN

SCALE: 1/8" = 1'-0"



3 STRUCTURAL ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



LICENSED LOCAL DESIGN PROFESSIONAL TO DESIGN BUILDING LATERAL FORCE RESISTING SYSTEM. THE DESIGN PROFESSIONAL SHALL PROVIDE BUILDING OVERTURN FORCES AND SHEAR LOADS FOR ADEQUATE CONNECTION OF THE BUILDING TO THE FOUNDATION.



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LOWE'S KATRINA COTTAGE SERIES

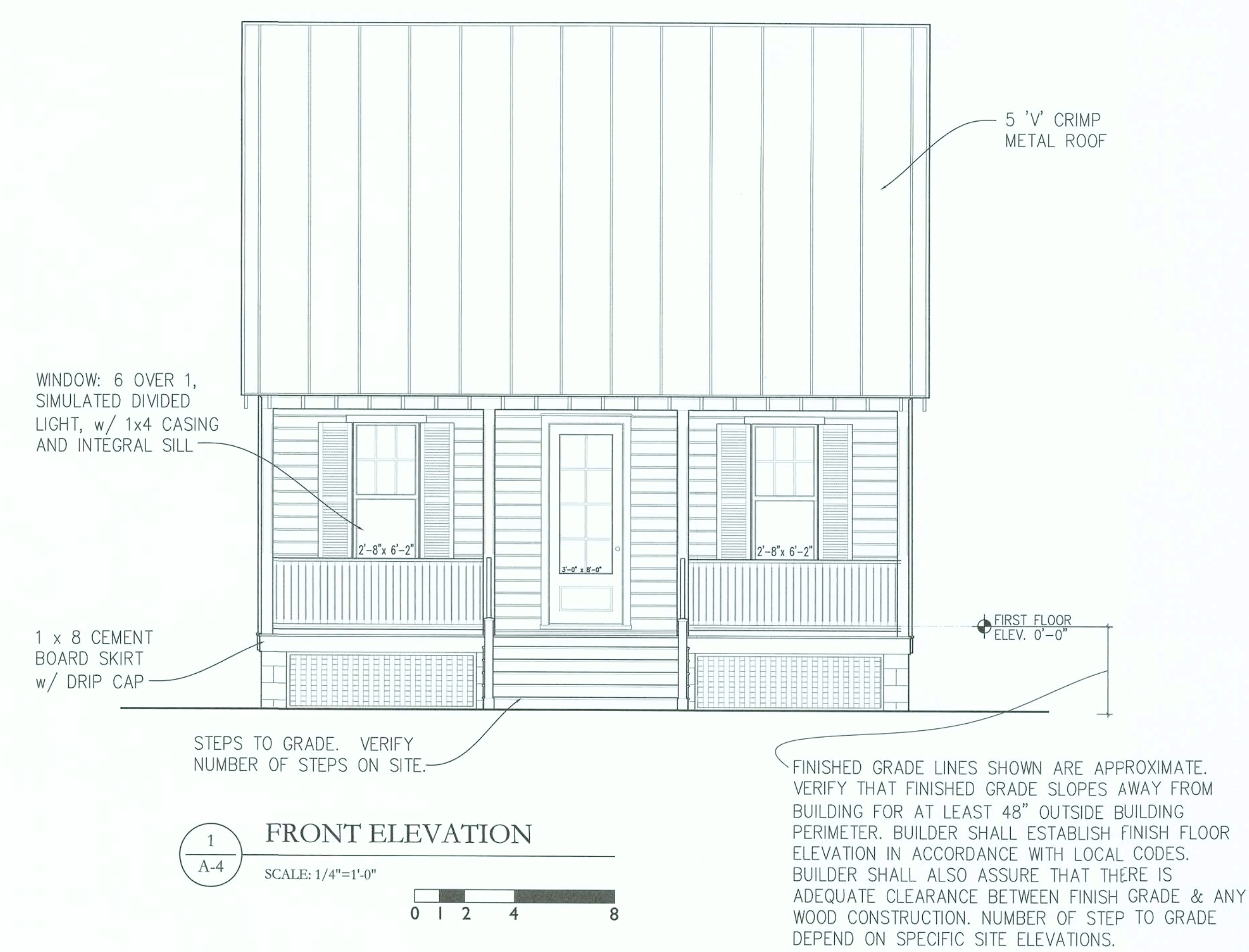
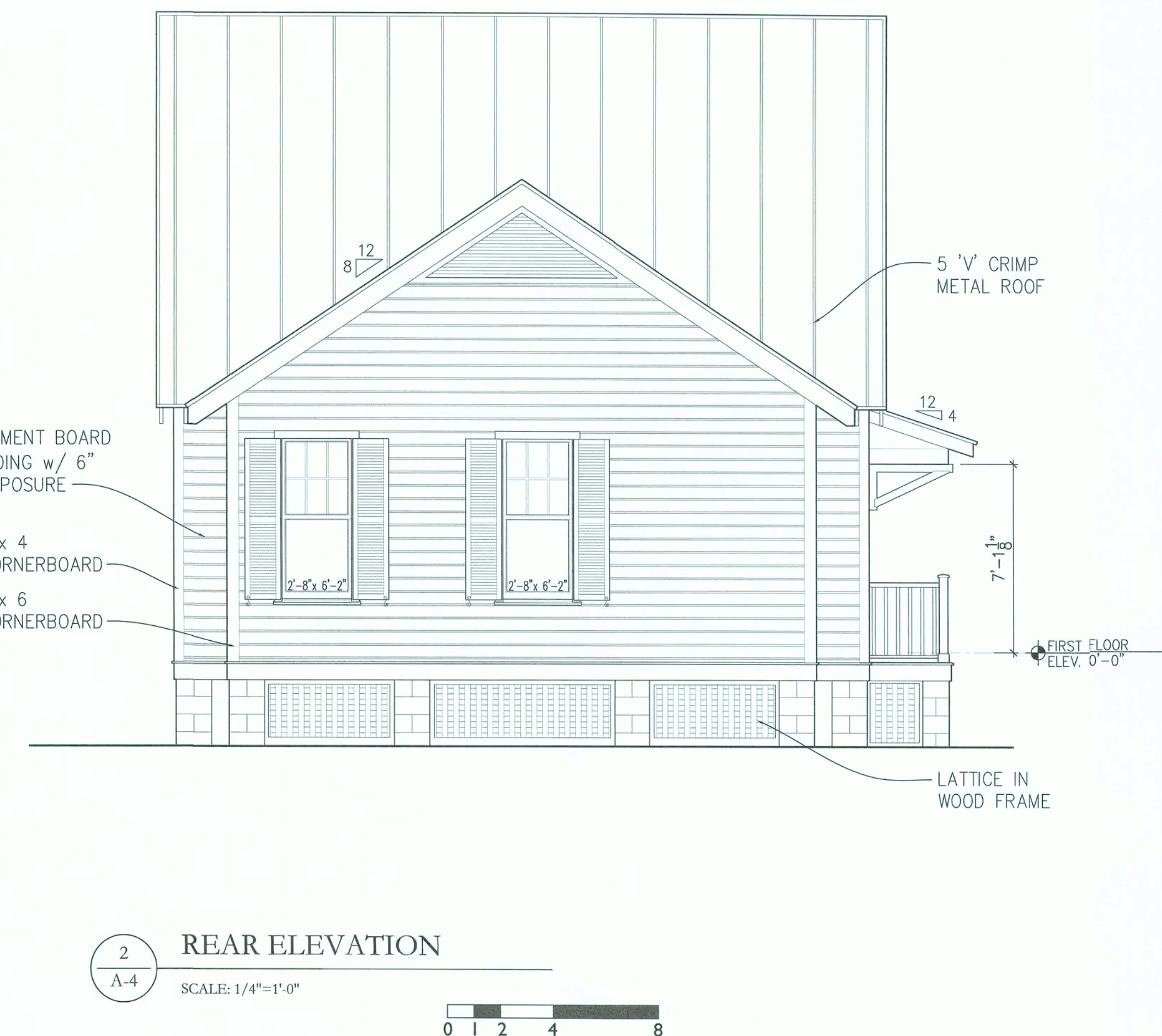
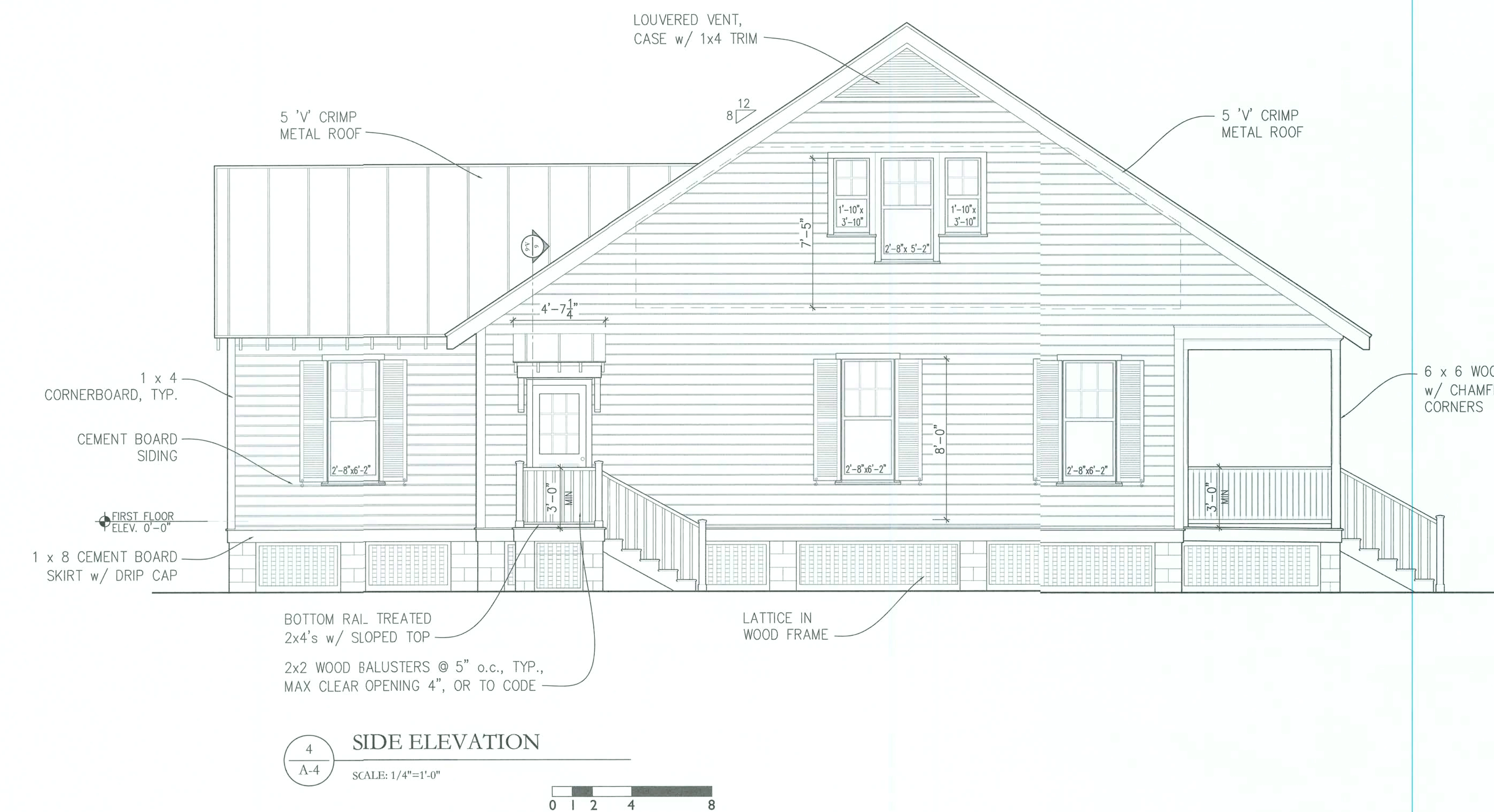
KC1185 (KC910 Extended)

FRAMING PLANS & NOTES

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May 22, 07





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LOWE'S KATRINA COTTAGE SERIES

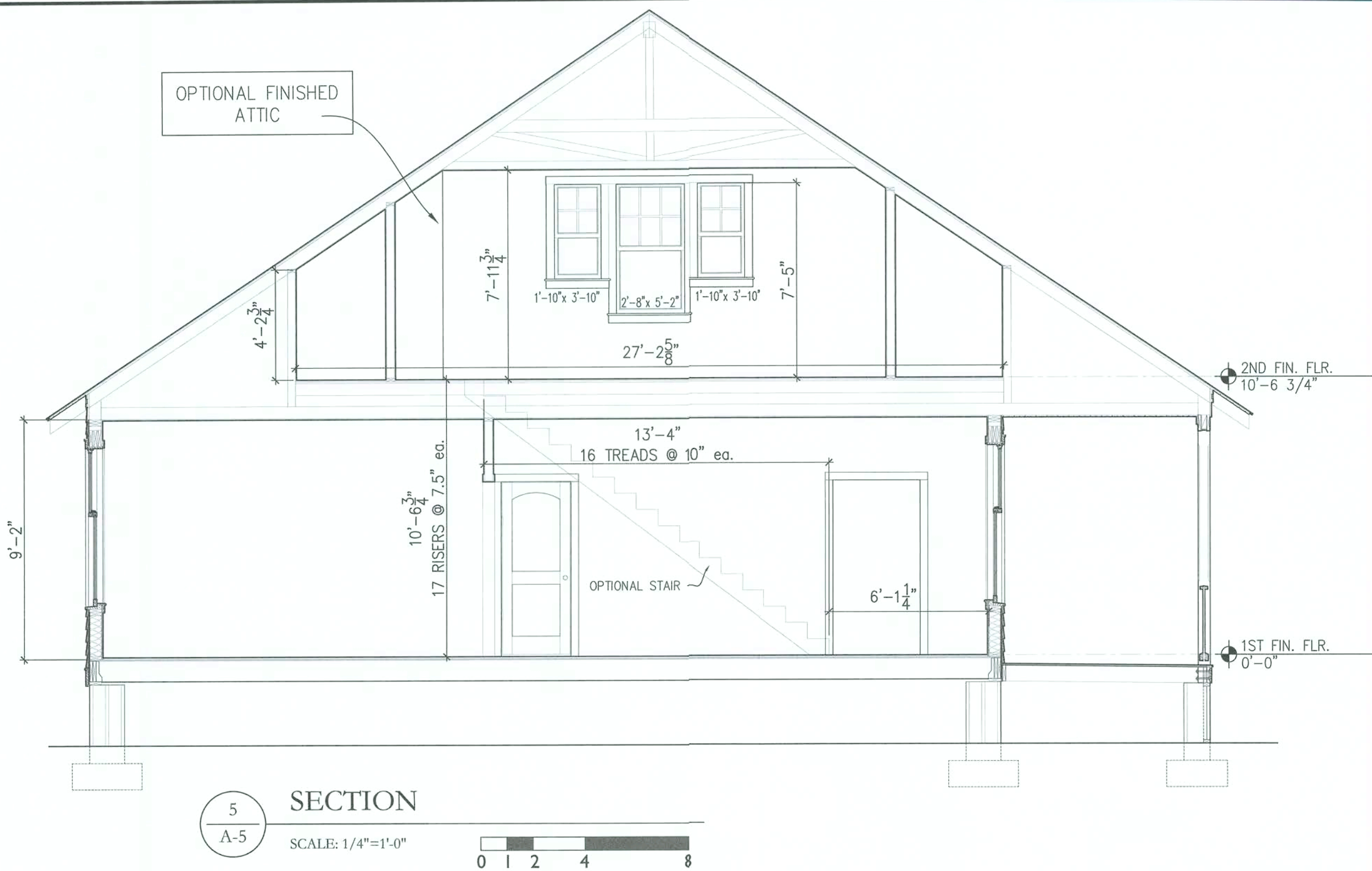
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KC1185 (KC910 Extended)
ELEVATIONS

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UPLIFT CONNECTION SCHEDULE:

TYPICAL WALLS:

TRUSS TO TOP PLATE: SIMPSON H10 (TRUSS TO STUD SIMPSON MTS16 OPTIONAL)
TOP PLATE TO TYPICAL WALL STUDS: SIMPSON SPH6 @ MAX 32" O.C.
TOP PLATE TO HEADER KING STUDS: SIMPSON SPH6 @ 32" O.C.
HEADER KING STUDS TO BEAM OR BANDBOARD: SIMPSON CS18x16" LONG
TYPICAL WALL STUDS TO BEAM OR BANDBOARD: SIMPSON CS18x16" LONG @ MAX 32" o.c.

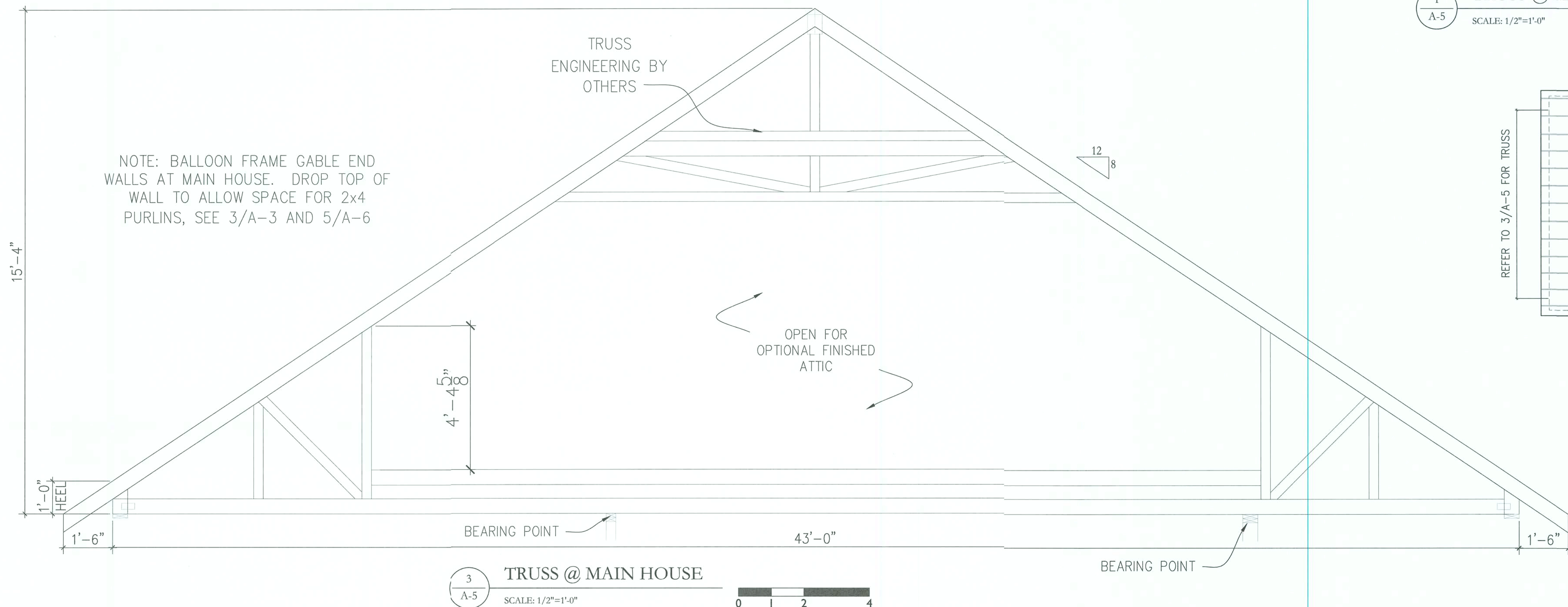
PORCHES:

TRUSS TO PORCH BEAM: SIMPSON H10 TO EACH PLY
PORCH BEAM TO COLUMN: SIMPSON SCREWS, SEE DRAWINGS A-7

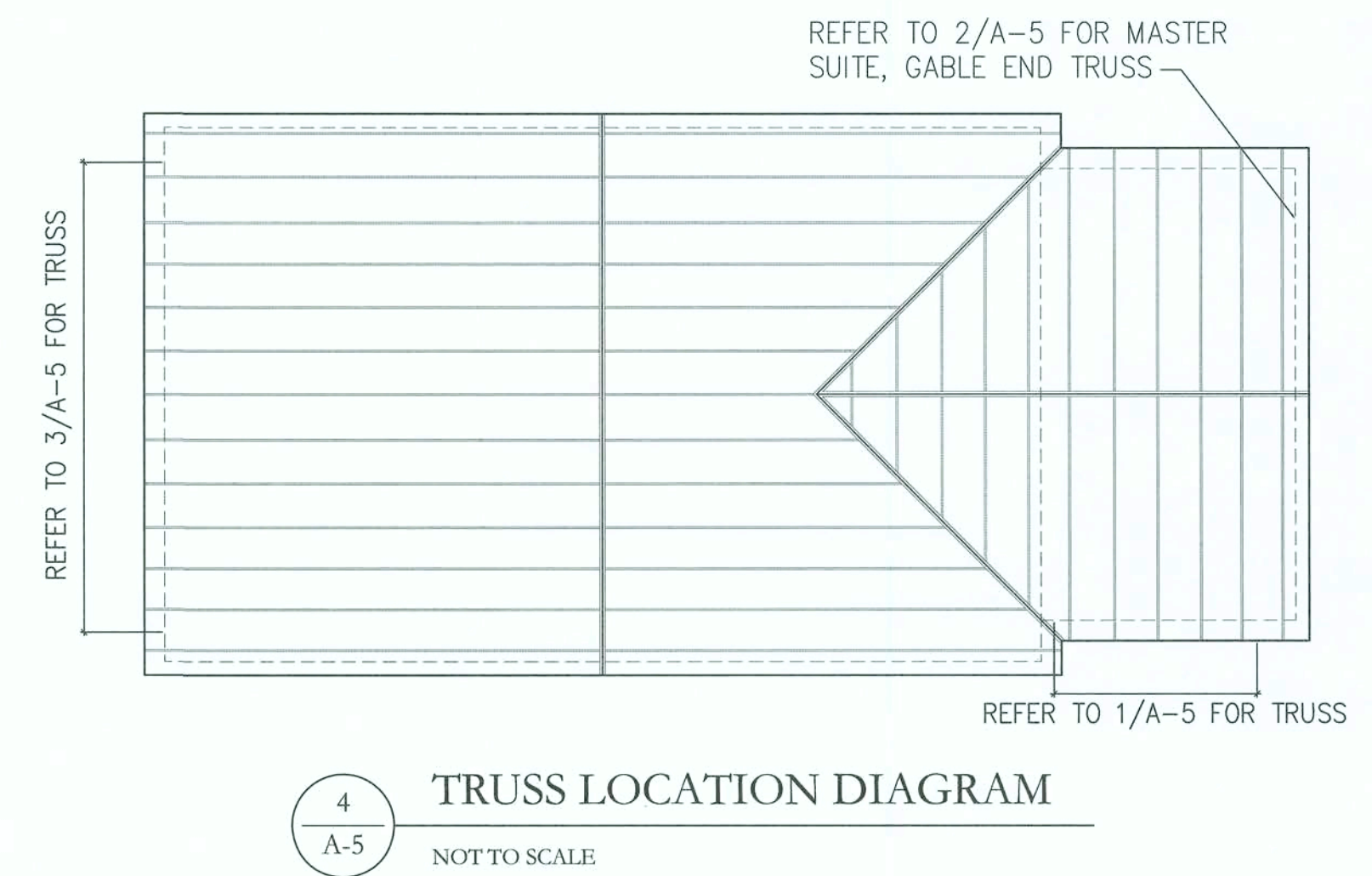
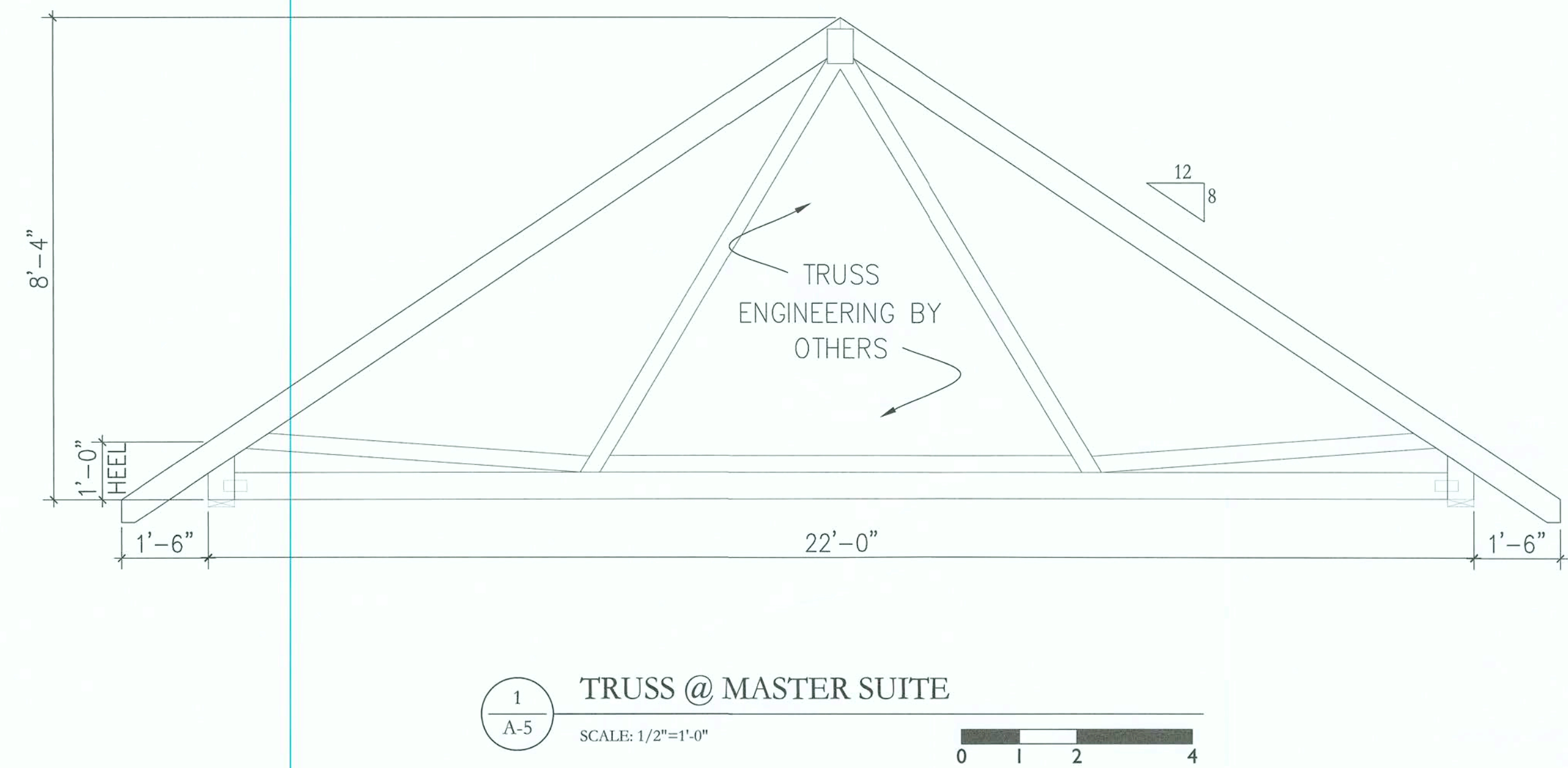
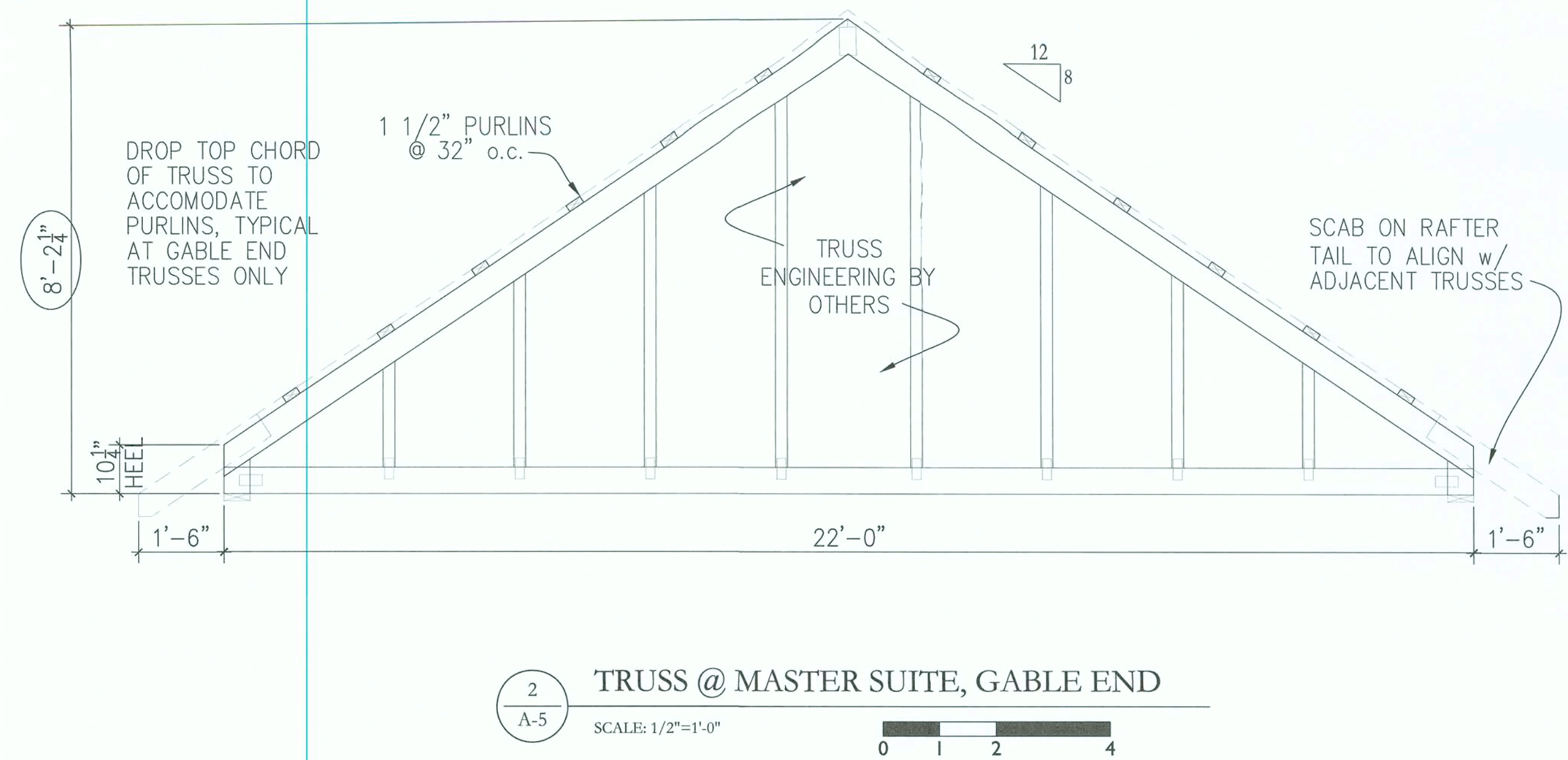
SCHEDULE PROVIDED IS SUITABLE FOR WALL FRAMING CONNECTIONS UP TO 140 MPH EXP B ENCLOSED BUILDING DESIGN. CONNECTION SCHEDULE IS NOT APPLICABLE FOR AREAS IN EXPOSURE C OR AS PARTIALLY ENCLOSED DESIGN.

IN ADDITION TO METAL CONNECTORS, ALL FRAMING TO BE SECURED WITH NAILS IN ACCORDANCE W./ IBC/IRC PROVISIONS FOR WOOD FRAME CONSTRUCTION

ALL METAL CONNECTORS SHALL BE SECURELY FASTENED TO FRAMING MEMBERS IN STRICT ACCORDANCE W/ MANUFACTURER INSTALLATION SPECIFICATIONS.



NOTE: BALLOON FRAME GABLE END WALLS AT MAIN HOUSE. DROP TOP OF WALL TO ALLOW SPACE FOR 2x4 PURLINS, SEE 3/A-3 AND 5/A-6



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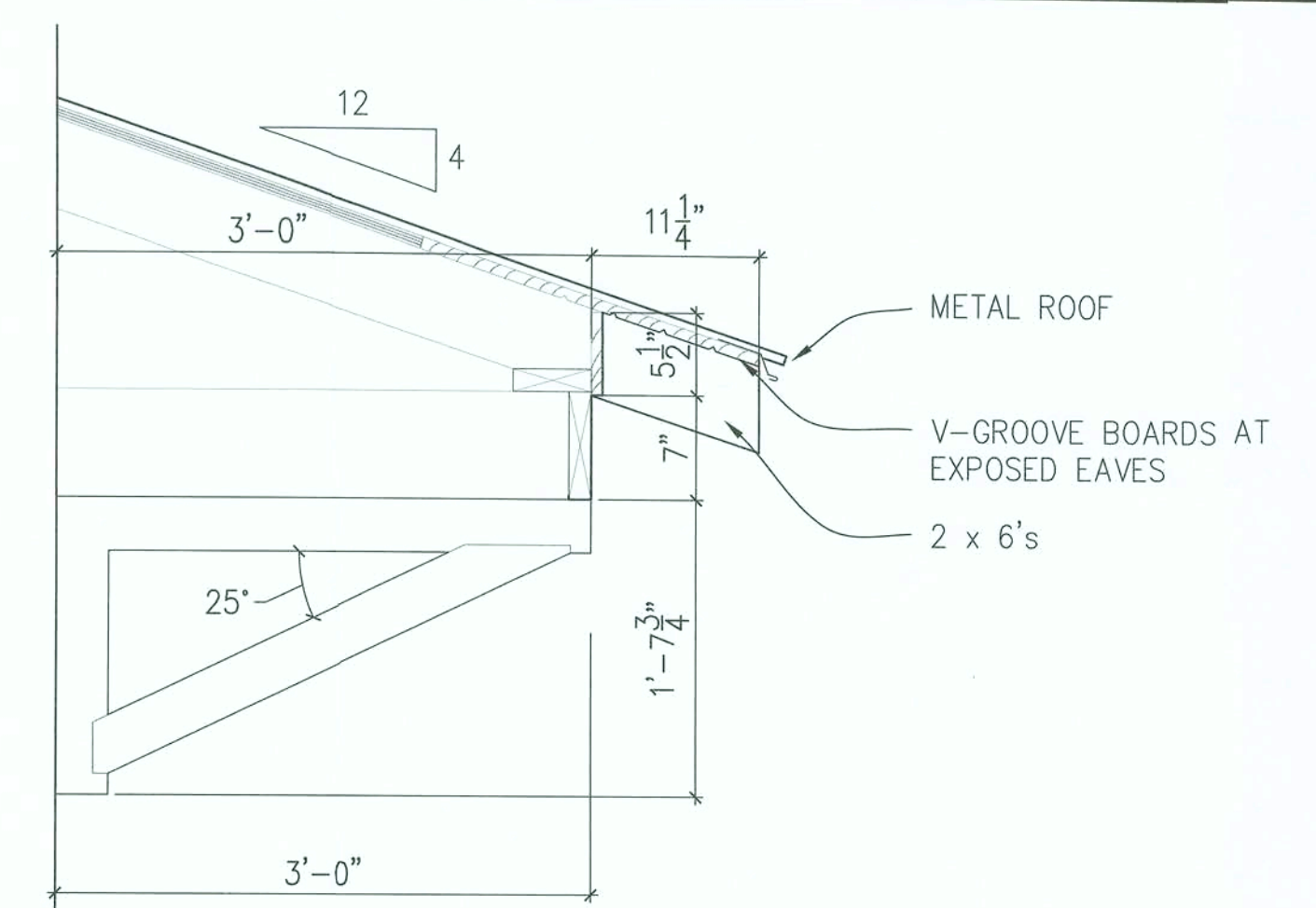
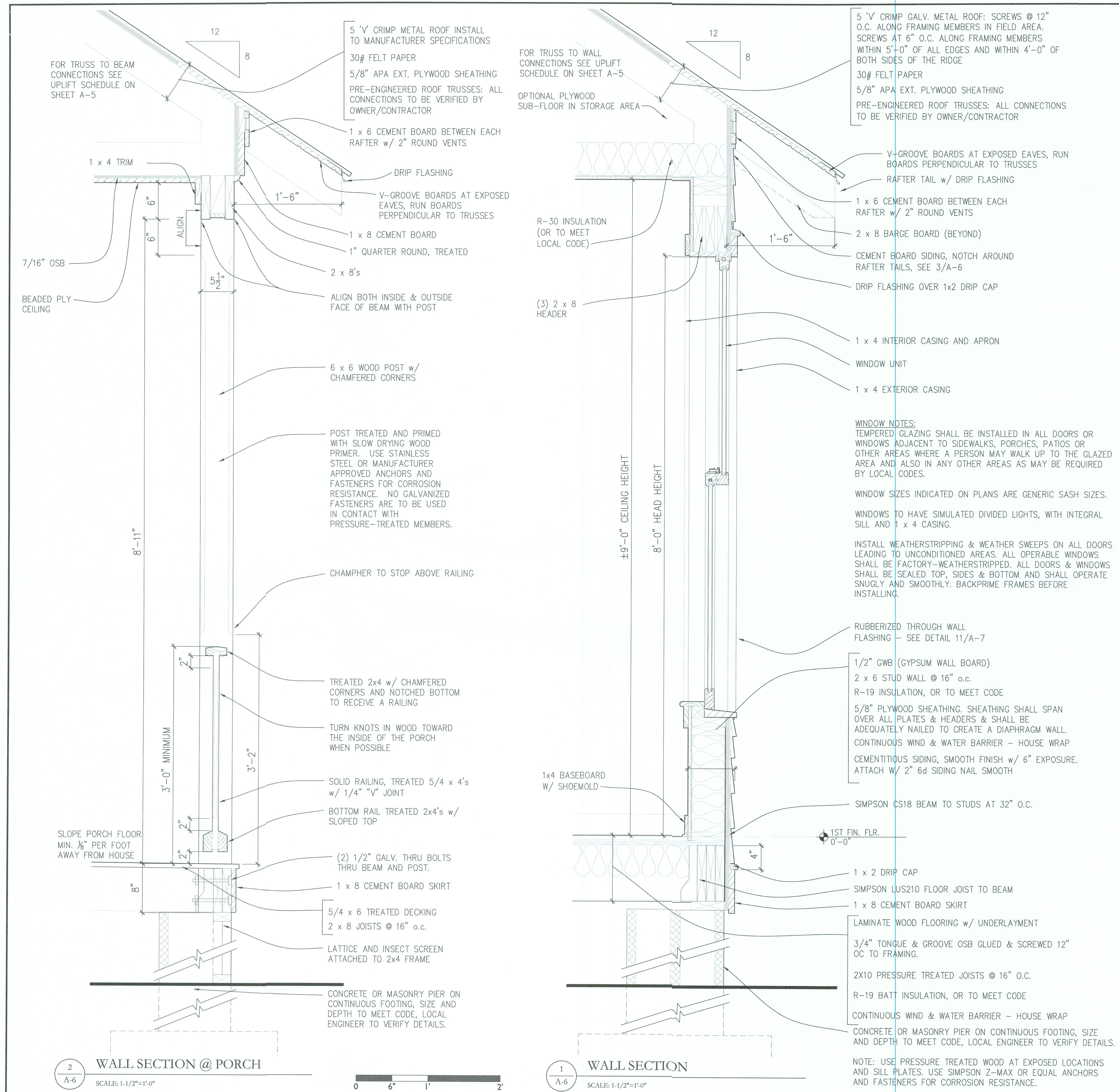
KC 1185 (KC 910 Extended)

TRUSS PROFILES & SECTION

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(5 of 8)

May 22, 07



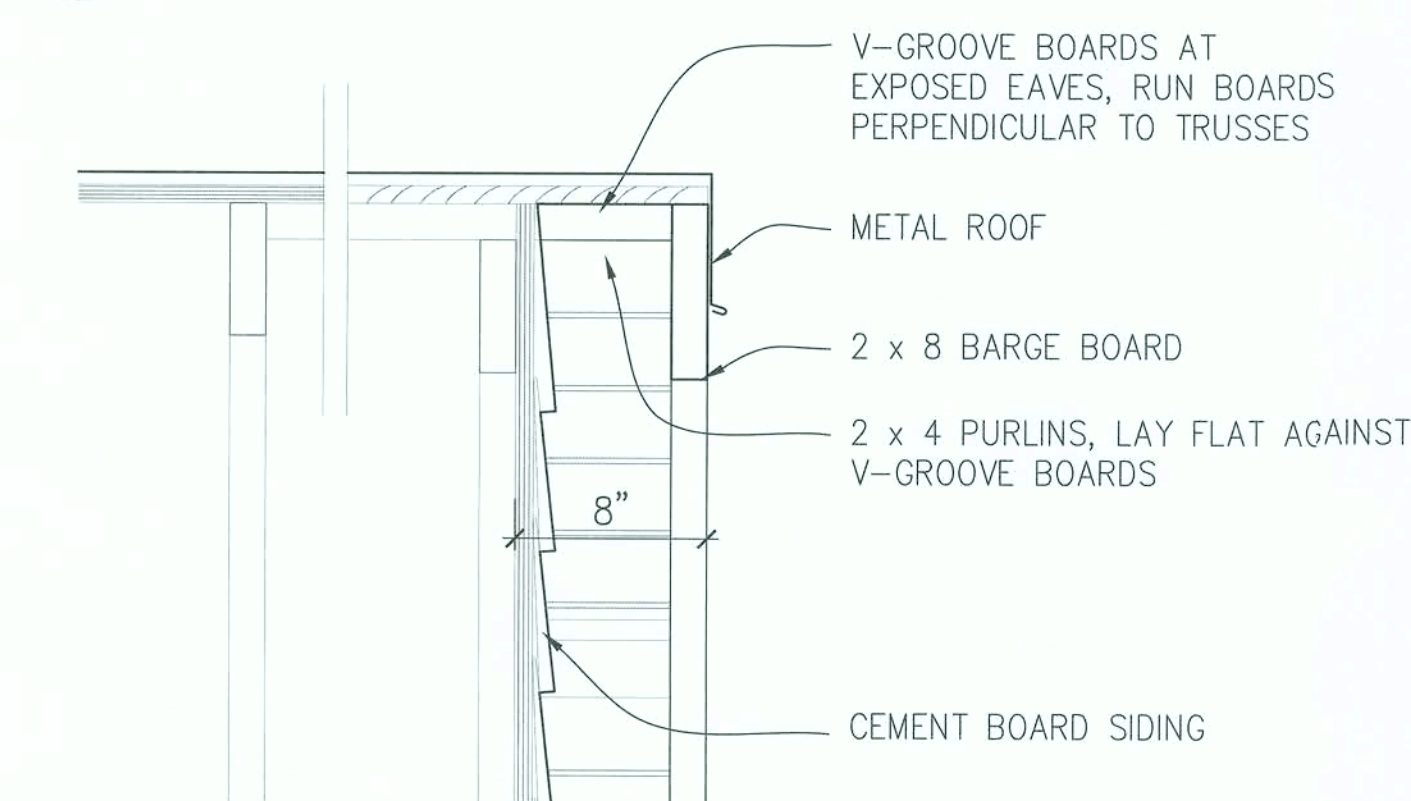


6

A-6

CANOPY DETAIL

SCALE: 1"=1'-0"

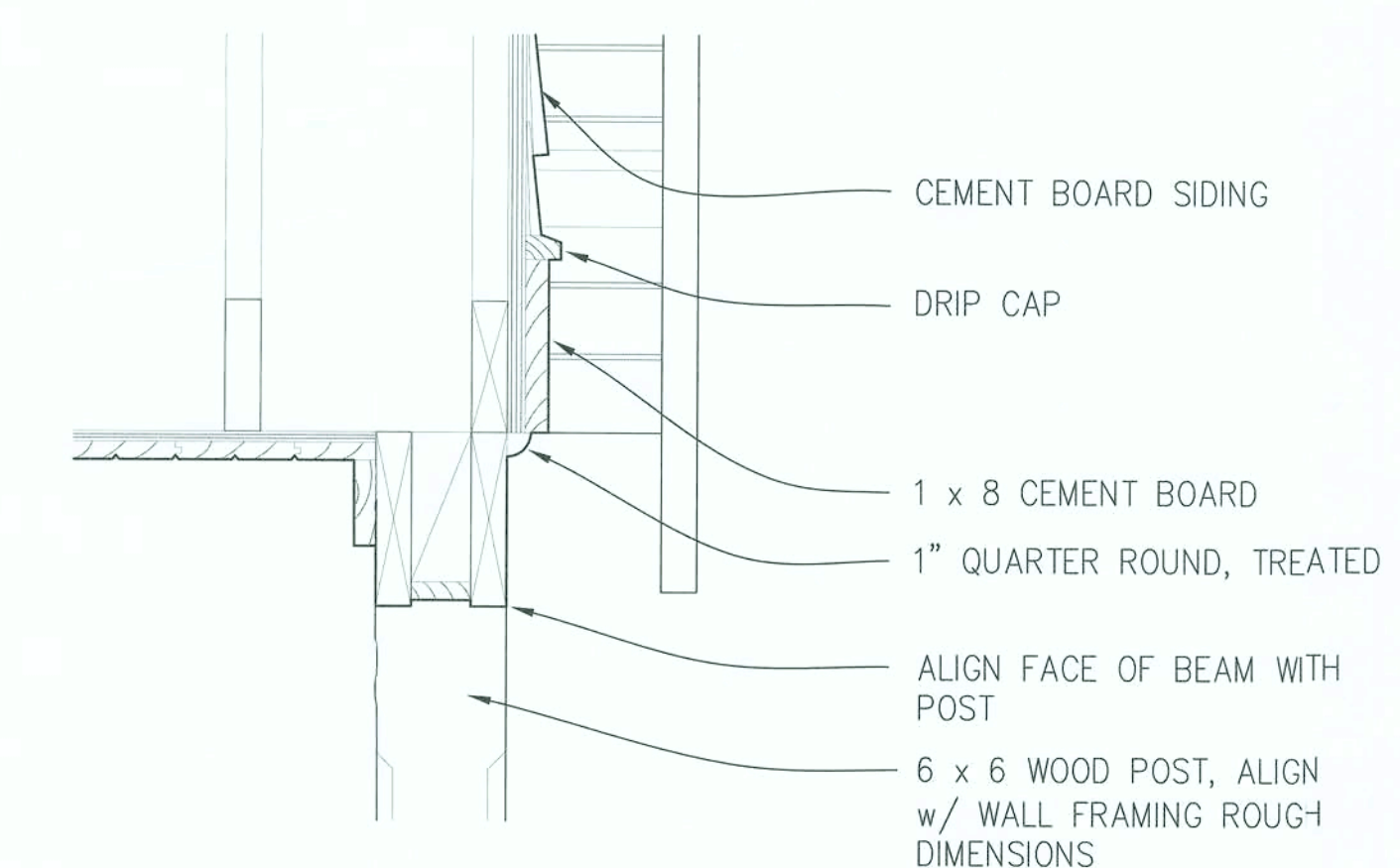


5

A-6

GABLE END

SCALE: 1-1/2"=1'-0"

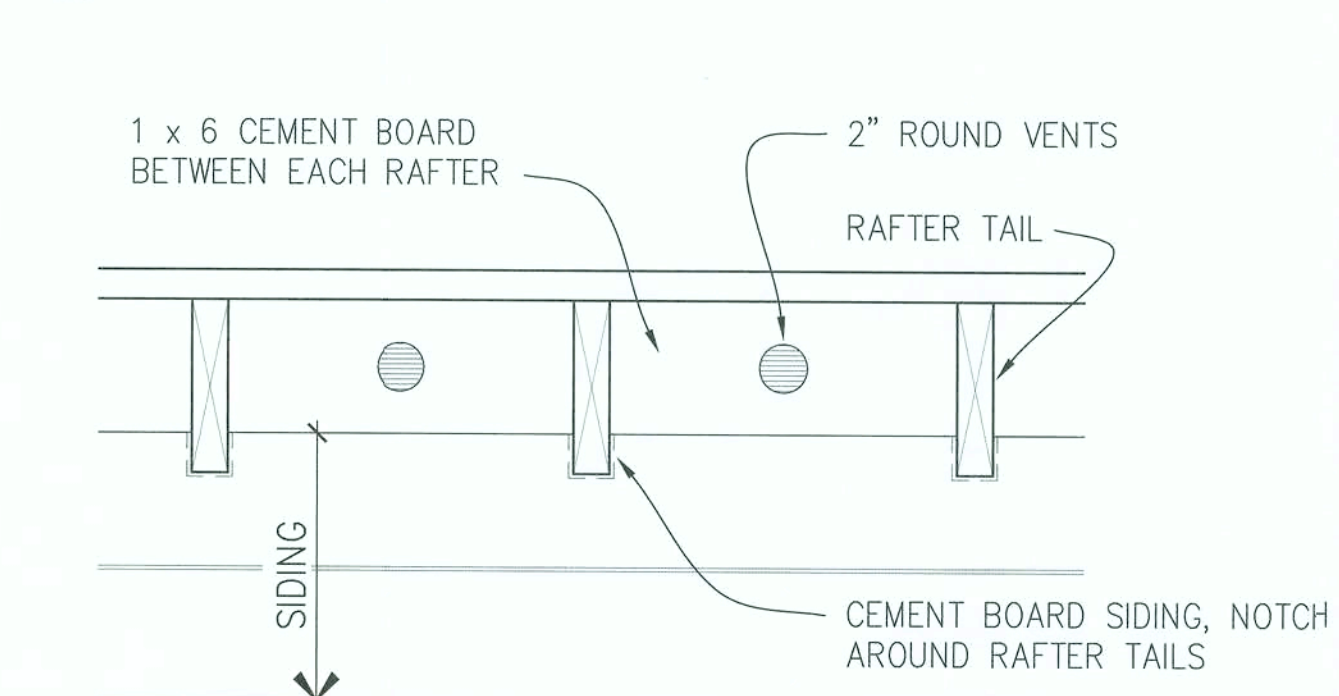


4

A-6

GABLE END @ PORCH COLUMN

SCALE: 1-1/2"=1'-0"



3

A-6

ELEVATION DETAIL

SCALE: 1-1/2"=1'-0"

THE USE OF DRAG STRUTS OR OTHER MEANS TO TRANSFER BUILDING SHEAR LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR AND SHALL BE DESIGNED BY OTHERS.



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LOWE'S KATRINA COTTAGE SERIES

Design by Cusato Cottages, LLC

Lowe's Commercial Services
1000 Lowe's Blvd. 4ECS
Mooresville, NC 28117
(704) 758-3818

KC1185 (KC910 Extended)
TYPICAL WALL SECTIONS

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(6 of 8)

May 22, 07





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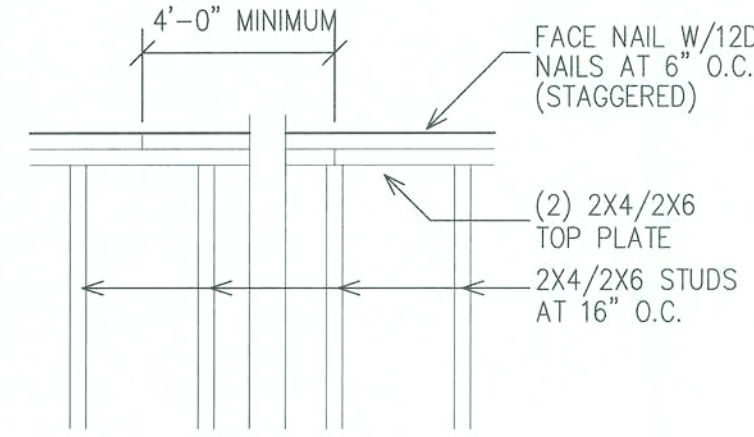
KC 1185 (KC 910 Extended)

DETAILS & NOTES

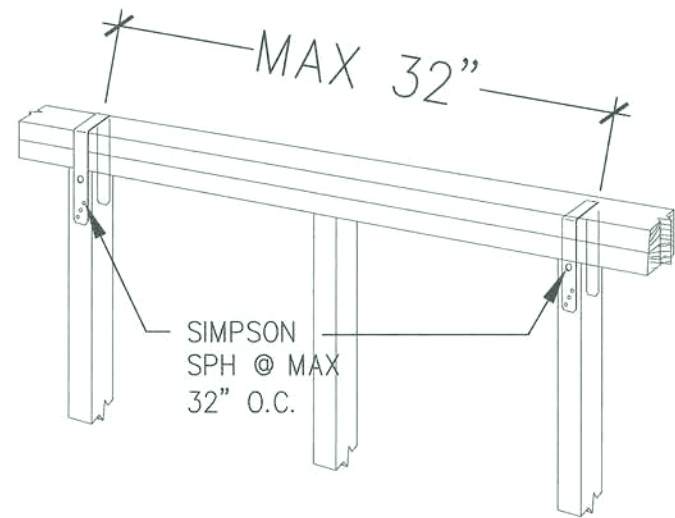
LOWE'S KATRINA COTTAGE SERIES

A-7
(7 of 8)

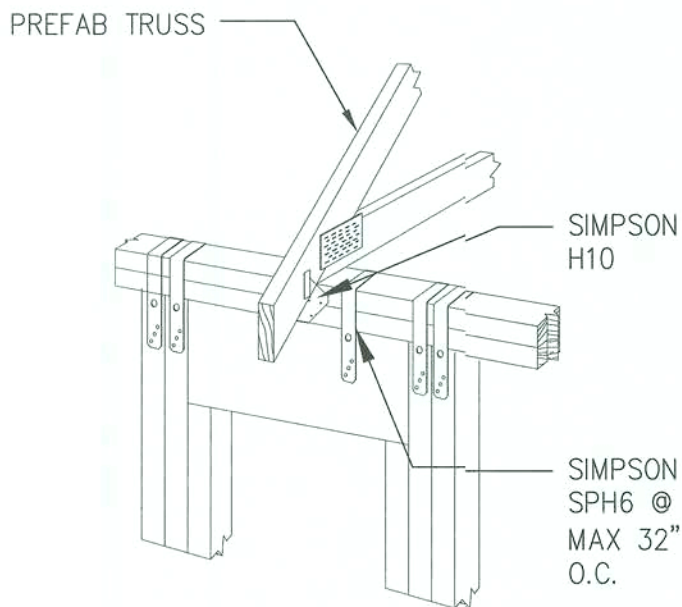
May 22, 07



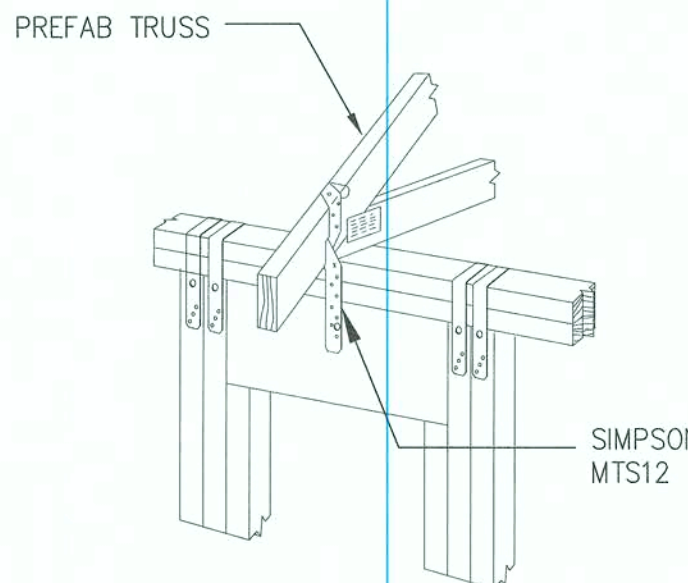
6 TOP PLATE SPLICE DETAIL
SCALE: 1/2"=1'-0"



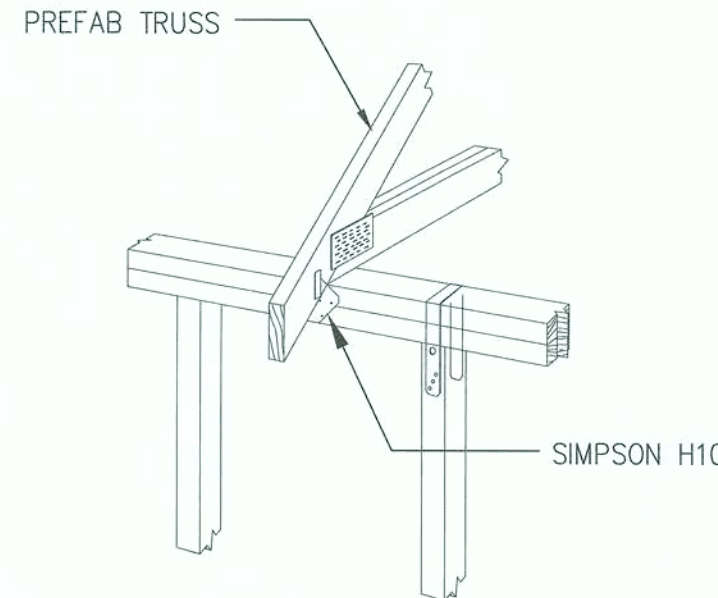
5 TOP PLATE TO STUD
NOT TO SCALE



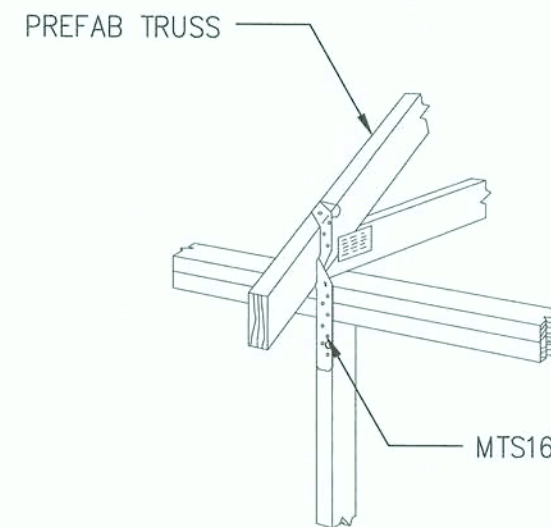
4 TOP PLATE TO HEADER
NOT TO SCALE



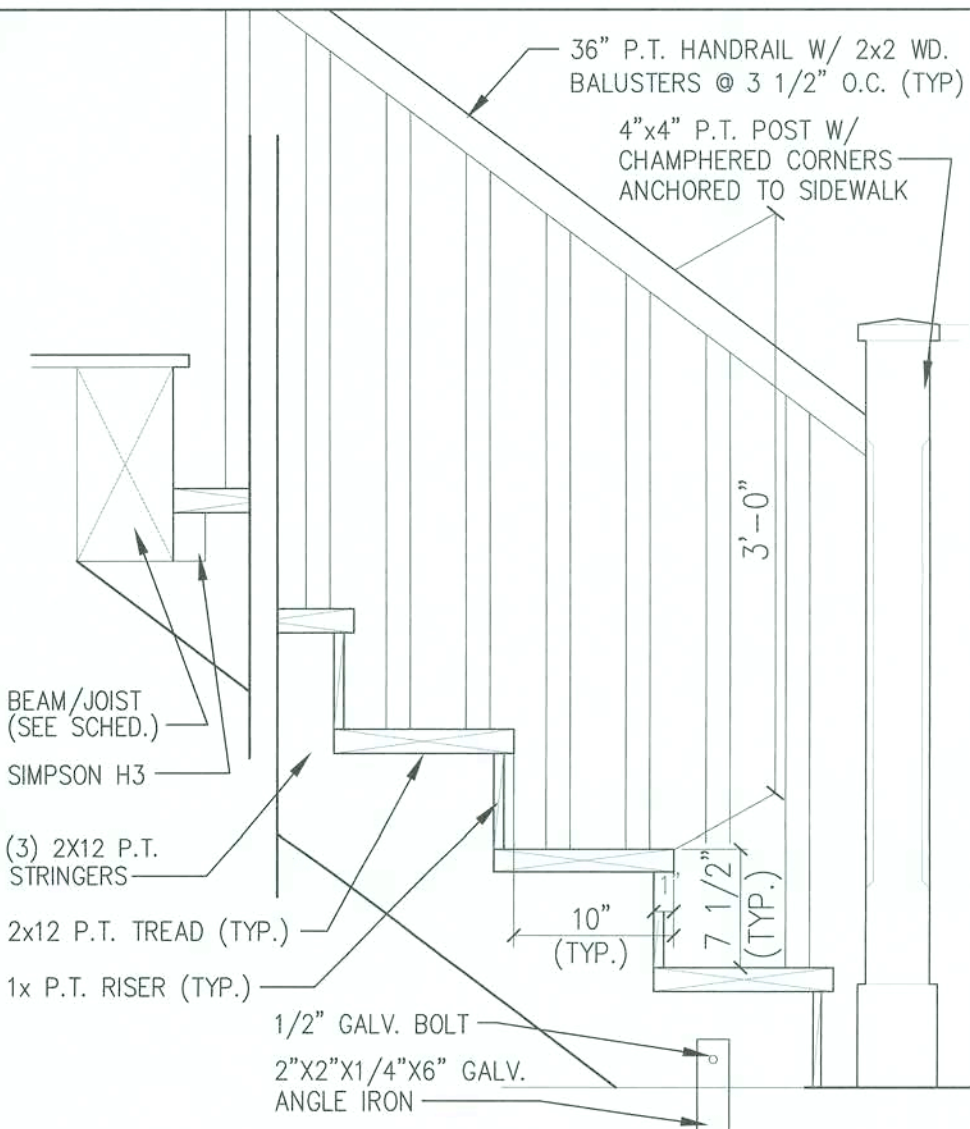
3 OPTIONAL TRUSS TO HEADER
NOT TO SCALE



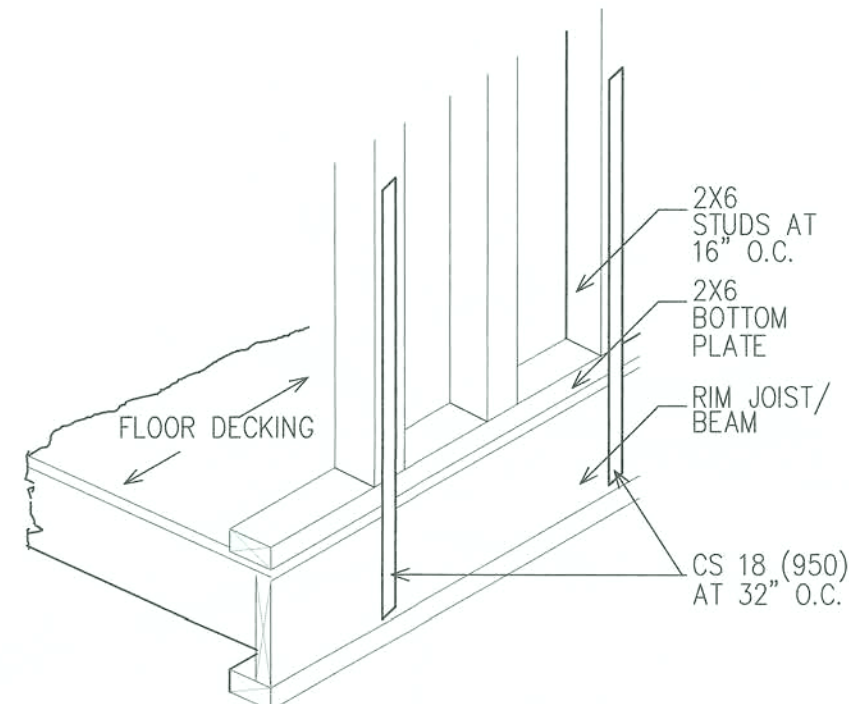
2 TRUSS TO TOP PLATE
NOT TO SCALE



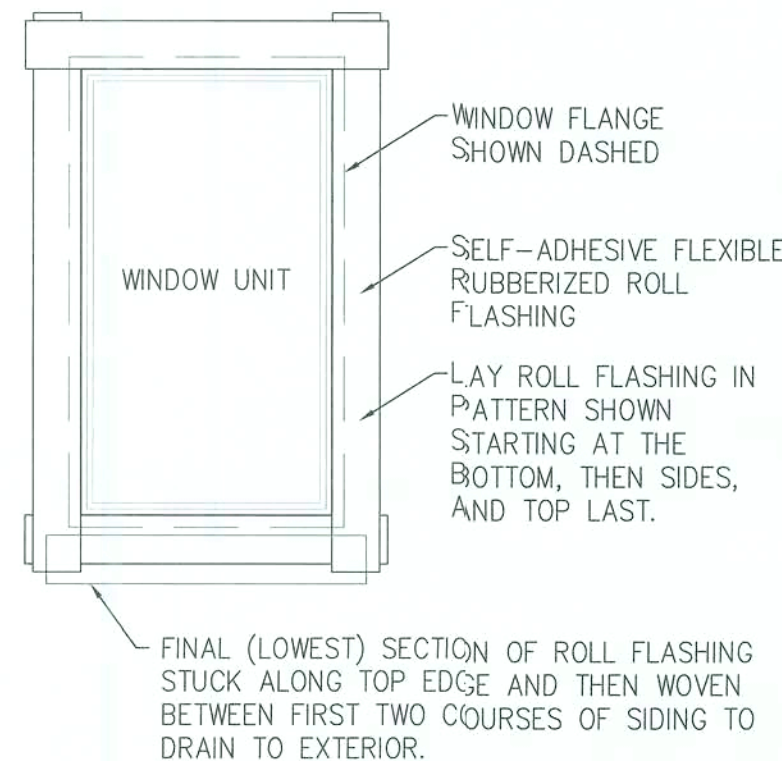
1 OPTIONAL TRUSS TO STUD
NOT TO SCALE



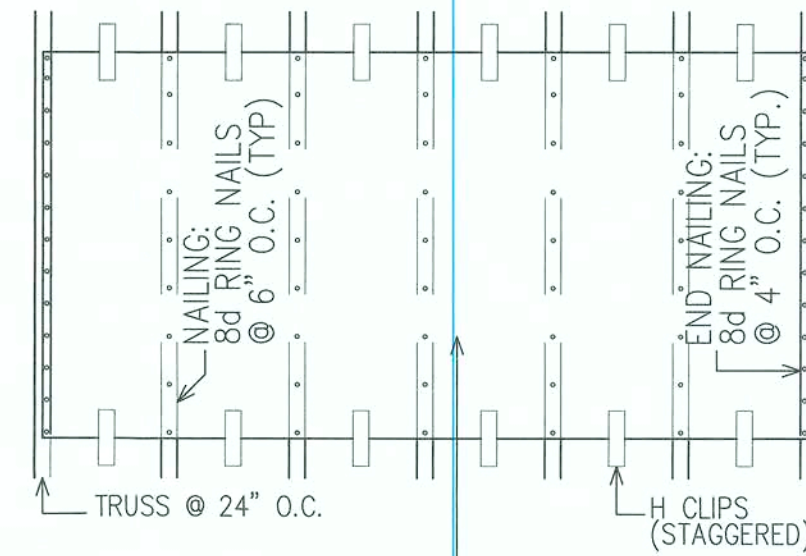
11 EXTERIOR STAIR DETAIL
SCALE: 1"=1'-0"



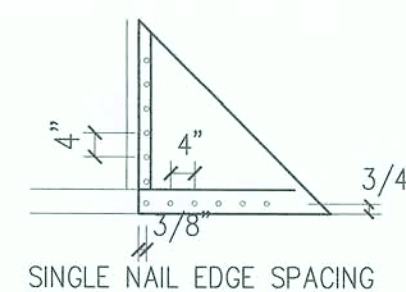
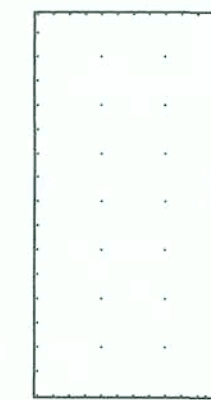
10 CS18 DETAIL
NOT TO SCALE



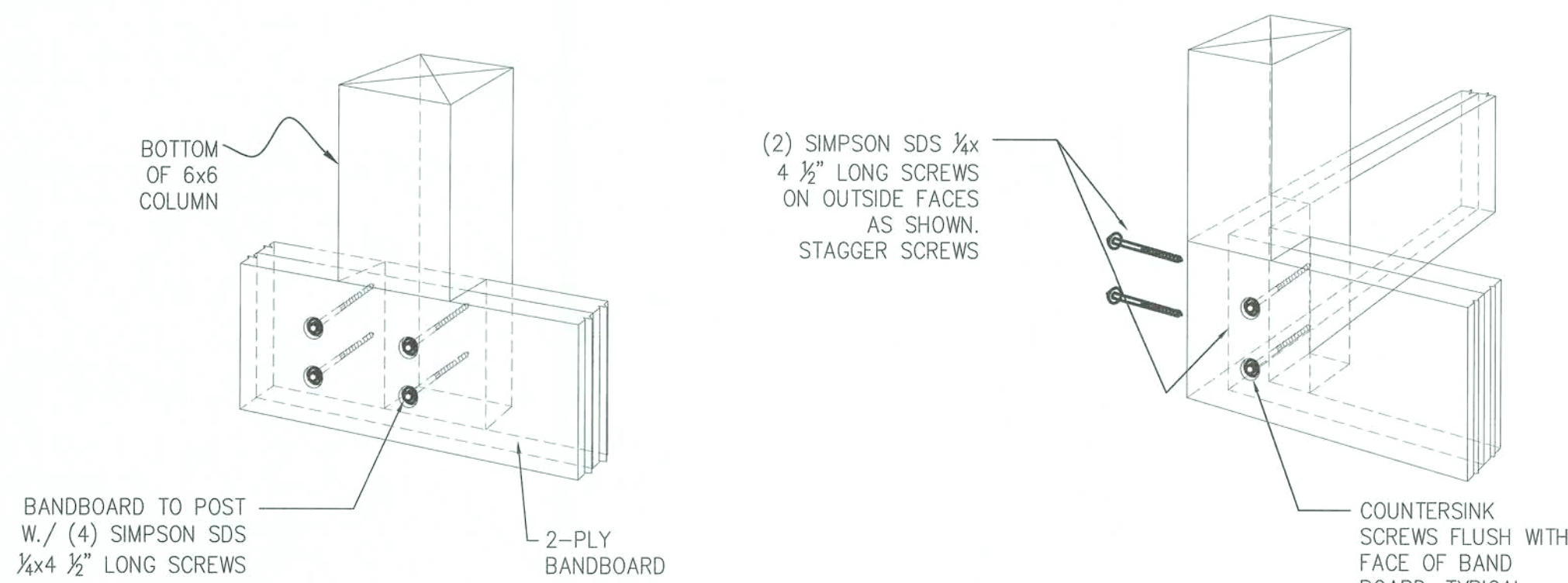
9 TYP. WINDOW FLASHING
NOT TO SCALE



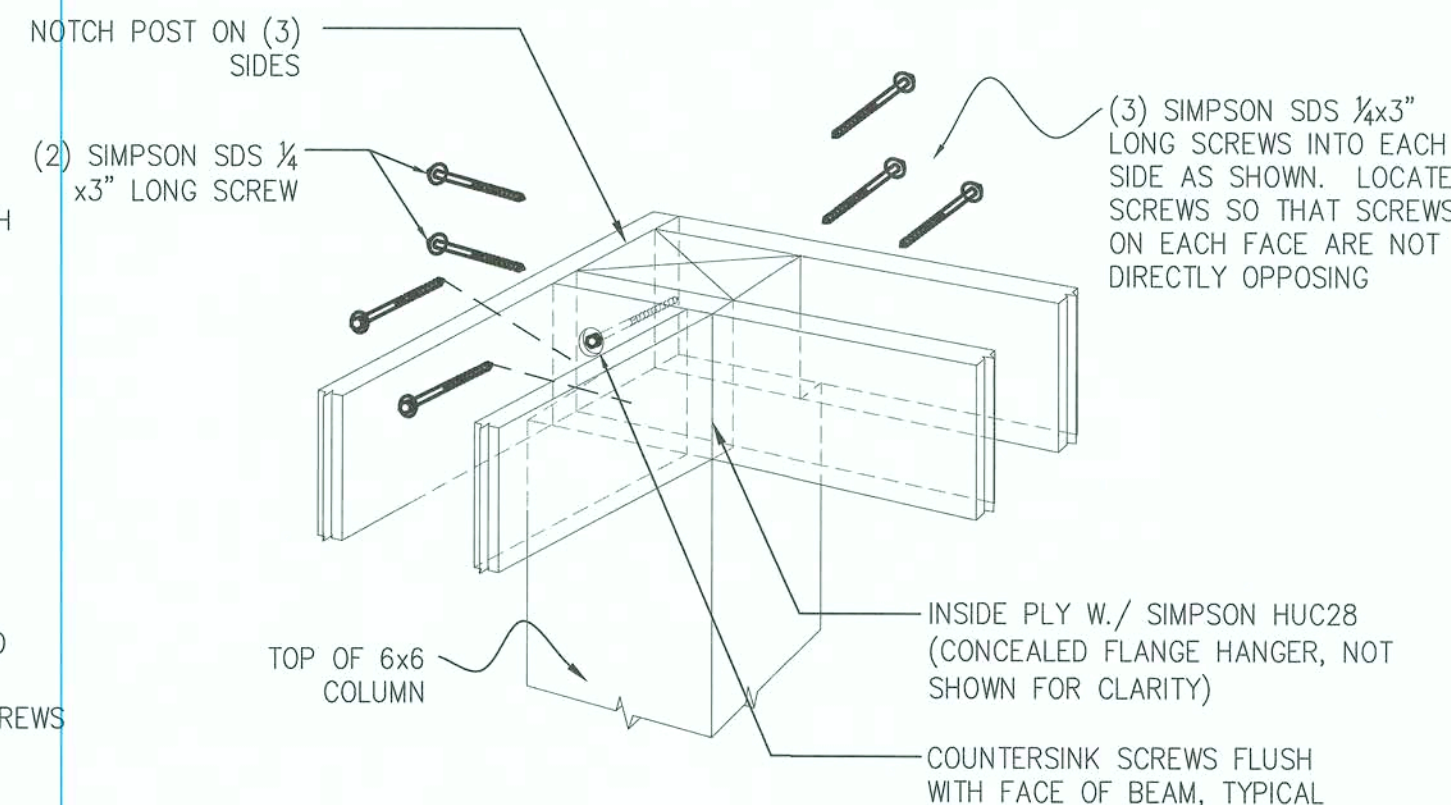
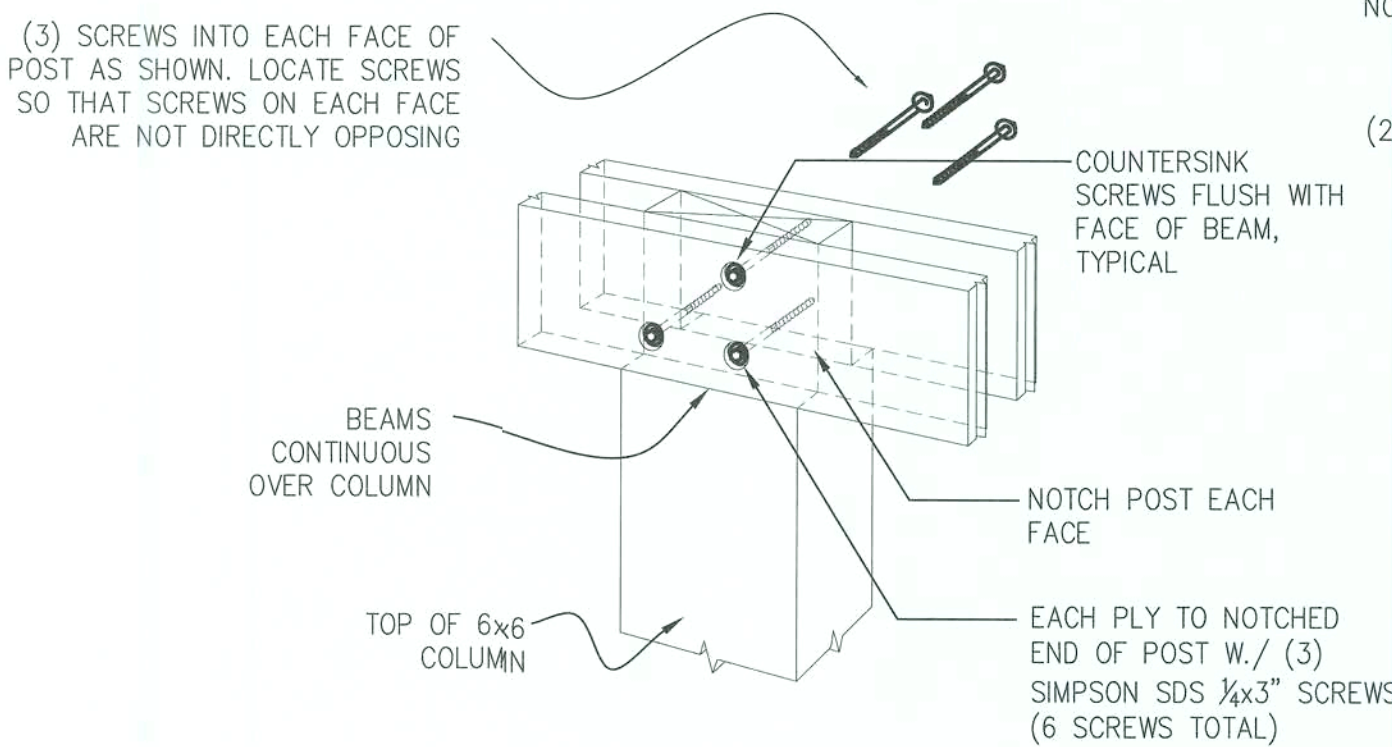
8 ROOF SHEATHING DETAIL
SCALE: 1/2"=1'-0"



7 SHEAR WALL DETAIL
SCALE: 1/2"=1'-0"



12 PORCH POST / BEAM CONNECTIONS
NOT TO SCALE



FLASHING & DAMPPROOFING NOTES

1. Install all exposed flashing w/concealed cleats. Do not use surface fasteners of any type.
2. Base flashing shall be 2 ounce copper-fabric flashing equal to AFCO. Base flashing shall run up 6" minimum behind sheathing when installed at wood floor system
3. Window & door head flashing shall be 2 ounce copper-fabric flashing equal to AFCO either 16 ounce copper or .019 factory pre-primed aluminum break metal or rubberized roll flashing at owner or builder's option.

4. Eave & rake flashing shall either 16 ounce copper or .019 factory pre-primed aluminum break metal at owner or builder's option. All roof edge flashing shall extend 6" minimum behind roofing felt or other roofing material. Verify that flashing runs not only under roofing material, but also under sub-roofing material such as roofing felt. Eave flashing at gutters shall extend to cover back leg of gutter, but shall terminate above rim of gutter.

5. Valley flashing shall be either 16 ounce copper or .019 factory pre-primed aluminum break metal at owner or builder's option 12" wide minimum centered in valleys. Lap joints 12" minimum.

6. Crawl space vapor barrier shall be 6 mil polyethylene. Overlap joints a minimum of 6" & tape w/duct tape. Tape vapor barrier to all foundation walls & piers.

VENTILATION NOTES

1. All attics, crawl spaces & other concealed areas shall be ventilated as per local building codes.

2. Soffit vent shall be 2" round vents between each rafter.

3. Crawl space ventilation shall be lattice with insect screen on the inside.

4. Provide insulation baffles at ventilated eaves as required to assure minimum 1" clear air space at bottom of roof deck.

MECHANICAL NOTES

Design and specification of Mechanical system to be determined by builder or local engineer. Builder to furnish all ductwork, control wiring, piping, fittings, accessories, etc. for complete installation. Closely coordinate work with all other trades. Maintain ceiling heights & duct spaces provided.

GUTTERS & DOWNSPOUTS

1. Gutters & downspouts are not shown for clarity. Owner or builder may elect to use rain diverters over doors & walkways in lieu of gutters. If gutters & downspouts are used, locate to allow drainage to flow away from house, adjacent structures & property line.

2. Gutters and Downspouts, if used, shall be factory pre-primed .032 aluminum ready for finish painting. The back leg of all gutters shall extend 1" minimum above front rim. Gutters shall be hung with matching metal strips, which are attached under metal roofing. Penetrations of back of gutter or of eave flashing shall not be permitted. Downspouts shall be attached to wall w/matching metal strips, which are attached to wall behind downspouts. Hold downspouts tight against walls.

3. Do not locate downspouts on front face of house. The Designer suggests the use of traditional half-round gutters & round downspouts should the owner or builder elect to install gutters & downspouts.

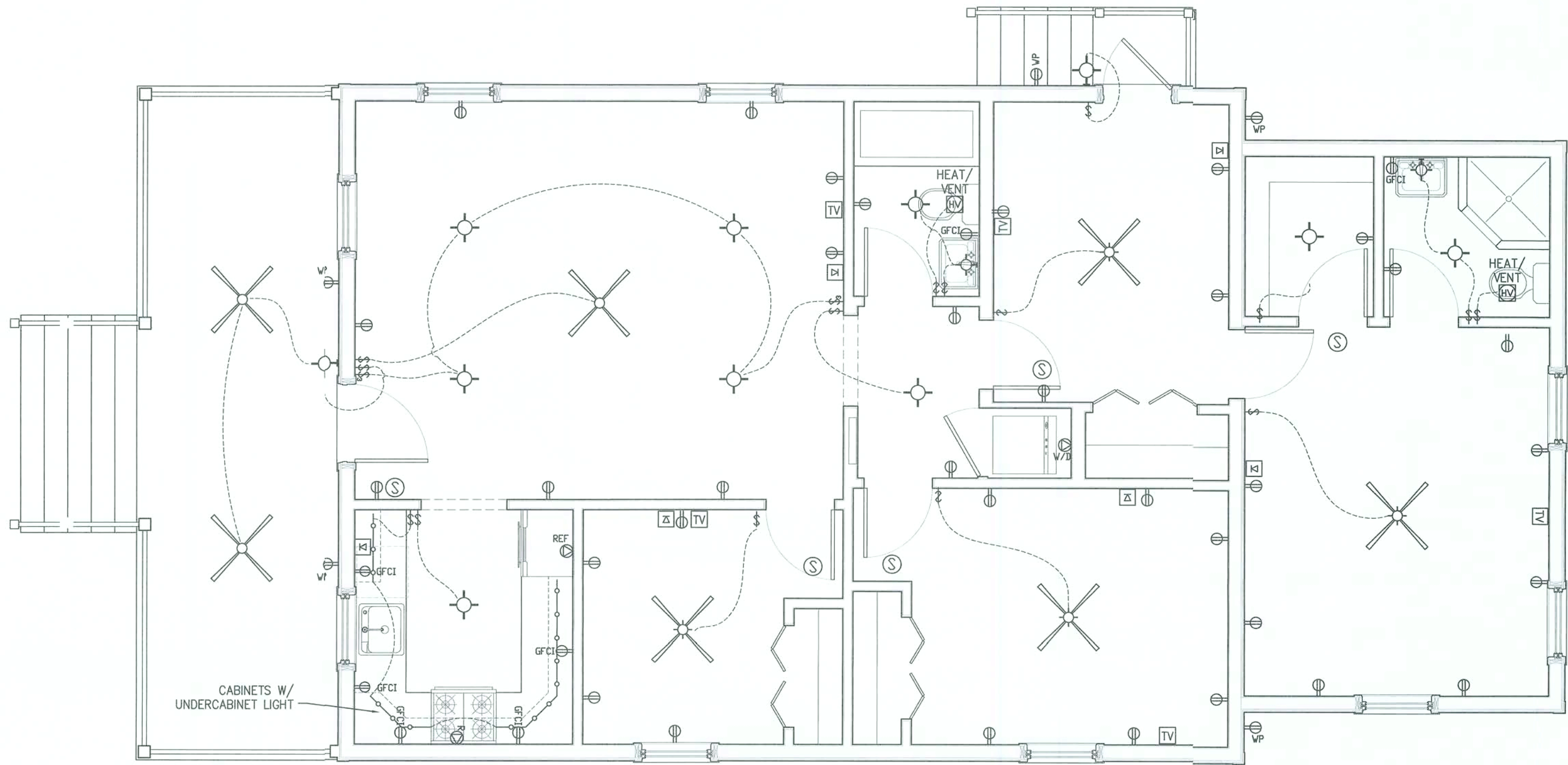
ELECTRICAL NOTES
1. Drawings are diagrammatic only. They do not illustrate conduit, wiring, panels, breakers disconnects, accessories, etc.. It is the builders responsibility to correctly locate and install all items necessary to complete the electrical package, regardless of whether they are shown on this drawing. Builder to verify electrical design and installation is in accordance with all applicable codes, standards and requirements.
2. Install outlets to the following specifications, or to meet local building codes. Install GFCI outlets in all wet locations, kitchen and bathroom. In the kitchen outlets must be every 4' at counter as required by applicable codes. These areas include receptacles in a bathroom, kitchenette, or other area where running water is present or areas exposed to the weather. Use AFCI outlets and switches in the bedroom. Use W/P Outlet at exterior
3. Install hardwired smoke detectors with battery backup. Interconnect detectors so that all will sound should one detector activate. Verify number o smoke detectors required & locations w/owner & code requirements. Detectors shall be installed in all sleeping areas just outside bedrooms as a minimum.

ELECTRICAL NOTES cont.
4. Some equipment may require electrical service, such as water heaters, air conditioning units, condensate pumps, etc. Electrical contractor shall include electrical service to all such equipment. Coordinate with other trades concerning items requiring electrical service. Coordinate service & ampacity required. Provide one duplex outlet & one light if unit is in non-lit area for every condensing unit & every air-handling unit as required by applicable codes. Outlet shall be weatherproof GFCI if unit is exposed to weather.
5. Provide panel boards of proper voltage & ampacity for all electrical circuits.
6. Verify service requirements with local power company including transformer locations & types, disconnects at exterior of building, voltages, ampacities & other details of electrical construction. Size all feeders according to NEC requirements.
7. Run all cable concealed in walls, ceilings or floors unless noted otherwise.

ELECTRICAL NOTES cont.
8. Provide blocking for all fixtures
9. Insulate & seal solidly behind receptacles in exterior walls.
10. Light fixtures shall be centered in ceiling areas unless noted otherwise. The Designer recommends that all fixtures be surface mounted, not recessed can lights.
11. Locate switches adjacent to but not intersecting door casings or trim. Switches shall typically be mounted 36" AFF to center of switch.
12. Consult owner & add exterior security lighting if required. Verify lighting type & switching.
AUXILIARY SYSTEMS NOTES
1. No alarm systems is shown. Verify alarm requirements with owner & install as required.

FINISH NOTES
1. Wallboard & ceiling board shall be screw-attached 1/2" fire-rated, as well as mold, mildew, moisture resistant, gypsum board conforming to ASTM C36-64.
2. Wallboard @ damp areas shall be equal to screw-attached 1/2" moisture resistant gypsum board @ all areas exposed to high humidity levels such as bathrooms.
3. Sheetrock accessories shall be equal to USG. All exposed corners and gypsum board edges shall have appropriate metal accessories. Sheetrock joint treatment materials shall conform to ASTM C476-64. Tape all joints & apply 3 coats of joint compound. Sand between coats and after the final finish coat.
4. All joints should be sound, clean, dry & free of contaminants. Caulking or sealant should be applied in accordance with spec data sheets and manufacturer's specific recommendations. Caulking or sealant shall be installed so that finish surface is smooth, even & regular.
5. Sealant shall be installed at exterior or damp interior joints between dissimilar materials as required. Prime all substrates w/primer as recommended by manufacturer of sealant. Apply sealant from the bottom up.
BATH ACCESSORIES NOTES
Both accessories are generally not shown anywhere on plans, builder to allow blocking for bath accessories. Supply and install toilet paper holder 24" OC AFF & minimum 36" OC from wall behind toilet. Install 18" or 24" towel bars as possible in bathrooms.

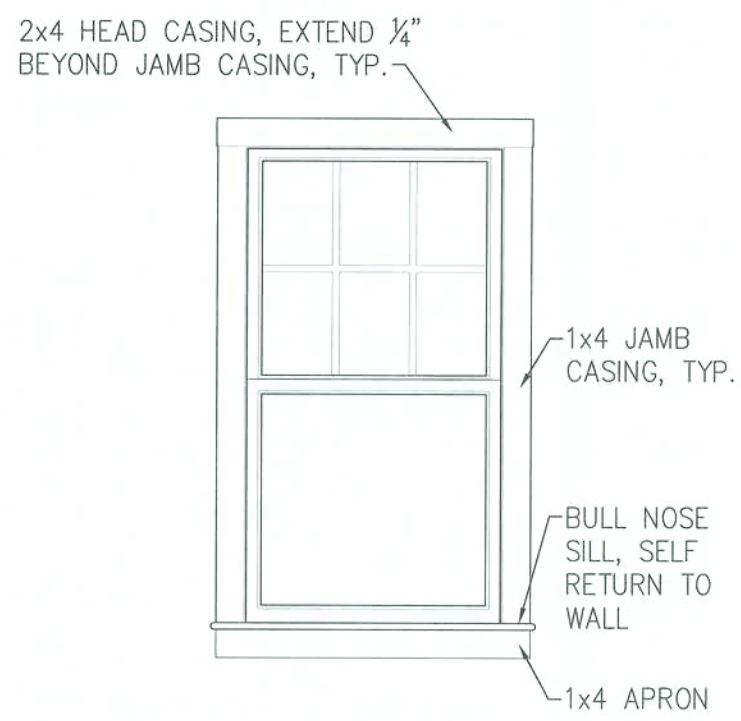
PLUMBING NOTES
1. System shall be designed in accordance with all applicable codes, standards & requirements of local utility officials.
2. Insulate all domestic water supply lines in un-insulated spaces w/tubular foam insulation. Insulation shall be of self-sealing type or shall be taped closed w/foil-faced tape.
3. Center all fixtures in space allocated unless noted otherwise. Coordinate placement of all drains with flooring Subcontractor
4. Cleanouts shall extend to surfaces or shall be provided w/access doors or similar devices. Cap all pipe to be left open overnight & protect pipe during installation from dirt, gravel & other debris which might cause blockages or flow restrictions. All valves, cleanouts & control devices shall be accessible for operation & maintenance through access doors or panels manufactured for such purposes.
5. Lead solder is not allowed on this Project
6. Soil & vent stacks shall have cleanouts as required by applicable codes for proper maintenance.
7. Coordinate with electrician concerning items requiring electrical service such as water coolers, sensor flush valves & water heaters. Coordinate service & ampacity required.
8. Seal to wall, floor or countertop around all fixtures with tub & tile sealant to match color of fixture unless noted otherwise.



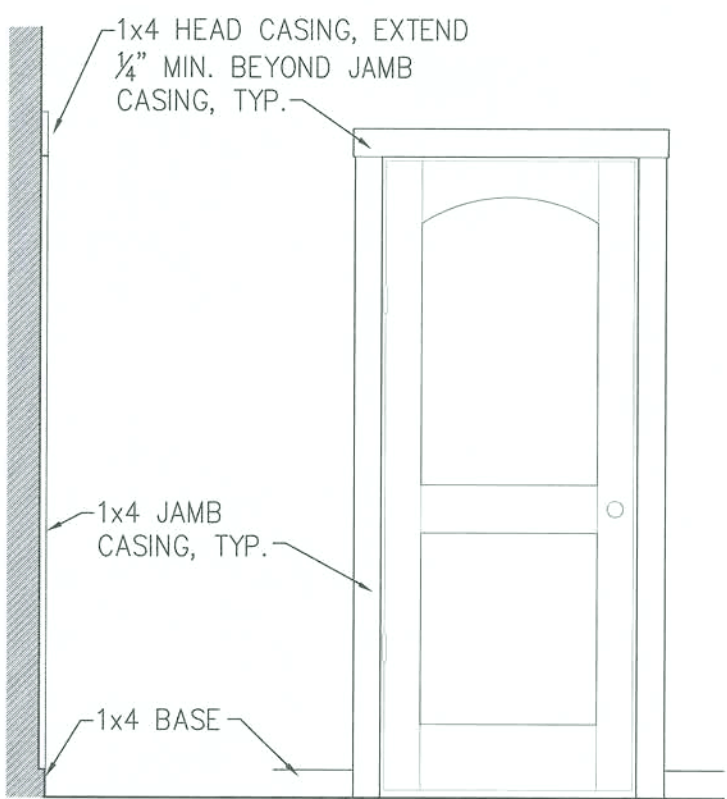
6 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

KEY TO ELECTRICAL SYMBOLS

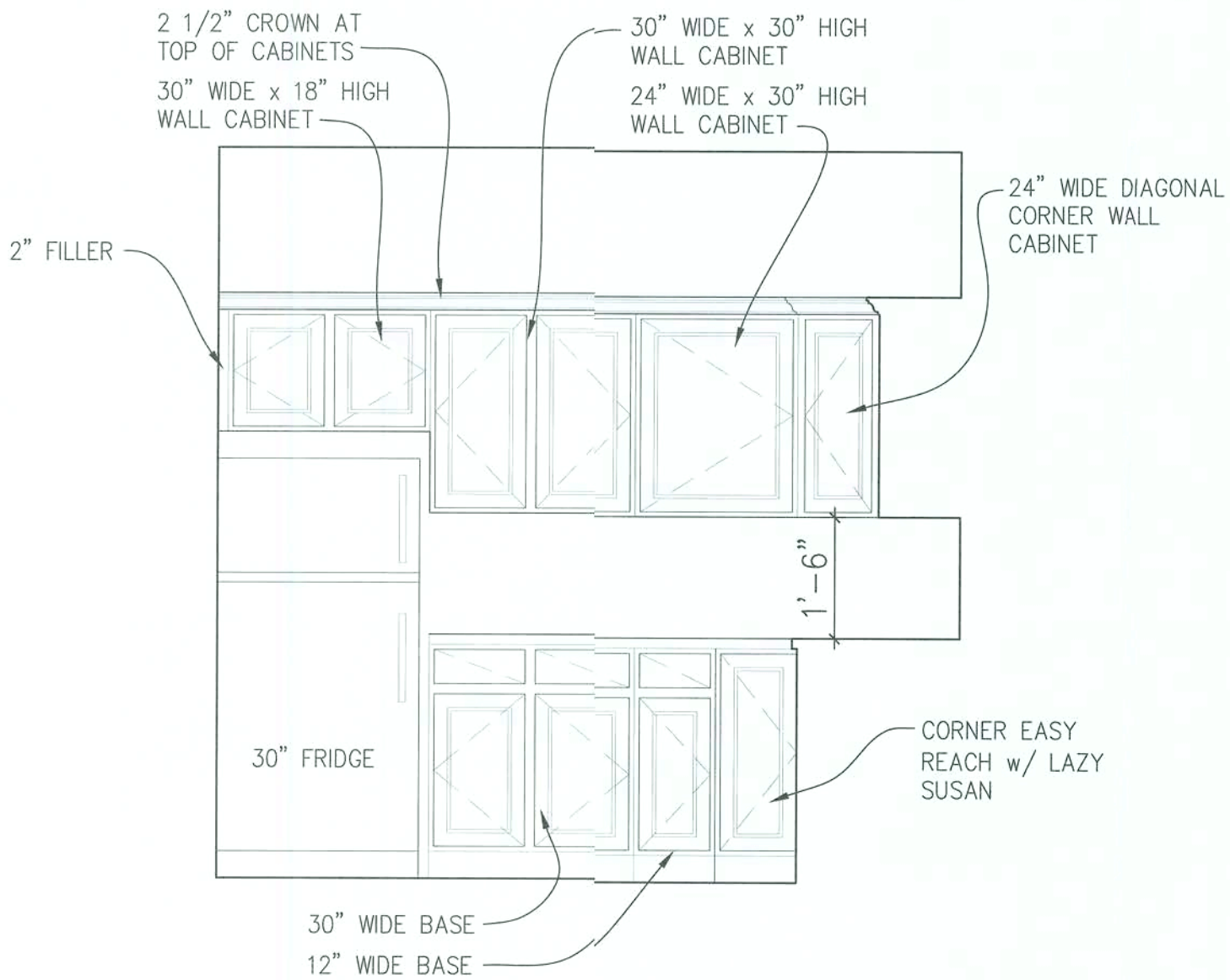
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX WALL OUTLET		CEILING-MOUNTED LIGHT FIXTURE
	DUP OUTLET/GRND FAULT INTRPTR		WALL-MOUNTED LIGHT FIXTURE
	WEATHERPROOF DUPLEX OUTLET		CEILING FAN
	DEDICATED EQUIPMENT OUTLET		CEILING FAN w/ LIGHT KIT
	SINGLE POLE SWITCH		EXHAUST FAN
	THREE-WAY SWITCH		PHONE/DATA
	EXHAUST FAN		CABLE TELEVISION
	UNDER CABINET LIGHT STRIP		
	SMOKE DETECTOR		



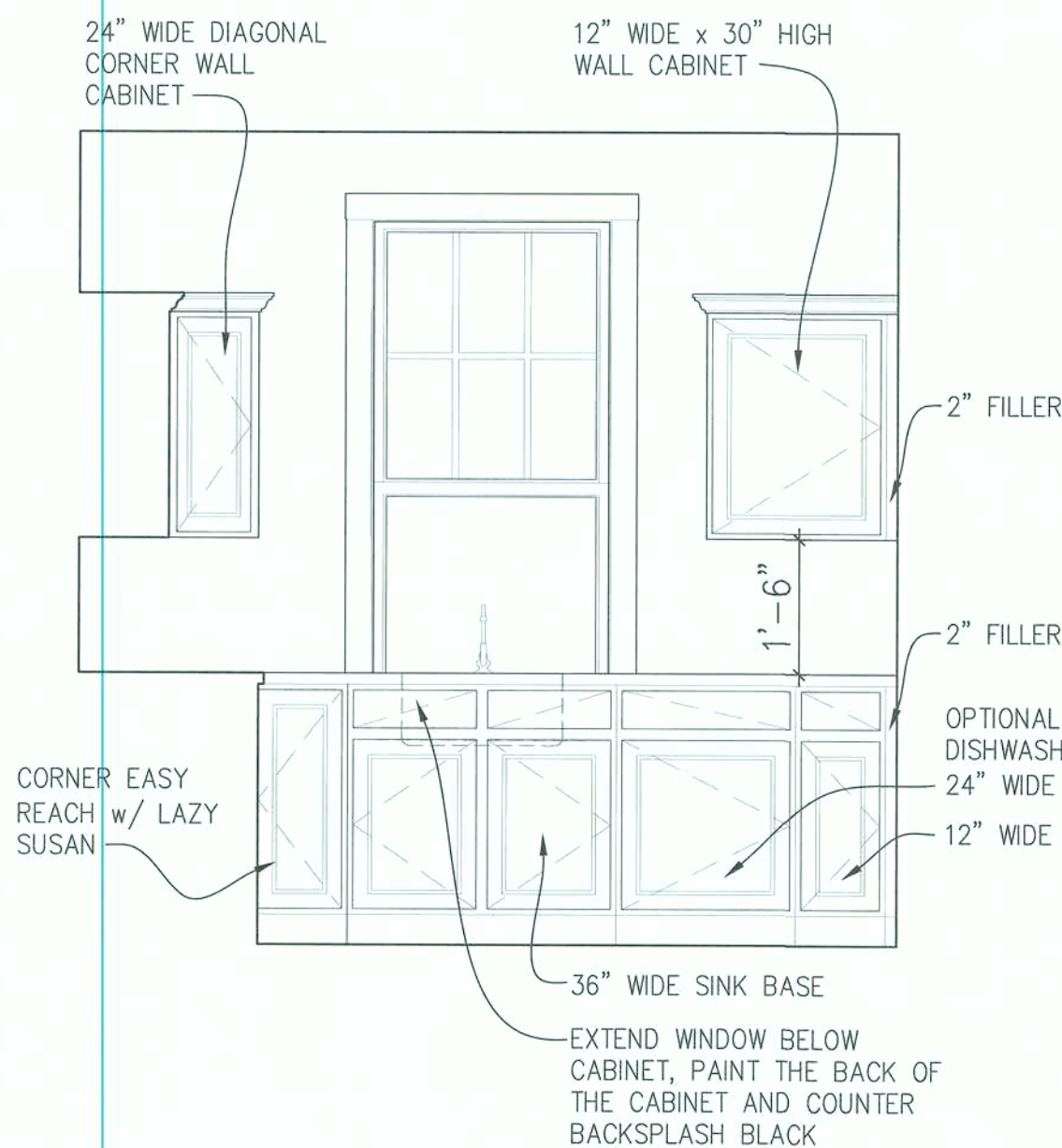
5 INT. WINDOW CASING
SCALE: 1/2"=1'-0"



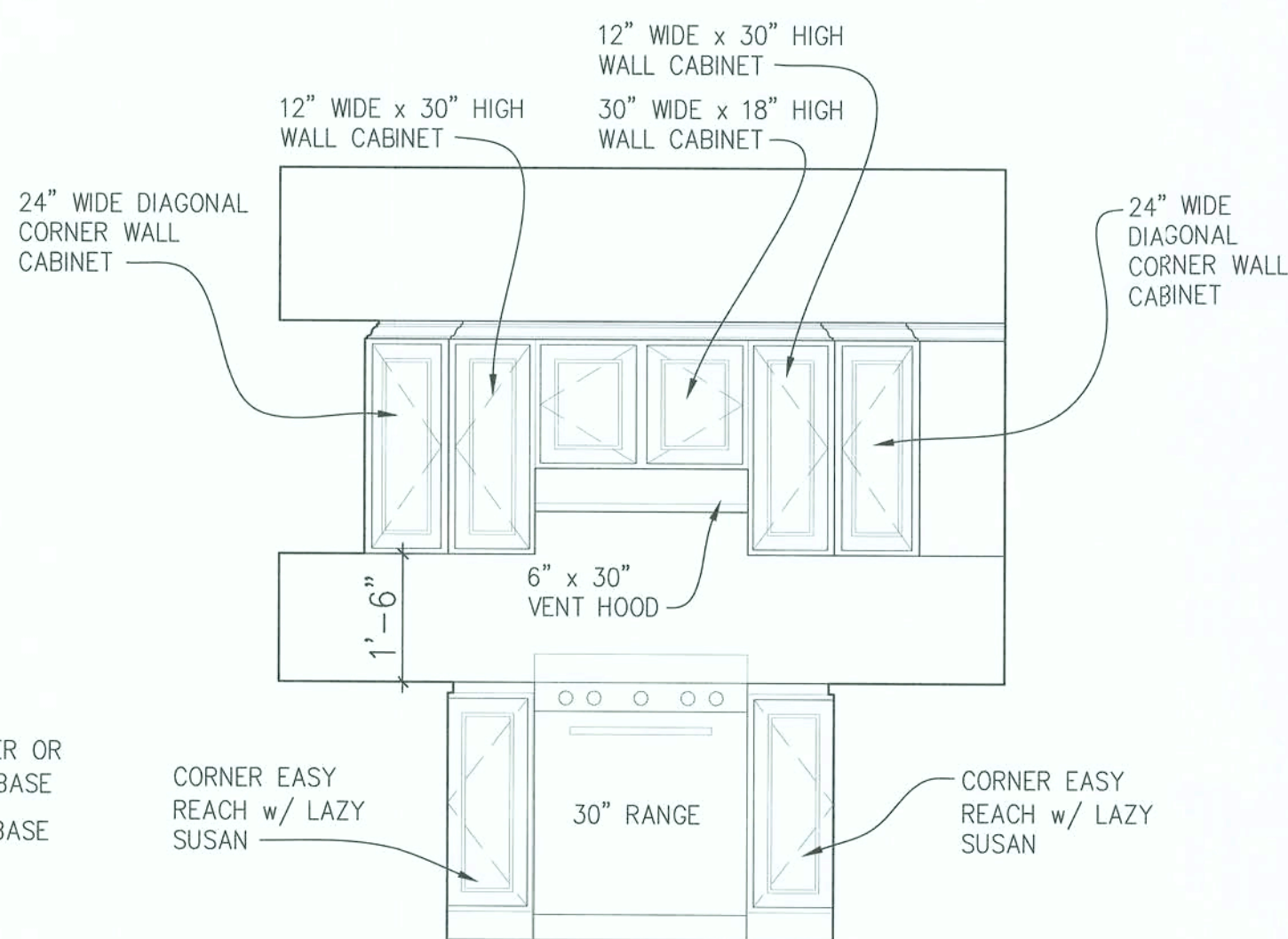
4 INTERIOR DOOR CASING
SCALE: 1/2"=1'-0"



3 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



2 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



1 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



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KC1185 (KC910 Extended)
INTERIOR DETAILS & ELECTRICAL PLAN

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(8 of 8)

May 22, 07



REVISIONS



ANCHOR TABLE

OBTAIN UPLIFT REQUIREMENTS FROM TRUSS MANUFACTURER'S ENGINEERING

UPLIFT LBS. SYP	UPLIFT LBS. SYP	TRUSS CONNECTOR*	TO PLATES	TO RAFTER/TRUSS	TO STUDS
< 420	< 245	H5A	3-8d	3-8d	
< 455	< 265	H5	4-8d	4-8d	
< 360	< 235	H4	4-8d	4-8d	
< 455	< 320	H3	4-8d	4-8d	
< 415	< 365	H2.5	5-8d	5-8d	
< 600	< 535	H2.5A	5-8d	5-8d	
< 950	< 820	H8	8-8d	8-8d	
< 745	< 665	H8	5-10d, 1 1/2"	5-10d, 1 1/2"	
< 1465	< 1050	H14-1	13-8d	12-8d, 1 1/2"	
< 1465	< 1050	H14-2	15-8d	12-8d, 1 1/2"	
< 990	< 850	H10-1	8-8d, 1 1/2"	8-8d, 1 1/2"	
< 760	< 655	H10-2	6-10d	6-10d	
< 1470	< 1265	H16-1	10-10d, 1 1/2"	2-10d, 1 1/2"	
< 1470	< 1265	H16-2	10-10d, 1 1/2"	2-10d, 1 1/2"	
< 1000	< 860	MTS4C	7-10d 1 1/2"	7-10d 1 1/2"	
< 1450	< 1245	HTS24	12-10d 1 1/2"	12-10d 1 1/2"	
< 2800	< 2490	2 - HTS24			
< 2050	< 1785	LGT2	14-16d	14-16d	
HEAVY GIRDER TIEDOWNS*					TO FOUNDATION
< 3965	< 3330	MG1		22-10d	1-5/8" THREADED ROD 12" EMBEDMENT
< 10980	< 6485	HGT-2		16-10d	2-5/8" THREADED ROD 12" EMBEDMENT
< 10530	< 9035	HGT-3		16-10d	2-5/8" THREADED ROD 12" EMBEDMENT
< 9250	< 9250	HGT-4		16-10d	2-5/8" THREADED ROD 12" EMBEDMENT
STUD STRAP CONNECTOR*					TO STUDS
< 435	< 435	SSP DOUBLE TOP PLATE	3-10d		4-10d
< 455	< 420	SSP SINGLE SILL PLATE	1-10d		4-10d
< 825	< 825	DSP DOUBLE TOP PLATE	6-10d		8-10d
< 825	< 600	DSP SINGLE SILL PLATE	2-10d		8-10d
< 885	< 760	SP4			6-10d, 1 1/2"
< 1240	< 1065	SPH4			10-10d, 1 1/2"
< 885	< 760	SP8			6-10d, 1 1/2"
< 1240	< 1065	SPH6			10-10d, 1 1/2"
< 1235	< 1165	LSTA18	14-10d		
< 1235	< 1235	LSTA21	16-10d		
< 1030	< 1030	CS20	16-8d		
< 1705	< 1705	CS16	28-8d		
STUD ANCHORS*					TO STUDS
< 1350	< 1395	LT119	8-16d		1/2" AB
< 2310	< 2310	LT131	18-10d, 1 1/2"		1/2" AB
< 2775	< 2570	H20A	2-5/8" BOLTS		5/8" AB
< 4175	< 3695	HT116	18-16d		5/8" AB
< 1400	< 1400	HPH4D2	16-16d		
< 3335	< 3335	HPH4D22	16-16d		
< 2200	< 2200	ABU44	12-16d		1/2" AB
< 2300	< 2300	ABU66	12-16d		1/2" AB
< 2320	< 2320	ABU88	18-16d		5-5/8" AB

GENERAL NOTES:

TRUSSES: TRUSSES SHALL BE DESIGNED BY A FLORIDA LICENSED ENGINEER IN ACCORDANCE WITH THE FBCR 2004. TRUSS ENGINEERING SHALL INCLUDE TRUSS DESIGN, PLACEMENT PLANS, TEMPORARY AND PERMANENT BRACING DETAILS, TRUSS-TO-TRUSS CONNECTIONS, AND UPLIFT AND REACTION LOADS FOR ALL BEARING LOCATIONS. TRUSS ENGINEERING IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER AND SHALL BE SIGNED & SEALED BY THE MANUFACTURER'S DESIGN ENGINEER. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY THE TRUSS DESIGNER FULLY SATISFIED ALL THE ABOVE REQUIREMENTS AND TO SELECT UPLIFT CONNECTIONS BASED ON TRUSS ENGINEERING UPLIFT AND PROVIDE FOOTINGS FOR INTERIOR BEARING WALLS. BUILDER IS TO FURNISH TRUSS ENGINEERING TO WIND LOAD ENGINEER FOR REVIEW OF TRUSS REACTIONS ON THE BUILDING STRUCTURE. STRAP 2X8 RAFTERS WITH MIN UPLIFT CONNECTION 415LB EACH END, 2X8 RAFTERS 700 LB EACH END.

SITE PREPARATION: SITE ANALYSIS AND PREPARATION IS NOT PART OF THIS PLAN.

FOUNDATION: CONFIRM THAT THE FOUNDATION DESIGN & SITE CONDITIONS MEET GRAVITY LOAD REQUIREMENTS (ASSUME 1000 PSF BEARING CAPACITY UNLESS VISUAL OBSERVATION OR SOILS TEST PROVES OTHERWISE).

CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS, $F_c = 3000$ PSI.

WELDED WIRE REINFORCED SLAB: 6" x 6" W14 x W14, FB = 80KSI, WELDED WIRE REINFORCEMENT FABRIC (W.W.R.) CONFORMING TO ASTM A185, LOCATED IN MIDDLE OF THE SLAB, SUPPORTED WITH APPROVED MATERIALS OR SUPPORTS AT SPACINGS NOT TO EXCEED 3'.

FIBER CONCRETE SLAB: CONCRETE SLABS ON GROUND CONTAINING SYNTHETIC FIBER REINFORCEMENT. FIBER LENGTH 1/2 INCH TO 2 INCHES. DOSAGE AMOUNTS FROM 0.75 TO 1.5 POUNDS PER CUBIC YARD PER THE MANUFACTURER'S RECOMMENDATIONS. FIBERS TO COMPLY WITH ASTM C 1116. SUPPLIER TO PROVIDE ASTM C 1116 CERTIFICATION OF COMPLIANCE WHEN REQUESTED BY BUILDING OFFICIAL.

CONTROL JOINTS: WHERE SPECIFIED, SAWN CONTROL JOINTS IN SLAB-ON-GRADE SHALL BE CUT IN ACCORDANCE WITH ACI 302. JOINTS SHALL BE CUT WITHIN 12 HOURS OF SLAB PLACEMENT. THE LENGTH / WIDTH RATIOS OF SLAB AREAS SHALL NOT EXCEED 1.5 AND TYPICAL SPACING OF CUTS TO BE 12FT. DO NOT CUT W/M OR REINFORCING STEEL. (RECOMMENDED LOCATION OF CONTROL JOINTS IS SUBJECT TO OWNER AND CONTRACTOR'S APPROVAL. THE CONTROL JOINTS ARE NOT INTENDED TO PREVENT CRACKS BUT RATHER TO ENCOURAGE THE SLAB TO CRACK ON A GIVEN LINE).

REBAR: ASTM A 615, GRADE 60, DEFORMED BARS, $F_y = 60$ KSI. ALL LAP SPICES 4" DB (25" FOR #5 BARS); UNO. ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI 315-96, U.N.O.

GLULAM BEAMS: GLULAM BEAM, GLB, 24F-V3SP, $F_b = 2400$ PSI, UNO. SUPPLIER MAY SUPPLY AN ALTERNATE BEAM WITH EQUAL PROPERTIES OR MAY SUBMIT THEIR OWN SIZING CALCULATIONS.

ROOF SHEATHING: ALL ROOFS ARE HORIZONTAL DIAPHRAGMS, 7/16" OSB SHEATHING, UNLOCKED, APPLIED PERPENDICULAR TO FRAMING, OVER A MINIMUM OF 3 FRAMING MEMBERS, WITH PANEL EDGES STAGGERED, FASTENED WITH 8d COMMON NAILS (131), 6"OC PANEL EDGES, 12"OC INTERMEDIATE MEMBERS, CABLE ENDS AND DIAPHRAGM BOUNDARY, 4"OC, UNO.

STRUCTURAL CONNECTORS: MANUFACTURER'S AND PRODUCT NUMBER FOR CONNECTORS, ANCHORS, AND REINFORCEMENT ARE LISTED FOR EXAMPLE NOT ENDORSEMENT, AN EQUIVALENT DEVICE OF THE SAME OR OTHER MANUFACTURER CAN BE SUBSTITUTED FOR ANY DEVICES LISTED IN THE EXAMPLE TABLES AS LONG AS IT MEETS THE REQUIRED LOAD CAPACITIES. MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE FOLLOWED TO ACHIEVE RATED LOADS.

ANCHOR BOLTS: A-307 ANCHOR BOLTS WITH MINIMUM EMBEDMENT AS SPECIFIED IN DRAWINGS BUT NO LESS THAN 7" IN CONCRETE OR REINFORCED BOND BEAM OR 12" IN CONCRETE BEAM CMU.

WASHERS: WASHERS USED WITH 1/2" BOLTS TO BE 2" x 2" x 3/16", WITH 5/8" BOLTS TO BE 3" x 3" x 3/16", WITH 3/4" BOLTS TO BE 3" x 3" x 5/16", UNO.

NAILS: ALL NAILS ARE COMMON NAILS UNLESS OTHERWISE SPECIFIED OR ACCEPTED BY FBC TEST REPORTS AS HAVING EQUAL STRUCTURAL VALUES.

BUILDER'S RESPONSIBILITY

THE BUILDER AND OWNER ARE RESPONSIBLE FOR THE FOLLOWING, WHICH ARE SPECIFICALLY NOT PART OF THE WIND LOAD ENGINEER'S SCOPE OF WORK.

CONFIRM SITE CONDITIONS, FOUNDATION BEARING CAPACITY, GRADE AND BACKFILL HEIGHT, WIND SPEED AND DEBRIS ZONE, AND FLOOD ZONE.

PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES, WHICH COMPLY WITH FBCR 2004 REQUIREMENTS FOR THE STATED WIND VELOCITY AND DESIGN PRESSURES.

PROVIDE A CONTINUOUS LOAD PATH FROM TRUSSES TO FOUNDATION. IF YOU BELIEVE THE PLAN OMMITS A CONTINUOUS LOAD PATH CONNECTION, CALL THE WIND LOAD ENGINEER IMMEDIATELY.

VERIFY THE TRUSS MANUFACTURER'S SEALED ENGINEERING INCLUDES TRUSS DESIGN, PLACEMENT PLANS, TEMPORARY AND PERMANENT BRACING DETAILS, TRUSS-TO-TRUSS CONNECTIONS, AND UPLIFT AND REACTION LOADS FOR ALL BEARING LOCATIONS.

ROOF SYSTEM DESIGN

THE SEAL ON THESE PLANS FOR COMPLIANCE WITH FBCR 2004, SECTION R301.2.1 IS BASED ON REACTIONS, UPLIFTS, AND BEARING LOCATIONS IN TRUSS ENGINEERING SUBMITTED TO THE WIND LOAD ENGINEER. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK ALL DETAILS OF THE COMPLETE ROOF SYSTEM DESIGN SUBMITTED BY THE TRUSS MANUFACTURER AND HAVE IT SIGNED, AND SEALED BY A DESIGN PROFESSIONAL FOR CORRECT APPLICATION OF FBCR 2004 REQUIRED LOADS AND ANY SPECIAL LOADS. THE BUILDER IS RESPONSIBLE TO REVIEW EACH INDIVIDUAL TRUSS MEMBER AND THE TRUSS ROOF SYSTEM AS A WHOLE AND TO PROVIDE RESTRAINT FOR ANY LATERAL BRACING. THE BUILDER SHOULD USE CARE CHECKING THE ROOF DESIGN BECAUSE THE WIND LOAD ENGINEER IS SPECIFICALLY NOT RESPONSIBLE FOR THE TRUSS LAYOUT WHICH WAS CREATED BY THE TRUSS MANUFACTURER AND THE TRUSS DESIGNER ALSO DENIES RESPONSIBILITY FOR THE LAYOUT PER NOTES ON THEIR SEALED TRUSS SHEETS.

MASONRY NOTES:

MASONRY CONSTRUCTION AND MATERIALS FOR THIS PROJECT SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602). THE CONTRACTOR AND MASON MUST IMMEDIATELY, BEFORE PROCEEDING, NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN ACI 530.1-02 AND THESE DESIGN DRAWINGS. ANY EXCEPTIONS TO ACI 530.1-02 MUST BE APPROVED BY THE ENGINEER IN WRITING.

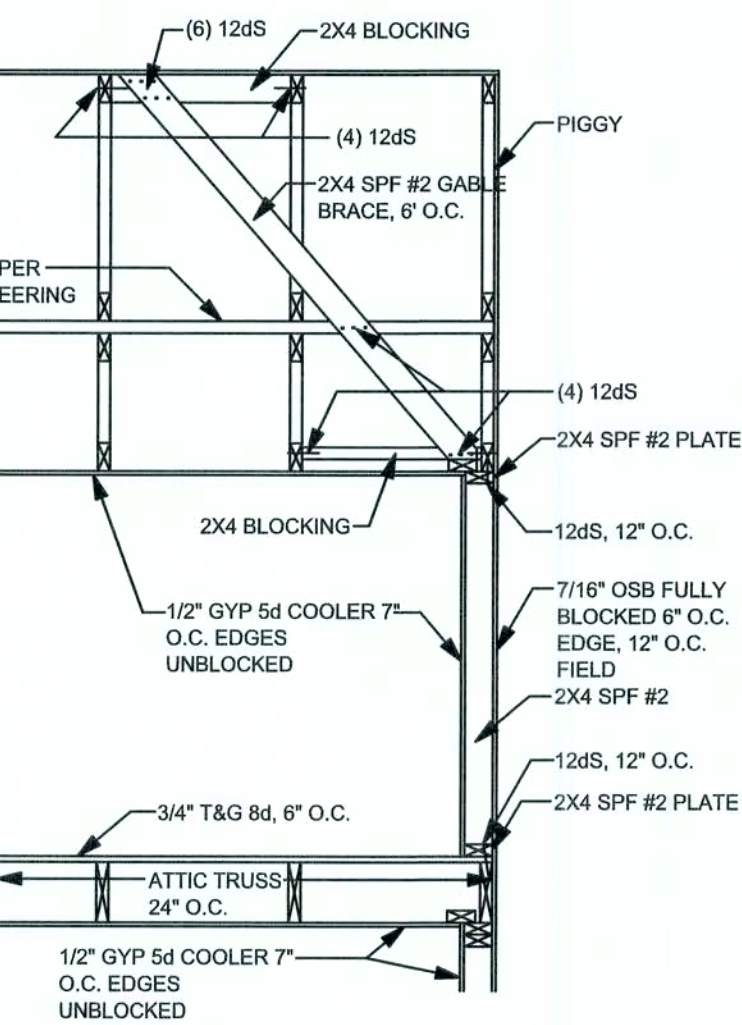
ACI530.1-02 Section	Specific Requirements
1.4A Compressive strength	8" block bearing walls $F_m = 1500$ psi
2.1 Mortar	ASTM C 270, Type N, UNO
2.2 Grout	ASTM C 476, admixtures require approval
2.3 CMU standard	ASTM C 90-02, Normal weight, Hollow, medium surface finish, 8"x8"x16" running bond and 12"x12" or 16"x16" column block
2.4 Clay brick standard	ASTM C 216-02, Grade SW, Type FBS, 5.5"x2.75"x11.5"
2.4 Reinforcing bars, #3 - #11	ASTM 615, Grade 60, $F_y = 60$ ksi, Lap splices min 48 bar dia. (30" for #5)
2.4F Coating for corrosion protection	Anchors, sheet metal ties completely embedded in mortar or grout, ASTM A525, Class G60, 0.60 oz/lb or 304SS
2.4F Coating for corrosion protection	Joint reinforcement in walls exposed to moisture or wire ties, anchors, sheet metal ties not completely embedded in mortar or grout, ASTM A153, Class B2, 1.50 oz/lb or 304SS
3.3.E.2 Pipes, conduits, and accessories	Any not shown on the project drawings require engineering approval.
3.3.E.7 Movement joints	Contractor assumes responsibility for type and location of movement joints if not detailed on project drawings.

CONTINUOUS FRAME TO CEILING DIAPHRAGM DETAIL

SCALE: N.T.S.

INTERIOR BEARING WALL

SCALE: 1/2" = 1'-0"



PORCH POST DETAIL

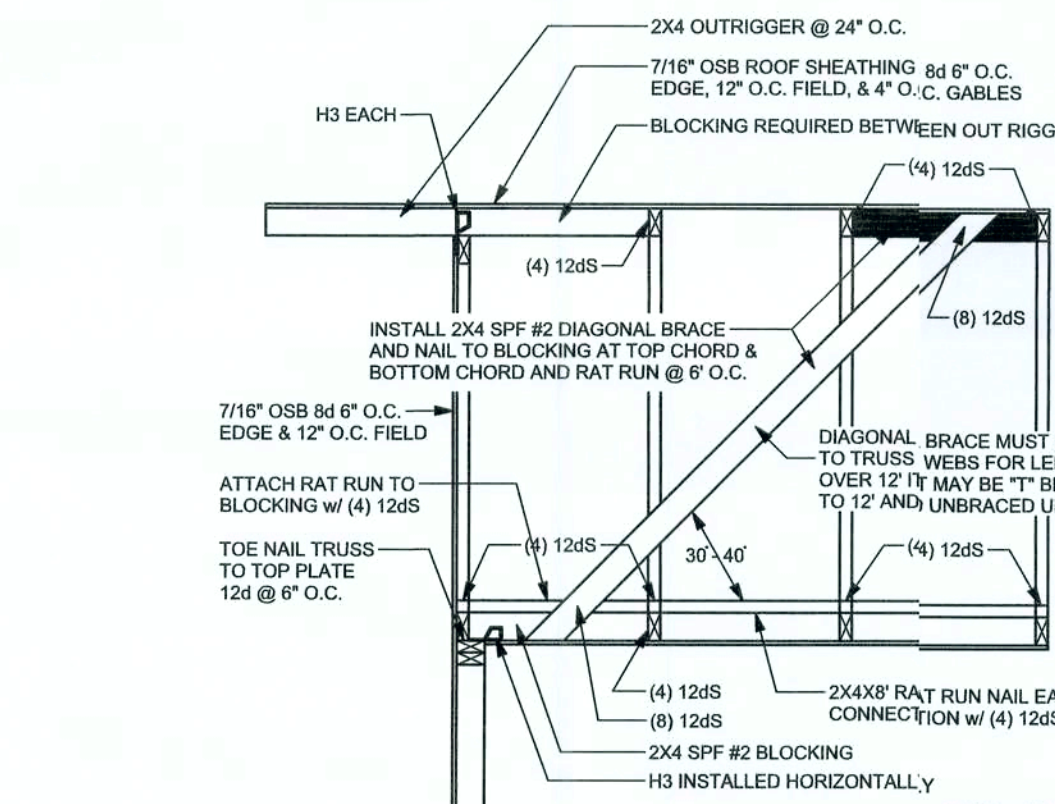
SCALE: 1/2" = 1'-0"

GRADE & SPECIES TABLE

		F_b (psi)	E (10^6 psi)
2x8	SYP #2	1200	1.6
2x10	SYP #2	1050	1.6
2x12	SYP #2	975	1.6
GLB	24F-V3 SP	2400	1.8
LSL	TIMBERSTRAND	1700	1.7
LVL	MICROLAM	1600	1.9
PSL	PARALAM	2900	2.0

W67 - BONUS ROOM / GABLE END BRACING

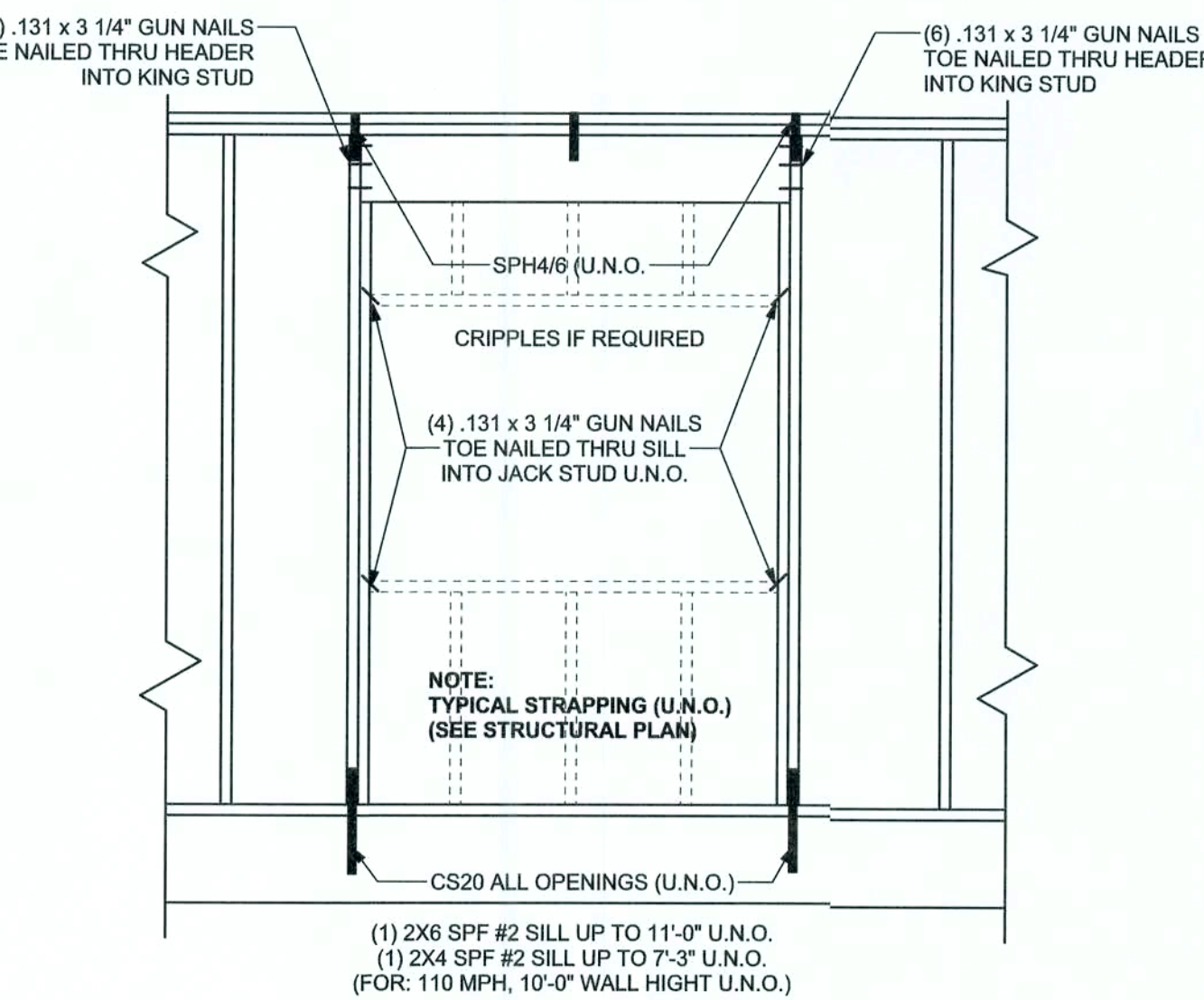
SCALE: 1/2"=1'-0"



SPACE RAT RUN & DIAGONAL BRACE 6'-0" O.C. FOR GABLE HEIGHT UP TO 25'-0" 110 MPH, EXP. C, ENCLOSED

GABLE BRACING DETAIL

SCALE: 1/2" = 1'-0"



TYPICAL HEADER STRAPING DETAIL

SCALE: 1/2" = 1'-0"

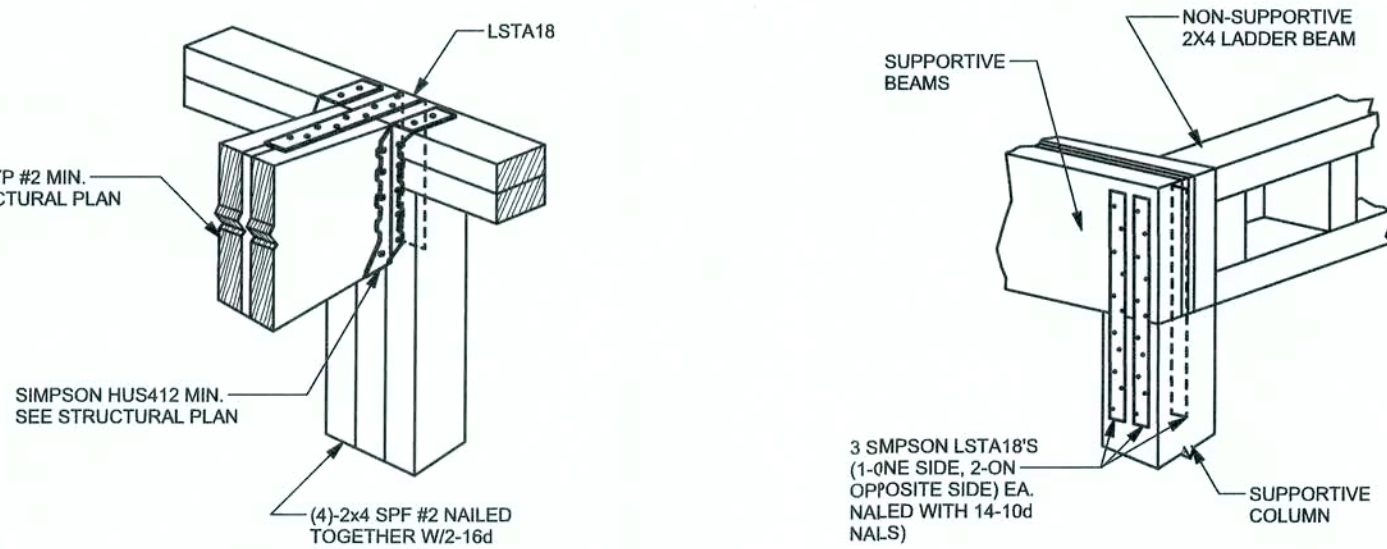
TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"

EXTERIOR WALL STUD TABLE FOR SPF #2 STUDS

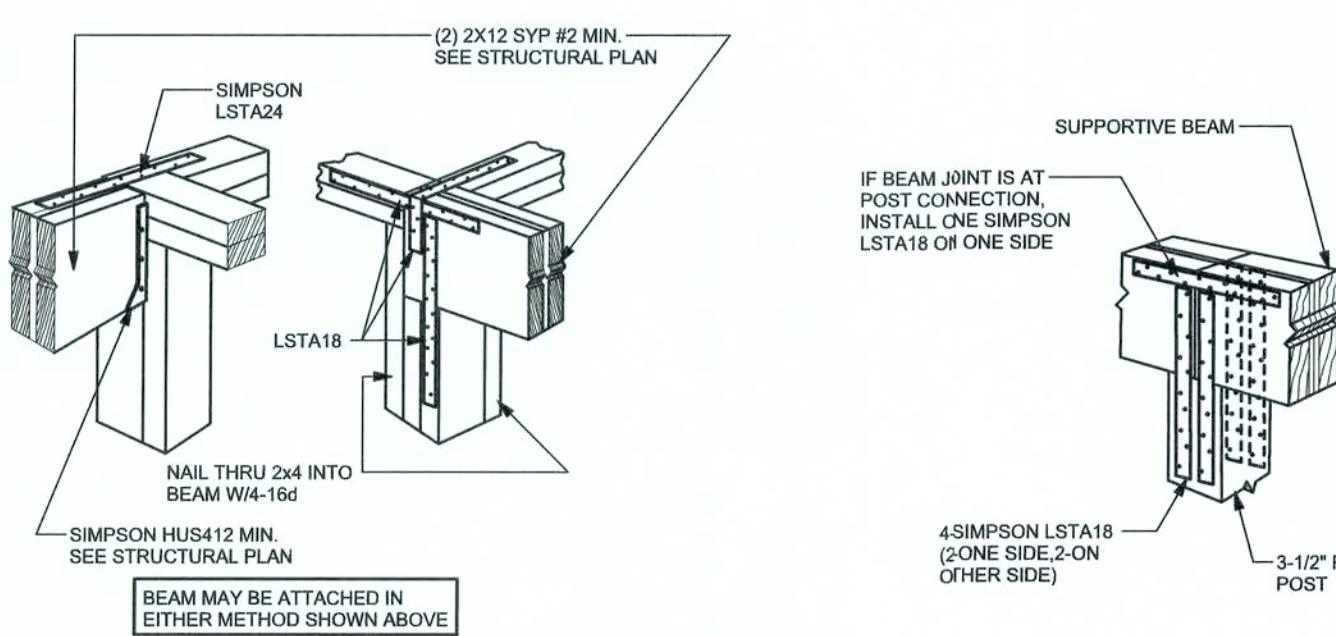
(1) 2x4 @ 16" OC	TO 11'-9" STUD HEIGHT
(1) 2x4 @ 12" OC	TO 13'-0" STUD HEIGHT
(1) 2x6 @ 16" OC	TO 18'-10" STUD HEIGHT
(1) 2x6 @ 12" OC	TO 20'-0" STUD HEIGHT

THIS STUD HEIGHT TABLE IS PER WFCM 2001, TABLE 3.20B, EXTERIOR LOAD BEARING & NON-LOAD BEARING STUD LENGTHS. RESISTING INTERIOR ZONE WINDLOADS 110 MPH EXPOSURE B. STUD SPACINGS SHALL BE MULTIPLIED BY 0.85 FOR FRAMING LOCATED WITHIN 4 FEET OF CORNERS FOR END ZONE LOADING. EXAMPLE 16" O.C. x 0.85 = 13.6" O.C.



BEAM MID-WALL CONNECTION DETAIL

SCALE: N.T.S.

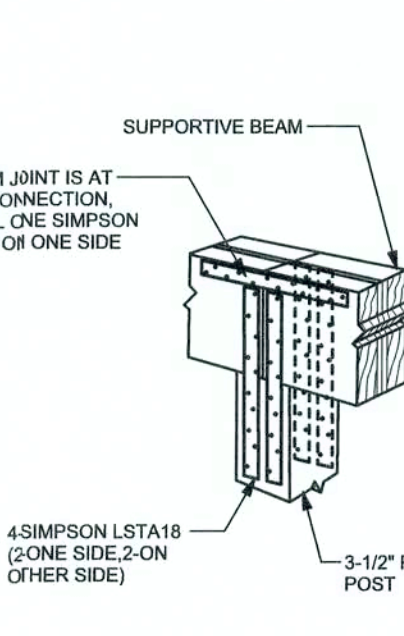


BEAM CORNER CONNECTION DETAIL

SCALE: N.T.S.

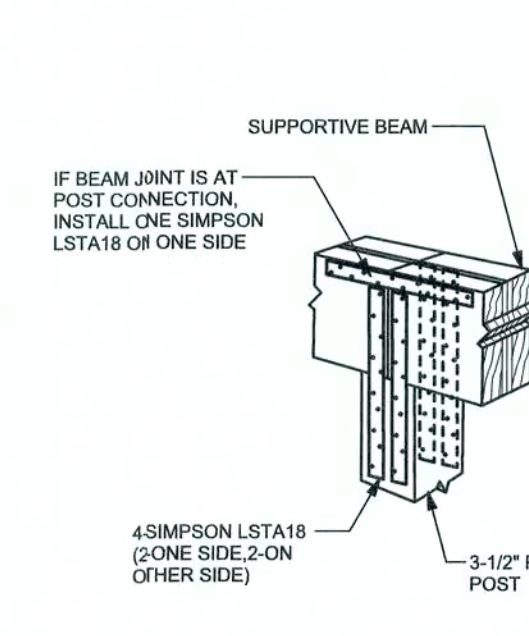
SUPPORTIVE POST TO BEAM DETAIL FOR SINGLE BEAM

SCALE: N.T.S.



SUPPORTIVE CENTER POST TO BEAM DETAIL

SCALE: N.T.S.



WINDLOAD ENGINEER: Mark Disosway, P.E. No. 53915, PCB 868, Lake City, FL 32066, 386-754-5419

DIMENSIONS: Stated dimensions supersede scaled dimensions. Refer all questions to Mark Disosway, P.E. for resolution. Do not proceed without clarification.

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CERTIFICATION: I hereby certify that I have examined this plan, and that the applicable portions of the plan, relating to wind engineering comply with section R301.2.1, Florida building code residential 2004, to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

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PRINTED DATE:
September 11, 2007

DRAWN BY: David Disosway

CHECKED BY:

FINALS DATE:
11 / Sep / 07

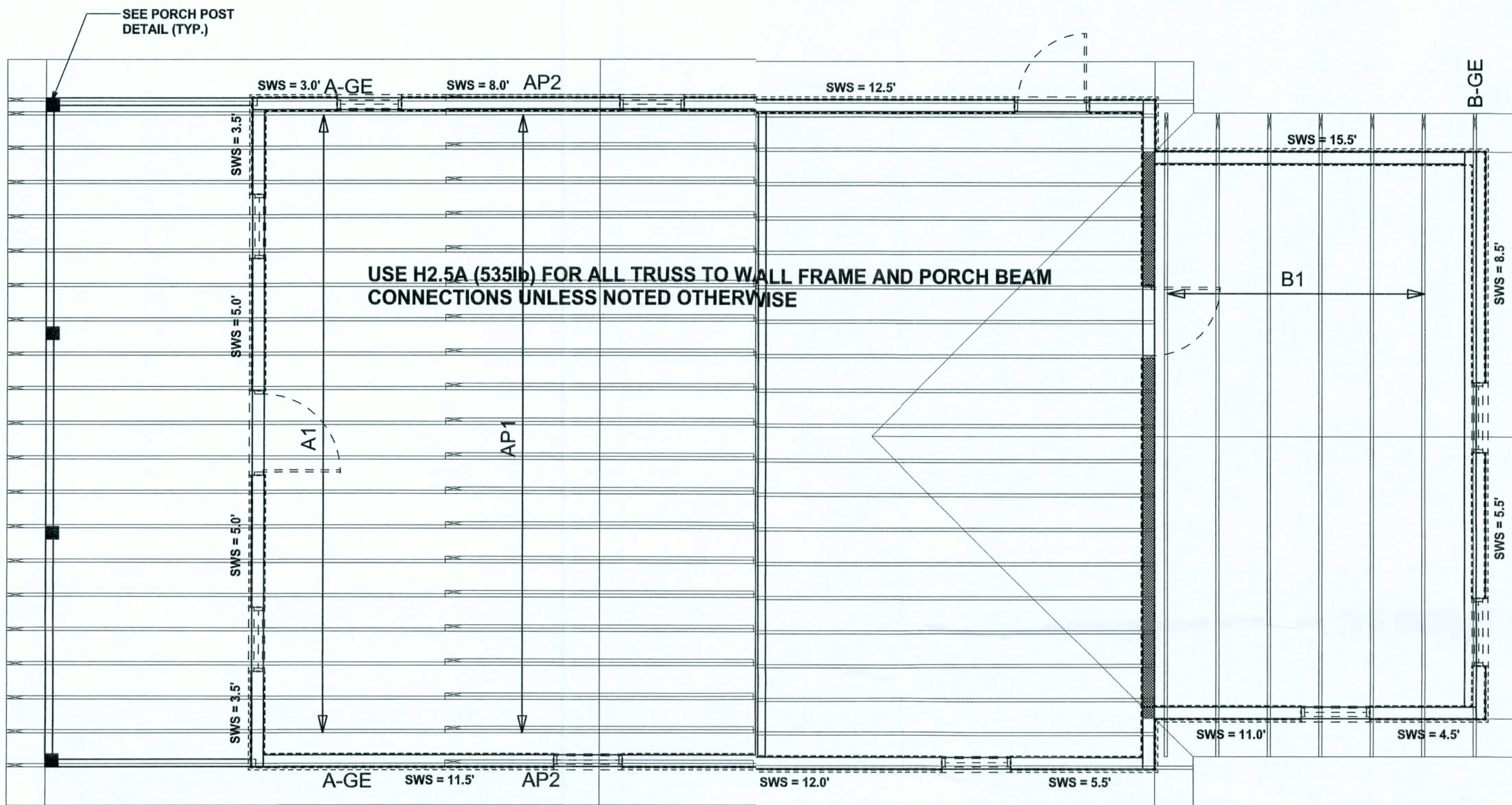
JOB NUMBER:
709074

DRAWING NUMBER

S-1

OF 3 SHEETS

REVISIONS



STRUCTURAL PLAN

SCALE: 1/4" = 1'-0"

STRUCTURAL PLAN NOTES

- SN-1 ALL LOAD BEARING FRAME WALL & PORCH HEADERS SHALL BE A MINIMUM OF (2) 2X12 SYP #2 (U.N.O.)
- SN-2 ALL LOAD BEARING FRAME WALL HEADERS SHALL HAVE (1) JACK STUD & (1) KING STUD EACH SIDE (U.N.O.)
- SN-3 DIMENSIONS ON STRUCTURAL SHEETS ARE NOT EXACT. REFER TO ARCHITECTURAL FLOOR PLAN FOR ACTUAL DIMENSIONS
- SN-4 PERMANENT TRUSS BRACING IS TO BE INSTALLED AT LOCATIONS AS SHOWN ON THE SEALED TRUSS DRAWINGS. LATERAL BRACING IS TO BE RESTRAINED PER BCSI-03, BCSI-B1, BCSI-B2, & BCSI-B3. BCSI-B1, BCSI-B2, & BCSI-B3 ARE FURNISHED BY THE TRUSS SUPPLIER, WITH THE SEALED TRUSS PACKAGE

WALL LEGEND

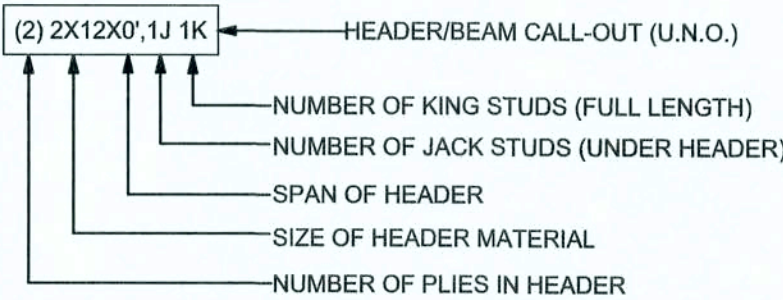
SWS = 0.0'	1ST FLOOR EXTERIOR WALL
SWS = 0.0'	2ND FLOOR EXTERIOR WALL
IBW	1ST FLOOR INTERIOR BEARING WALL
IBW	2ND FLOOR INTERIOR BEARING WALL

TOTAL SHEAR WALL SEGMENTS

SWS = 0.0' INDICATES SHEAR WALL SEGMENTS

	REQUIRED	ACTUAL
TRANSVERSE	20.3'	31.0'
LONGITUDINAL	28.6'	50.5'

HEADER LEGEND



WINDLOAD ENGINEER: Mark Disosway,
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DIMENSIONS:
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DRAWING NUMBER
S-3
OF 3 SHEETS

CONNECTIONS, WALL, & HEADER DESIGN IS BASED ON REACTIONS & UPLIFTS FROM TRUSS ENGINEERING FURNISHED BY BUILDER, ANDERSON TRUSS JOB #7-244R