

DATE 09/29/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023672

APPLICANT CAROLYN PARLATO PHONE 963-1373
ADDRESS 7161 152ND ST WELBORN FL 32094
OWNER LORA L. SPRINGER PHONE 497-3306
ADDRESS 1643 SW NEWARK DR FORT WHITE FL 32038
CONTRACTOR MICHAEL PARLATO PHONE 963-1373
LOCATION OF PROPERTY 47 S, R WILSON SPRINGS RD, R NEWARK, 1 MILE ON THE RIGHT
JUST BEFORE "1595"

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 25-6S-15-01306-000 SUBDIVISION THREE RIVERS ESTATES
LOT 12 BLOCK PHASE UNIT 21 TOTAL ACRES 1.00

IH0000336
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 05-0982-N BK N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR 1 FOOT ABOVE THE ROAD
Check # or Cash 5956

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE CULVERT FEE \$ TOTAL FEE 250.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVINCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

* Need Re-inspect on home @ Freedom Mobile Home
PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

Zoning Official BLK 04.08.05 Building Official OK JTH 7-26-05

AP# 0507-12 Date Received 7/26/05 By JW Permit # 23672

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments + 75' MIN NEEDED

FEMA Map # _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks shown ☒ Environmental Health Signed Site Plan ☒ Env. Health Release
☒ Well letter provided ☒ Existing Well ok # 5956 Revised 9-23-04

- Property ID (25-65-15) (00-00-00) BLK 740 Must have a copy of the property deed
- New Mobile Home _____ Used Mobile Home ☒ Year 1982
- Subdivision Information Lot 12 Unit 21 Three Rivers Estates
- Applicant Carolyn A. Ralato Phone # 963-1373
- Address 7161 152nd St. Wellborn, FL 32094
- Name of Property Owner Lois L. Springer Phone # 386-497-3306
- 911 Address 1643 SW Newark Drive Fort White, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progressive Energy
- Name of Owner of Mobile Home Lois L. Springer Phone # 386-497-3306
- Address 1595 SW Newark Drive Fort White, FL 32038
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 0
- Lot Size 100 X 400 Total Acreage _____
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
- Driving Directions 47 South to Ft. White - go across 27 two blocks to "Wilson Springs Rd" Turn (R) / go to "Newark" Turn (R) / go 1 mile to site on the (Right) "Just before 1595"
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Name of Licensed Dealer/Installer Michael J. Ralato Phone # 963-1373
- Installers Address 7161 152nd St. Wellborn, FL 32094
- License Number I40000336 Installation Decal # 254910
- LEFT MESSAGE 8-5-05 - Responded JW

PERMIT NUMBER

Installer Michael J. Pardo License # EH0000336

Address of home being installed 1043 3rd Nework Drive
Fort White, FL 32038

Manufacturer Sunc Length x width 28 x 40 (3a)

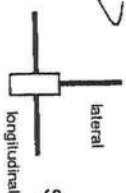
NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

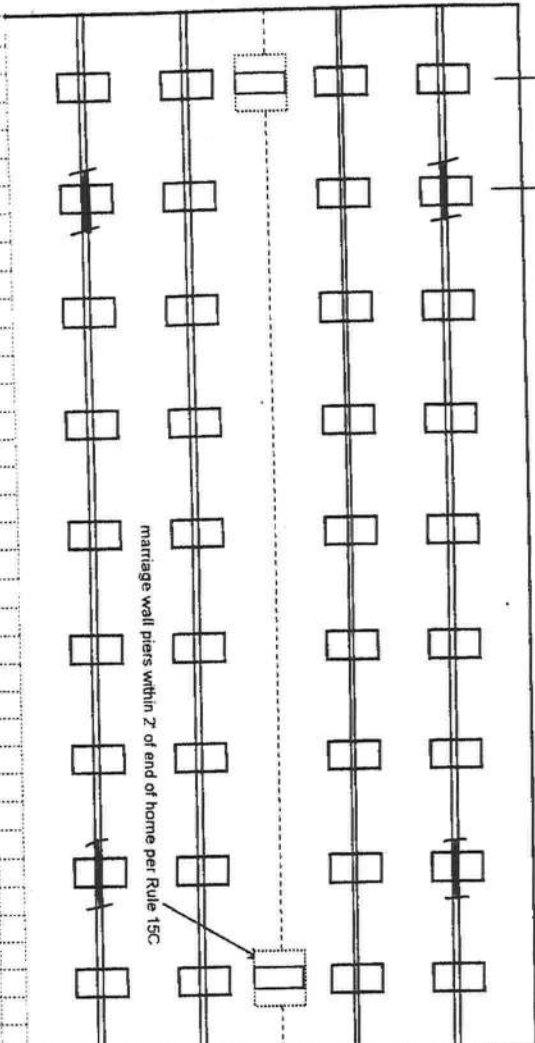
Installer's initials

(signature)

Typical pier spacing



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



New Home ☐ Used Home ☒
Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 254910

Triple/Quad ☐ Serial # 203513 A/B

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

12x22

Perimeter pier pad size

12x22

Other pier pad sizes (required by the mfg.)

12x22

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft ☒ 5 ft ☐

FRAME TIES

within 2' of end of home spaced at 5' 4" oc 2x4

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) Manufacturer 1001 by Diver
Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer

OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall Number 1014
1014
1014
1014

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 2000 X 2000 X 2000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 2000 X 2000 X 2000

TORQUE PROBE TEST

The results of the torque probe test is 280 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb. holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Michael S. Ricketts
Date Tested 7-22-05

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 1/2

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 1/2
Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 1/2

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: Length: 3/8 x 6" Spacing: 20"
Walls: Type Fastener: Length: 3" Spacing: 24"
Roof: Type Fastener: Length: 3/8 x 6" Spacing: 20"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket
Pg. 1/2
Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Date 7-22-05

HALL'S PUMP & WELL SERVICE, INC.

SPECIALIZING IN 4"-8" WELLS

DONALD AND MARY HALL
OWNERSPHONE (904) 762-1854
FAX (904) 755-7022
~~XXXXXXXXXXXXXXXXXXXX~~
LAKE CITY, FLORIDA 32055
904 NW Main Blvd.

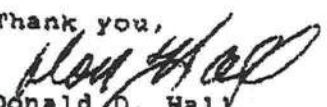
June 12, 2002

NOTICE TO ALL CONTRACTORS

Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results.

If you have any questions please feel free to call our office anytime.

Thank you,


Donald D. Hall
DDH/jk

To: Caroline

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

ADDRESS CORRECTION

The Columbia County Board of County Commissioners has passed Ordinance 2001-9, which provides for a uniform numbering system. A copy of this ordinance is available in the Clerk of Court records, located in the courthouse. This new numbering system will increase the efficiency of POLICE, FIRE AND EMERGENCY MEDICAL vehicles responding to calls within Columbia County by immediately identifying the location of the caller.

Your Existing Address

1635 SW NEWARK DR
FORT WHITE, FL 32038

Your New Address

1643 SW NEWARK DR
FORT WHITE, FL 32038

(Location on Parcel# 00-00-00-01306-000, LOT 12 UNIT 21 THREE RIVERS ESTATES SUBDIVISION)

All residences, businesses, industries, schools, churches, organizations and public buildings are covered by this system. You are required to affix your new address numbers permanently on your house or the principal building where they can be seen easily. Also, if your house or the principal building at this address is not clearly visible from the public or private roadway, you are required to erect a post at your driveway entrance. Place your new number on it facing the road so emergency response personnel coming in either direction can easily see the numbers. To help emergency responding personnel, it will be the responsibility of each property owner, trustee, leasee, agent and occupant of each residence, apartment building, business or industry to purchase, post and maintain address numbers. The address number for residences, townhouses and in town businesses shall be made up of numbers, *which are not less than three (3) inches in height and one and one half (1 ½) inches in width.* All industrial and commercial structures located in low density development areas (areas in which small residential style address numbers are not visible from the road) shall display address numbers not less than ten (10) inches in height. All Apartment buildings and high rises shall display address numbers above or to the side of the primary entrance to the building and shall be displayed not less than six (6) inches in height. Apartment numbers for individual units within the complex shall be displayed on, above or to the side of the doorway of each unit.

All numbers shall contrast in color with the background on which affixed, and shall be visible day or night from the street. When possible, the number shall be displayed beside or over the main entrances of the structure. Any old address numbers shall be removed from the structure, mail box or access point.

It is your responsibility to advise all persons and businesses, with which you correspond, of your change of address (unless you receive your mail in a Post Office Box). Your mail will be delivered to your old rural route box number address for a period of one (1) year.

We are counting on the cooperation of all citizens to help make the Enhanced 9-1-1 Emergency Telephone System a success. If you have any questions please call (386) 752-8787 between 8:00 AM and 5:00 PM Monday through Friday.

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 00-00-00-01306-000 - VACANT (000000)

LOT 12 UNIT 21 THREE RIVERS ESTATES. ORB 658-116, 727-822 801-036, 901-1337, WD 1029-

Name:	SPRINGER LORA L	LandVal	\$5,100.00
Site:		BldgVal	\$0.00
Mail:	P O BOX 364	ApprVal	\$5,100.00
	FT WHITE, FL 32038	JustVal	\$5,100.00
	8/12/2004\$20,000.00 V/Q	Assd	\$5,100.00
Sales	8/13/1990 \$2,500.00 V/U	Exmpt	\$0.00
Info	7/25/1988 \$1,300.00 V/U	Taxable	\$5,100.00

0 0.05 0.1 0.15 mi



This Instrument Prepared by & return to:

Name: NANCY AMY MURPHY, an employee
 TITLE OFFICES, LLC
 Address: 1089 SW MAIN BLVD.
 LAKE CITY, FLORIDA 32025
 File No. 04Y-08044NM

Inst: 2004024636 Date: 11/03/2004 Time: 11:48

Doc Stamp-Deed: 140.00

MK DC, P. DeWitt Cason, Columbia County B: 1029 P: 2031

Parcel I.D. #: ~~01303-000, 01304-000, 01305-000, and 01306-000~~

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 12th day of August, A.D. 2004, by WALBURGA H. HICKEY, Individually and as Trustee of THE WALBURGA H. HICKEY LIVING TRUST AGREEMENT DATED SEPTEMBER 28, 1994, A/K/A THE HELINA HICKEY LIVING TRUST AGREEMENT DATED SEPTEMBER 28, 1994, A/K/A THE WALBURGA H. HICKEY (LEHNEN) LIVING TRUST AGREEMENT DATED SEPTEMBER 28, 1994, A/K/A THE WALBURGA H. LEHNEN HICKEY LIVING TRUST AGREEMENT DATED SEPTEMBER 28, 1994, hereinafter called the grantor, to LORA L. SPRINGER single, whose post office address is PO BOX 364, FT WHITE, FL. 32038, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of FLORIDA, viz:

Lots 11 & 12, THREE RIVERS ESTATES, Unit 21, according to the map or plat thereof as recorded in Plat Book 6, Page 15, of the Public Records of Columbia County, FLORIDA.

THE ABOVE DESCRIBED PROPERTY IS NOT THE HOMESTEAD PROPERTY OF THE GRANTOR.

Together with all the tenements hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Witness Signature

Printed Name

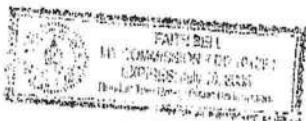
Witness Signature

Printed Name

Walburga H. Hickey L.S.
 WALBURGA H. HICKEY
 Address:
 11322 61ST STREET NORTH, WEST PALM
 BEACH, FL 33412

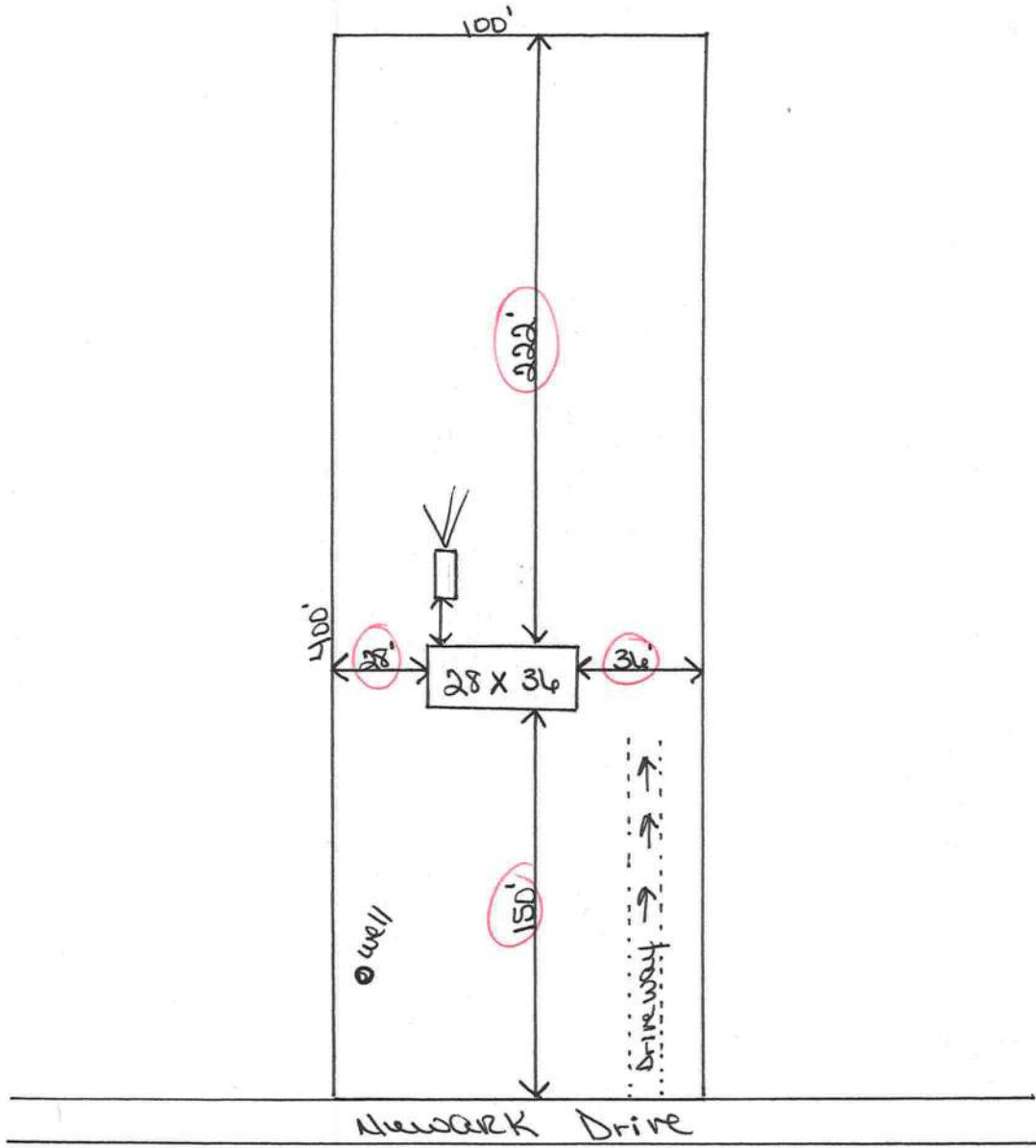
STATE OF FLORIDA
 COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me this 12 day of October, 2004, by WALBURGA H. HICKEY, who is known to me or who has produced F.D.R. Lic. as identification.



Notary Public

My commission expires 7/19/2006



CODE ENFORCEMENT

COLUMBIA COUNTY, FLORIDA

PRELIMINARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 7/25/05 BY JLW IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? NO
OWNERS NAME LORA SPRINGER PHONE 752-5355 CELL -
ADDRESS Freedom M/H Sales
MOBILE HOME PARK - SUBDIVISION -
DRIVING DIRECTIONS TO MOBILE HOME C-252 @ Freedom M/H Sales
See Cindy or Steve to inspect.

MOBILE HOME INSTALLER CM Setup PHONE 963-1373 CELL -

MOBILE HOME INFORMATION

MAKE SUNC YEAR 1982 SIZE 28 X 40 COLOR Old Brown Masonite
SERIAL No. 203513 ALB Setup.

WIND ZONE - Must be wind zone II or higher NO WIND ZONE I ALLOWED

INTERIOR:

INSPECTION STANDARDS

(P or F) P= PASS F= FAILED

P SMOKE DETECTOR () OPERATIONAL () MISSING
P FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION -
P DOORS () OPERABLE () DAMAGED
P WALLS () SOLID () STRUCTURALLY UNSOUND
P WINDOWS () OPERABLE () INOPERABLE
P PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING
P CEILING () SOLID () HOLES () LEAKS APPARENT
P ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT FIXTURES MISSING

EXTERIOR:

P WALLS / SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING
P WINDOWS () CRACKED/ BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT
P ROOF () APPEARS SOLID () DAMAGED

STATUS:

APPROVED ✓ WITH CONDITIONS: -

NOT APPROVED - NEED REINSPECTION FOR FOLLOWING CONDITIONS -

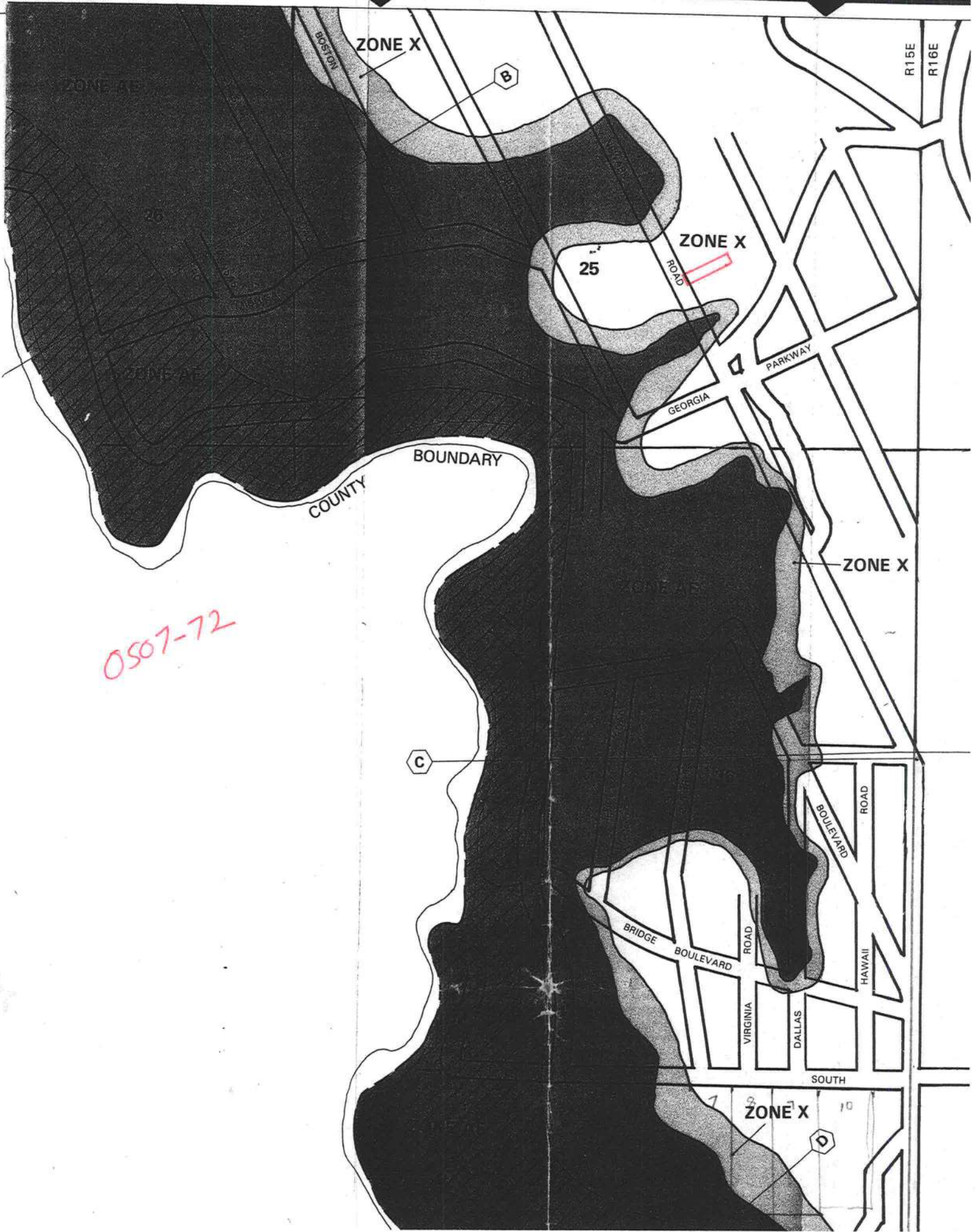
COMPANY NAME - LICENSE # -

SIGNATURE Darryl Pitt PRINT NAME - ID NUMBER 326 DATE 7-26-05

ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM

E

F

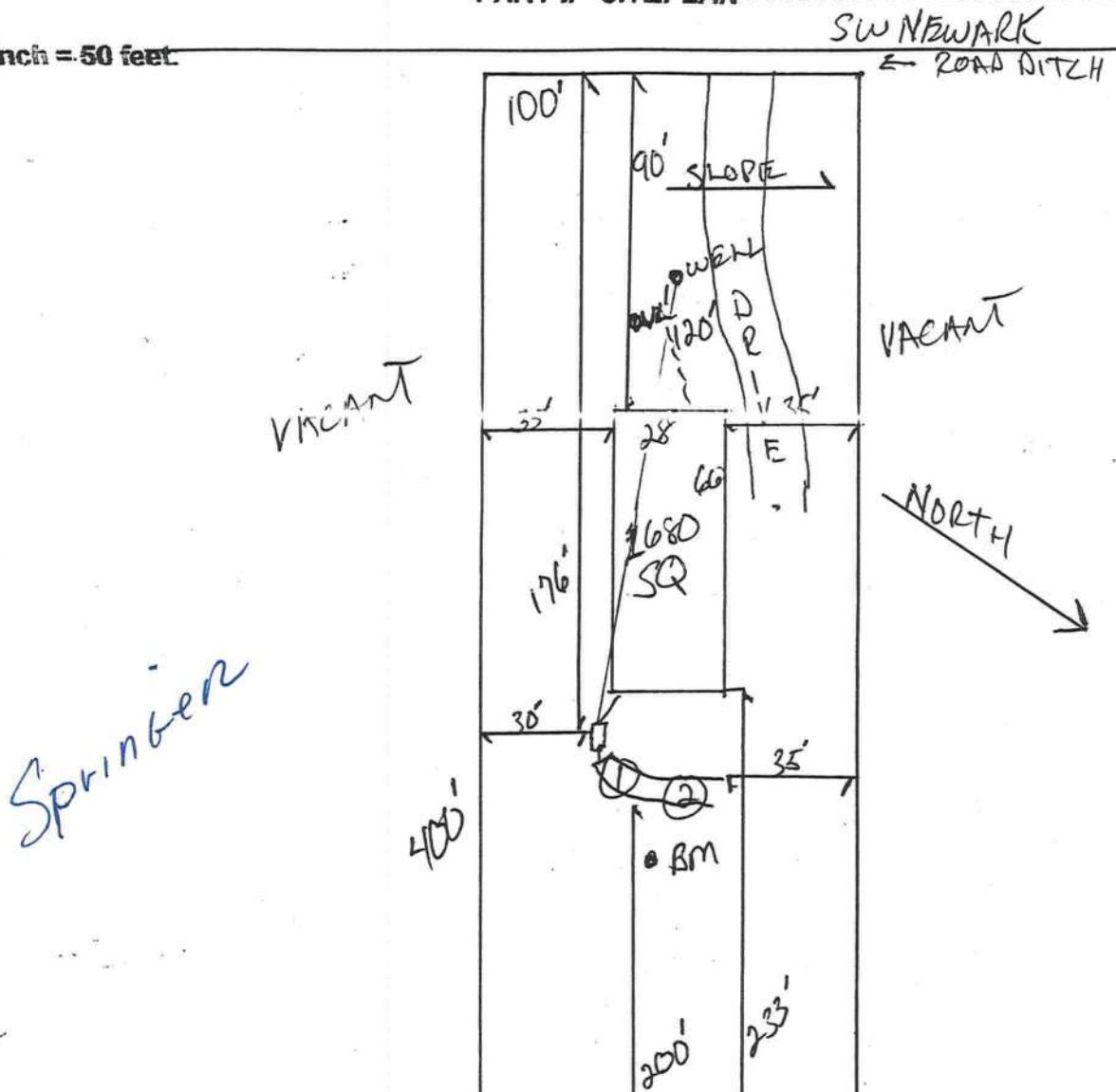


STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 05-0982N

PART II - SITEPLAN

Scale: 1 inch = 50 feet



Notes:

Site Plan submitted by: Rocky D F

Plan Approved _____

By _____

Not Approved _____

MASTER CONTRACTOR

Date _____

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT