

DATE 10/20/2006

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT

000025142

APPLICANT ROCKY FORD PHONE 386.497.2311

ADDRESS POB 39 FT. WHITE FL 32038

OWNER BRIAN HILTON (M. DANSDILL M/H) PHONE 386.754.9028

ADDRESS 945 SW SEVILLE PLACE LAKE CITY FL 32024

CONTRACTOR DALE HOUSTON PHONE 386.752.7814

LOCATION OF PROPERTY 47-S TO KING RD,TR TO MAULDIN RD,TR TO DAISY RD,TO MANGHAM,
TL TO SEVILLE,TR TO END OF PAVEMENT,BEAR LEFT.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING A-3 MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 08-5S-16-03489-001 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 7.89

IH0000040 Rocky D Ford

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

EXISTING 06-0879-N BLK CFS N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD. STUP. 0610-48 M/H.. REPLACEMENT. ASSESSMENTS WERE
CHARGED.

Check # or Cash 13793

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by

Framing Rough-in plumbing above slab and below wood floor
 date/app. by date/app. by

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
 date/app. by date/app. by date/app. by

Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by

M/H tie downs, blocking, electricity and plumbing Pool
 date/app. by date/app. by

Reconnection Pump pole Utility Pole
 date/app. by date/app. by date/app. by

M/H Pole Travel Trailer Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 129.56 WASTE FEE \$ 201.00

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 605.56

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

WARRANTY DEED

BK 0819 PG2252

THIS INDENTURE, made this 19th day of March, 1996.

OFFICIAL RECORDS

John M. Smith and Lora M. Smith, his wife

Social Security # 264-42-9243
Social Security # 265-52-5538
Florida, grantor and

of the County of Columbia, State of

Brian D. Hilton and Regina L. Hilton, his wife

Social Security # 007-48-4947
Social Security # 482-66-3581

Whose mailing address is Rt. 15 Box 1518, Lake City, Florida 32024
of the County of Columbia, State of Florida, grantee

WITNESSETH: This said grantor, for and in consideration of the sum of TEN AND NO/100'S ~~and~~ Dollars, to them in hand paid by the grantee(s), the receipt whereof is hereby acknowledged, has/have granted, bargained, and sold to said grantee(s), their heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to wit:

Commence at the Northwest corner of the SW 1/4 of the NW 1/4, Section 8, Township 5 South, Range 16 East, Columbia County, Florida and run thence N 89 deg. 05'07" E along the North line of said SW 1/4 of NW 1/4, 278.81 feet to the POINT OF BEGINNING, thence continue N 89 deg. 05'07" E along said North line, 457.79 feet, thence S 0 deg. 25'06" E, 601.90 feet to the North right of way line of Pine Forest Road, thence S 89 deg. 04'11" W along said North right of way line, 75.00 feet to the East line of the W 1/2 of said SW 1/4 of NW 1/4, thence S 0 deg. 25'06" E along said East line, 177.85 feet, thence S 89 deg. 04'11" W, 382.79 feet, thence N 0 deg. 25'06" W, 779.87 feet to the POINT OF BEGINNING, Containing 7.89 acres, more or less.

Subject to terms, provisions, restrictive covenants, conditions, reservations and easement as contained in Declaration recorded in O.R. Book 368, Page 681, public records of Columbia County, Florida.

Subject to Mineral Right and Royalty Transfer as recorded in Deed Book 48, Page 538; Deed Book 49, Page 405 and O.R. Book 265, Page 172, public records of Columbia County, Florida.

Subject to Power Line Easements.

The above described land is the homestead of the grantor.

Tax Parcel Number: 08-5S-16-03489-001

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor(s) has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Bonita Hadwin
witness

Bonita Hadwin
PRINTED NAME OF WITNESS

Dawna Herringshaw
witness

Dawna Herringshaw
PRINTED NAME OF WITNESS

John M. Smith
John M. Smith
Lora M. Smith
Lora M. Smith

DOCUMENTARY STAMP \$ 630.00
INTANGIBLE TAX 6
P. DOWITT CASON, CLERK OF
COURTS, COLUMBIA COUNTY
BY MC DA

96-04663

FILED AND RECORDED IN PUBLIC
RECORDS COLUMBIA COUNTY FL

1996 APR -4 AM 11:32

RECORDED
P. DOWITT CASON
CLERK OF COURTS
COLUMBIA COUNTY FLORIDA
BY MC D.C.

12/88BH

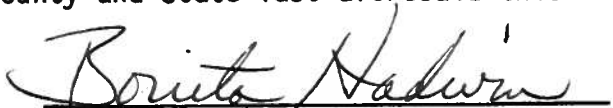
STATE OF FLORIDA

COUNTY OF Columbia

BK 0819 PG 2253

I hereby certify that on this day before me, an officer duly qualified to take acknowledgments, personally appeared John M. Smith and Lora M. Smith known to me to be the person(s) described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form(s) of identification of the above-named person(s) Driver's licenses

Witness my hand and official seal in the County and State last aforesaid this 19th day of March, 1996.


Notary Signature

Printed name of Notary

My Commission Expires:

Prepared by and return to: Regional Title Company
2015 South First Street
Lake City, Florida 32055
Martha Bryan By: DH



BONITA HADWIN
COMMISSION # CC 476215
EXPIRES AUG 10, 1999
BONDED THRU
ATLANTIC BONDING CO., INC.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06) Zoning Official ofs 10/18/06 Building Official OK JTH 10-16-06

AP# 0610-40 Date Received 10/12/06 By UT Permit # 05142

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments panel 225
Empty MH to be removed from property #13793

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☐ Well letter ☐ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from installer

☐ State Road Access ☐ Parent Parcel # _____ ☒ STUP-MH 0610-48 MH

Property ID # 8-55-16-03489-001 Subdivision _____

- New Mobile Home X Used Mobile Home _____ Year 07
- Applicant Dale Ford on Rocky Ford Phone # 386-497-2311
- Address PO Box 39, Ft White, FL 32038
- Name of Property Owner Brian Hilton Phone# 386-965-0047
- ~~911 Address~~ 945 SW Seville Place, L.C. 32024
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home MARGARET DANDILL Phone # 754-9028
Address 943 SW SEVILLE PL, LC, FL, 32024
(LITTON'S PLACE)
- Relationship to Property Owner "SISTER IN LAW"
- Current Number of Dwellings on Property 2 = 1 TO BE REPLACED
- Lot Size 779 x 457 Total Acreage 7.89
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home YES
- Driving Directions to the Property 47 South, TR on King, TL on MAULDIN,
TR on DAIRYST, TL on Mangham, TR on SEVILLE off END of
ROAD, BARE LEFT
- Name of Licensed Dealer/Installer Dale Houston Phone # 386-752-7814
- Installers Address 136 SW BARRS GLEN, LC, FL 32024
- License Number PH0000040 Installation Decal # 269273

Columbia County Property Appraiser

DB Last Updated: 10/4/2006

Parcel: 08-5S-16-03489-001 HX

2006 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	HILTON BRIAN D & REGINA L
Site Address	SEVILLE
Mailing Address	943 SW SEVILLE PL LAKE CITY, FL 32024
Description	BEG SW COR OF NE1/4 OF SW1/4 OF NW1/4, RUN N 60 FT, E 75 FT, N 601.91 FT, W 457.79 FT, S 779.87 FT, E 382.79 FT, N 117.84 FT TO POB. ORB 481-624, 533-150, 819-2252

Use Desc. (code)	SFRES/MOBI (000102)
Neighborhood	8516.00
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	7.890 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (3)	\$51,246.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (2)	\$84,811.00
XFOB Value	cnt: (3)	\$3,640.00
Total Appraised Value		\$139,697.00

Just Value	\$139,697.00
Class Value	\$0.00
Assessed Value	\$103,579.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$78,579.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
3/19/1996	819/2252	WD	I	Q		\$90,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1987	Average (05)	1964	2870	\$81,461.00
2	MOBILE HME (000800)	1972	Alum Siding (26)	672	1002	\$3,350.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0021	BARN,FR AE	0	\$1,710.00	1.000	0 x 0 x 0	(.00)
0294	SHED WOOD/	0	\$430.00	1.000	0 x 0 x 0	(.00)
0190	FPLC PF	0	\$1,500.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

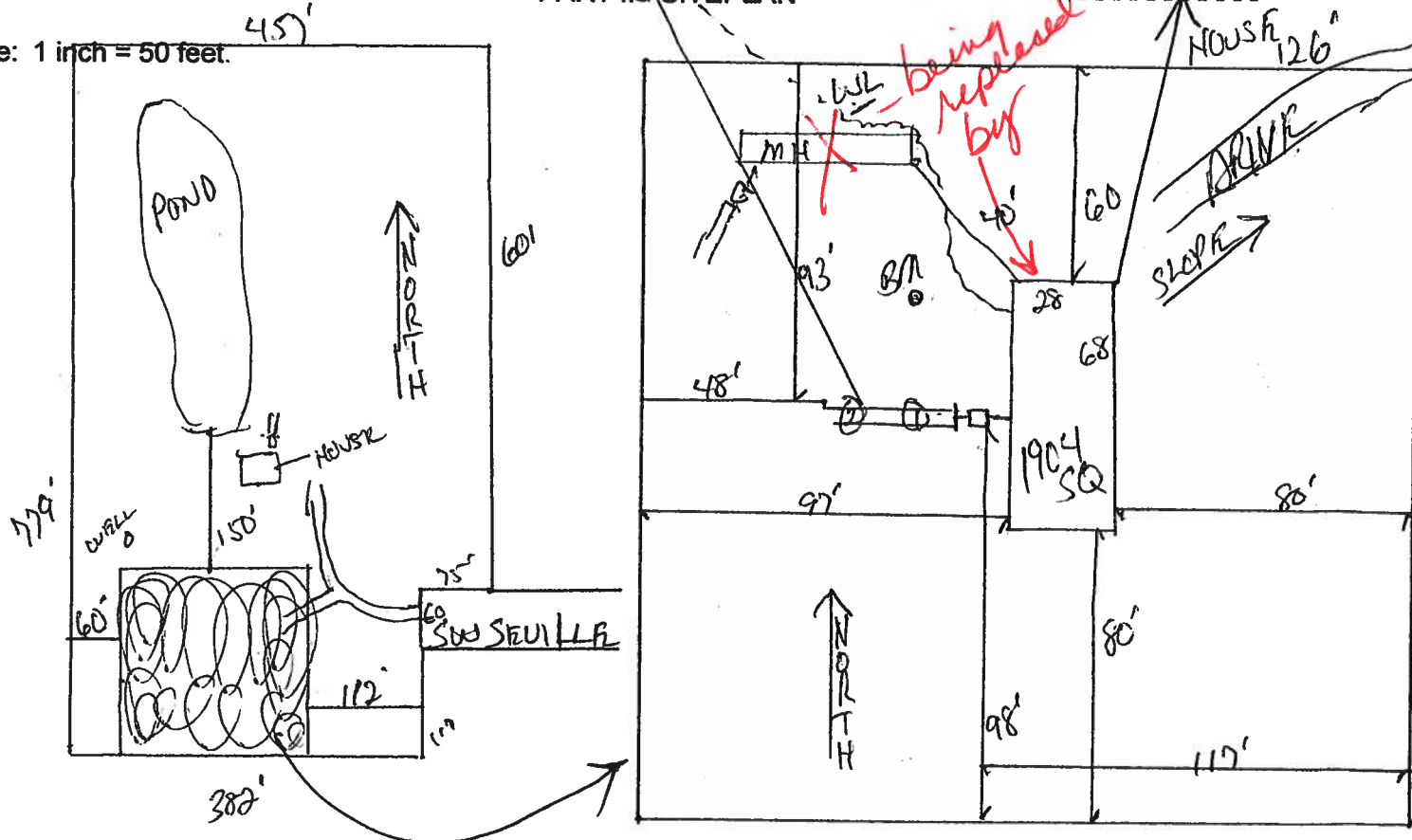
Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	6.890 AC	1.00/1.00/1.00/1.00	\$6,400.00	\$44,096.00
000200	MBL HM (MKT)	1.000 AC	1.00/1.00/1.00/1.00	\$6,400.00	\$6,400.00
009947	SEPTIC (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$750.00	\$750.00

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II SITEPLAN

Scale: 1 inch = 50 feet.



Notes: Lot 7.89 HAMES

Site Plan submitted by: Debra H. O.

Plan Approved _____ Not Approved _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

WARRANTY DEED

0819 152252

THIS INDENTURE, made this 19th day of March, 1996.

OFFICIAL RECORDS

John M. Smith and Lora M. Smith, his wife

Social Security # [REDACTED]

Social Security # [REDACTED]

of the County of Columbia, State of Florida

Florida, grantor and

Brian D. Hilton and Regina L. Hilton, his wife

Social Security # [REDACTED]

Social Security # [REDACTED]

Whose mailing address is Rt. 15 Box 1518, Lake City, Florida 32024
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Signed, sealed and delivered in our presence:

[Signature]
witness

Bonita Hadwin
PRINTED NAME OF WITNESS

[Signature]
witness

Dawna Herringshaw
PRINTED NAME OF WITNESS

[Signature]
John M. Smith

[Signature]
Lora M. Smith

CHAMPAGNE STREET
IMMUTABLE TAX
P. DAWITT CASON, CLERK OF
COURTS, COLUMBIA COUNTY
[Signature]

96 04662

1996 APR 11 10 14 AM

[Signature]

STATE OF FLORIDA

COUNTY OF Columbia

PM 0819 PG2253

I hereby certify that on this day before me, an officer duly qualified to take acknowledgments, personally appeared John W. Smith and Lora M. Smith known to me to be the person(s) described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form(s) of identification of the above-named person(s) Driver's licenses

Witness my hand and official seal in the County and State last aforesaid this
19th day of March, 1996.


Notary Signature

Printed name of Notary

My Commission Expires:

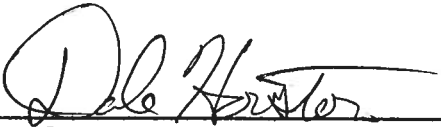
Prepared by and return to: Regional Title Company
2015 South First Street
Lake City, Florida 32055
Martha Bryan By: DH



BONITA HADWIN
COMMISSION # CC 476215
EXPIRES AUG 10, 1999
BONDED BY
ATLANTIC BONDING CO., INC.

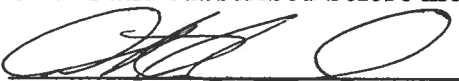
LIMITED POWER OF ATTORNEY

I, Dale Houston, license # IH-0000040 do hereby authorize Dale Burd, Kelly Ford or Rocky Ford to be my representative and act on my behalf in all aspects of applying for a MOBILE HOME MOVE ON PERMIT to be placed in Madison County Florida.

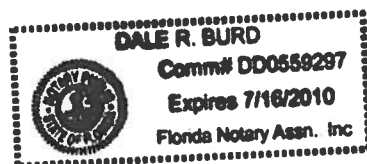

Signed

10/10/06
(Date)

Sworn and subscribed before me this 10 day of OCT, 2006.


Notary Public

Personally Known: _____
Produced ID (Type): _____



MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said License shall be renewed annually, and each licensee shall pay a fee of \$150.

I, DALE HURSTON, license number IH 0000040 do

herby state that the installation of the manufactured home for (applicant)

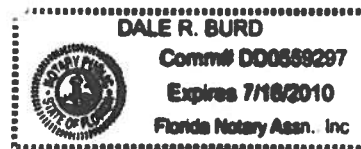
DALE BURD on Peach Ford (customer name) MARGARET DANSON in
Columbia County will be done under my supervision.

DALE HURSTON
Signature

Sworn to and subscribed before me this 10 day of 04, 2006.

Notary Public: [Signature]

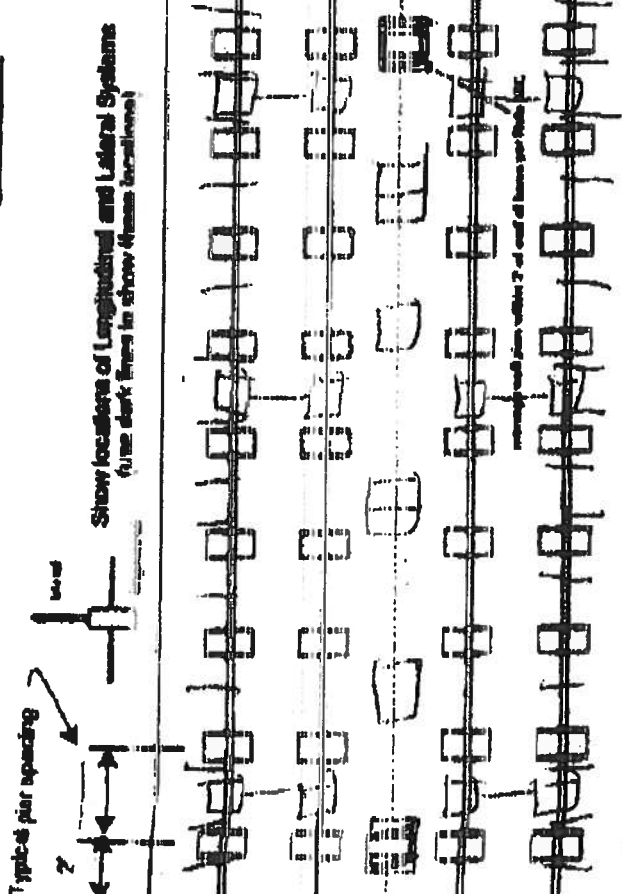
My Commission Expires: _____



PERMIT WORKSHEET

page 1 of 2

PERMIT NUMBER: DATE Houston License # 2H0000045
Address of home being installed: SW 92ULLR PL
Manufacturer: Scotbilt **Length x width:** 22x28
NOTE: If home is a single wide fill out one half of the blanking plan. If home is a triple or quad wide attach in construction of home.
Underlateral Lateral Arm Systems cannot be used on any home (except used) where the allowed lbs exceed 500 lbs.
Installer's initials: DA



28x72 1000 pax 23x31
21x5 12 pax pax 6x16
Archives Hypercube 5x10x6
Leighton plan

New Home ☒ **Used Home** ☐
 Home installed to the Manufacturer's Installation Manual ☒
 Home is installed in accordance with Rule 15-C ☐
Single wide ☐ **Wind Zone II** ☒ **Wind Zone III** ☐
Double wide ☒ **Installation Detail #** 269273
Triple/Quad ☐ **Serial #** _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	10' x 10' (200)	10' x 12' (312)	10' x 16' (400)	20' x 20' (400)	20' x 24' (480)	20' x 28' (560)
1000	3	4	5	5	5	5
1200	3	4	5	5	5	5
1400	3	4	5	5	5	5
1600	3	4	5	5	5	5
1800	3	4	5	5	5	5
2000	3	4	5	5	5	5
2200	3	4	5	5	5	5
2400	3	4	5	5	5	5
2600	3	4	5	5	5	5
2800	3	4	5	5	5	5
3000	3	4	5	5	5	5

Interpretation from Rule 15-C: pier spacing table.

Minimum pier pad size 23x31
Preferred pier pad size 16x16
Other pier pad sizes _____
 (required by one trip)

Draw the appropriate dimensions of openings with openings 4 feet or greater. Use the symbol to show the plan.

List all openings with openings greater than 4 feet and their pier pad sizes below.

Opening	Pier pad size
4 ft	5 ft
<input checked="" type="checkbox"/> ANSWERED	

REASON COMMENTS
 Longitudinal Blanking Device (LSD)
 Manufacturer _____
 Longitudinal Blanking Device w/ Lateral Arms
 Manufacturer _____

OTHER YES ☐ **NO** ☒

Within 2' of end of home spaced at 5' or less
PLEASE YES ☐ **NO** ☒

Sidesail _____
 Longitudinal _____
 Marriage with _____
 Sidesail _____

Oliver Technologies

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to the nearest whole number or check here to declare 1000 lb. and without loading

X N X N X N

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb increments, take the lowest reading and round down to that increment.

X X X X X X

TOOLING PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5 and/or without loading _____ A test showing 270 inch pounds or less will require 4 foot anchors.

Notes: A steel reinforced concrete curb system is being used and 4 ft anchors are allowed at the adjacent locations. I understand 5 ft anchors are required at all locations. The probe was used in the basement and the results are as follows: _____

reading is 270 or less the test is passing. The results of the test are as follows: _____

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Dale Houston

Date Tested 10/6/02

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 11A

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 11A

Debris and organic material removed **Water drainage: Natural** **Soils** **Pad** **Other**

Foundation **Footings** **Walls** **Roof**

Four: **Type Fastener:** LAGS **Length:** 12" **Spacing:** 12"

Walls: **Type Fastener:** STRAP **Length:** 12" **Spacing:** 12"

Roof: **Type Fastener:** LAGS **Length:** 12" **Spacing:** 12"

For used homes a min. 30 gauge, 8' wide, galvanized metal roof will be centered over the peak of the roof and fastened with gals. roofing nails at 2' on center on both sides of the eaves.

Understand a properly installed gasket is a requirement of all new and used homes and that contamination, mold, rot and insect damage will be a result of a poorly installed or no gasket being installed. I understand a ship of tape will not serve as a gasket.

Installer's initials DH

Installed: **Between Floors:** Yes **Between Walls:** Yes **Bottom of foundation:** Yes

Roofing: **Between Floors:** Yes **Between Walls:** Yes **Bottom of foundation:** Yes

Sliding on walls is included in manufacturer's specifications. Yes **Problems observed on roof are not in manufacturer's specifications. Yes**

Skirting to be installed: Yes **No** **Dryer vent installed outside of skirting:** Yes **Yes** **Range hood vent installed outside of skirting:** Yes **Yes** **Drain lines supported at 4 foot intervals:** Yes **Yes** **Electrical conductors protected:** Yes **Yes** **Other:**

Installer certifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1.1.2

Installer Signature Dale Houston Date 10/6/02

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: roa_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 10/10/2006 **DATE ISSUED:** 10/10/2006**ENHANCED 9-1-1 ADDRESS:**

945 SW SEVILLE

PL

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

08-5S-16-03489-001

Remarks:

2ND LOCATION ON PARCEL

Address Issued By:
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

443

**COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED**

**COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
APPLICATION**

Permit No. 0610-48 MH

Date 10-12-06

Fee 100.00

Receipt No. 3525

Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
4. In any zoning district: mobile homes or travel trailers used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
5. In any zoning district: mobile homes or travel trailers used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.

7. In agricultural districts: In addition to the principal residential dwelling, one (1) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements, and shall not be located within required yard areas. Such mobile homes shall not be located within twenty (20) feet of any building. A temporary use permit for such mobile homes may be granted for a time period up to one (1) year. When the temporary use permit expires, the applicant may invoke the provisions of Section 14.9, entitled Special Family Lot Permits.
8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include written confirmation of the permission of the shopping center owner and a site plan which includes distances from buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.
9. In any zoning district: A temporary business, as defined within these Land Development Regulations. At least sixty (60) days prior to the commencement date of the temporary permit, the applicant shall submit an application to the County, which shall include the following information.
 - a. the name and permanent address or headquarters of the person applying for the permit;
 - b. if the applicant is not an individual, the names and addresses of the business;
 - c. the names and addresses of the person or persons which will be in direct charge of conducting the temporary business;
 - d. the dates and time within which the temporary business will be operated;
 - e. the legal description and street address where the temporary business will be located;
 - f. the name of the owner or owners of the property upon which the temporary business will be located;
 - g. a written agreement containing the permission from the owner of the property for its use for a temporary business must be attached to and made a part of the application for the permit;

- h. a site plan showing display areas, plans for access and egress of vehicular traffic, any moveable interim structures, tents, sign and banner location and legal description of the property must accompany the application for the temporary use permit; and**
- i. a public liability insurance policy, written by a company authorized to do business in the State of Florida, insuring the applicant for the temporary permit against any and all claims and demands made by persons for injuries or damages received by reason of or arising out of operating the temporary business. The insurance policy shall provide for coverage of not less than one million dollars (\$1,000,000.00) for damages incurred or claims by more than one person for bodily injury and not less than two million dollars (\$2,000,000.00) for damages incurred or claims by more than one person for bodily injury and fifty thousand dollars (\$50,000.00) for damages to property for one person and one hundred thousand dollars (\$100,000.00) for damages to property claimed by more than one person. The original or duplicate of such policy, fully executed by the insurer, shall be attached to the application for the temporary permit, together with adequate evidence that the premiums have been paid.**

The sales permitted for a temporary business, as defined with these land development regulations, including, but not limited to, promotional sales such as characterized by the so-called "sidewalk "sale", "vehicle sale", or "tent sale", shall not exceed three (3) consecutive calendar days.

There must be located upon the site upon which the temporary business shall be conducted public toilet facilities which comply with the State of Florida code, potable drinking water for the public, approved containers for disposing of waste and garbage and adequate light to illuminate the site at night time to avoid theft and vandalism.

If the application is for the sale of automobiles or vehicles, the applicant shall provide with the application a copy of a valid Florida Department of Motor Vehicle Dealers license and Department of Motor Vehicle permit to conduct an "offsite" sale. If any new vehicles are to be displayed on the site, a copy of the factory authorization to do so will be required to be filed with the application.

No activities, such as rides, entertainment, food, or beverage services shall be permitted on the site in conjunction with the operation of the temporary business.

Not more than one (1) sign shall be located within or upon the property for which the temporary permits is issued, and shall not exceed sixteen (16) square feet in surface area. No additional signs, flags, banners, balloons or other forms of visual advertising shall be permitted. The official name of the applicant and its permanent location and street address, together with its

permanent telephone number, must be posted on the site of the property for which the temporary permit is issued and shall be clearly visible to the public.

Any applicant granted a temporary permit under these provisions shall also comply with and abide by all other applicable federal, State of Florida, and County laws, rules and regulations.

Only one (1) tent, not to exceed three hundred fifty (350) square feet in size shall be permitted to be placed on the site of the temporary business and such tent, if any, shall be properly and adequately anchored and secured to the ground or to the floor of the tent.

No person or entity shall be issued more than one (1) temporary permit during each calendar year.

The temporary permit requested by an applicant shall be issued or denied within sixty (60) days following the date of the application therefor is filed with the Land Development Regulation Administrator.

10. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
 - a. Demonstrate a permanent residence in another location.
 - b. Meet setback requirements.
 - c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
 - d. Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.
 - e. Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.

1. Name of Title Holder(s) BRIAN & REGINA HILTON

Address 943 S.W. SEVILLE PL. City LAKE CITY Zip Code 32024

Phone (386) 758-8454

NOTE: If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator **MUST** be attached to this application at the time of submittal stating such appointment.

Title Holder(s) Representative Agent(s) _____

Address _____ City _____ Zip Code _____

Phone () _____

2. Size of Property 8 ACRES

3. Tax Parcel ID# R03489-001

4. Present Land Use Classification A-3

5. Present Zoning District A-3

6. Proposed Temporary Use of Property Mobile home placement
on property for Regina's (wife) sister (paragraph 2)
MARGARET DANDILL

(Include the paragraph number the use applies under listed on Page 1 and 2)

7. Proposed Duration of Temporary Use 7 years

8. Attach Copy of Deed of Property.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

Brian Hilton Brian Hilton
Applicants Name (Print or Type)

Brian Hilton 10/12/06
Applicant Signature Date
Regina J. Hilton 10/12/06

OFFICIAL USE

Approved ✓ afs 10/18/06

Denied _____

Reason for Denial _____

Conditions (if any) _____

A & B Construction
PO Box 39
Ft. White, FL, 32038
386-497-2311

¹⁶
October ~~13~~, 2006

To: Col Co Bldg Dept
Fax: 758-2160

ATTN: JDE

From: Dale R. Burd
Phone: (O) 1-386-497-2311 (F) 1-386-497-4866

Total Pages 8

Set up information for customer Hilton / Dansdill on SW Seville .

Thank you,

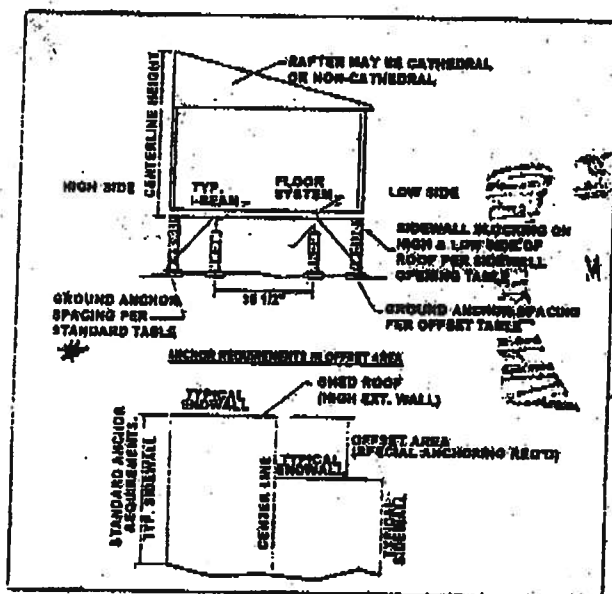


Dale R. Burd

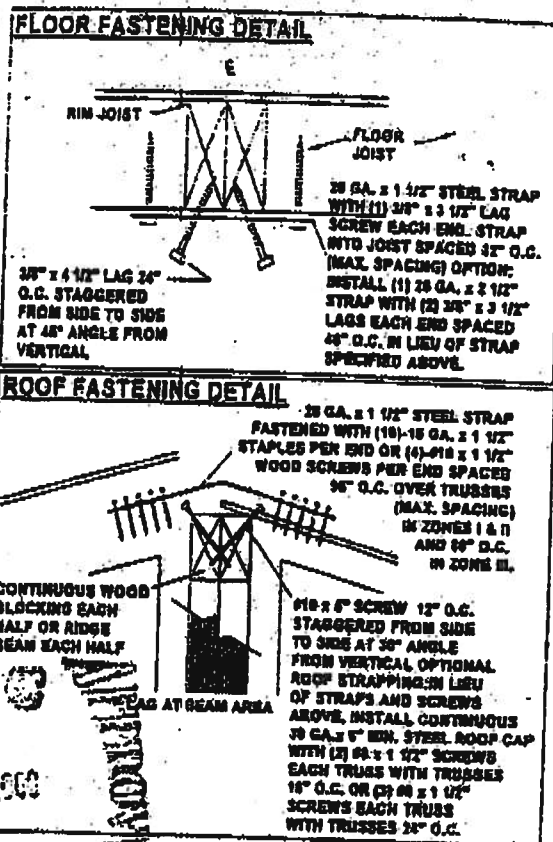
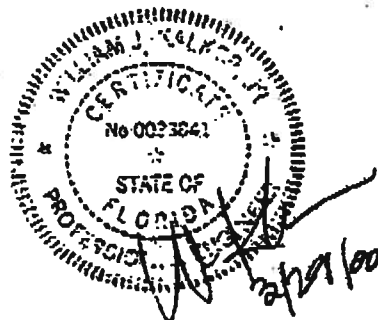
REF NO: 0610-40

Merit

The Hurricane Tie-Down Table applies to units with offsets on either half that forms a mono-pitch (shed) roof condition at the high side. The Tie-Down requirements apply only to the high side of the unit; the low side will require the standard Hurricane Anchor Spacing. See Shed Roof Tie-Down requirements on page 17 for maximum anchor spacing.



The roof and the floor must be connected in the field. The following details show proper installation of fasteners and steel straps.



The wood member fastened at the front (hitch end) of the roof is to be removed. All nail holes must be sealed with a shingle sealant. The shingles shipped with the home must be installed along the center ridge of the home. The following details show the proper method of installing the shingles.

SHINGLE ROOF CONNECTION

SHINGLE RIDGE CAP FORMED FROM CUT SHINGLES PLACED SHINGLES AT CENTERLINE OF ROOF AND NAIL 3/4" BELOW TAR LINE WITH ROOFING NAILS. PLACE NEXT SHINGLE 3" MIN. AND 6" MAX. FROM FRONT OF FIRST SHINGLE. TAR AROUND AREA OF NAIL.

OVERLAP UNDERLAYMENT AT CENTERLINE OF HOME

ROOF SHEATHING

LAST ROW OF SHINGLES INSTALLED BEFORE INSTALLATION OF RIDGE CAP (TYPICAL EACH SECTION)

UNDERLAYMENT

NOTE: A LUMBER OR METAL SHIPPING BRACE HAS BEEN PLACED OVER THE SHINGLES AT THE FRONT OF THE HOME TO AVOID WIND DAMAGE TO THE SHINGLES DURING TRANSPORTATION TO THE SITE. THIS BRACE SHOULD BE REMOVED AND ALL HOLES SEALED WITH A ROOF MASTIC.

1' 1' 1'

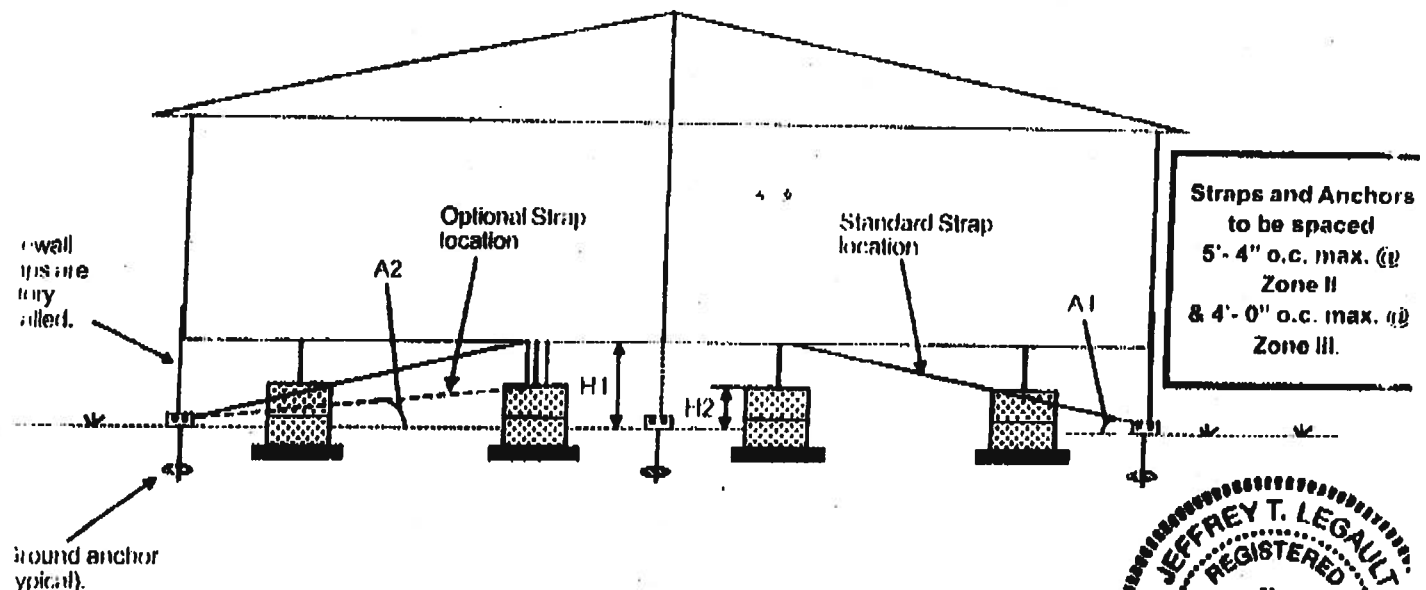
CUT

FIGURE A LINE

* MAY BE FAR BEAM INSTALLATION

TIE-DOWN DETAILS FOR 5/12 ROOF PITCH DOUBLE WIDES AT WIND ZONE II & III

TABLE 6A



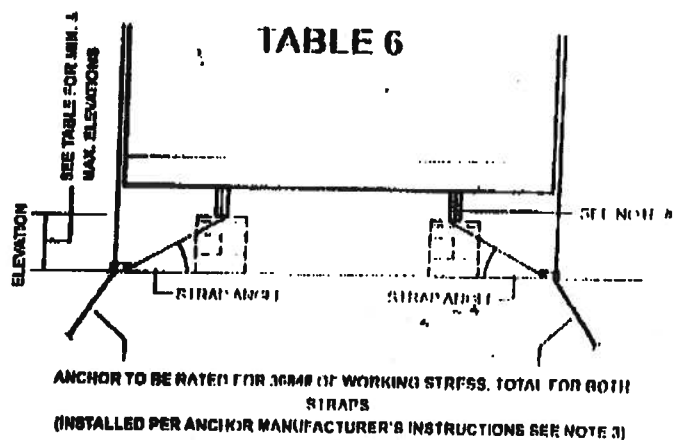
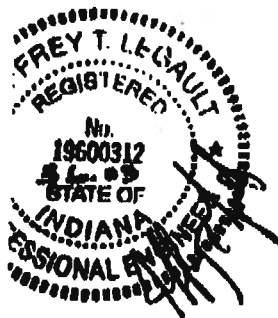
WIND ZONE II (100 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	23.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

WIND ZONE III (110 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	25.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

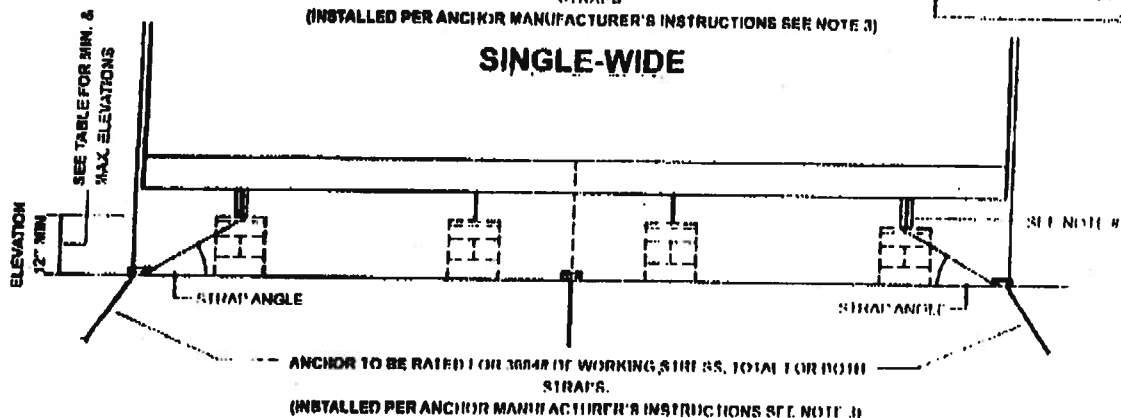
NOTES:

- 1) Straps and anchors to be rated for 3150 lbs. of working stress (min.).
- 2) Use H1 and A1 for standard strap location. Use H2 and A2 for optional strap location.
- 3) See page 25 for strap material specification, connection to I-Beam and other setup information.
- 4) The A-B chance strap seal device depicted by Fig. 5-12 may be used as directed for attaching the required doublewide centerline straps to ground anchors.

STANDARD TIE-DOWN DETAILS



INSTALL STRAP & ANCHORS
6'-8" @ ZONE II
5'-4" @ ZONE III
&
4'-0" @ ZONE II & III
FOR SHED ROOF
SINGLEWIDES
SEE TABLE FOR ELEVATION &
STRAP ANGLE LIMITATIONS



DOUBLE-WIDE

WIDE RESULTS FOR 12" HALF OF 22" WIDE DOUBLE WIDES

WIDTH	WIND ZONE II		WIND ZONE III	
	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE
12"	14" TO 25"	25 TO 40	14" TO 26"	25 TO 41
14"	12" TO 27"	20.5 TO 40	12" TO 28"	20.5 TO 41
12" SHED ROOF	25.2 TO 34.6	41 TO 50	25.2 TO 34.6	41 TO 50
14" SHED ROOF	23.4 TO 38.4	36 TO 50	23.4 TO 38.4	36 TO 50
16"	16" TO 36"	20.5 TO 40	15.5 TO 38"	19.5 TO 41
18"	20" TO 44"	20.5 TO 40	19" TO 47"	19.5 TO 41
20" OR 22"	12" TO 15"	34 TO 40	12" TO 16"	34 TO 42
24"	12" TO 22"	24.5 TO 40	12" TO 23.5	24.5 TO 42
28"	12" TO 23.5"	23 TO 40	12" TO 25.5"	23 TO 42
32"	12" TO 33"	16.6 TO 39.3	12" TO 36"	16.6 TO 41.8
16" SHED ROOF	21" TO 27.5"	25.9 TO 32.4	21" TO 27.5"	25.9 TO 32.4

RAP MATERIAL SPECIFICATION, CONNECTION TO FRAME LEBAM & OTHER SET UP INFORMATION, REFER TO SKYLINE INSTALLATION

ANCHORING SYSTEMS, THE INSTRUCTIONS SHALL INDICATE: A) THE MINIMUM ANCHOR CAPACITY REQUIRED; B) ANCHORS SHOULD BE RATED BY PROFESSIONAL ENGINEER, ARCHITECT, OR A NATIONALLY RECOGNIZED TESTING LABORATORY AS TO THEIR RESISTANCE, ON THE MAXIMUM ANGLE OF DIAGONAL TIE AND/OR VERTICAL TIE LOADING AND ANGLE OF ANCHOR INSTALLATION, AND TYPE OF SOIL THE ANCHOR IS TO BE INSTALLED; C) GROUND ANCHORS SHOULD BE EMBEDDED BELOW THE FROST LINE AND BE AT LEAST 2' ABOVE THE WATER TABLE; D) GROUND ANCHORS SHOULD BE INSTALLED TO THEIR FULL DEPTH, AND STABILIZER PLATES SHOULD BE USED TO PROVIDE ADDED RESISTANCE TO OVERTURNING OR SLIDING FORCES; F) ANCHORING EQUIPMENT SHOULD BE CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT TO RESIST THESE SPECIFIED FORCES IN ACCORDANCE WITH TESTING PROCEDURES IN ASTM A308 SPECIFICATION FOR STRAPPING, FLAT STEEL AND SEALS.

STRAPS RATED @ 3150# OF WORKING STRESS TOTAL FOR BOTH STRAPS, MAY BE USED IF STRAP & ANCHOR SPACING IS REDUCED TO 5'-4" @ ZONE II AND 4'-6" @ WIND ZONE III. STRAPS AND ANCHORS MAY BE INSTALLED 4'-0" O.C. ON SHED ROOF SINGLEWIDES WITH STRAPS RATED @ 3150#.

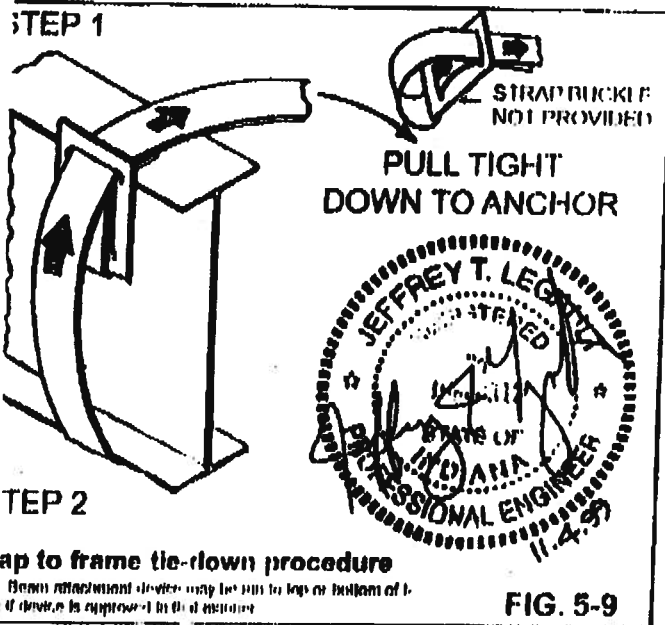
CHANGE STRAP SEAL DEVICE DEPICTED BY FIG. 5-12 MAY BE USED AS DIRECTED FOR ATTACHING THE REQUIRED DOUBLEWIDE STRAPS TO GROUND ANCHORS.

WIND TIE-DOWN DETAILS ARE NOT APPLICABLE TO 5:12 ROOF PITCH DOUBLEWIDES @ WIND ZONE II & III

ET-UP PROCEDURES (Continued)

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS (Continued)

OPTIONAL OVER-THE-ROOF STRAP PROCEDURE
over-the-roof straps are provided (optional on all homes) may be connected to ground anchors as specified in the following procedure in order to achieve additional stability in extreme winds. Note that the frame tie-down procedure on page 25 is still mandatory.



Materials not furnished with the home which will be necessary to properly connect the over-the-roof straps are:

1. Ground anchors capable of withstanding at least 4,750 pound pull when installed in the soil at the site.
2. Strap end connection devices (See Fig. 5-10).

THE HOME MUST BE IN ITS FINAL LEVEL POSITION WITH FRAME TIES INSTALLED BEFORE CONNECTING THE OVER-THE-ROOF STRAPS.

The procedure for over-the-roof strap installation is as follows:

1. Position and install the ground anchors so that the strap will be vertical after attachment to the anchor. The anchor may be installed slightly beneath the home to avoid interference with skirting (See Fig. 5-11).
2. Insert the minuteman connector yoke through the eye of the anchor and insert slotted bolt through the yoke.
3. Place end of strap through slotted bolt and remove star by turning bolt. **DO NOT TENSION UNTIL BOTH ENDS OF STRAP ARE CONNECTED.**
4. Tension and lock minuteman connector in position; see instructions furnished with connectors.
5. Check strap tension (See step 4 under frame tie-down procedure).
6. For double-wide homes see Fig. 5-12 for the splice connection at the centerline.

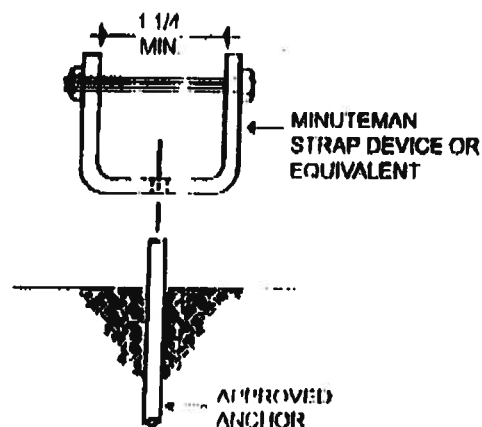


FIG. 5-10

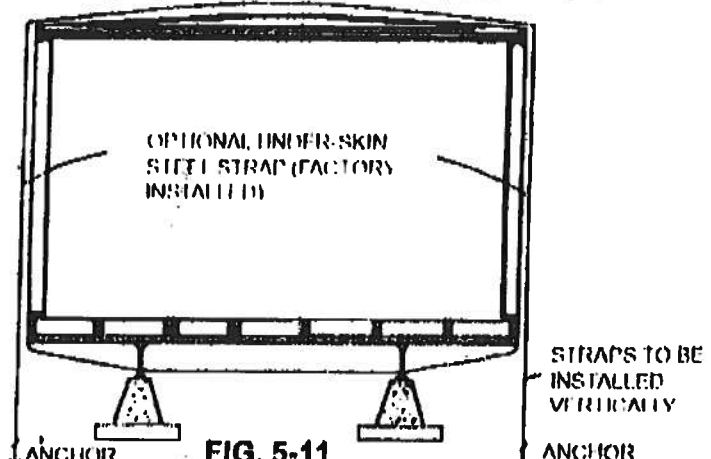


FIG. 5-11

Insert end of the strap through the slot on the splice device, allowing the strap to extend through the device. Make a 180 degree bend in the strap and slide a strap seal over the thick nose of strap, positioning the strap seal as close to the splice device as possible. Sequence the strap seal on the strap with a pair of vice grip pliers or hammer, or crimp strap seal with an A-B iron crimping tool. (Make all bends in the strap as sharp as possible by crimping with vice grip or larger pliers). Feed strap back over the seal and insert back through the slot on splice device. Flatten the seal with vice grip pliers or hammer. Repeat steps 1 through 4 with the mating strap. Draw the sealed assembly down to the ridge beam by tensioning the strap in round anchor.

DOUBLEWIDE OPTIONAL OVER-THE-ROOF STRAPS

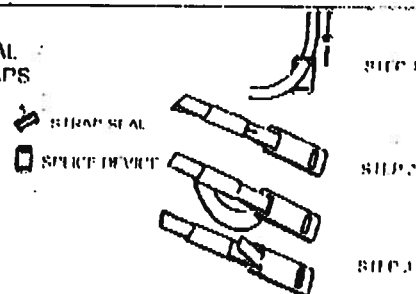


FIG. 5-12

T-UP PROCEDURES (Continued)

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS

support system must also resist lifting, sliding, and racking forces resulting from side winds. A method used shall ground anchors and tie-down straps in addition to piers. Tie-downs as described are the minimum necessary. The home is to withstand its design loads without tilting. On multi-section homes, sections must be tied together and level before tie-down straps are installed.

WARNING

BEFORE GROUND ANCHOR INSTALLATION, DETERMINE THAT THE ANCHOR LOCATIONS AROUND THE HOME WILL NOT BE CLOSE TO ANY UNDERGROUND UTILITIES. FAILURE TO DETERMINE THE LOCATION OF UNDERGROUND ELECTRICAL CABLES MAY RESULT IN PERSONAL INJURY OR DEATH.

IN THE FRAME TIE-DOWN SYSTEM, IT IS IMPORTANT TO USE MATERIALS OF PROPER DESIGN AND OF HIGHEST QUALITY. THE MATERIAL SPECIFICATIONS LISTED HEREIN SHOULD BE CONSIDERED AS MINIMUM REQUIREMENTS.

Materials not furnished with the home which will be necessary to complete the tie-down system must meet the requirements set forth below. Such materials would include:

1. One or two steel straps with a breaking strength of at least 5,000 pounds e.g. galvanized aircraft cable at least 1/4" diameter or Type 1, Finish B, Grade 1 steel strapping 1-1/4" wide and 0.03" thick, conforming with ASTM D3953-01.

2. Galvanized connection devices such as turnbuckles, strap buckles, and cable clamps should be rated at working load minimum.

3. Ground anchors — capable of withstanding at least a 5,000 pound pull. Anchors must be installed as specified by anchor manufacturer. Stabilizers or concrete collars may be used by anchor manufacturer.

THE HOME MUST BE IN ITS FINAL LEVEL POSITION BEFORE TYING IT DOWN.

The procedure for tying down the manufactured home is as follows:

1. Position and install the ground anchors under exterior corners so that the final strap angle and height (H) will be within the limits shown in tables 5 thru 6C.

2. Connect the straps to the frame and ground anchors (See Figures 5-9 and 5-10). Straps wrapped around the I-Beam as

shown in Fig. 5-9 require protection from premature failure due to sharp corners. Fig. 5-9A illustrates one method to protect against sharp corner damage. Other methods (such as beam clamps — Tie-Down Engineering part no. 59003 or equivalent) approved by the local building authority having jurisdiction may be used.

3. Tighten the straps using the tensioning device provided with the ground anchors. Use caution to avoid overtensioning the straps which might pull the home off the piers. It is recommended that all straps be tightened only enough to remove slack. Then, after all straps are installed and the slack removed, tension the straps.

4. The strap tension should be rechecked at frequent intervals until all pier settlement has stopped.

CAUTION: DURING THE RELEVELING PROCESS, DO NOT JACK THE HOME AGAINST TIGHT STRAPS.

Protect sharp corners with 26Ga. (0.019" min) x 2" galvanized steel strapping material formed to fit around beam flanges

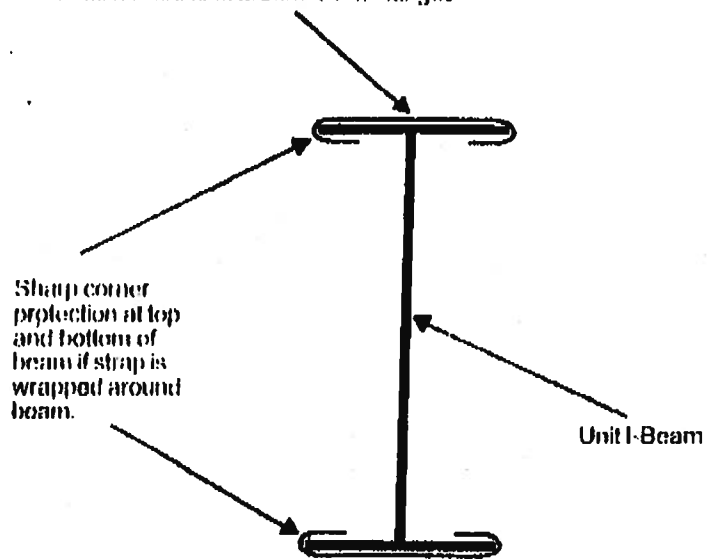


FIG. 5-9A

SET-UP PROCEDURES (Continued)

DOUBLE-WIDE INTERCONNECTION (Continued)

NOTE: IT IS IMPORTANT TO HAVE ROOF/CEILING SECTIONS FLUSH AT MATING LINE PRIOR TO FASTENING OF RIDGE BEAM HALVES. IF THEY ARE NOT FLUSH, THEN THE LOW SIDE SHOULD BE RAISED BY JACKING WITH A WOOD POST OR STEEL PIPE WITH A WOOD OR METAL PAD AT THE CEILING. PLACE THE BASE OF THE JACK ACROSS THE FLOOR MATING LINE SO THAT IT RESTS ON BOTH HALVES. JACK AGAINST CEILING ONLY IN AREAS WHERE THERE IS NO MARRIAGE WALL.

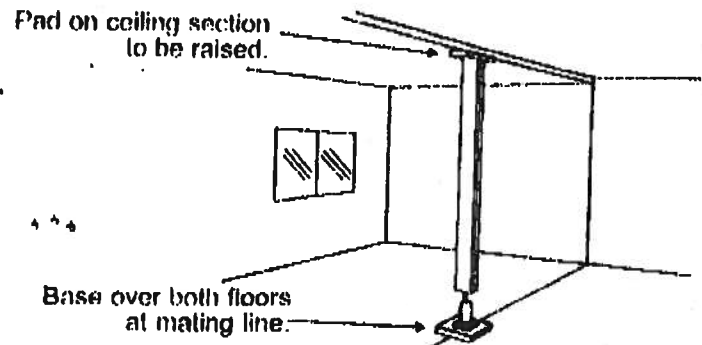


FIG. 5-8

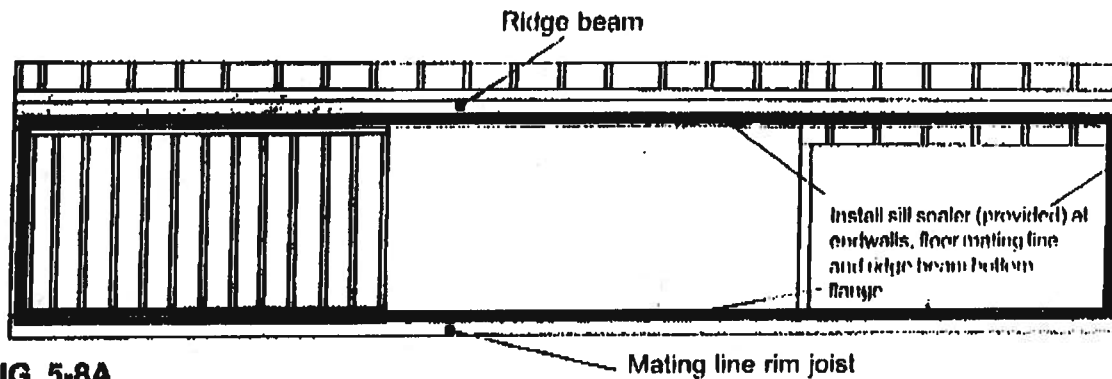


FIG. 5-8A

ATTACHMENT OF GYPSUM PANELS AT DOUBLE-WIDE CENTERLINE

Some multiple-wide units will have a gypsum panel left off at the centerline for field attachment. Fasten the factory supplied gypsum wallboard panel(s) at the center of the endwalls after the units have been attached. Fasten the panel(s) to framing as described in figure 5-8B below.

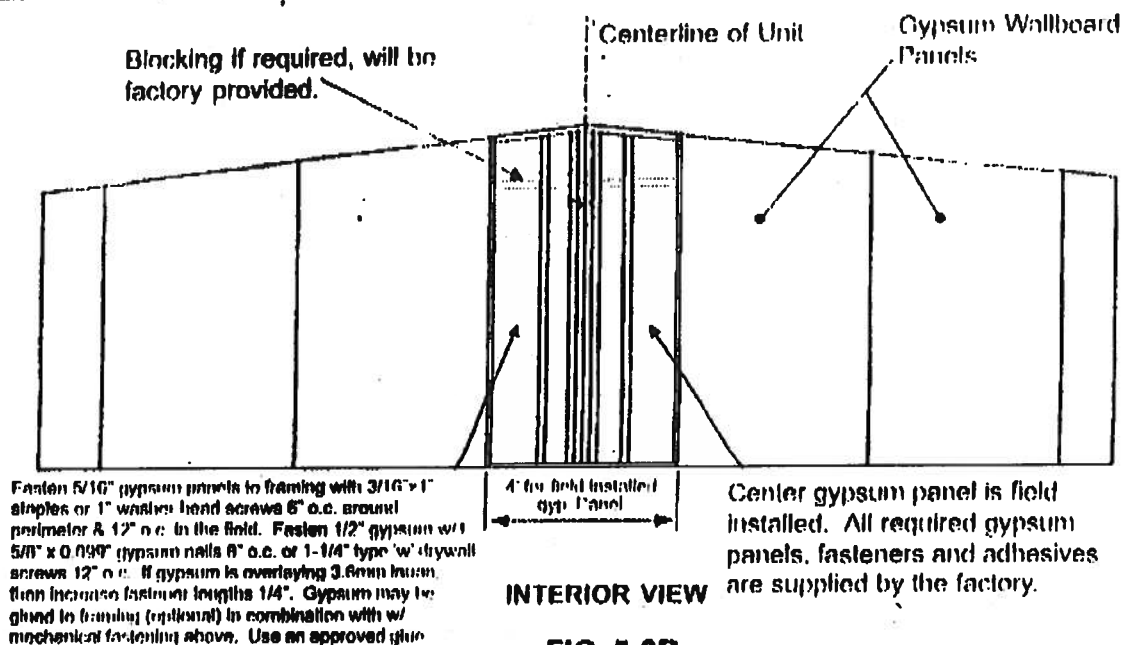


FIG. 5-8B

T-UP PROCEDURES (Continued)

DOUBLE-WIDE INTERCONNECTION

Procedure for connecting the homes is as follows:

move the temporary closure materials (polyethylene gasket strips) and position the halves as close together as possible in the final desired location. Do not remove temporary beam supports until step 7 has been completed.

move the first section of home into its desired position, and level it in the same manner as described for a single section home. Skyline Corp. recommends, if possible, every half be blocked and leveled first as it is easier to lift the light half and fit into place.

install sill sealer insulating material (provided) around the home (to the ridge beam at the ceiling panel line), endwalls and/or mating line. Fasten sill sealer with staples or nails. See Figure 5-8A.

Join the two halves together with rolling and jacking equipment. Care must be taken during rolling and jacking operations to avoid overstressing structural members. With homes together at the floor, align the floors at the ends of the home. It is better to have a minor misalignment under the floor where it cannot be seen and will not cause a problem, than a small misalignment that will be observed in the interior of the home.

When the home is aligned at the floor and supported by its temporary beam supports, join the floors using $3/8" \times 3"$ (4-1/2" lags with perimeter joist) lag screws 2 to 3 feet on center. The maximum gap at the floor should be a maximum of 3/16". Follow the procedures outlined on page 19 to level the home on temporary beam supports and footings with tables 2 and 3.

Obtain access into the ceiling cavity to bolt or alter-lag screw the ridge beam sections together, fold back underlayment paper and remove the 16" wide sheathing (if any) at the peak. Note that the shingles may not have been installed on one or both halves, at the 16" wide area at

the peak. If one side is shingled, it is intended that the beam be lag screwed together. If neither side is shingled, the beam may be lag screwed or bolted together. Bolts to be $3/8" \times 4 1/2"$ at 48" o.c. with 3 additional bolts at 3" o.c. over interior beam supports. Lag screws to be $3/8" \times 5"$ at 24" o.c. with 3 additional lag screws at 3" o.c. over interior beam supports. (If marriage walls and ridge beam halves have been plated with 3/8" sheathing, then the bolts/lags must be increased in length by 3/4" to 5-3/4".) Pre-drill 1/4" pilot holes for the lag screws at 1-1/2" down from the top of the beam and with a maximum offset from the horizontal of 45 degrees. A gap between beam halves up to 1" is allowable. Gaps larger than 1/2" must be filled with plywood or lumber shims. For 1/2" max gaps, increase fastener length 1/2". For 1" max gaps, increase fastener length 1-1/4". See Fig. 5-7.

7. Prior to interconnecting the ridge beam halves, examine the ridge beam ends. Should there be a slight misalignment, it can be eliminated by placing a jack under the low side of the main beam on one half and use the jack to raise the beam. The alignment can be held by properly bolting or lag screwing the beam halves together. See Fig. 5-8.

8. Place additional pier supports at the centerline at the interior column locations marked on the floor with indicator straps or paint (see Figure 5-3 and 5-4 and Table 3). Skyline Corp. provides pier location diagrams for all multiwide models. These diagrams show the required locations of piers and are very useful in determining pier placement prior to taking receipt of home. Additional piers are required each side of exterior doors and sidewall openings greater than 4' in width. See Table 3A for these pier load requirements.

9. Toe-nail endwall centerline studs together using 16d nail 10" o.c.

10. If home has double mating walls, then fasten the mating wall columns together with #8 x 4" screws 16" o.c. See Figure 5-7A.

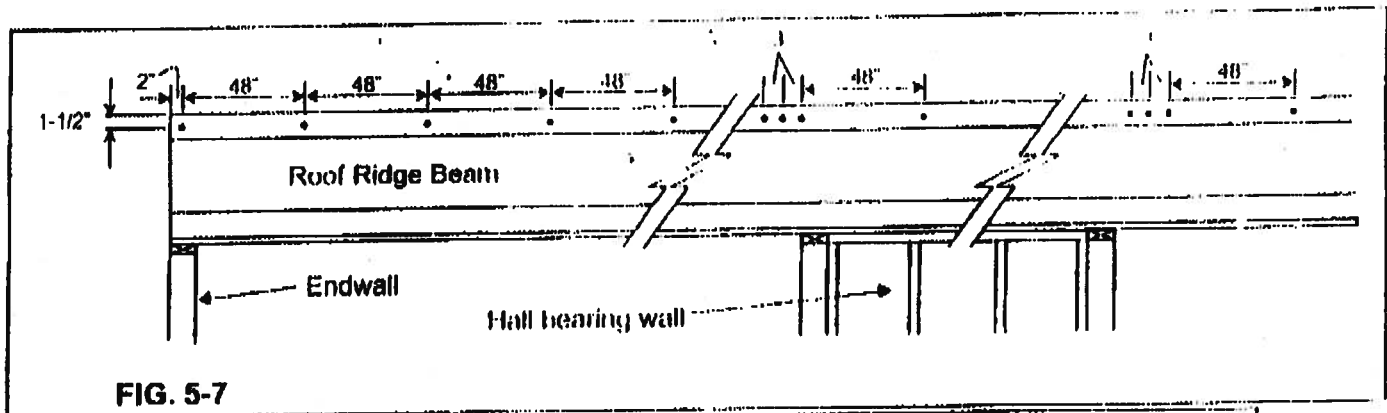


FIG. 5-7

APPROVED
PFS Corporation
Madison WI
01/31/05
HUD Manufactured
Home
Construction &
Safety Standard

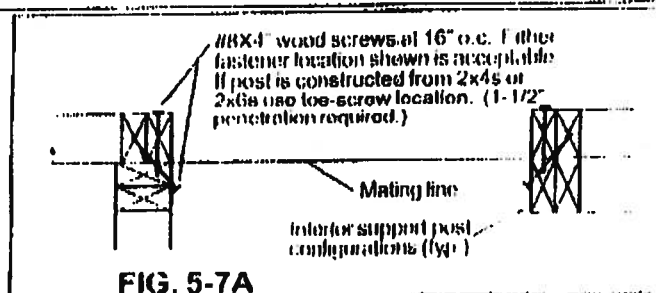
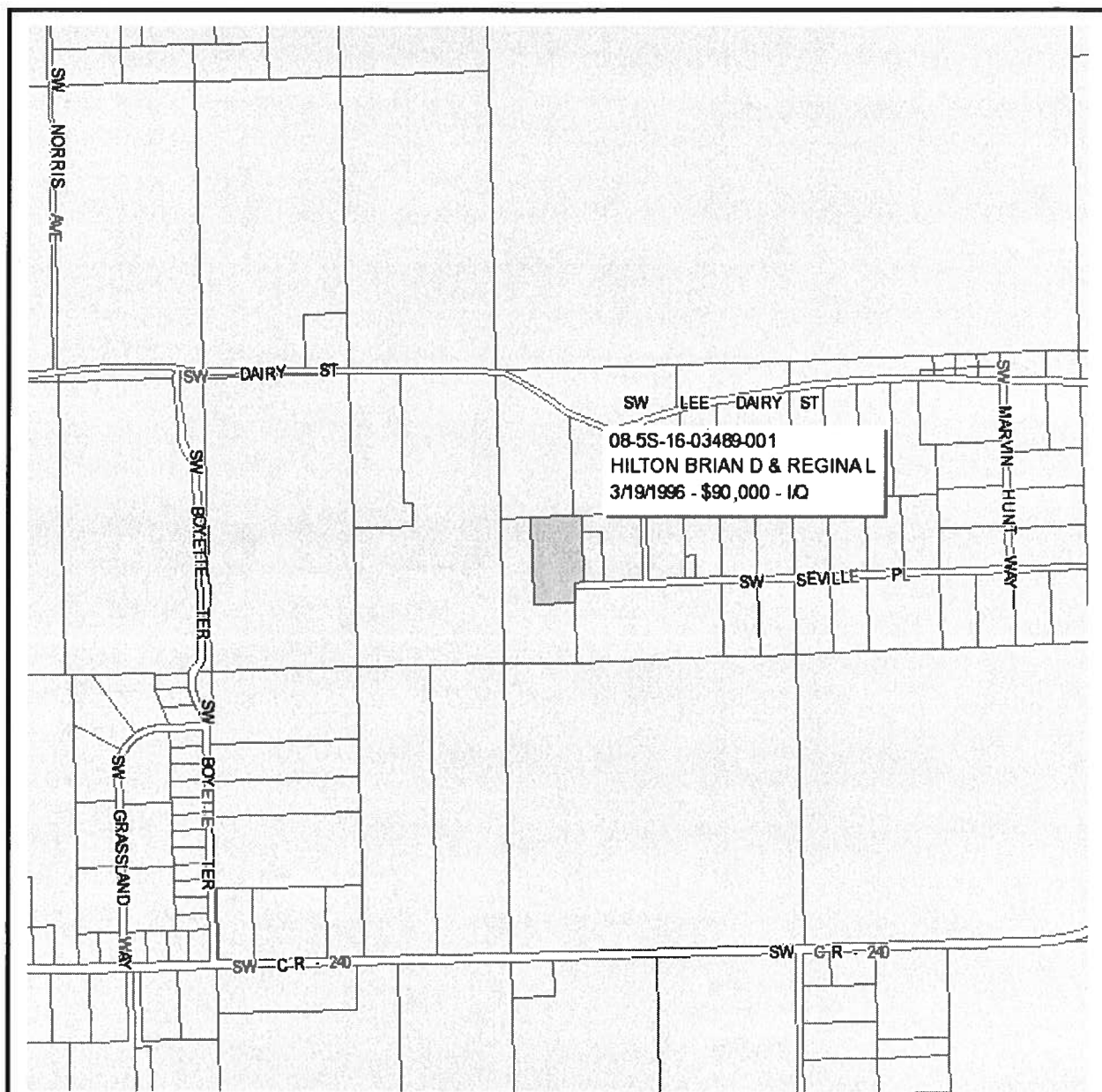


FIG. 5-7A



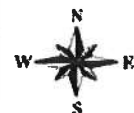
Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 08-5S-16-03489-001 HX - SFRES/MOBI (000102)

Name:	HILTON BRIAN D & REGINAL	LandVal	\$51,246.00
Site:	SEVILLE	BldgVal	\$84,811.00
Mail:	943 SW SEVILLE PL	ApprVal	\$139,697.00
	LAKE CITY, FL 32024	JustVal	\$139,697.00
Sales		Assd	\$103,579.00
Info	3/19/1996 \$90,000.001 / Q	Exmpt	\$25,000.00
		Taxable	\$78,579.00

0 0.1 0.2 0.3 mi



This information, GIS Map Updated: 10/4/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

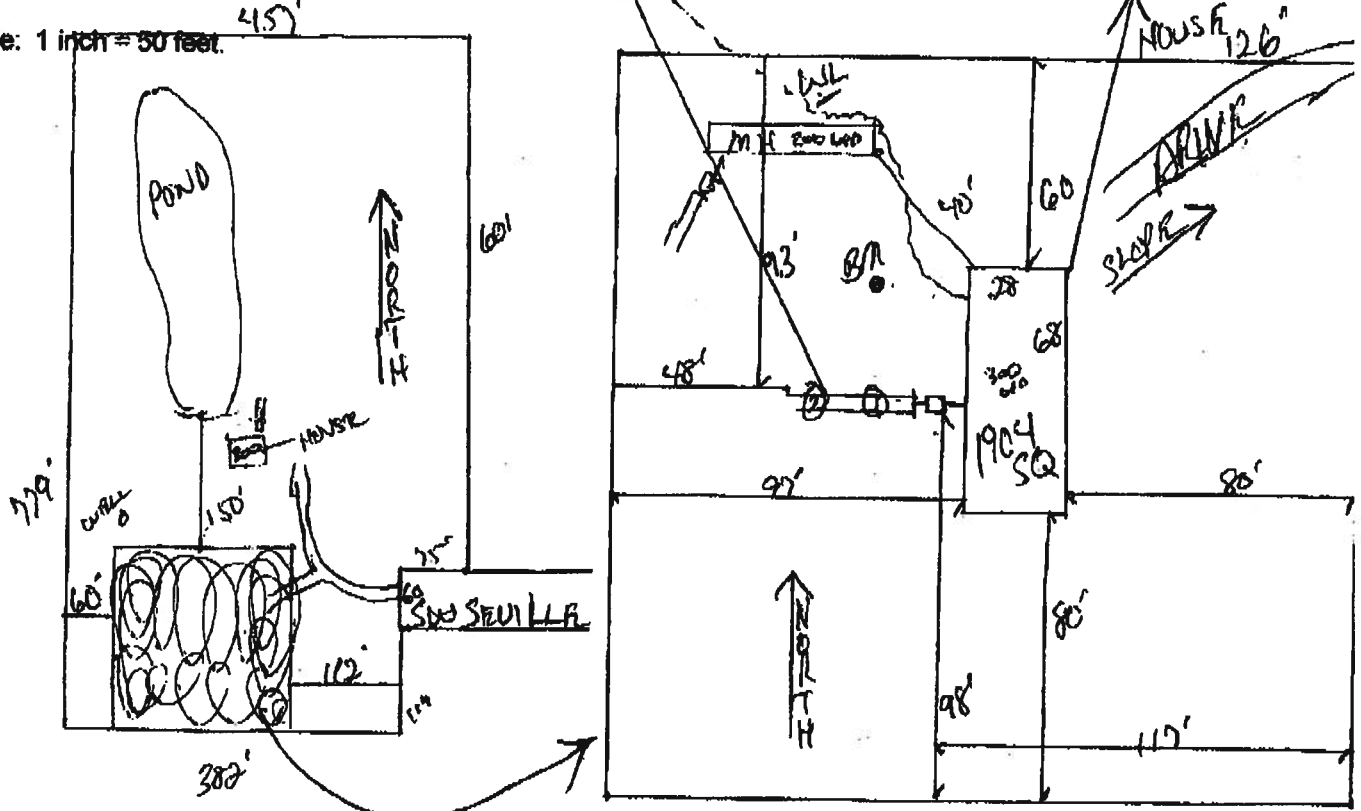
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

(Bryan Hilton)

Permit Application Number 06-0879N

PART II SITE PLAN

Scale: 1 inch = 50 feet.



500 GPD @ 2.2703 on
Acre station. Total lot size
= 7.89 acres
800 GPD on total land

Notes: 1 of 7.89 Acres

Site Plan submitted by: Robert D. Hilton

Plan Approved ☒ Not Approved ☐

By: Robert D. Hilton

MASTER CONTRACTOR

Date 10/31/06

Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

DH 4015, 10/98 (Replaces HRS-H Form 4016 which may be used)
(Stock Number: 5744-002-4015-6)

Page 2 of 4

COLUMBIA COUNTY
FLORIDA

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 08-5S-16-03489-001

Building permit No. 000025142

Permit Holder DALE HOUSTON

Owner of Building BRIAN HILTON (M. DANSDILL M/H)

Location: 945 SW SEVILLE PLACE, LAKE CITY, FL 32024

Date: 11/17/2006




Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)