

CK# 3339

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

Zoning Official BLK 11.05.06 Building Official OK 9/14 5-1-06

AP# 0604-104 Date Received 4-28-06 By CH Permit # 24504

Flood Zone X Development Permit N/A Zoning A-2 Land Use Plan Map Category A-2

Comments Section 14.9 Special Family Lot Permit daughter
* A LETTER FROM IS NEEDED FROM THE PERMIT ISSUANCE

FEMA Map # _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks shown ☒ Environmental Health Signed Site Plan ☒ Env. Health Release

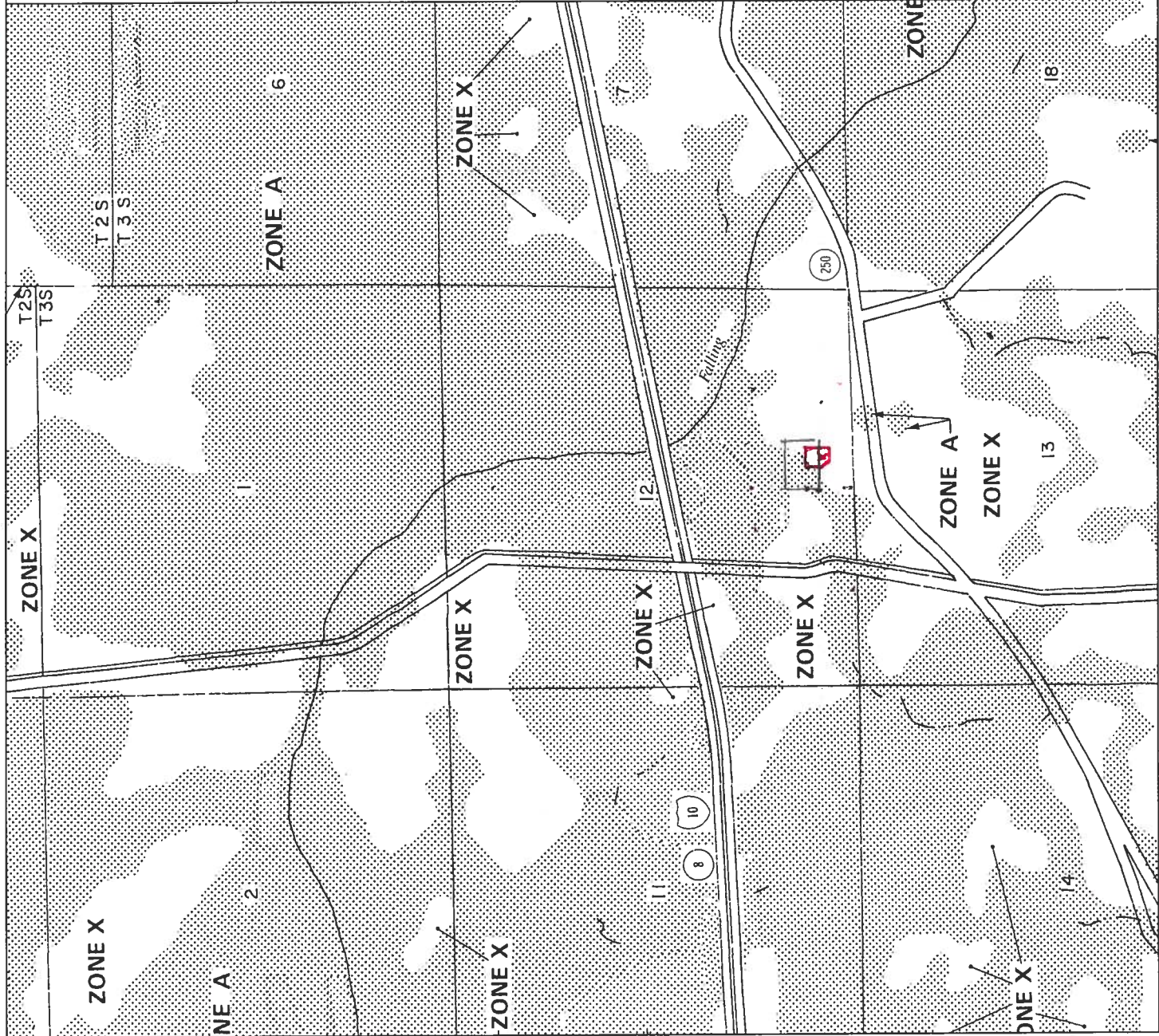
☒ Well letter provided ☒ Existing Well Warranty Deed

Revised 9-23-04

- Property ID 12-3S-17-04926004 Must have a copy of the property deed
- New Mobile Home ☒ Used Mobile Home _____ Year 2005
- Subdivision Information N/A
- Applicant Madeline Kimball JENNIFER Phone # 386 497-1066
- Address 10434 SW CR 18 FT WHITE, FL 32038
- Name of Property Owner Jennifer & Rosendo Phone # 386 288-6705
- 911 Address 4783 NE Gum Swamp Rd Lake City, FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progressive Energy
- Name of Owner of Mobile Home Jennifer & Rosendo Phone # _____
- Address 4783 NE Gum Swamp Rd Lake City, FL 32055
- Relationship to Property Owner Self
- Current Number of Dwellings on Property 0
- Lot Size 223' x 321' x 195' x 303 Total Acreage 1.53
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
- Driving Directions 90 EAST, TURN (2) ON MC COLSKEY (after AIRPORT & before LCCC) 1.1 miles past intersection of Bayou & 90) SEE POTASH CORP. ON (2) GO TO END of MC COLSKEY & TURN (B) ON Gum Swamp 90 (2) ON BLACK TOP After SH. HOUSE ON (2)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Name of Licensed Dealer/Installer JERRY CORBETT Phone # 386 590-0470
- Installers Address 10314 Hwy 90 E. LIVE OAK, FL
- License Number I40006790 Installation Decal # 267323

JW advised Madeline 5.14.06 365.85

0604-104



APPROXIMATE SCALE IN FEET



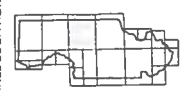
NATIONAL FLOOD INSURANCE PROGRAM

FIRM FLOOD INSURANCE RATE MAP

COLUMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS)

PANEL 150 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0150 B

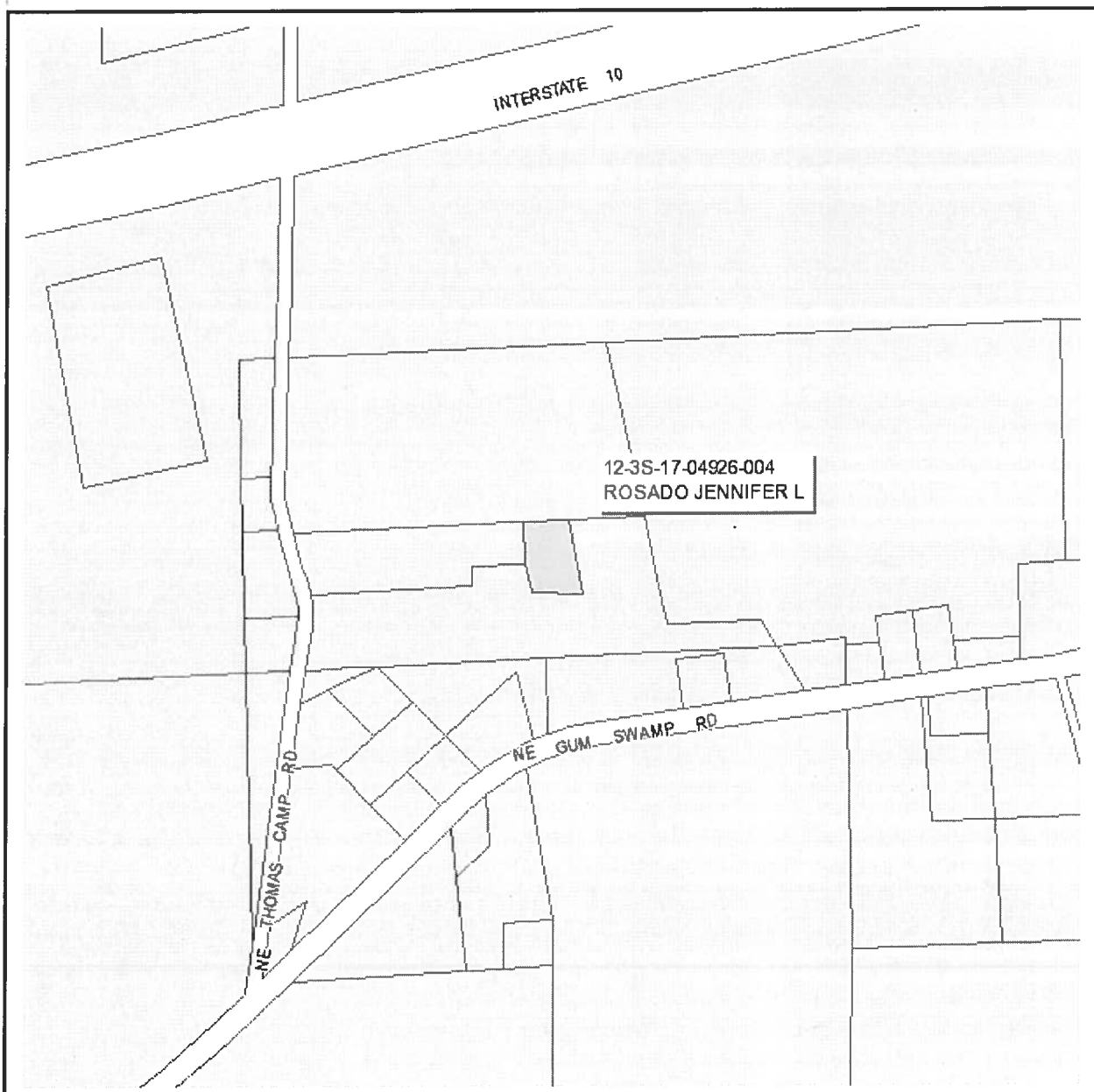
EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifsc



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 12-3S-17-04926-004 - TIMBERLAND (005500)

COMM NW COR OF SE1/4 OF SW1/4, RUN E 831.42 FT, S 735 FT, E 341.83 FT TO POB, THENCE

Name: ROSADO JENNIFER L
 Site:
 Mail: 530 SE PUTNAM ST
 LAKE CITY, FL 32025
 Sales Info 2/2/2006 \$100.00 V / U

LandVal	\$0.00
BldgVal	\$0.00
ApprVal	\$336.00
JustVal	\$14,917.00
Assd	\$336.00
Exmpt	\$0.00
Taxable	\$336.00

0 0.05 0.1 0.15 mi



This information, GIS Map Updated: 4/6/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Columbia County Property Appraiser

DB Last Updated: 4/6/2006

Parcel: 12-3S-17-04926-004

2006 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	ROSADO JENNIFER L
Site Address	
Mailing Address	530 SE PUTNAM ST LAKE CITY, FL 32025
Brief Legal	COMM NW COR OF SE1/4 OF SW1/4 , RUN E 831.42 FT, S 735 FT, E 341.83 FT TO POB, THENCE

Use Desc. (code)	TIMBERLAND (005500)
Neighborhood	1317.00
Tax District	3
UD Codes	MKTA03
Market Area	04
Total Land Area	1.530 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (0)	\$0.00
Ag Land Value	cnt: (1)	\$336.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$336.00

Just Value	\$14,917.00
Class Value	\$336.00
Assessed Value	\$336.00
Exempt Value	\$0.00
Total Taxable Value	\$336.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
2/2/2006	1072/2477	WD	V	U	06	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
005500	TIMBER 2 (AG)	1.530 AC	1.00/1.00/1.00/1.00	\$220.00	\$336.00
009910	MKT.VAL.AG (MKT)	1.530 AC	1.00/1.00/1.00/1.00	\$0.00	\$14,917.00

Columbia County Property Appraiser

DB Last Updated: 4/6/2006

1 of 1

This Instrument Prepared By:
 HARRY GUERRY
 4843 NE Gum Swamp Rd
 Lake City, Florida 32055

PARCEL NO: part of 12-38-17-049269-000

WARRANTY DEED

This Warranty Deed, made the 2nd day of February 2006, by J. Harry Guerry & Patricia L. Guerry, hereinafter called the Grantor, to Jennifer L. Rosado, a married woman, whose post office address is 530 SE Putnam Street, Lake City, Florida 32025 hereinafter called the Grantee. Grandparents

(Wherever used herein the terms "Grantor" and "Grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the Grantor, for and in consideration of the sum of LOVE & AFFECTION and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate, lying and being in COLUMBIA County, State of Florida, viz:

SEE SCHEDULE "A" ATTACHED

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining. To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Shirley Lick
 Witness Signature

Shirley Lick
 Printed Name

Delma Baxter
 Witness Signature

Delma Baxter
 Printed Name

J. Harry Guerry
 J. HARRY GUERRY

Patricia L. Guerry
 PATRICIA L. GUERRY

STATE OF FLORIDA
 COUNTY OF COLUMBIA

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared J. HARRY GUERRY & PATRICIA L. GUERRY known to me to be the persons described in and who executed the foregoing instrument, who acknowledged to me

SCHEDULE "A"

DESCRIPTION:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N 87°31'13" E, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4, 831.42 FEET; THENCE S 01°28'54" E, 735.00 FEET; THENCE N 87°31'13" E, 341.83 FEET TO THE POINT OF BEGINNING; THENCE S 02°28'47" E, 180.00 FEET; THENCE S 13°06'07" E, 123.53 FEET; THENCE S 88°15'22" E, 223.39 FEET; THENCE N 11°29'34" W, 321.84 FEET; THENCE S 87°31'13" W, 195.13 FEET TO THE POINT OF BEGINNING. CONTAINING 1.53 ACRES, MORE OR LESS.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS 20.00 FEET IN WIDTH BEING 20 FEET TO THE EAST OF A LINE DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 12, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N 87°31'13" E, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4, 831.42 FEET; THENCE S 01°28'54" E, 735.00 FEET; THENCE N 87°31'13" E, 341.83 FEET; THENCE S 02°28'47" E, 180.00 FEET; THENCE S 87°31'13" W, 20.03 FEET TO THE POINT OF BEGINNING; THENCE S 00°49'42" W, 469.36 FEET; THENCE S 13°33'34" E, 303.52 FEET TO THE NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. C-250 AND THE POINT OF TERMINATION.

ALSO TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 12, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N 87°31'13" E, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4 OF SOUTHWEST 1/4, 831.42 FEET; THENCE S 01°28'54" E, 735.00 FEET; THENCE N 87°31'13" E, 341.83 FEET; THENCE S 02°28'47" E, 180.00 FEET TO THE POINT OF BEGINNING; THENCE S 00°49'24" W, 30.00 FEET; THENCE S 89°10'36" E, 7.44 FEET; THENCE N 13°06'07" W, 30.91 FEET TO THE POINT OF BEGINNING.

Inst:2006002538 Date:02/02/2006 Time:16:49

Doc Stamp-Deed : 0.70

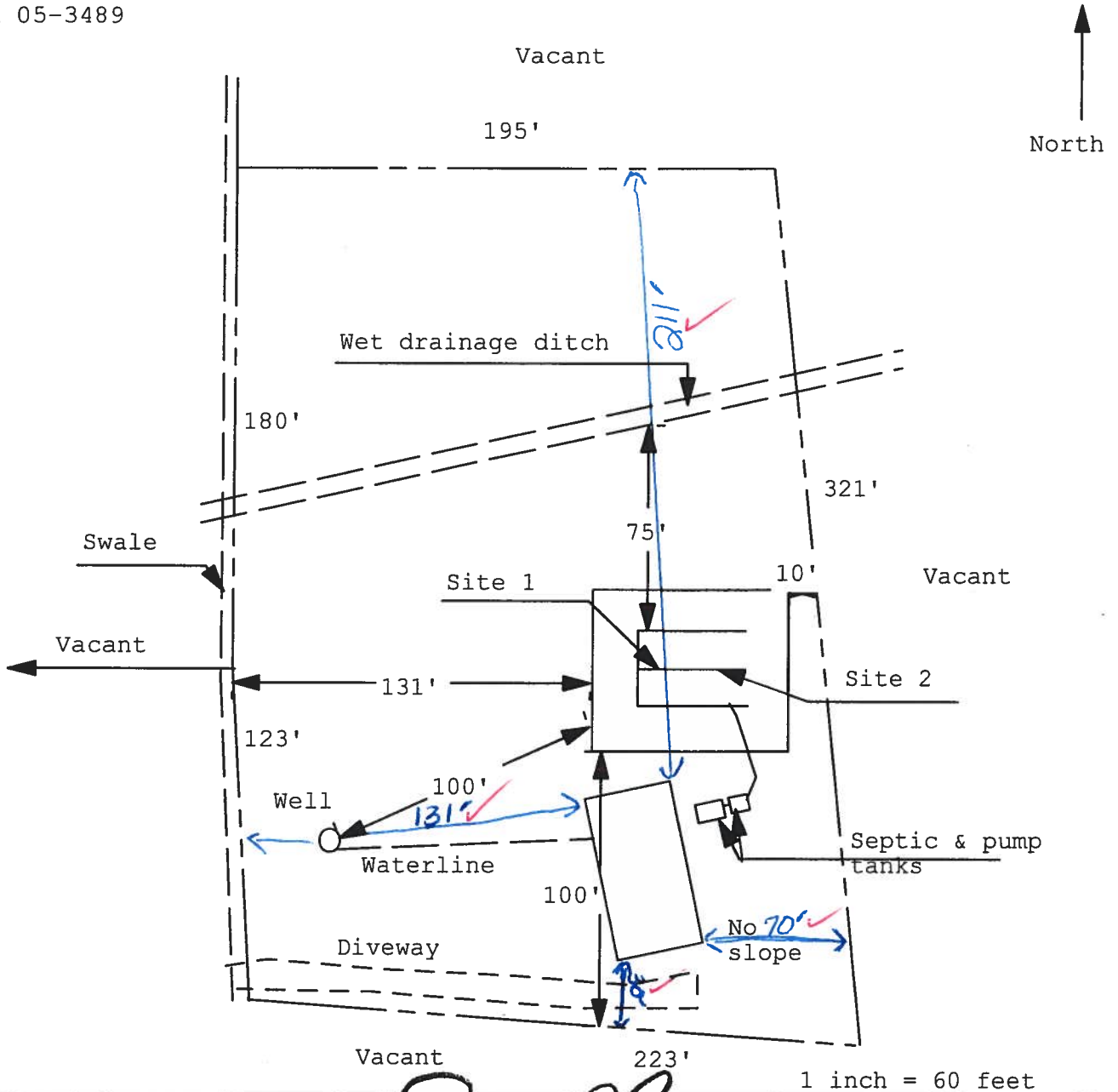
DC, P. DeWitt Cason, Columbia County B:1072 P:2478

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: _____

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

ROSADO/CR 05-3489



Site Plan Submitted By Paul Lopez Date 4/21/06
 Plan Approved _____ Not Approved _____ Date _____

By _____ CPHU

Notes: _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 2000 psf or check here to declare 1000 lb. soil without testing.

X 2400 X 2200 X 2200

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 2400 X 2400 X 2500

TORQUE PROBE TEST

The results of the torque probe test is 6285 inch pounds or check here if you are declaring 5" anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

JC Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name TERRY CORBETT

Date Tested 4.24.06

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed ☒ Swale ☐ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: 3/8" Length: 5" Spacing: 12"
Walls: Type Fastener: 3/8" Length: 3" Spacing: 8"
Roof: Type Fastener: 3/8" Length: 7" Spacing: 12"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials JC

Type gasket 7000M Installed: Between Floors Yes
Pg. Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes ☒ No ☐
Dryer vent installed outside of skirting. Yes ☐ N/A ☒
Range downflow vent installed outside of skirting. Yes ☐ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Terry Corbett Date 4/24/06

COLUMBIA COUNTY PERMIT WORKSHEET

These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer JEFF COBBE# License # 1H0000790

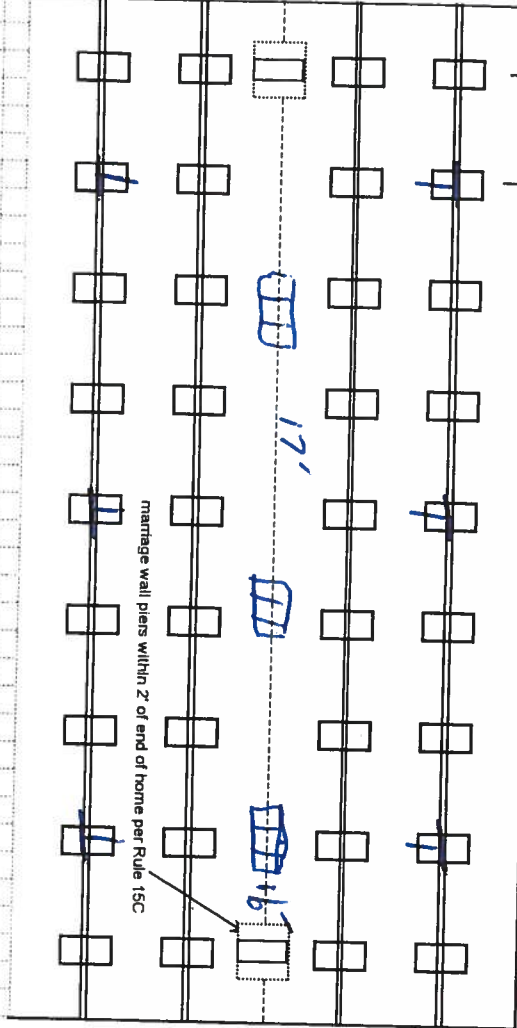
911 Address where home is being installed 4783 NE Gum Swamp Rd. Koke City, IL 32055

Manufacturer Clayton Length x width 100' x 32'

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials JC



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 267323

Triple/Quad ☐ Serial # WH0151633AAB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 16x16

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 17' Pier pad size 17.5A 255

ANCHORS

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

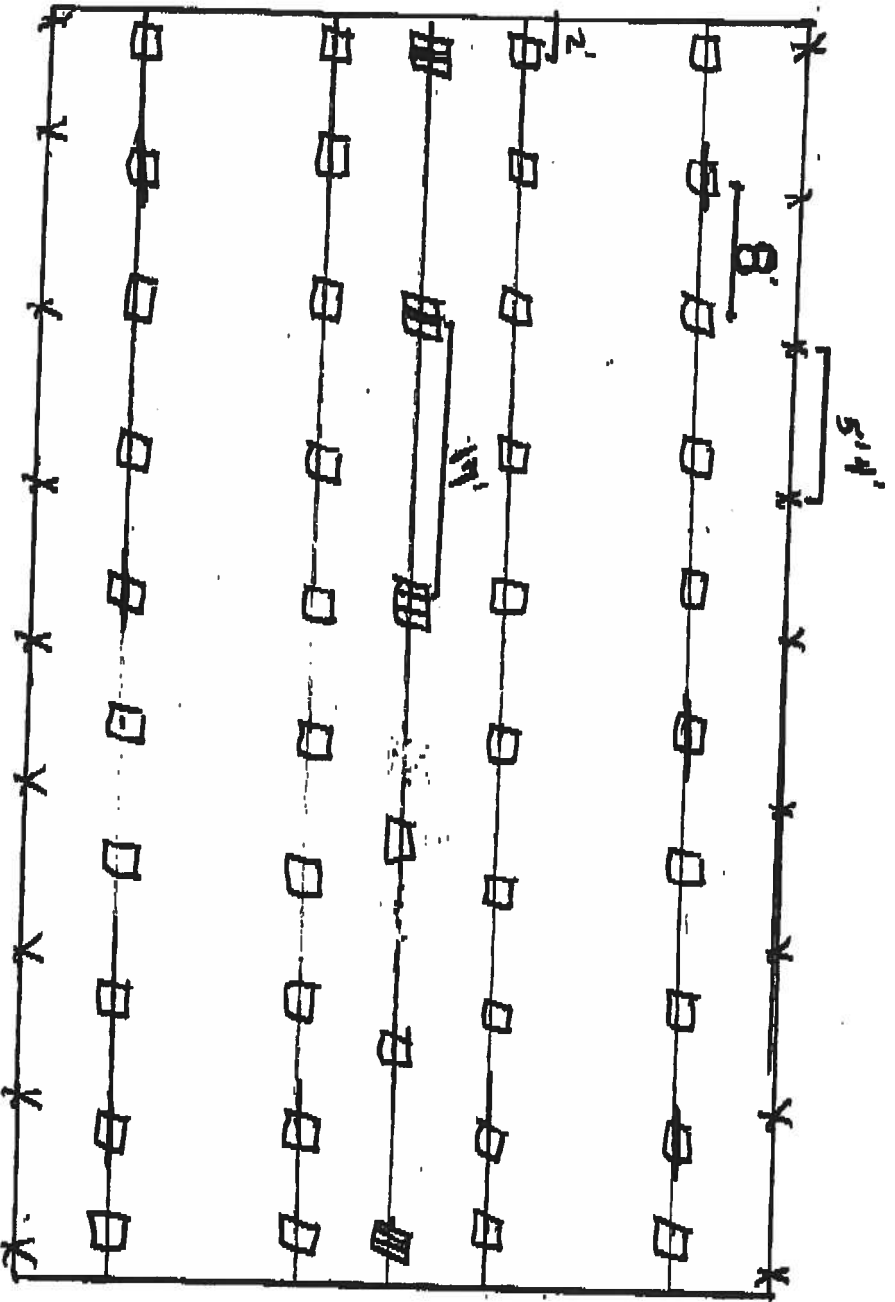
TIEDOWN COMPONENTS

OTHER TIES

Longitudinal Stabilizing Device (LSD)
Manufacturer OLIVER TECH.

Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer OLIVER TECH.

Number 24
Sidewall 24
Longitudinal Marriage wall 24
Shearwall

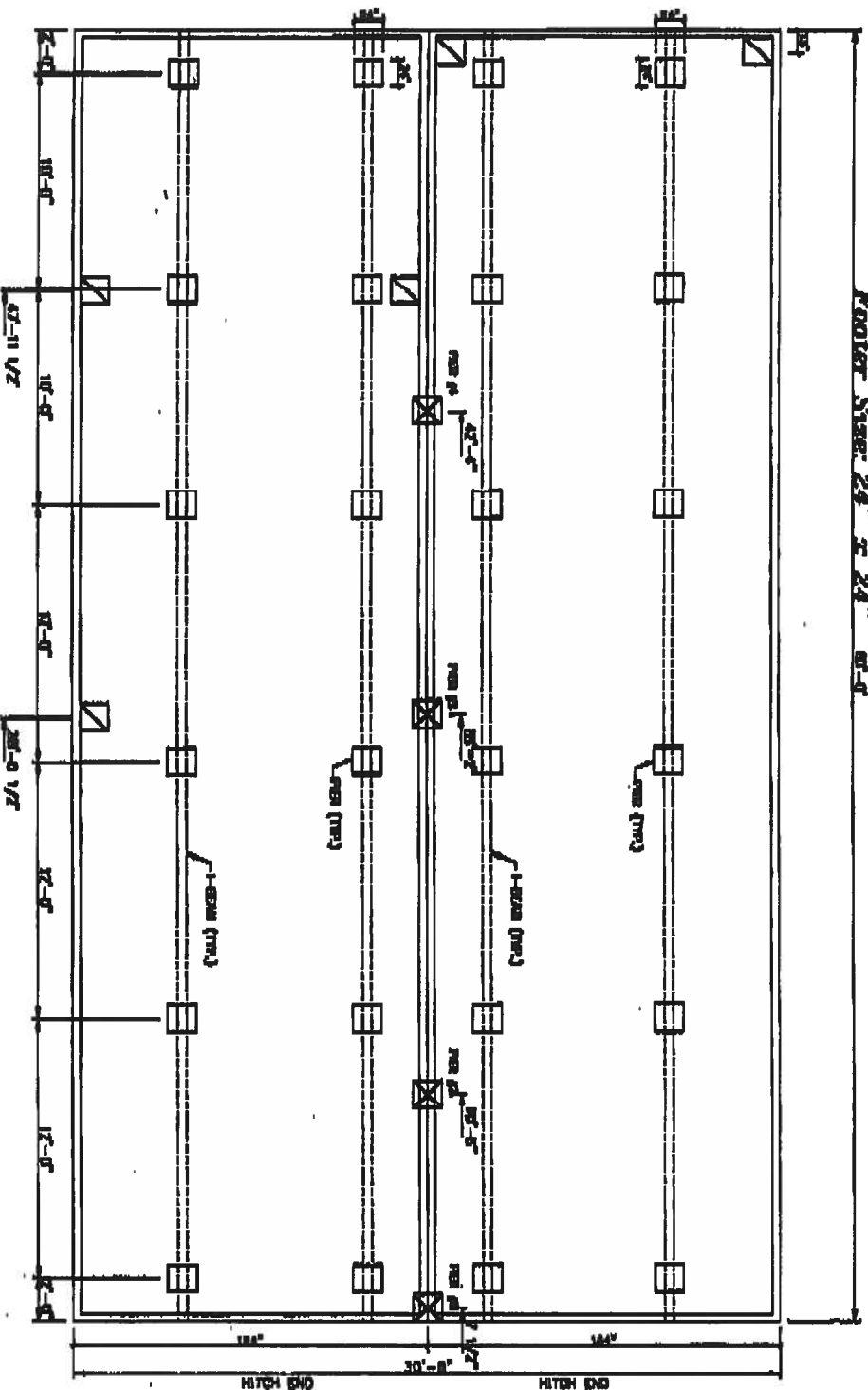


2000 32.K60, Clayton
Model # 3GM432603A
Installation local #267321
wind zone B

□ = 17.5' x 25.5' ABS Pad 8' x 1/2"
starting within 2' of end
f = 4' cube Anchor 5' x 1/2"
starting within 2' of end
⊗ = Oliver Tech. configured & lateral system

Mashford 32x60

Roof Load: 20 PSF
Soil Bearing Capacity: 2000 PSF
I-Beam Size: See Note #3 Below
Footer Size: 24" x 24" w-4



Regulated Pier for 20th Roof Layout	
COLLAPSE PIER #	MAX PIER SIZE
PIER #1	12' x 20'
PIER #2	16' x 20'
PIER #3	16' x 20'
PIER #4	12' x 20'
PIER #5	12' x 20'
PIER #6	12' x 20'

- NOTES:
1. DOES NOT DETECT ANY REINFORCING, STEELWALL OR ANY OTHER STEEL COLUMN
PERS. SEE SECTION 2 OF THE INSTALLATION MANUAL FOR THESE REQUIREMENTS.
2. DOES NOT DETECT ANY TIE-BARMS REQUIREMENTS. SEE SECTION 3 OF THE INSTALLATION
MANUAL FOR THESE REQUIREMENTS.
3. THE MAXIMUM SPACING FOR 8'-1-EDGHS IS 8 FEET, 10'-1-EDGHS IS 10 FEET, 12'-1-EDGHS
IS 12 FEET.
4. THE MAXIMUM FLOOR DEPTH IS 6".
- ☒ - STEELWALL PER
☒ - MAXIMUM WALL PER

FP-III-32-119

CLAYTON HOMES	
24' x 24' FOOTER - 2000 PSF 32' x 60' MARSHLAND	24' x 24' FOOTER - 2000 PSF 32' x 60' MARSHLAND

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

I, Jerry Corbett, license number IH 0000790
Please Print

do hereby state that the installation of the manufactured home for JENNIFER ROSADO
Applicant

will be done under my supervision.

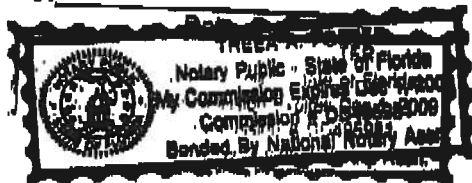
at 4783 NE Gum Swamp Rd
Lake City, FL. 32055
911 Address

Jerry Corbett
Signature

Sworn to and subscribed before me this 26 day of April, 2004.

Notary Public Trina A. Tate
Signature

My Commission Expires:



2006-05-04 10:16

DEPENDABLE

3869350087 >>

3864971089

P 1/2

APPLICATION # 0604-104

Fax Cover

JENNIFER ROSADO

To: Tradition Homes, LLCDate: May 4th 2006Ph. _____ Fax. 497-1069From: **Dependable Well Drilling, Inc.**2139 NW 50th St.

Bell, FL 32619

Ph: 386-935-3042 Fax: 386-935-0087

Here's the well letter you
needed if you need anything
more please let me know

Marilyn

It was me, I have a new
fax machine wasn't putting
the fax paper in right sorry.

Please call & let me know if
you get this.

Marilyn

2006-05-04 10:16

DEPENDABLE

3869350087 >>

3864971069

P 2/2

Dependable Well Drilling
2139 NW 50th Street
Bell Fl. 32619
Ph.386-935-3042
Fax.386-935-0087

May 4th,2006

We will be drilling a 4" water well for Jennifer & Carlos Robado. It well have 1H pump with cycle stop & 4" PVC casing.

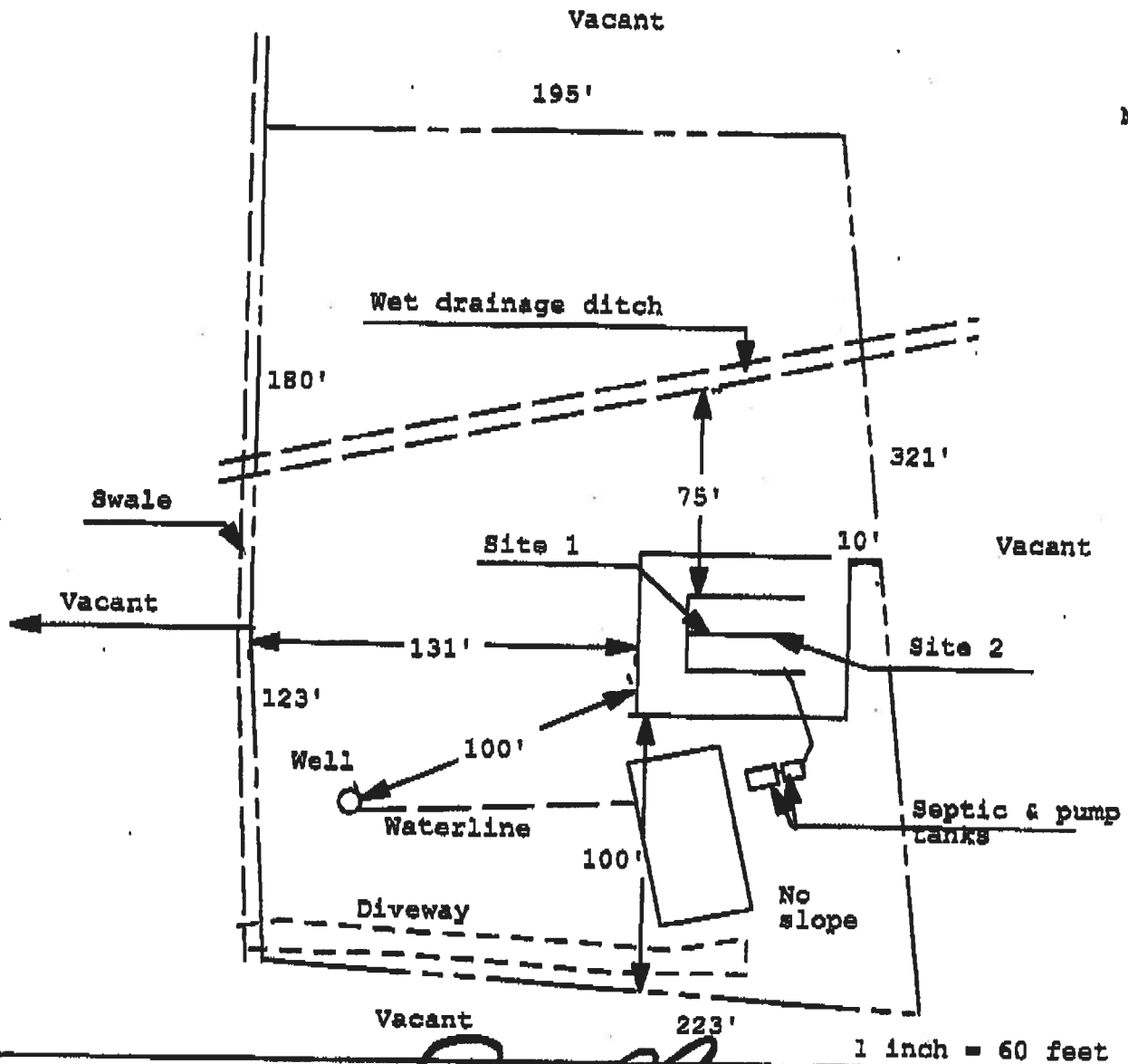
Thank You

*Dependable Well
Drilling, Inc.*

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 06-0431N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

ROSADO/CR 05-3489



Site Plan Submitted By Paul L. [Signature] Date 4/21/06
Plan Approved ☒ Not Approved ☐ Day 5/1/06
By Mr. [Signature] Columbia CPHU

Notes: _____

JERRY CORBETT'S MOBILE HOME SALES

10314 U.S. Hwy. 90 East • Live Oak, FL 32060
(386) 362-4948 • Fax (386) 364-1979

Jerry Corbett's Mobile Home Installers give
permission to Madine Kimball to pull all
permits necessary for mobile home to be installed.

Permit # 0604104

Make Clayton

Year 2005

Size 32 x 60

S/N# WHC015163GAB

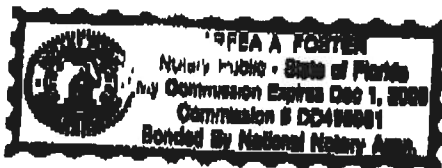
Jerry Corbett
Jerry Corbett
Licenses# IH0000790

5-11-06
Date

Shirley A. Foster
Notary

Sworn before me this 11 day of May 2006
County of Suwannee

Seal



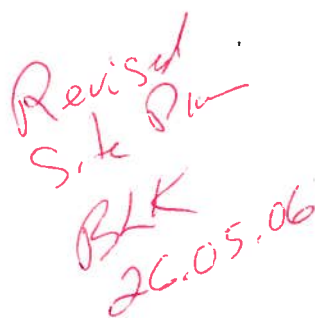
"Friends Helping Friends Buy A Home"

3864971069
BRANDS AT LAKESHORE-KK
8004971069

1-481 P.001/001 P-501

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

Radine Umball
386-497-1066



1 inch = 60 feet

Notes: _____

COLUMBIA COUNTY OFFICE

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 12-3S-17-04926-004

Building permit No. 000024504

Permit Holder JERRY CORBETT

Owner of Building JENNIFER ROSADA

Location: 4783 NE GUM SWAMP ROAD

Date: 06/15/2006



[Signature]

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)