

This Permit Expires One Year From the Date of Issue

APPLICANTJAMES DRANE

PHONE352 578-5306

ADDRESS2056SW SHILOH ST

FT. WHITE

FL32038

OWNERJAMES DRANE

PHONE352 578-5306

ADDRESS2056SW SHILOH ST

FT. WHITE

FL32038

CONTRACTORJAMES DRANE

PHONE352 578-5306

LOCATION OF PROPERTY47S, TL ON 27, TR ON SHILOH ST, CORNER OF SHILOH AND FRY ON LEFT

TYPE DEVELOPMENTMODULAR,UTILITY

ESTIMATED COST OF CONSTRUCTION0.00

HEATED FLOOR AREATOTAL AREAHEIGHTSTORIES

FOUNDATIONWALLSROOF PITCHFLOOR

LAND USE & ZONINGA-3

MAX. HEIGHT

Minimum Set Back Requirments:STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.0

FLOOD ZONEX PS

DEVELOPMENT PERMIT NO.

PARCEL ID15-7S-16-04226-121

SUBDIVISION

LOTBLOCKPHASEUNITTOTAL ACRES

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING07-403

BK

JH

Y

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD, NOC ON FILE
PER JANICE NO APPLICATION ORIGINAL NEEDED

Check # or Cash1819

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Powerdate/app. by

Foundationdate/app. by

Monolithicdate/app. by

Under slab rough-in plumbingdate/app. by

Slabdate/app. by

Sheathing/Nailingdate/app. by

Framingdate/app. by

Rough-in plumbing above slab and below wood floordate/app. by

Electrical rough-indate/app. by

Heat & Air Ductdate/app. by

Peri. beam (Lintel)date/app. by

Permanent powerdate/app. by

C.O. Finaldate/app. by

Culvertdate/app. by

M/H tie downs, blocking, electricity and plumbingdate/app. by

Pooldate/app. by

Reconnectiondate/app. by

Pump poledate/app. by

Utility Poledate/app. by

M/H Poledate/app. by

Travel Trailerddate/app. by

Re-roofdate/app. by

BUILDING PERMIT FEE \$0.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$200.00

ZONING CERT. FEE \$50.00

FIRE FEE \$0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$25.00

CULVERT FEE \$

TOTAL FEE275.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

FROM :COLUMBIA CO BUILDING + ZONING FAX NO. :386-758-2160

Jun. 06 2007 10:20AM P1

Columbia County Building Permit Application

Revised 8-23-04

For Office Use Only Application # 0705.80 Date Received 5/31/07 By GA Permit # 26147
 Application Approved by - Zoning Official BLK Date 06.06.07 Plans Examiner DKJH Date 6-1-07
 Flood Zone A-3 Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
 Comments Existing MH to be removed 30 Days after CO issued.
NUC -

Applicants Name Somes S. Drane (3rd. James) Fax: 352-245-6302
 Address 2056 SW Shiloh St., Ft. White, FL 32038 Phone 352-578-5306
 Owners Name Somes S. Drane Phone 352-433-0376
 911 Address 2056 SW Shiloh St.
 Contractors Name Homeowner is Main Contractor Phone _____
 Address 2056 SW Shiloh St
 Fee Simple Owner Name & Address Somes S. Drane 2056 SW Shiloh St.
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address Palm Harbor Construction 605.5 Franchise
 Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Swansee Valley Elec. - Progressive EnergyProperty ID Number 15-75-16-04226-12 Estimated Cost of Construction 200,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions I75 to Hwy 441 towards highsprings to CR27
towards Ft. White go over Santa Fe River ± 2 miles
turn left go down dirt Road to corner of Fry & Shiloh hwy on le

Type of Construction Modular House Number of Existing Dwellings on Property 1Total Acreage 10.3 Lot Size 1/4 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing DriveActual Distance of Structure from Property Lines - Front 100+ Side 100+ Side 100+ Rear 100+Total Building Height 24 Number of Stories 2 Heated Floor Area 2400 Roof Pitch 3:12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 8th day of June 2007



Contractor Signature

Contractors License Number

Competency Card Number

NOTARY STAMP/SEAL

Nancy E. Ruth

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0705.80 Date Received 5/3/07 By GP Permit # _____
Application Approved by - Zoning Official BLK Date 06.06.07 Plans Examiner OKJH Date 6-1-07
Flood Zone X PSurveys Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments Existing MH to be removed 30 Days after CO issued.
NUC - Application needs to be notarized.

Applicants Name James S. Drane (S.D. Drane) Phone 352-578-5306 Jax: 352-245-6302
Address 2056 SW Shiloh St., Ft. White, FL 32038
Owners Name James S. Drane Phone 386-433-0372
911 Address 2056 SW Shiloh St.
Contractors Name Homeowner is Main Contractor Phone _____
Address 2056 SW Shiloh St
Fee Simple Owner Name & Address James S. Drane 2056 SW Shiloh St.
Bonding Co. Name & Address _____
Architect/Engineer Name & Address Palm Harbor Construction 605 S Frontage Rd
Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 15-75-16-04226-12 Estimated Cost of Construction 250,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions I75 to HWY 441 towards highsprings to CR27
towards Ft. White go over Santa Fe River ± 2 miles
turn left go down dirt Road to corner of Fry's Shiloh house on left

Type of Construction Modular House Number of Existing Dwellings on Property 1

Total Acreage 10.3 Lot Size reg Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 100+ Side 100+ Side 100+ Rear 100+

Total Building Height 24 Number of Stories 2 Heated Floor Area 2400 Roof Pitch 3:12
TOTAL 2498

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

James S. Drane
Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Contractor Signature

Contractors License Number _____

Competency Card Number _____

NOTARY STAMP/SEAL

Sworn to (or affirmed) and subscribed before me

this _____ day of _____ 20____

Personally known _____ or Produced Identification _____

Notary Signature

Jim Spake of Drane
6-6-07

NOTORIZED DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

☒ Single Family Dwelling
☐ Farm Outbuilding

☐ Two-Family Residence
☐ Other Modular Home

NEW CONSTRUCTION OR IMPROVEMENT

☒ New Construction

☐ Addition, Alteration, Modification or other Improvement

I, James Drane, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number App 16 07-05-0080

[Signature] 6/8/07
Owner Builder Signature Date

The above signer is personally known to me or produced identification

Notary Signature Rancy E Ruth Date 6/8/07

(Stamp / Seal)



FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date _____ Building Official/Representative _____

DISCLOSURE STATEMENT

THIS IS
OBSOLETE
NO NEED TO
UPDATE
A.

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

- ☐ Single Family Dwelling
- ☐ Farm Outbuilding
- ☐ New Construction

- ☐ Two-Family Residence
- ☒ Other Modular Home
- ☐ Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Joan M. Drane, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Joan M. Drane 5/30/07
Signature Date

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date _____ Building Official/Representative _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	1R2102-0495 F C9361-D	Builder:	PALM HARBOR HOMES
Address:		Permitting Office:	COLUMBIA
City, State:		Permit Number:	
Owner:	PALM HARBOR HOMES	Jurisdiction Number:	221000
Climate Zone:	Central		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 40.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	2295 ft²	13. Heating systems	
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		a. Electric Heat Pump	Cap: 41.0 kBtu/hr
a. U-factor:	Description Area		HSPF: 7.70
(or Single or Double DEFAULT)	7a. (Dble, U=0.5) 60.0 ft²	b. N/A	
b. SHGC:		c. N/A	
(or Clear or Tint DEFAULT)	7b. (SHGC=0.4) 231.3 ft²	14. Hot water systems	
8. Floor types		a. Electric Resistance	Cap: 50.0 gallons
a. Raised Wood, Stem Wall	R=15.0, 1095.0ft²		EF: 0.91
b. Raised Wood, Post or Pier	R=19.0, 105.0ft²	b. N/A	
c. N/A		c. Conservation credits	
9. Wall types		(HR-Heat recovery, Solar	
a. Frame, Wood, Exterior	R=16.0, 2284.0 ft²	DHP-Dedicated heat pump)	
b. N/A		15. HVAC credits	PT,
c. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
d. N/A		HF-Whole house fan,	
e. N/A		PT-Programmable Thermostat,	
10. Ceiling types		MZ-C-Multizone cooling,	
a. Under Attic	R=33.0, 1200.0 ft²	MZ-H-Multizone heating)	
b. N/A			
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 235.0 ft		
b. N/A			

Glass/Floor Area: 0.10

Total as-built points: 25142

Total base points: 27041

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY:

DATE:

APPROVED JAN 18 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT:

DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Date

DATE:

JAN 18 2007
Approved By SCOTT S. FRANCIS

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SEE MANUFACTURER'S CONTRACT
WITH FLORIDA DCA.

NOTICE OF COMMENCEMENT

PERMIT NUMBER: _____
STATE OF: FLORIDA COUNTY OF: Columbia CITY OF: Fort White

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

DESCRIPTION OF PROPERTY

LOT: _____ BLOCK: _____ SECTION: _____ TOWNSHIP: _____ RANGE: _____

TAX PARCEL NUMBER: 15-175-160422-121

SUBDIVISION: _____ PLATBOOK: 858 MAP PAGE: 137

STREET ADDRESS: 2056 SW Shiloh St Fort White, FL 32038

GENERAL DESCRIPTION OF IMPROVEMENTS

TO CONSTRUCT: Modular Home

OWNER INFORMATION

OWNER NAME: James Drane

ADDRESS: 2056 Shiloh St PHONE NUMBER: 386 433-0372

CITY: Fort White STATE: FL ZIP CODE: 32038

INTEREST IN PROPERTY: owner James Drane

FEE SIMPLE TITLEHOLDER NAME: James Drane

FEE SIMPLE TITLEHOLDER ADDRESS: _____

(if other than owner)

CONTRACTOR NAME: Homeowner James Drane

ADDRESS: 2056 SW Shiloh St PHONE NUMBER: 352-578-5309

CITY: Fort White STATE: FL ZIP CODE: 32038

BONDING COMPANY: N/A

ADDRESS: _____ PHONE NUMBER: _____

CITY: _____ STATE: _____ ZIP CODE: _____

LENDER NAME: N/A Inst: 2007012038 Date: 05/31/2007 Time: 10:46

ADDRESS: J.G. DC, P. DeWitt Cason, Columbia County B: 1120 P: 1691

CITY: _____ STATE: _____ ZIP CODE: _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

NAME: N/A ADDRESS: _____

In addition to himself, Owner designates _____
of _____ to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

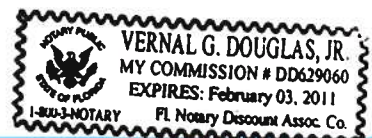
Expiration date is one (1) year from date of recording unless a different date is specified.

SIGNATURE OF OWNER: _____

SWORN to and subscribed before me this 26 day of April, A.D. 2007.

Notary Public: Vernal G. Douglas, Jr.

My commission Expires: 2/3/11

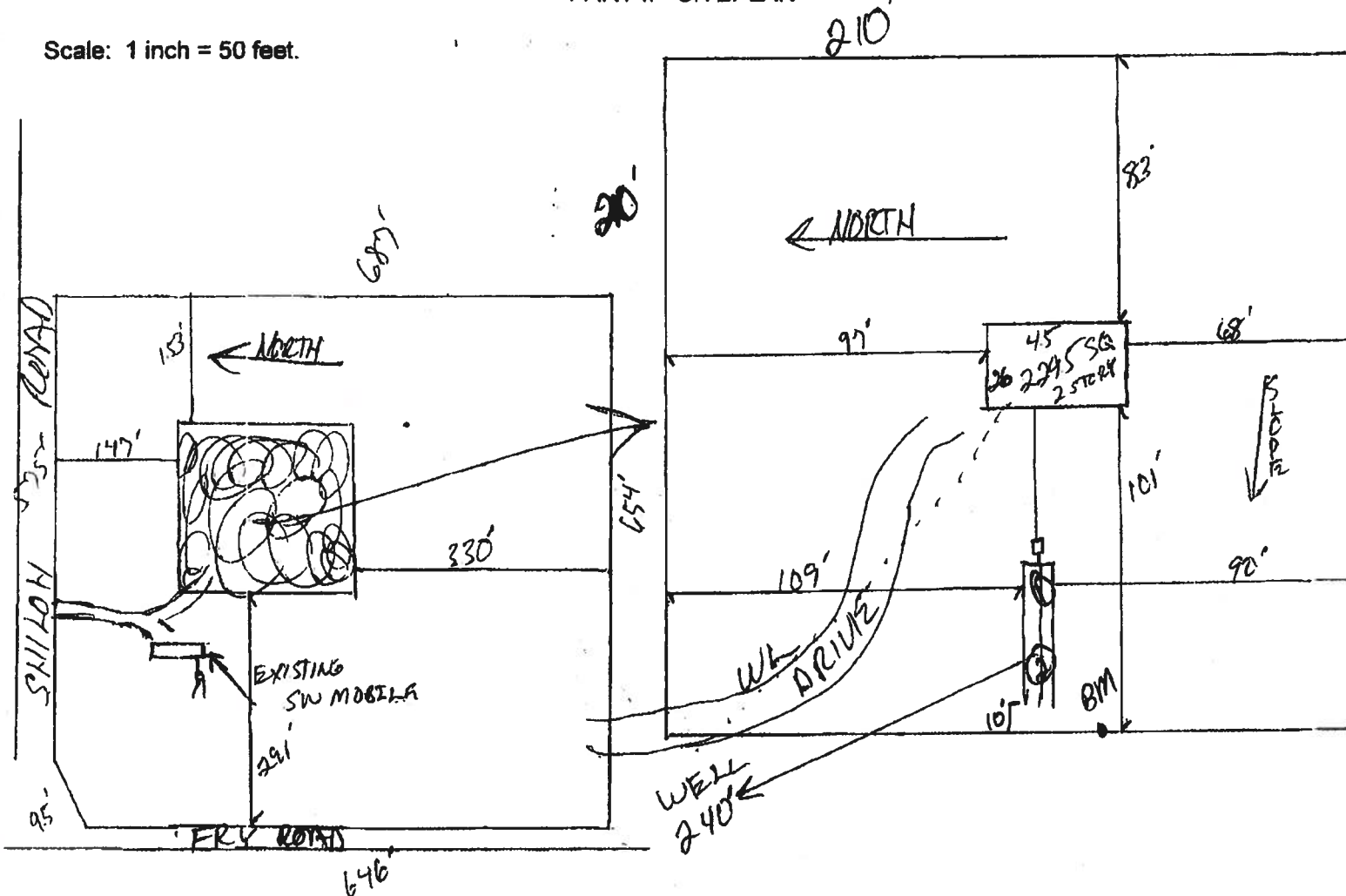


STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-403

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: 1 of 10 Acres

Site Plan submitted by: Rock D 7-0

Plan Approved X

By SA Ford ESII

Not App

Columbia CND

MASTER CONTRACTOR

Date 5-22-07

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



02-13-2006

TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 02/13/2006

** EXPIRATION DATE: 02/13/2008

PERSON:

EARNEST

JOSEPH D

FEIN:

203734363

BUSINESS NAME
AND ADDRESS:

CONSTRUCTION BY J D EARNEST INC
8879 E CR 25
BELLEVUE FL 34420

SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED GENERAL CONTRACTOR

IMPORTANT: Pursuant to Chapter 440 . 05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-160

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 02/13/2006 ** EXPIRATION DATE: 02/13/2008</p> <p>PERSON: JOSEPH D EARNEST FEIN: 203734363</p> <p>BUSINESS NAME AND ADDRESS: CONSTRUCTION BY J D EARNEST IN 8879 E CR 25 BELLEVUE, FL 34420</p> <p>SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED GENERAL CONTRACTOR</p>	<p style="text-align: center;">IMPORTANT</p> <p>Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p style="text-align: right;">QUESTIONS? (850) 413-1609</p>
---	---

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.



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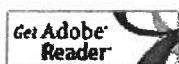
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Exemption Detail Page

This Database was Last Updated: 10/21/2006 4:07:35 AM

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Exemption Details					
Name	Title	Effective Date	*Termination Date	Exemption Type	Employer Name
JOSEPH D EARNEST	PR	Feb 13 2006	Feb 13 2008	Construction	CONSTRUCTION BYJ D EARNEST INC
* Termination may be through the revocation of the exemption, expiration of the exemption, or invalidation by failure to re-issue the exemption.					

[Return to Query Form](#)

DIVISION OF WORKERS' COMPENSATION (800) 742-2214 or (850) 413-1601



Florida Department of Financial Services · Division of Workers' Compensation · 200 East Gaines Street · Tallahassee, Florida 32399-4228 · [Privacy Statement](#)



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

EARNEST, JOSEPH DONALD
CONSTRUCTION BY J D EARNEST INC
13908 DERBY DR
JACKSONVILLE FL 32250-1616

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CGC1510395 08/30/06 066002354
CERTIFIED GENERAL CONTRACTOR
EARNEST, JOSEPH DONALD
CONSTRUCTION BY J D EARNEST INC
IS CERTIFIED under the provisions of Ch. 489, FS.
Expiration date: AUG 31, 2008 L06083001836

DETACH HERE

AC# 2764283

STATE OF FLORIDA

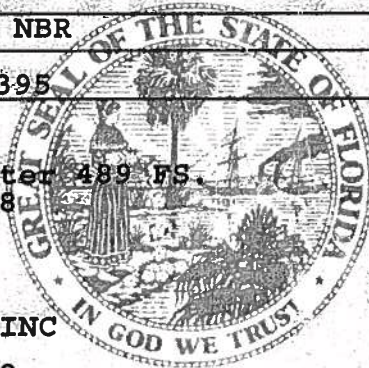
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06083001836

DATE	BATCH NUMBER	LICENSE NBR
08/30/2006	066002354	CGC1510395

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 2008

EARNEST, JOSEPH DONALD
CONSTRUCTION BY J D EARNEST INC
PO BOX 1081
OCALA FL 34478



JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

Columbia County Property Appraiser

DB Last Updated: 5/11/2007

Parcel: 15-7S-16-04226-121

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	DRANE JAMES R		
Site Address	SHILOH		
Mailing Address	2056 SW SHILOH STREET FT WHITE, FL 32038		
Use Desc. (code)	MOBILE HOM (000200)		
Neighborhood	15716.01	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	10.300 ACRES		
Description	COMM SE COR OF SEC, RUN W 642.77 FT, N 2004.67 FT FOR POB, CONT N 687.60 FT TO S R/W SHILOH RD, W 575 FT, SW 54 DEG 95.84 FT TO E R/W FRY RD, S 646.73 FT, E 654.41 FT TO POB. (AKA PARCEL 21 SHILOH RIDGE S/D UNREC) JTWRs ORB 824-1025, 856-667, 858-137,		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (2)	\$79,250.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$24,101.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$103,351.00

Just Value	\$103,351.00
Class Value	\$0.00
Assessed Value	\$103,351.00
Exempt Value	\$0.00
Total Taxable Value	\$103,351.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
5/1/1998	858/137	WD	V	Q		\$26,000.00
3/19/1998	856/667	CT	V	U	01	\$28,500.00
6/14/1996	824/1025	WD	V	Q		\$25,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1998	Mod Metal (25)	924	924	\$24,101.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	10.300 AC	1.00/1.00/1.00/1.00	\$7,500.00	\$77,250.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

BUYER'S CLOSING AFFIDAVIT

STATE OF FLORIDA
COUNTY OF

The undersigned, being first duly sworn, deposes and says that (they/he/she) are the purchasers of the real estate situated in the County of COLUMBIA, State of Florida, described as:

PARCEL NO. 21

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 15, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S 89° 07' 44" W ALONG THE SOUTH LINE OF SAID SECTION 15, 642.77 FEET, THENCE N 00° 50' 39" W. 2004.67 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N 00° 50' 39" W. 687.60 FEET TO THE SOUTH MAINTAINED RIGHT OF WAY LINE OF SHILOH ROAD, THENCE N 89° 35' 04" W ALONG SAID SOUTH RIGHT OF WAY LINE, 575.00 FEET, THENCE S 54° 34' 40" W. 95.84 FEET, TO THE EAST MAINTAINED RIGHT OF WAY LINE OF FRY ROAD, THENCE S 00° 47' 17" E ALONG SAID EAST RIGHT OF WAY LINE, 646.73 FEET, THENCE N 89° 04' 44" E. 654.41 FEET TO THE POINT OF BEGINNING.

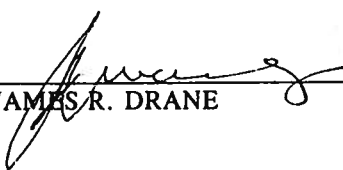
Affiant makes the following representations in conjunction with and to facilitate the completion and consummation of the pending sale/mortgage of the real estate referenced above (premises).

1. That there are no outstanding leases, contracts of sale, land contract options or equities of any kind not fully disclosed of record or unrecorded affecting the title to said real estate and that there are no parties in possession or entitled to possession other than the undersigned, to the buyers' knowledge, except:
2. That there are no court proceedings or disputes with any parties concerning the boundary lines of said premises; that there are no encroachments upon said premises from adjacent properties nor encroachments of any improvement located on subject real estate upon adjoining land, to the buyers' knowledge.
3. That there are no liens or encumbrances, such as judgment liens, judgments, tax liens, etc., against the purchasers known by Affiant that have not been properly disposed of on the settlement statement executed as a part of this transaction.
4. The present transaction is not made for the purpose of hindering, delaying or defrauding any creditors.
5. That the Affiant is the purchaser/mortgagor in this transaction and is of legal age and fully competent to encumber said premises.
6. That the Affiant further states that (they/he/she) is/are U.S. Citizen(s) or U.S. Resident alien(s) and is/are not a foreign person, foreign corporation, foreign partnership, foreign trust, or foreign estate (as those terms are defined in Section 1445 of the Internal Revenue Code and Income Tax Regulations).
7. If any of the Affiants is a partnership or corporation, its officials executing the documents, including this affidavit, are properly authorized to do so, and the partnership or corporation as well as its officials and the undersigned shall be bound by this affidavit.
8. The Affiant acknowledges payment in full of the contract price if the transaction is pursuant to a home purchase contract or a home construction contract.

9. Affiants further certify that their marital status and social security numbers are as follows:

Borrower 1	Borrower 2
Marital Status: <u>MARRIED</u>	Marital Status: _____
Social Security No. <u>543 559677</u>	Social Security No. _____

Affiants, each of them, are making and giving this affidavit for the purpose of the completion and consummation of the purchase and/or mortgage transaction for the premises, including without limitation: to induce the purchaser to pay the purchase price for the premises; to induce the lender to loan all or a portion of the purchase price to the purchaser; to induce Southeast Title Group, LLP, its agents and representatives to act as closing agent for the transaction, and to issue title insurance policies to the purchaser and/or lender respectively. Affiants further acknowledge that they/he/she have read the foregoing statements and representations and that the same are true and accurate to the best of the knowledge of the affiants and that such representations are important to the transaction and are being relied upon by the interested parties to this transaction. This affidavit is supplemental to any warranties contained in the instrument of conveyance.

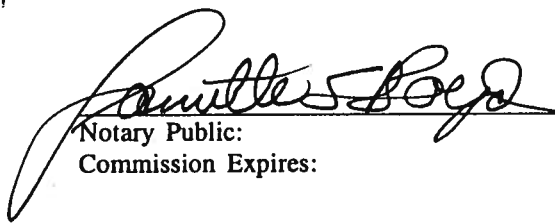


JAMES R. DRANE

Sworn to before me and subscribed in my presence this May 01, 1998, by JAMES R. DRANE

____ who is (are) personally known to me

X who produced identification in the form of DC



Notary Public:
Commission Expires:

U.S. Bankruptcy Court for the NORTHERN DISTRICT OF FLORIDA

227 N. Bronough St, Room 3120,
TALLAHASSEE FL 32301

In Re a Petition for Relief under Chapter 7 of Title 11, U.S. Code, filed by or against the below named Debtor on June 13, 2003:

Debtor: HERRING, JOAN MARIE of 4000 NW 51ST STREET, APT A-14, SSN: 508-86-6226

CASE NO. 03-00383-GVL1

**NOTICE OF NEED TO FILE PROOF OF CLAIM
DUE TO RECOVERY OF ASSETS**

NOTICE IS GIVEN THAT:

The initial notice in this case instructed creditors that it was not necessary to file a proof of claim. Since that notice was sent, assets have been recovered by the trustee.

Creditors who wish to share in any distribution of funds must file a proof of claim with the clerk of the bankruptcy court at the address above on or before

Date: December 15, 2003

Creditors who do not file a proof of claim on or before this date will not share in any distribution from the debtor's estate.

The proof of claim form is printed on the reverse side of this notice. It may be filed by regular mail. If you wish to receive proof of its receipt by the bankruptcy court, enclose a photocopy of the proof of claim together with a stamped, self-addressed envelope.

There is no fee for filing a proof of claim.

Any creditor who has filed a proof of claim already need not file another proof of claim.

William W. Blevins
Clerk of Court

By: Ada Andrews
Deputy Clerk

- how your future career plans might develop;
- what your income will be in the years before you retire;
- how much you can afford to save for your retirement;
- whether you have access to an occupational pension scheme; and
- if you are part of a family, you may want to think about your money for retirement jointly with your partner. But remember, family circumstances often change over the years.

The enclosed guide *Plan your retirement now* outlines some of the options available to you to help you build up your retirement income.

How we worked out your State Pension forecast

- We have looked at all the National Insurance contributions (NI contributions) you have paid (or been credited with) so far.
- We have taken account of any Home Responsibilities Protection you may have qualified for. See page 4 of the enclosed guide *A quick guide to State Pensions*.
- We have assumed that you will continue to pay (or be credited with) NI contributions on the same basis as the last year we have tax records for you until you reach State Pension age.
- If you have not paid enough NI contributions in at least one tax year but have been credited with NI contributions, the forecast will assume that before you reach State Pension age you will pay enough NI contributions in at least one tax year to be eligible for State Pension.
- If you are married, a civil partner, divorced, a person whose civil partnership has been dissolved, widowed or a surviving civil partner, you may be entitled to a higher State Pension based on your wife's or civil partner's NI contributions. We have not included this figure in the forecast.
- All amounts are shown at today's rates and are estimates of what you could get. The amounts shown may change if your circumstances change, or if there is a change in the law.
- State Pension includes basic State Pension and any additional State Pension you might be entitled to. (See the enclosed guide *A quick guide to State Pensions* for details about basic State Pension and additional State Pension.)
- We have not included any other income your household might get from any income-related benefits or Pension Credit. See page 7 in the enclosed guide *A quick guide to State Pensions*.
- The amount of additional State Pension shown may change if you have been a member of an occupational or personal pension scheme that has been contracted out.
- You may have received a forecast from us before. Forecasts can vary. If you are worried about any differences with past forecasts, phone us on 0845 3000 168.

(If we have your National Insurance information recorded incorrectly, your forecast may be wrong. If you think any of the information in this forecast is wrong, please let us know by phoning 0845 3000 168.)

Please have your National Insurance number to hand as it will help us answer your enquiry.

We hope this letter and the enclosed guides will help you plan to get the best from your retirement.
You can also find out more on our website at www.thepensionservice.gov.uk

— Yours sincerely,

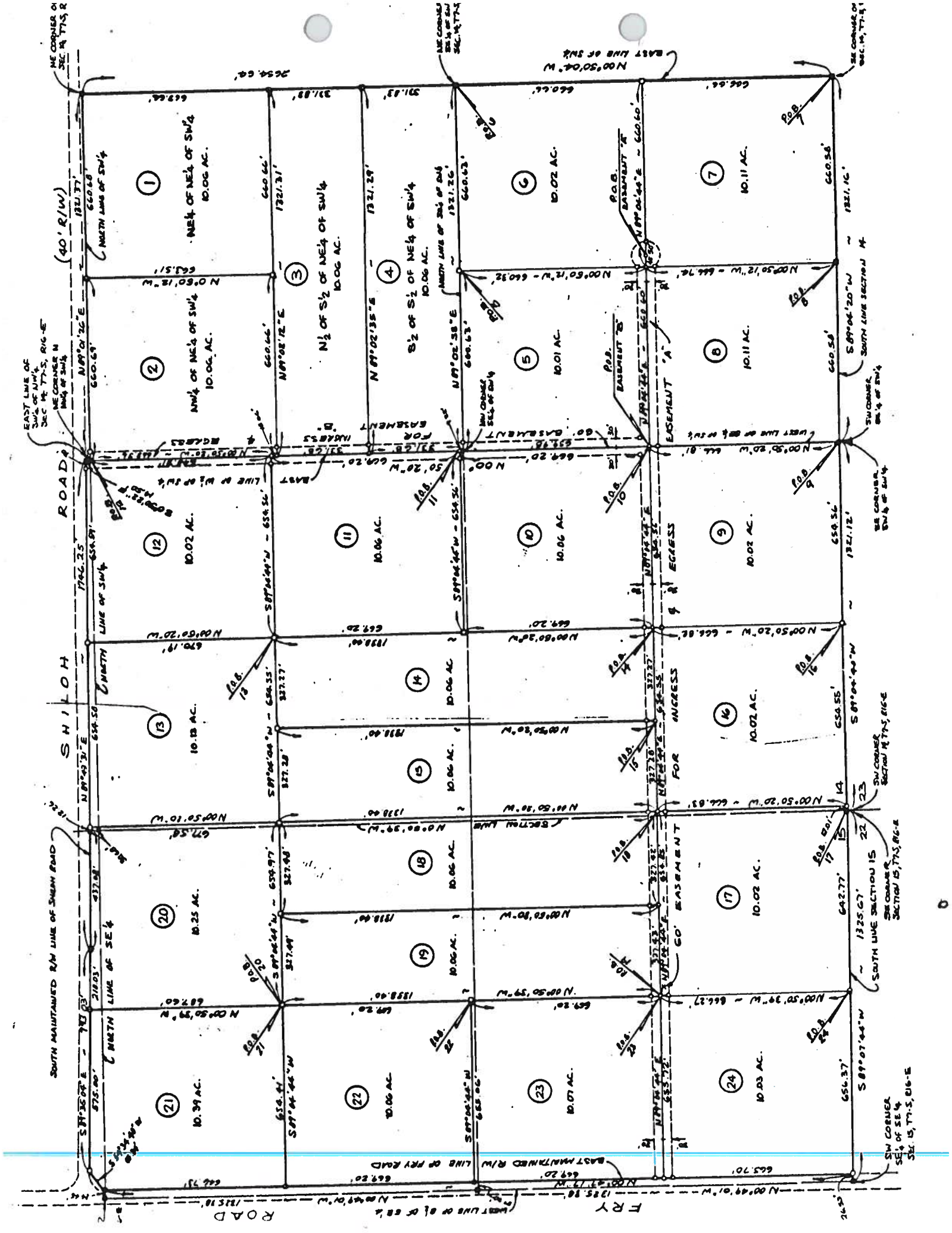
Denise Dawson
Pension Centre Manager

— PS Remember, no matter how far off retirement may be, acting today can make a big difference to
— your future.

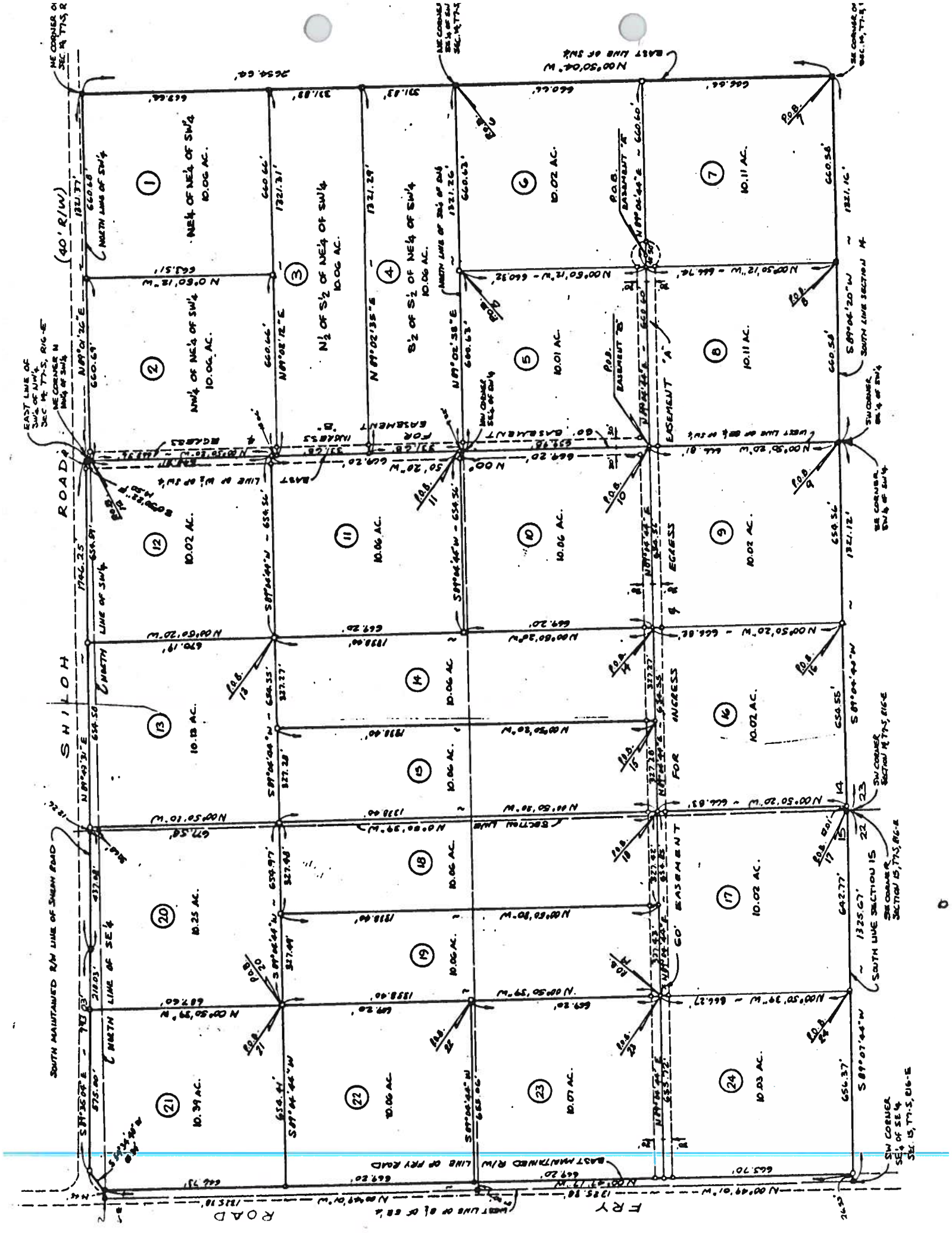
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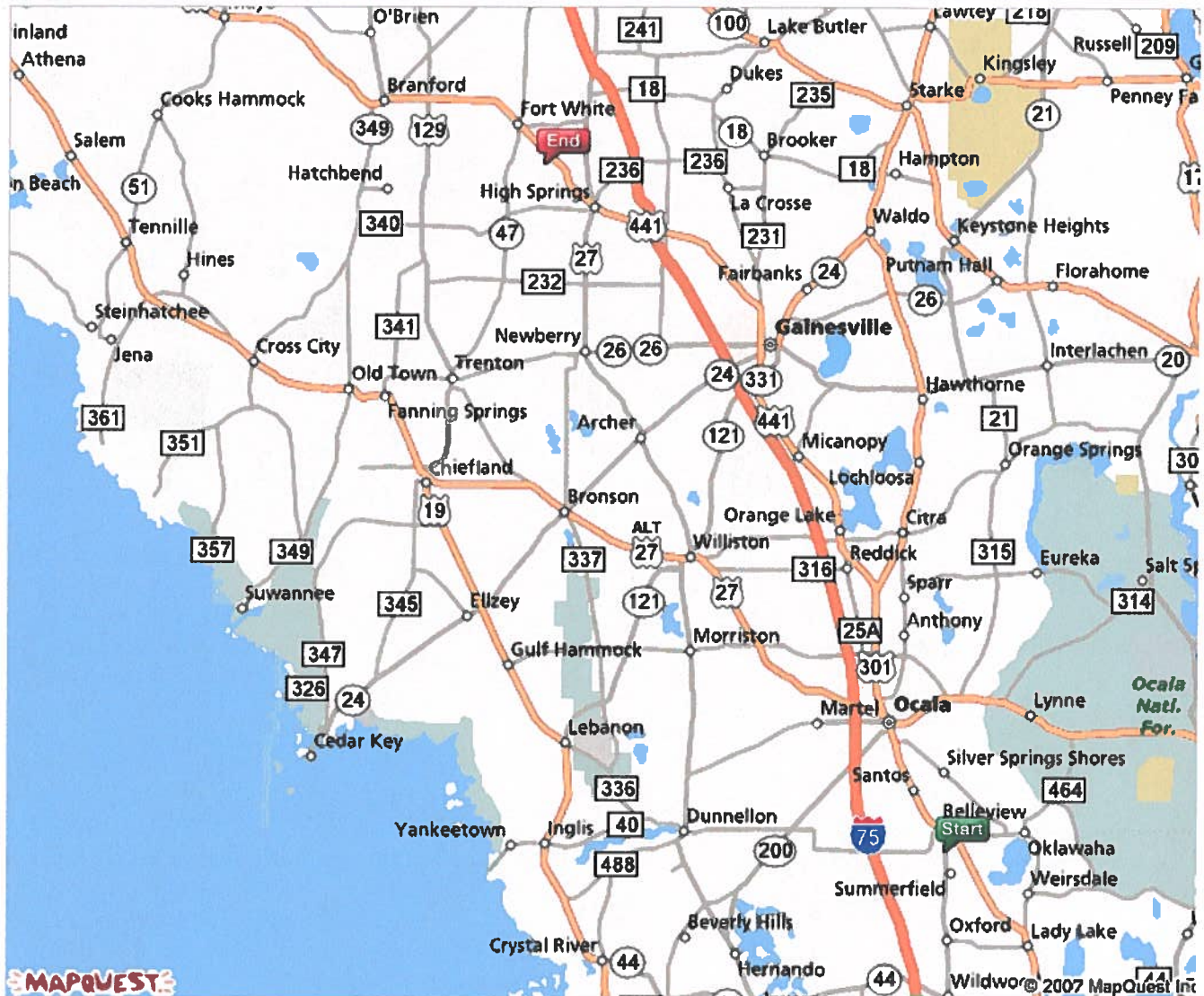
Survey map showing 24 numbered lots within a 40-acre tract. The map includes bearings, distances, and area measurements for each lot. Key features include a 'SHILOH ROAD' on the left, a 'FRY ROAD' at the bottom, and various easements and encroachments marked throughout the tract. The lots are numbered 1 through 24, with some lots having specific area measurements (e.g., 10.06 AC., 10.11 AC., 10.03 AC.). The map also shows the 'NORTH LINE OF SW 1/4' and 'EAST LINE OF SW 1/4' for the entire section.



Survey map showing 24 numbered lots within a 40-acre tract. The map includes bearings, distances, and area measurements for each lot. Key features include a 'SHILOH ROAD' on the left, a 'FRY ROAD' at the bottom, and various easements and encroachments marked throughout the tract. The lots are numbered 1 through 24, with some lots having specific area measurements (e.g., 10.06 AC., 10.11 AC., 10.03 AC.). The map also shows the 'NORTH LINE OF SW 1/4' and 'EAST LINE OF SW 1/4' for the entire section.



Sorry! When printing directly from the browser your map may be incorrectly cropped. To print the entire map, try clicking the **"Printer-Friendly"** link at the top of your results page.



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These directions are informational only. No representation is made or warranty given as to their content, road conditions or route usability or expeditiousness. User assumes all risk of use. MapQuest and its suppliers assume no responsibility for any loss or delay resulting from such use.

Prepared By And Return To:

SOUTHEAST TITLE GROUP, LLP

Address: 4421 NW 39th Avenue
Building 2, Suite 2
Gainesville, FL 32606

MORTGAGE DEED

THIS MORTGAGE DEED

Executed the 1st day of May, A.D. 1998 by JAMES R. DRANE, A Married MAN, hereinafter called the mortgagor to:

THE SHILOH RIDGE COMPANY
5345 ORTEGA BLVD., SUITE #7, JACKSONVILLE, FL 32210

hereinafter called the mortgagee:

Wherever used herein the terms "mortgagor" and "mortgagee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations; and the term "note" includes all the notes herein described if more than one.)

WITNESSETH, that for good and valuable considerations, and also in consideration of the aggregate sum named in the promissory note of even date herewith, hereinafter described, the mortgagor hereby grants, bargains, sells, aliens, remises, conveys and confirms unto the mortgagee all the certain land of which the mortgagor is now seized and in possession situated in COLUMBIA County, Florida, viz:

PARCEL NO. 21

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 15, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S 89° 07' 44" W ALONG THE SOUTH LINE OF SAID SECTION 15, 642.77 FEET, THENCE N 00° 50' 39" W. 2004.67 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N 00° 50' 39" W. 687.60 FEET TO THE

PRODUCT APPROVAL SPECIFICATION SHEET

Manufacturer: Palm Harbor Homes C9361-D **Plan #** 2402-D495F

As required by Florida Statute 553.8452 and Florida Administrative Code 9B-72, please provide the information and the product approval numbers(s) on the building components listed below if they will be utilized on the manufactured building for which you are applying for a DCA insignia. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category	Manufacturer	Product Description	Approval #(s)
EXTERIOR DOORS			
Swinging	Dunbarton	Exterior Doors	FL1766
Sliding	MI Home Products	Sliding Glass Door	FL561
9' SGD	MI Home Products	9' Sliding glass door	FL3319
Roll-up			
Automatic			
Other			
WINDOWS			
Single Hung	Kinro	Windows	F2863
Horizontal Slider			
Casement			
Double Hung			
Fixed			
Awning			
Pass-through			
Projected			
Mullion			
Wind Breaker			
Dual Action			
Other			
PANEL WALL			
Siding opt 1	Stylecrest	Triple 3 Vinyl Siding	FL2246
Siding opt 2			
Soffits			
Storefronts			
Curtain Walls			
Wall Louver			
Glass Block			
Membrane			
Greenhouse			
Other			

Category	Manufacturer	Product Description	Approval #(s)
ROOFING PRODUCTS			
Asphalt Shingles	GAF	Asphalt Shingles	FL3524
Underlayments	Tamko	Asphalt Felt	FL1481.5
Roofing Fasteners	Senco	Roofing and Shingle Nails	F1667
Non-structural Metal			
Built-up Roofing			
Modified Bitumen			
Single Ply Roofing Sys.			
Roofing Tiles			
Roofing Insulation			
Waterproofing			
Wood Shingles / Shakes			
Roofing Slate			
Liquid Applied Roof Sys.			
Cements – Adhesives – coatings	Tampro	Wet & Dry Cold Process	F1479.2 F1479.3
Roof Tile Adhesives			
Spray Applied Polyurethane Roof			
Other			
SHUTTERS			
Accordion			
Bahama			
Storm Panels			
Colonial			
Roll-up			
Equipment			
Other			
SKYLIGHTS			
Skylight			
Other			
STRUCTURAL COMPONENTS			
Wood Connector/Anchor	Simpson	Rafter Wall Connectors	FL2355
Truss Plates			
Engineered Lumber			
Railing			
Coolers & Freezers			
Concrete Admixtures			
Material			

APPLICATION ENGINEERING FOR HEATING AND COOLING

PALM HARBOR HOMES - PLANT #9
609 S. Frontage Rd.
Plant City, FL 33566

Manufacturer's Model #: C9361-D(1ST)
HVAC System Type: OVERHEAD GRAD FLEX FOR UP-FLOW (SPLIT A/C)

Prepared By LaSalle-Air Systems 08/16/06 (Method & Output C 2006)
All rights reserved: this information proprietary to LaSalle Bristol Co. & clients.

Calculations on this page are based on design parameters set forth in ASHRAE and ACCA Manuals J and D.
Design calculations are based on worst case orientation. Room loads may vary based on actual conditions.

ENTIRE HOUSE VALUES - DESIGN ZONE: FL- DCA

COOLING LOAD: 17,987 BTUh based on outside temp of 96°F with inside temp reduced to 75°F.
HEATING LOAD: 20,323 BTUh based on outside temp of 19°F with inside temp raised to 70°F.

CONSTRUCTION DETAILS & U FACTORS

OVERALL HOME SIZE:	40.00 X 30.00	TOTAL FLOOR AREA:	1,095.00 s.f.
AVG CEILING HEIGHT:	96.00 in.	ROOF:	0.000 FLOOR DUCTS: 0.000
TRUE OUTSIDE PERIMETER:	140.00 ft	WALLS:	0.062 CEILING DUCTS: 0.167
NET WALL AREA:	956.50 s.f.	FLOOR:	0.069 EXTERNAL DUCTS: 0.125
TOTAL WINDOW1 AREA:	103.50 s.f.	WINDOW1:	0.480 CLG DUCT AREA: 54.8 s.f.
TOTAL WINDOW2 AREA:	0.00 s.f.	WINDOW2:	0.490 EXT DUCT AREA: 0.0 s.f.
WINDOW, % of floor:	9.45%	DOORS:	0.280 PEOPLE: 3
TOTAL DOOR AREA:	60.00 s.f.	LAT.GAIN:	2487.0 DUCT GAIN/LOSS: 1409.1/1847.5
			SUM/WIN INFIL: 73.1/146.3 cfm

ROOM BY ROOM VALUES

Heat loss, heat gain and CFM requirements based on cooling equipment design standards.

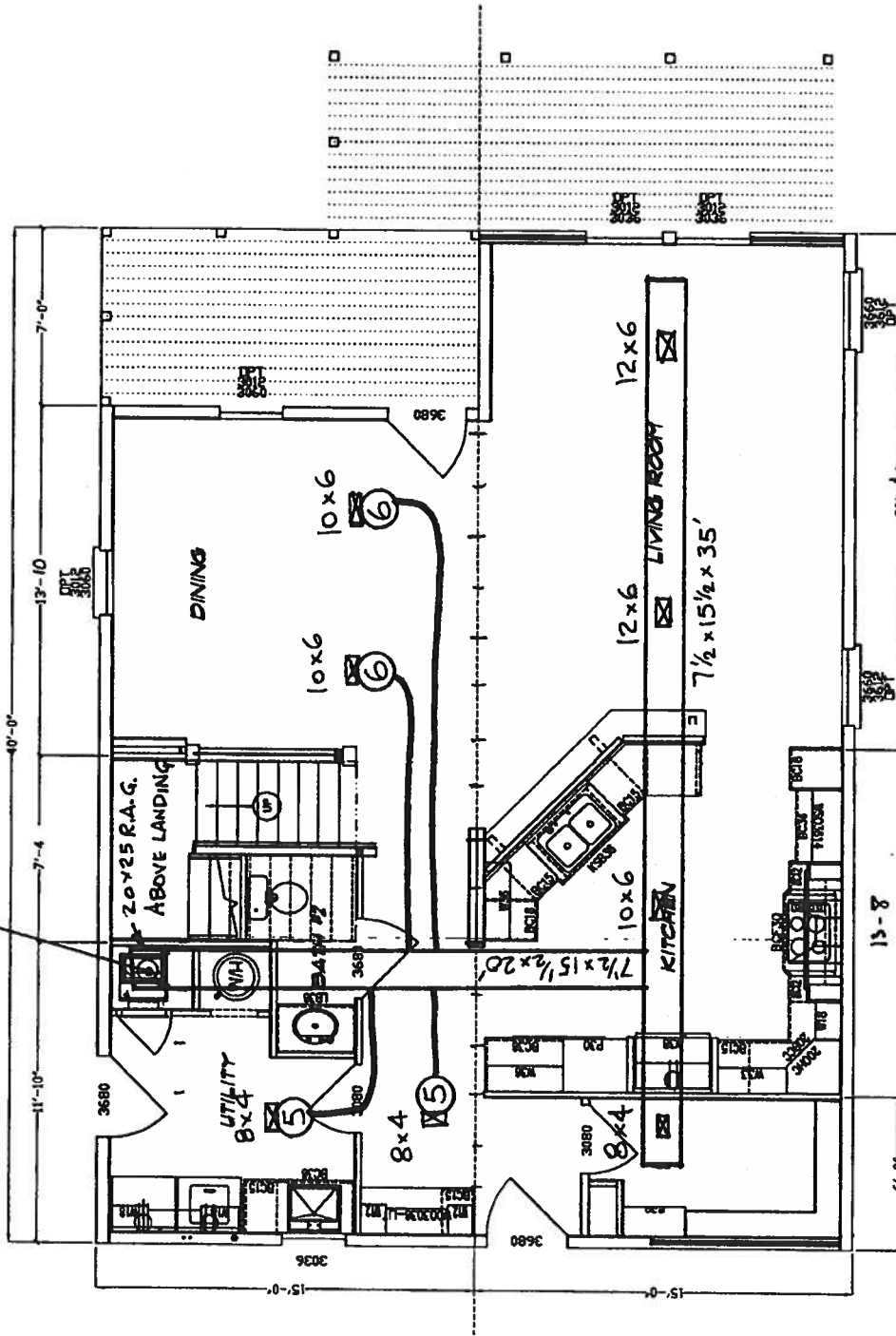
Duct design values when connected to standard residential equipment.

Maximum A/C capacity per MHCS 3280.715(a)(3) Calibrated Blower Test @ .30 in. W.C.

ROOM NAME	HEATING BTUh LOSS	COOLING BTUh GAIN	CFM DIST	CFM	COOLING BTUh	CFM	COOLING BTUh
Kitchen	2,112	798	25	81	2,426	86	2,870
Living Room	7,028	9,137	286	194	5,828	211	7,035
DINING ROOM	4,595	4,702	147	182	5,450	225	7,490
STAIRS	1,133	428	13	0	0	0	0
UTILITY	2,674	1,798	56	62	1,859	72	2,415
HALL	1,353	536	17	62	1,859	72	2,415
PANTRY	1,428	588	18	64	1,922	79	2,625
TOTALS:	20,323	17,987	563	645	19,341	746	24,850

Failure to install heating or cooling equipment that produces the Total Design CFM for this house may result in an unbalanced duct system.

12" RISER
FROM TOP OF DUCT TO ATTIC



FIRST STORY

R-30-11-11

res for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 140 mph.
 a mirror image about the axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
 any location without re-approval. The Florida Energy Calculations shall be revised to include the added bottom windows
 airsealed).
 Exposure "C".
 a mean roof height of 25 feet for 130 mph applications and 30 feet for 140 mph applications.
 oes bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
 h AAMA / MWWDA 101 / LS 2-97
 undation and is NOT a HUD building.
 Ron (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed
 kage for additional notes and requirements.
 acted to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).

Project Number		C9361-D		Page Count/Sheet		Floor Plan	
Project City	RC	Model Name	CATALINA	Project City	RC	Model Name	CATALINA
Date	08/29/08	Date	08/29/08	Date	08/29/08	Date	08/29/08
Scale	3/16" = 1'-0"	Scale	3/16" = 1'-0"	Scale	3/16" = 1'-0"	Scale	3/16" = 1'-0"
Project Name		Florida Modular		Project Name		Florida Modular	
Project Number		HWC-Plan Number		Project Number		HWC-Plan Number	
140 mph		140 mph		140 mph		140 mph	
FP-3		FP-3		FP-3		FP-3	

Robert E. Gregg
 Registered Architect
 1000 Ocean Blvd.
 Clearwater, Florida 34616
 Phone: 727.788.8714
 Fax: 727.788.8714

Third Party:
 Hilborn, Werner, Carter
 and Associates (HWC)
 1627 South Myrtle Ave.
 Clearwater, Florida 34616

605 South Frontage Road
 Plant City, FL 33563

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APPLICATION ENGINEERING FOR HEATING AND COOLING

PALM HARBOR HOMES - PLANT #9
609 S. Frontage Rd.
Plant City, FL 33566

Manufacturer's Model #: C9361-D(2ND)
HVAC System Type: OVERHEAD GRAD FLEX FOR UP-FLOW (SPLIT A/C)

Prepared By LaSalle-Air Systems 08/16/06 (Method & Output C 2006)
All rights reserved: this information proprietary to LaSalle Bristol Co. & clients.

Calculations on this page are based on design parameters set forth in ASHRAE and ACCA Manuals J and D.
Design calculations are based on worst case orientation. Room loads may vary based on actual conditions.

ENTIRE HOUSE VALUES - DESIGN ZONE: FL- DCA

COOLING LOAD: 21,062 BTUh based on outside temp of 96°F with inside temp reduced to 75°F.
HEATING LOAD: 19,314 BTUh based on outside temp of 19°F with inside temp raised to 70°F.

CONSTRUCTION DETAILS & U FACTORS

OVERALL HOME SIZE:	40.00 X 30.00	TOTAL FLOOR AREA:	1,200.00 s.f.
AVG CEILING HEIGHT:	96.00 in.	ROOF:	0.033
TRUE OUTSIDE PERIMETER:	140.00 ft	WALLS:	0.062
NET WALL AREA:	980.08 s.f.	FLOOR:	0.000
TOTAL WINDOW1 AREA:	99.92 s.f.	WINDOW1:	0.480
TOTAL WINDOW2 AREA:	40.00 s.f.	WINDOW2:	0.490
WINDOW, % of floor:	11.66%	DOORS:	0.280
TOTAL DOOR AREA:	0.00 s.f.	LAT.GAIN:	2725.4
		FLOOR DUCTS:	0.000
		CEILING DUCTS:	0.167
		EXTERNAL DUCTS:	0.125
		CLG DUCT AREA:	52.1 s.f.
		EXT DUCT AREA:	0.0 s.f.
		PEOPLE:	3
		DUCT GAIN/LOSS:	1667.0/1755.8
		SUM/WIN INFIL:	80.2/160.3 cfm

ROOM BY ROOM VALUES

Heat loss, heat gain and CFM requirements based on cooling equipment design standards.

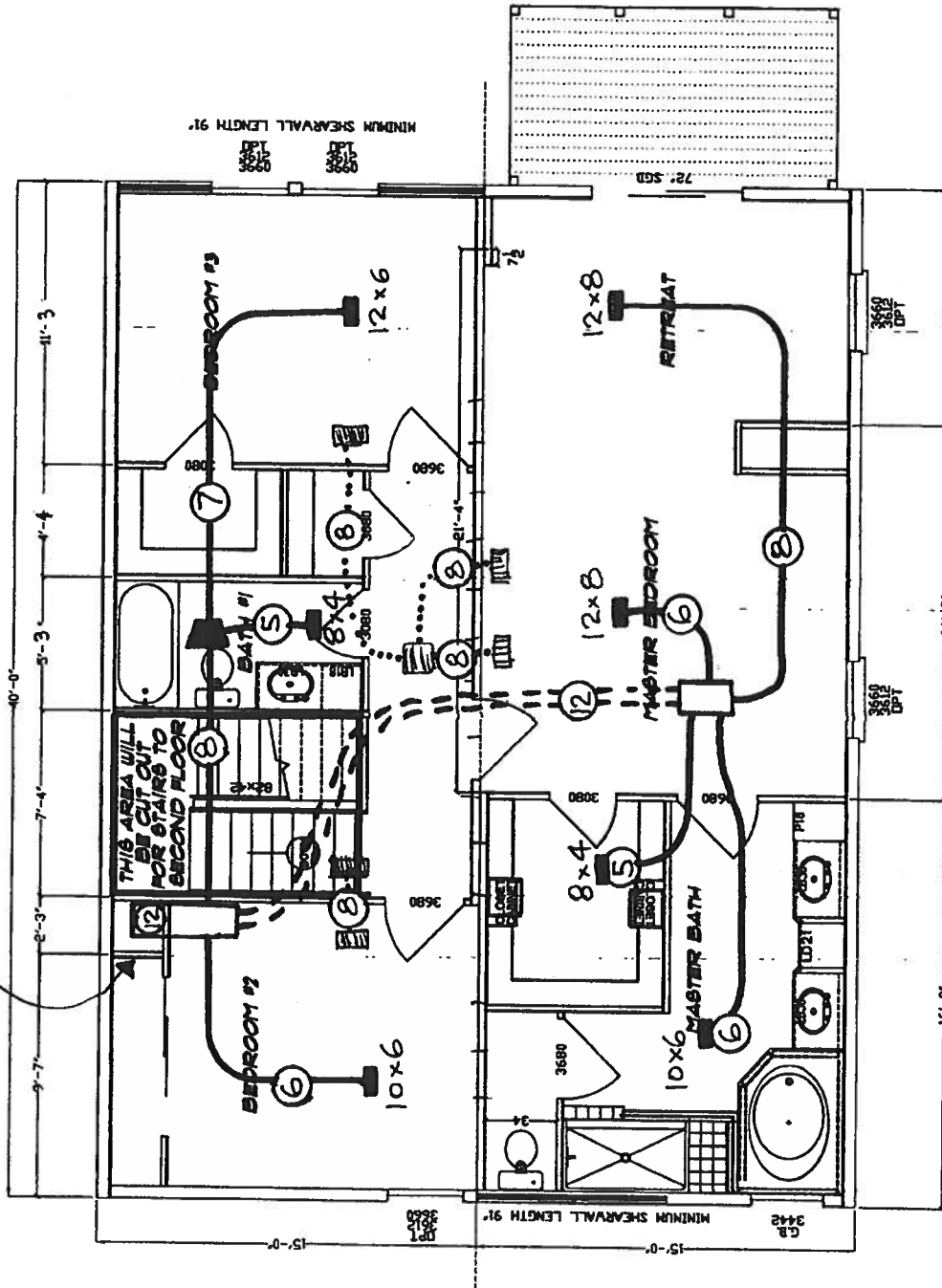
Duct design values when connected to standard residential equipment.

Maximum A/C capacity per MHCSS 3280.715(a)(3) Calibrated Blower Test @ .30 in. W.C.

ROOM NAME	HEATING BTUh LOSS	COOLING BTUh GAIN	CFM DIST	CFM	COOLING BTUh	CFM	COOLING BTUh
BEDROOM #2	3,070	2,957	105	108	3,240	117	3,900
STAIRS	836	439	16	0	0	0	0
BATH #1	598	314	11	45	1,350	57	1,900
BEDROOM #3	4,363	5,094	181	157	4,710	170	5,667
RETREAT	4,754	7,120	254	215	6,450	240	8,000
M. BEDROOM	2,537	2,790	99	108	3,240	117	3,900
M. BATH	3,156	2,348	84	142	4,260	145	4,833
TOTALS:	19,314	21,062	750	775	23,250	846	28,200

Failure to install heating or cooling equipment that produces the Total Design CFM for this house may result in an unbalanced duct system.

LEAVE ACCESS TO CONNECT THRU FLOOR ON-SITE



SECOND STORY

R-30-11-11

See for up to (and including) 130 mph and 18" o.c. roof trusses for up to (and including) 140 mph.
 minor image about 1/2" x 1/2" without any re-approval of the plans (Building may be "tipped" side to side and/or front to rear).
 any location without re-approval. The Florida Energy Calculators shall be revised to include the added horizontal windows
 installed.
 mean roof height of 25 feet for 130 mph applications and 30 feet for 140 mph applications.
 44 bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
 AAMA / NWMA 101 / I.S.2.37
 addition and is NOT a HUD building.
 ion (100" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed
 age for additional codes and requirements.
 sed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).

Robert E. Gregg
 Registered Architect
 1321 Cleveland Street
 Clearwater, Florida 34616
 Phone: 727.796.8774
 FAX: 727.791.5842
 Third Party:
 Hibdon, Warner, Carter
 Associates (HWC)
 1827 South Myrtle Ave.
 Clearwater, Florida 34616

Palm Harbor Homes
 805 South Frontage Road
 Plant City, FL 33563
 © COPYRIGHT 2004

Project Number		Floor Plan	
C9361-D	RC	CATALINA	140 mph
Owner By	0000006	Florida Modular	HWC-Plan Number
Date	3/18/04		
Scale	3/16" = 1'-0"		
Drawn By			
Checked By			
Project Name			
Project Location			
Project Description			
Project Number			

2603 NW 74TH PLACE • GAINESVILLE, FLORIDA 32653 • PHONE: (352) 372-1274 • FAX: (352) 372-2721

COLUMBIA COUNTY OFFICE ALBANY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 15-7S-16-04226-121

Building permit No. 000026147

Use Classification MODULAR, UTILITY

Fire: 0.00

Permit Holder JAMES DRANE

Waste:

Owner of Building JAMES DRANE

Total: 0.00

Location: 2056 SW SHILOH ST, FT. WHITE, FL



Date: 11/28/2007

Tracy Dicks

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



SITE NAVIGATION



Home

Course
AccreditationFlorida
Building
CodeManufact.
BuildingsPrototype
Building

Surcharges



Training

Product
ApprovalLicense
SearchMailing
ListFBC
Florida
Building
Commission

MANUFACTURED BLDGS

Plan's Detail

Overview

Plans

Insignias

Organization
Search

Code Version:

2004

Plan Tracking #:

20849 -R1

Agency Plan #:

1R-2102-0495F

Status:

Submitted

Manufacturer:

Palm Harbor Homes, Inc. - PC

Building Type:

Manufactured Buildings

Construction Type:

VI

Occupancy:

Residential

Allowable # of Floors:

2

Wind Velocity:

140 mph

Fire Rating of Exterior Walls:

0 hrs

Maximum Floor Load:

Live: 40 psf Dead: 10 psf

Roof Load:

Live: 20 psf Dead: 12 psf

"U" Rating of Floor, Wall, and Roof:

.09,.09,.033

Modules per Building:

4

Square Footage:

2400

Approved for Hurricane Protection Usage:

☐ Yes ☒ No

Designed for use as a Hurricane Public Shelter:

☐ Yes ☒ No

Plan Comments:

R-3 W/06 Supplement
1R Plans approved by
HWC Engineering on 1-18-
07.

Agency To Review:

Hilborn Werner Carter And Assoc., Inc.

Date Entered:

01/23/2007

Original Plan Tracking #:

20849

Attached Files

Date	File
01/23/2007	plan_20849_R1_1R-2102-0495F.pdf

[Review results](#)

New

New Modification

Cancel

Clear

Attach File

Update

FILE COPY



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ENGINEERING • INSPECTIONS
CERTIFICATIONS • TESTING

January 18, 2007

Palm Harbor
605 South Frontage Road
Plant City, FL 33566

RE: Manufacturer: Palm Harbor Homes
S/N Size & Occupancy C9361-D, 30' X 40', 2-story, R-3
HWC Plan#: 1R-2102-0495F

To Whom It May Concern:

This is to certify that the plans for the referenced manufactured building have been reviewed and approved as being in compliance with the 2004 Florida Codes and Standards, with 2006 supplement, as noted on the approved drawings, subject to the following limitations:

1. Approval covers factory-built structure only (Note: Any alterations to factory built structure on site voids state approval)
2. Items installed at the site are subject to review, approval, and inspection by the local authority having jurisdiction.
3. The Chapter 633 Plan Review and Inspection shall be conducted by the local fire safety inspector.
4. Signed and sealed plans shall be on file with HWC Engineering.
5. NOT approved for High Velocity Hurricane Zone (i.e., Broward and Dade Counties).

Sincerely,

HILBORN, WERNER, CARTER & ASSOCIATES, INC.



Plan Reviewer

HILBORN, WERNER, CARTER AND ASSOCIATES, INC.

1627 SOUTH MYRTLE AVENUE CLEARWATER, FLORIDA 33756

(727) 584-8151

FAX: (727) 586-3343 / (727) 585-2392 / (727) 587-0447
Modular Dapla Inspection

LISTING
AGENCY
APPROVAL

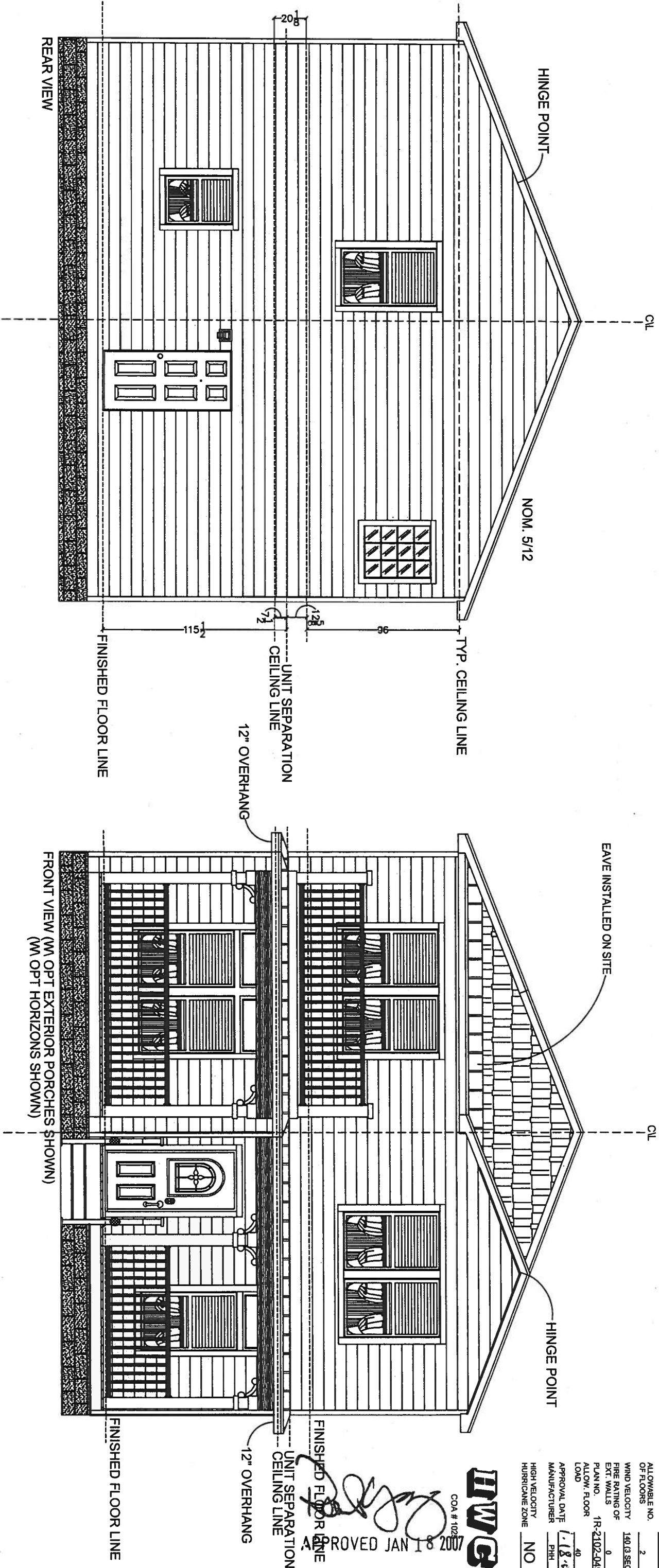
These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	2
WIND VELOCITY	140 (3 SEC.)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	1R-2102-0495F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	1-18-07
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1027

APPROVED JAN 18 2007



REAR VIEW

FRONT VIEW (W/ OPT EXTERIOR PORCHES SHOWN)
(W/ OPT HORIZONS SHOWN)

- Notes:
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
 2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
 3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
 4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
 5. This building may be mirrored about the length of it's axis without any re-approval
(may be "flipped" from side-to-side and/or front-to-rear).

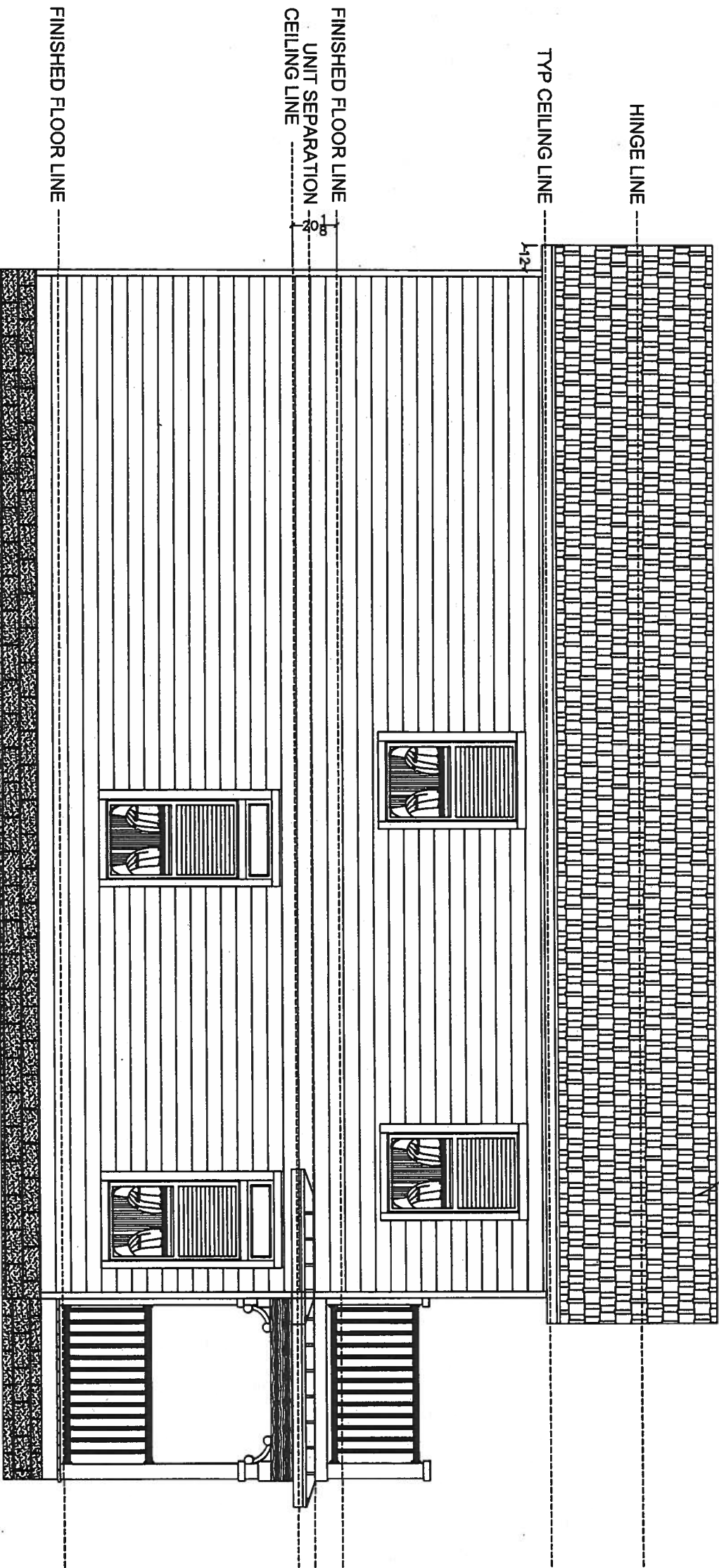
These details and plans are confidential and proprietary materials. These materials are provided to the recipient for specific purposes and shall not be copied or otherwise reproduced and/or distributed to others for any purposes other than intended by PHH

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FAX: 727.781.0542

Third Party:
Hilborn, Weimer, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33756

Palm
Harbor
Homes
605 South Frontage Road
Plant City, FL 33563
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Model Number:	C9361-D	Page Description:	Exterior Elevations
Drawn By:	RC	Model Name:	CATALINA
Date:	08/10/06	Model Design Code:	140 mph
Scale:	3/4" = 1'-0"	Florida Modular	1R-2102-0495F
Date:		Revision Log	
		Description of Revision	
		Name	
			FP-2



NOM. 5/12

These prints comply with the Florida
Manufactured Building Act of 1978 Construction
Code and adhere to the following criteria:

LISTING
AGENCY
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APPROVED JAN 18 2007

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR LOAD 40
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY HURRICANE ZONE NO



COA # 1025

Model Number C9361-D Exterior Elevations

Drawn By RC Model Name CATALINA Model Design Char. 140 mph

Date: 08/10/06 Florida Modular 1R-2102-0495F

Scale: 3/4" = 1'-0"

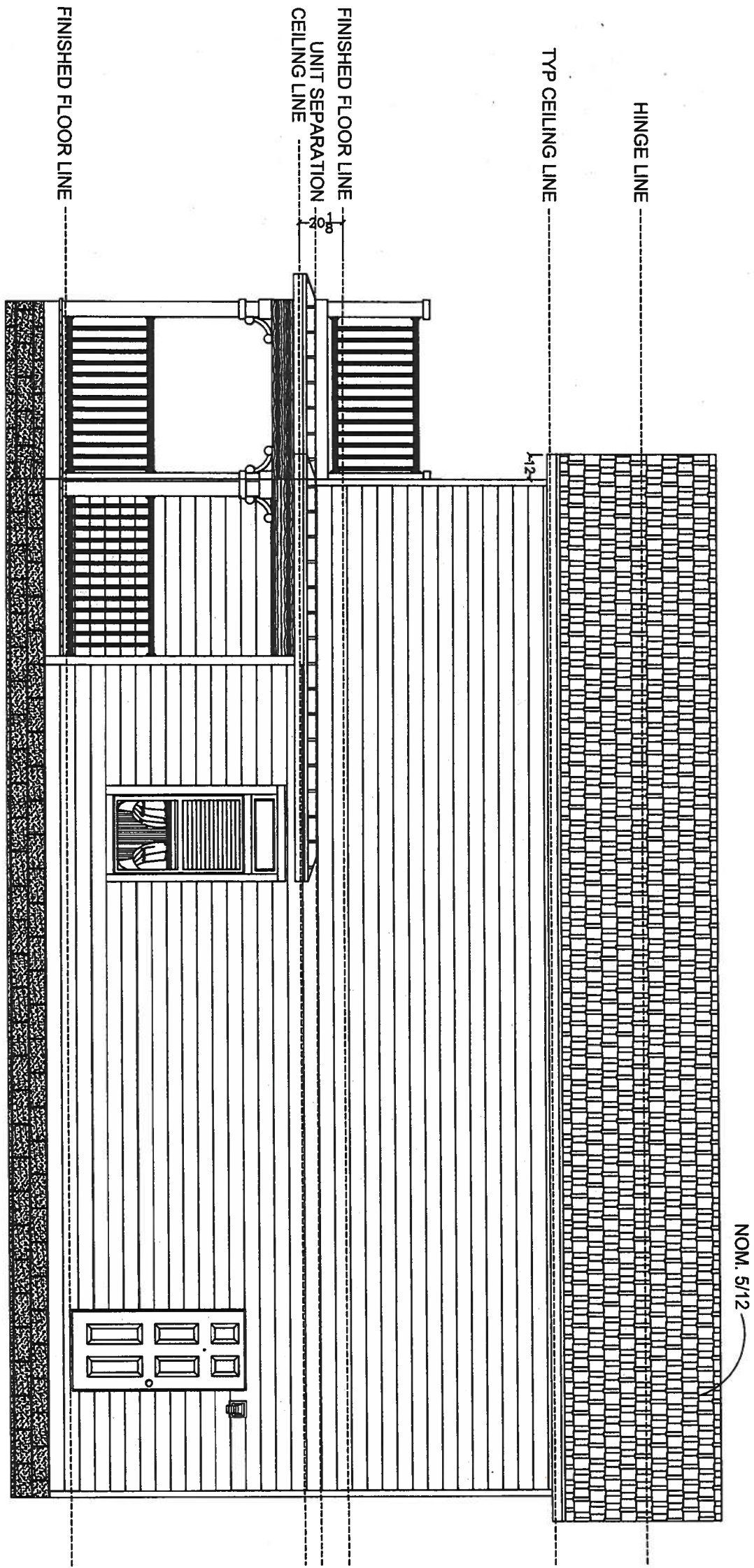
Readers Log Description of Revision Name

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Third Party:
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Clearwater, Florida 33756

- Notes:
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
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 5. This building may be mirrored about the length of it's axis without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).



RIGHT VIEW (W/ OPT HORIZONS SHOWN)
(W/ OPT EXTERIOR PORCHES SHOWN)

LISTING
AGENCY
APPROVAL

APPROVED JAN 18 2007

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR LOAD 40
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY HURRICANE ZONE NO



COA # 1025

Notes:

1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.

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Clearwater, Florida 33756

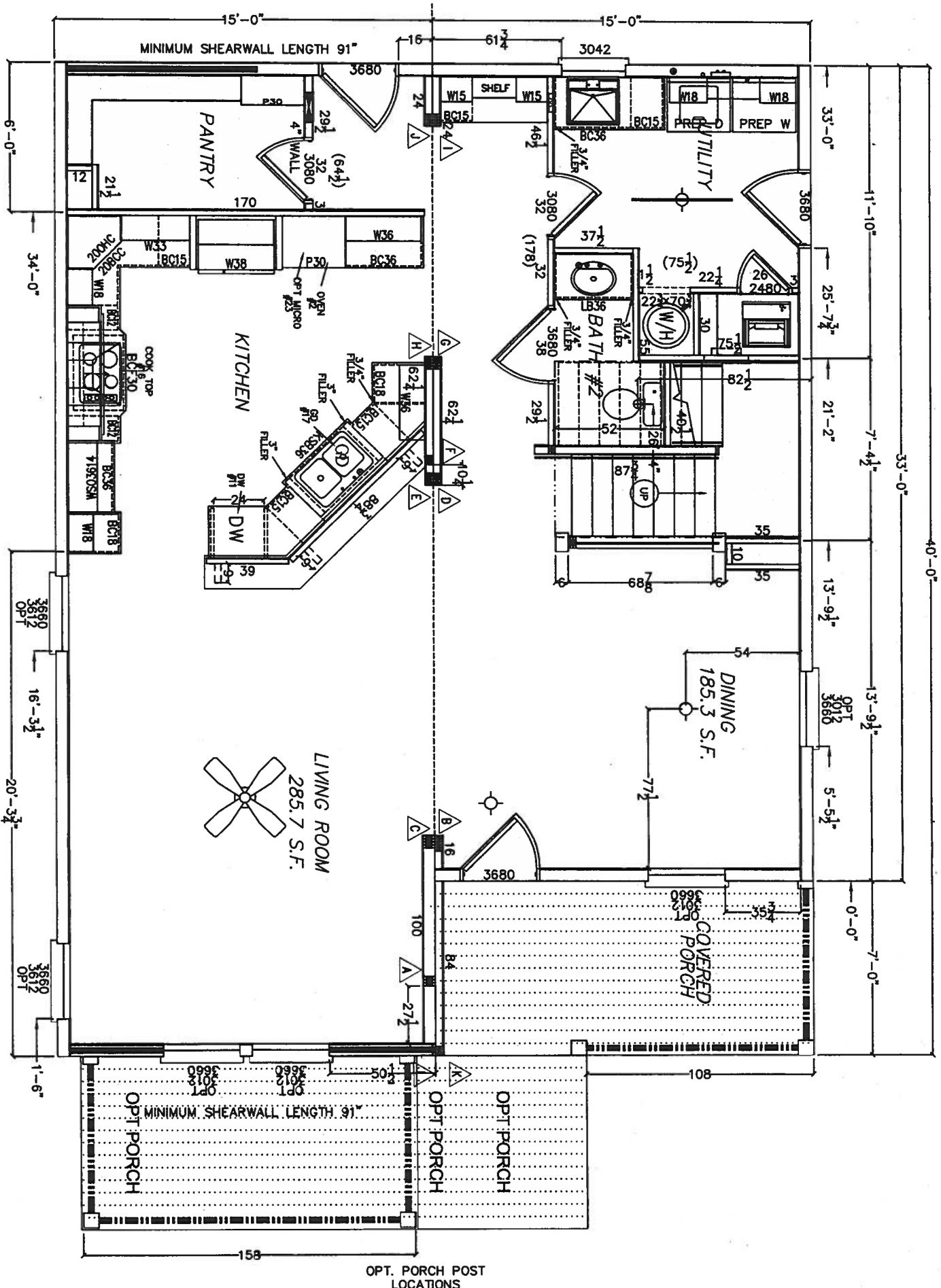
605 South Frontage Road
Plant City, FL 33563

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Model Number		Page Description	
C9361-D		Exterior Elevations	
Drawn By: RC	Model Name: CATALINA	Model Design Criteria:	
Date: 08/10/06	Florida Modular	140 mph	
Scale: 3/16" = 1'-0"		1R-2102-0495F	FP-2.2
Date:	Description of Elevation:	Name:	

General Notes:

1. Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 140 mph.
2. The building may be constructed in an exact mirror image about it's axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum shearwall requirements shall be maintained).
4. All designs and calculations are based on Exposure "C".
5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 140 mph applications.
6. Minimum corridor width is 36".
7. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
8. Windows, glass and doors shall comply with AAMA / NWDA 101 / LS-2-97.
9. This building is designed for a permanent foundation and is NOT a HUD building.
10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed.
11. Please refer to the cover sheet of this package for additional notes and requirements.
12. This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).



FIRST STORY

COLUMNS 2nd STORY					
ROOF LOAD: 20 PSF WIND SPEED: 140 MPH					
NO.	26 GA STRAP	TYPE	NUM	LENGTH SIZE	FLOOR SPAN
1	4	1	3	105 2x4	180 20'-8"
2	4	1	3	105 2x4	180 20'-8"

COLUMNS 1st STORY					
ROOF LOAD: 20 PSF WIND SPEED: 140 MPH					
NO.	26 GA STRAP	TYPE	NUM	LENGTH SIZE	FLOOR SPAN
A	1	1	3	105 2x6	180 0'-0"
B	3	1	5	105 2x4	180 14'-2"
C	3	1	4	105 2x6	180 14'-2"
D	3	1	4	105 2x4	180 14'-2"
E	3	1	4	105 2x4	180 14'-2"
F	1	1	3	105 2x4	180 0'-0"
G	2	1	4	105 2x4	180 9'-3"
H	2	1	4	105 2x4	180 9'-3"
I	2	1	4	105 2x4	180 9'-3"
J	2	1	4	105 2x4	180 9'-3"
K	2	1	3	105 2x4	180 6'-8"
L	2	2	1	105 2x6	180 5'-8"

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APPROVED JAN 2007

These plans comply with the Florida
Manufactured Building Act of 1978 Construction
Code and adhere to the following criteria:

96	SIDEWALLS MAX HEIGHT
108	MATEWALLS
150	MPH
600	SQ. FEET A.C. UNIT C
600	SQ. FEET A.C. UNIT D
1200	SQ. FEET AC TOTAL

96	SIDEWALLS MAX HEIGHT
108	MATEWALLS
150	MPH
495	SQ. FEET A.C. UNIT A
600	SQ. FEET A.C. UNIT B
1095	SQ. FEET AC TOTAL
105	SQ. FEET PORCH
1200	SQ. FEET TOTAL

UWG
COA # 1025

FIRST STORY

Model Number: C9361-D

Floor Plan

CATALINA

Florida Modular

1R-2102-0495F

605 South Frontage Road
Plant City, FL 33563

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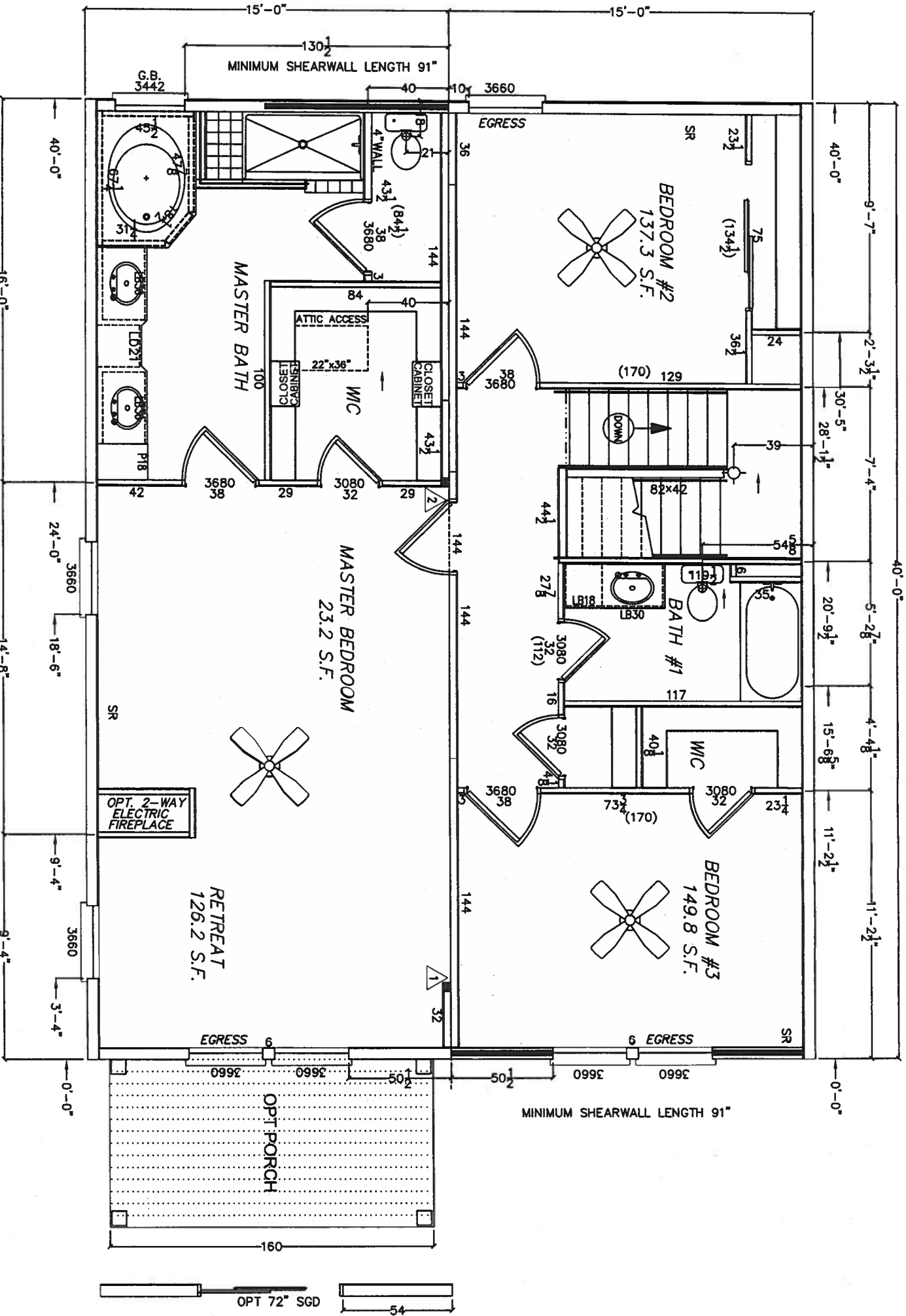


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General Notes:

1. Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 140 mph.
2. The building may be constructed in an exact mirror image about it's axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
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4. All designs and calculations are based on Exposure "C".
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6. Minimum corridor width is 36".
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8. Windows, glass and doors shall comply with AAMA / NWWDA 101 / I.S.2-.97
9. This building is designed for a permanent foundation and is NOT a HUD building.
10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed.
11. Please refer to the cover sheet of this package for additional notes and requirements.
12. This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).



SECOND STORY

96	SIDEWALLS MAX HEIGHT
108	MATEWALLS
150	MPH
600	SQ. FEET A.C. UNIT C
600	SQ. FEET A.C. UNIT D
1200	SQ. FEET AC TOTAL

96	SIDEWALLS MAX HEIGHT
108	MATEWALLS
150	MPH
495	SQ. FEET A.C. UNIT A
600	SQ. FEET A.C. UNIT B
1095	SQ. FEET AC TOTAL
105	SQ. FEET PORCH
1200	SQ. FEET TOTAL

These prints comply with the Florida Manufactured Building Act of 1975 Construction Code and adhere to the following criteria:

CONST. TYPE _____ V8
OCCUPANCY _____ R-3
ALLOWABLE NO. OF FLOORS _____ 2
WIND VELOCITY _____ 140 (3 SEC)
FIRE RATING OF EXT. WALLS _____ 0
PLAN NO. _____ 1R-2102-0495F
ALLOW. FLOOR LOAD _____ 40
APPROVAL DATE _____ 1/18/07
MANUFACTURER _____ PHH
HIGH VELOCITY HURRICANE ZONE _____ NO

COA # 1025

LISTING AGENCY APPROVAL
APPROVED JAN 18 2007

SECOND STORY

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Palm Harbor Homes
605 South Frontage Road
Plant City, FL 33563
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Model Number:	C9361-D	Page Description:	Floor Plan
Drawn By:	RC	Model Name:	CATALINA
Date:	08/09/06	Revision Log	140 mph
Scale:	3/16" = 1'-0"	Description of Revision	1R-2102-0495F
Date:		Name	FP-3.1

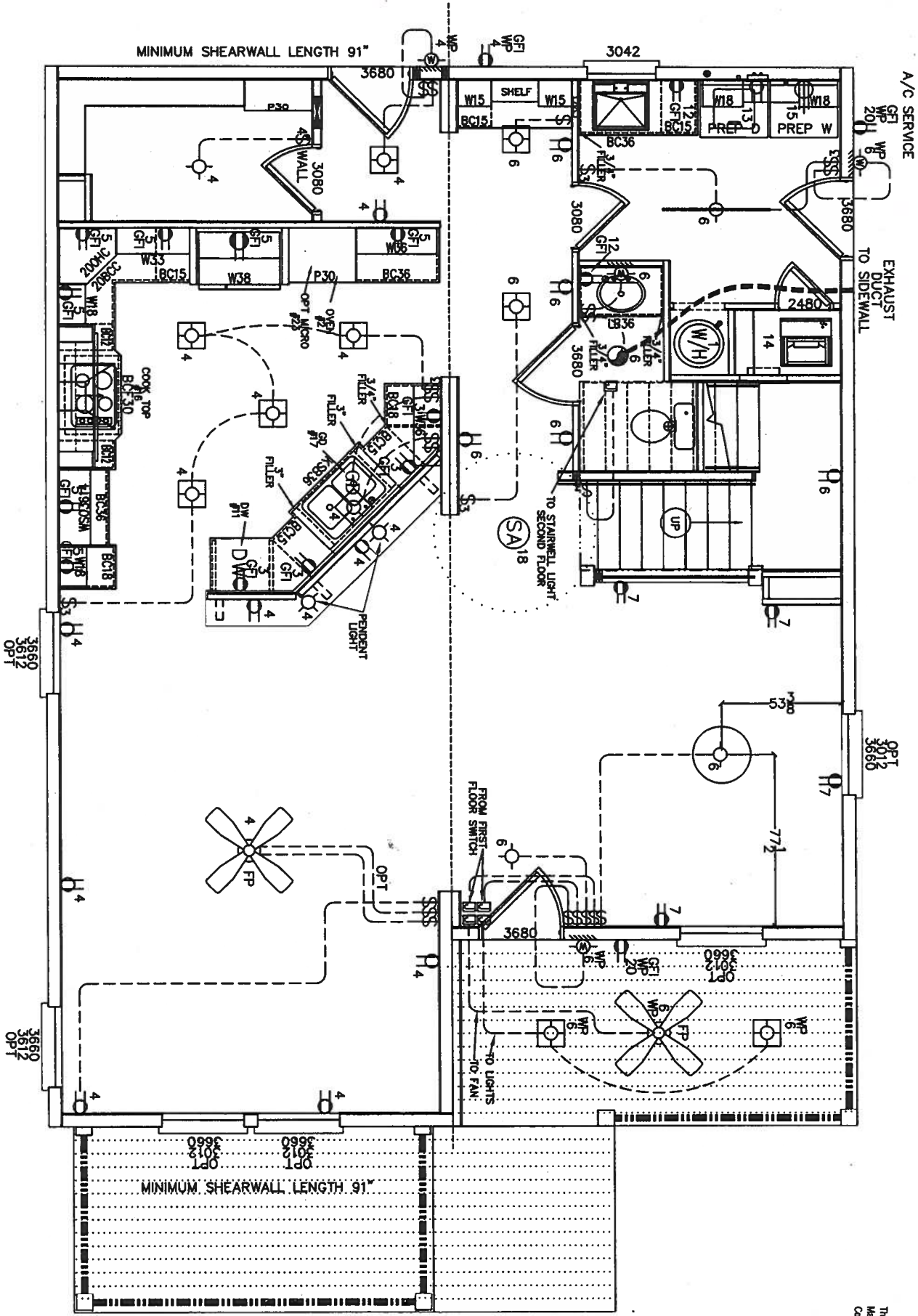
LISTING
AGENCY
APPROVAL

These notes comply with the Florida
Manufactured Building Act of 1979. Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 140 (3 SECT)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR LOAD 40
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY HURRICANE ZONE NO

COA # 1025

APPROVED JAN 18 2007



MAIN BREAKER
200 AMP

AF = ARC FAULT

AMP WIRE SIZE	DESCRIPTION	CIR. NO.	PANEL SPACE	CIR. NO.	DESCRIPTION	AMP. WIRE SIZE
25	WATER HEATER (4500W/240V)	1	*	2	RANGE OR OVEN	PER MFG
20 12-2*	APPLIANCE	3	*	4 AF	GEN. LIGHTING	15 14-2*
20 12-2*	APPLIANCE	5	*	6 AF	GEN. LIGHTING	15 14-2*
20 12-2*	APPLIANCE	7	*	8 AF	GEN. LIGHTING	15 14-2*
20 12-2*	APPLIANCE	9	*	10 AF	GEN. LIGHTING	15 14-2*
15 14-2*	OPT. D.W.	11	*	12	BATH G.F.I.	20 12-2*
20 12-2*	LAUNDRY	13	*	14	OPT. ELECTRIC HEAT-A/C	PER MFG
30 10-3*	CLOTHES DRYER	15	*	16	COOK-TOP	PER MFG
15 14-2*	OPT. DISPOSAL	17	*	18 AF	SMOKE DETECTOR	15 14-3*
20 12-2*	OPT. FREEZER	19	*	20	EXTERIOR GFI	20 12-2*
15 14-2*	OPT. JACUZZI G.F.I.	21	*	24 AF	GEN. LIGHTING	15 14-2*
20 12-2*	OPT. MICROWAVE	23	*	28 AF	GEN. LIGHTING	15 14-2*
20 12-2*	OPT DISP 1/2 HRS	25	*			

GENERAL LIGHTING	MAIN PANEL BOX	\$	SWITCH	EXHAUST-CEIL'G FAN
SMALL APPLIANCE	WALL MOUNTED FIXTURE	\$3	3-WAY SWITCH	HEAT TAPE RECEPT
GFI PROTECTED	CEILING MOUNTED FIXTURE	RECESS	RECESSED FLUORESCENT	LIGHTED EXHAUST-CEIL'G FAN
240V APPLIANCE	WHOLE HOUSE FAN			OPT CEILING FAN PREP.
SMOKE ALARM	THERMOSTAT			
RECESSED LIGHT				

FIRST STORY

Electrical Layout

Model Number: C9361-D

Model Name: CATALINA

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

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Model Designation: 1R-2102-0495F

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Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph

Model Designation: 1R-2102-0495F

Model Designation: FP-4

Model Designation: 140 mph</

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	2
WIND VELOCITY	140 (3 SEC)
FIRE RATING OF EXT. WALLS	1R-2102-0495F
PLAN NO.	1R-2102-0495F
ALLOW. FLOOR LOAD	
APPROVAL DATE	1/18/07
MANUFACTURER	PHI
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1025

APPROVED JAN 18 2007

200 AMP PANEL

PANEL SIZING

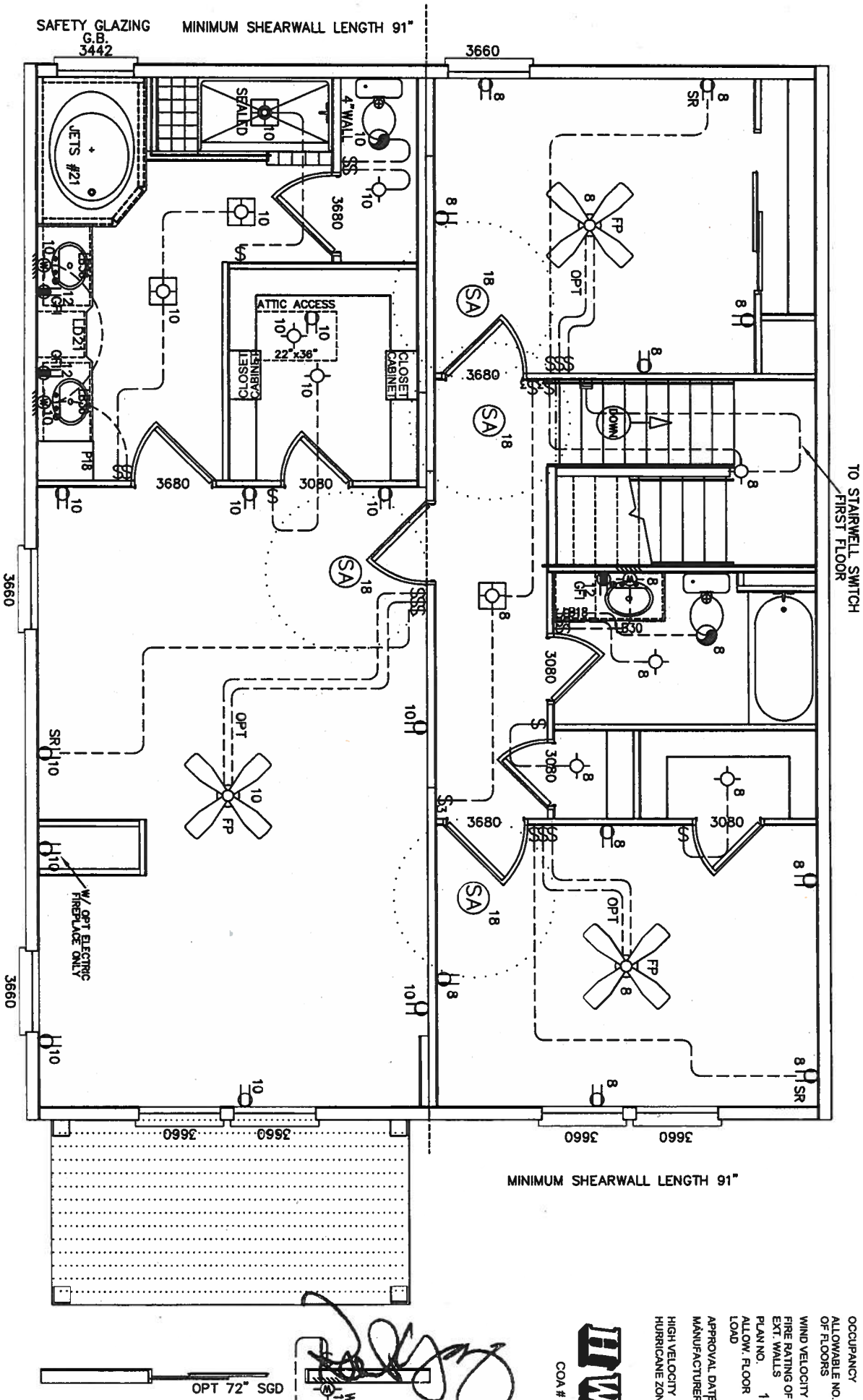
DESCRIPTION	KVA
FLOOR AREA (2295 SF x 3 VA.) / 1000 =	6.9 KVA
(3) SMALL APPLIANCES AT 1500 VA. / 1000 =	4.5 KVA
COOK TOP AT 8.0 KW. =	8.0 KVA
WATER HEATER AT 5.5 KW. =	5.5 KVA
DISHWASHER AT 1.4 KW. = Opt	1.4 KVA
WASHER AT 1500 VA. / 1000 =	1.5 KVA
DRYER AT 5.0 KW. =	5.0 KVA
GARBAGE DISPOSAL AT 1.4 KW. =	1.4 KVA
WALL OVEN AT 8.0 K.W. =	8.0 KVA
MICROWAVE AT 1500 VA. / 1000 =	1.5 KVA
OPT FREEZER AT 1500 VA. / 1000 =	0.0 KVA
OPT JACUZZI AT 1500 VA. / 1000 =	1.5 KVA
TOTAL LOAD	45.2 KVA
FIRST 10 KVA AT 100%	10.0 KVA
REMAINDER AT 40%	14.1 KVA
HVAC AT 100% ASSUMED	15.8 KVA
TOTAL	39.9
TOTAL	240

NOTE:
LOCAL SITE ELECTRIC/HVAC CONTRACTOR
TO VERIFY ADEQUACY OF HVAC ELECT.
INSTALL 200 MIN
AMP PANEL
120/240 V., 1ø

MAIN BREAKER 200 AMP

AMP. WIRE SIZE	DESCRIPTION	CIR. NO.	PANEL SPACE	CIR. NO.	DESCRIPTION	AMP. WIRE SIZE
25	WATER HEATER (4500W/240V)	1	*	2	RANGE OR OVEN	PER MFG
20 12-2*	APPLIANCE	3	*	4	GEN. LIGHTING	15 14-2*
20 12-2*	APPLIANCE	5	*	6	GEN. LIGHTING	15 14-2*
20 12-2*	APPLIANCE	7	*	8 AF	GEN. LIGHTING	15 14-2*
20 12-2*	APPLIANCE	9	*	10 AF	GEN. LIGHTING	15 14-2*
15 14-2*	OPT. D.W.	11	*	12	BATH G.F.I.	20 12-2*
20 12-2*	LAUNDRY	13	*			
30 2 10-3*	CLOTHES DRYER	15	*	14	OPT. ELECTRIC HEAT-A/C	PER MFG
15 14-2*	OPT. DISPOSAL	17	*	16	COOK-TOP	PER MFG
20 12-2*	OPT. FREEZER	19	*	18 AF	SMOKE DETECTOR	15 14-3*
15 14-2*	OPT JACUZZI G.F.I.	21	*	20	EXTERIOR GFI	20 12-2*
20 12-2*	OPT MICROVAE	23	*	24 AF	GEN. LIGHTING	15 14-2*
20 12-2*	OPT DISP 1/2 HRS	25	*	26 AF	GEN. LIGHTING	15 14-2*

AF = ARC FAULT



SECOND STORY

Electrical Layout

Model Number: C9361-D

Model Name: CATALINA

Model Design Code: 140 mph

Scale: 3/16" = 1'-0"

Revision Log

Drawn By: RC

Date: 08/15/06

Florida Modular

1R-2102-0495F

FP-4.1



605 South Frontage Road
Plant City, FL 33563

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Robert E. Gregg
Registered Architect
630 Chastain Street
Clearwater, Florida 33756
Phone: 727.786.8774
Fax: 727.781.6942

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33756

Electrical Notes:

1. All circuits and equipment shall be installed and grounded in accordance with the applicable articles of the National Electrical Code (NEC) that is adopted by the State of Florida, at the time of construction of the building.
2. Where light fixtures are installed in closets, they shall be surface mounted or recessed. Incandescent fixtures shall have completely enclosed lamps. Surface mounted incandescent fixtures shall have a minimum clearance of 12 inches and all other fixtures shall have a minimum clearance of 6 inches from any flammable material as defined by NEC 210.8(B).
3. All wiring shall be installed in accordance with the applicable articles of the NEC and shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
4. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
5. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
6. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
7. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
8. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
9. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
10. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
11. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
12. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
13. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
14. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
15. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
16. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
17. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.
18. All wiring shall be installed in a manner that will not be a fire hazard. All wiring shall be installed in a manner that will not be a fire hazard.

LISTING
AGENCY
APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1973 Construction
Code and adhere to the following criteria:

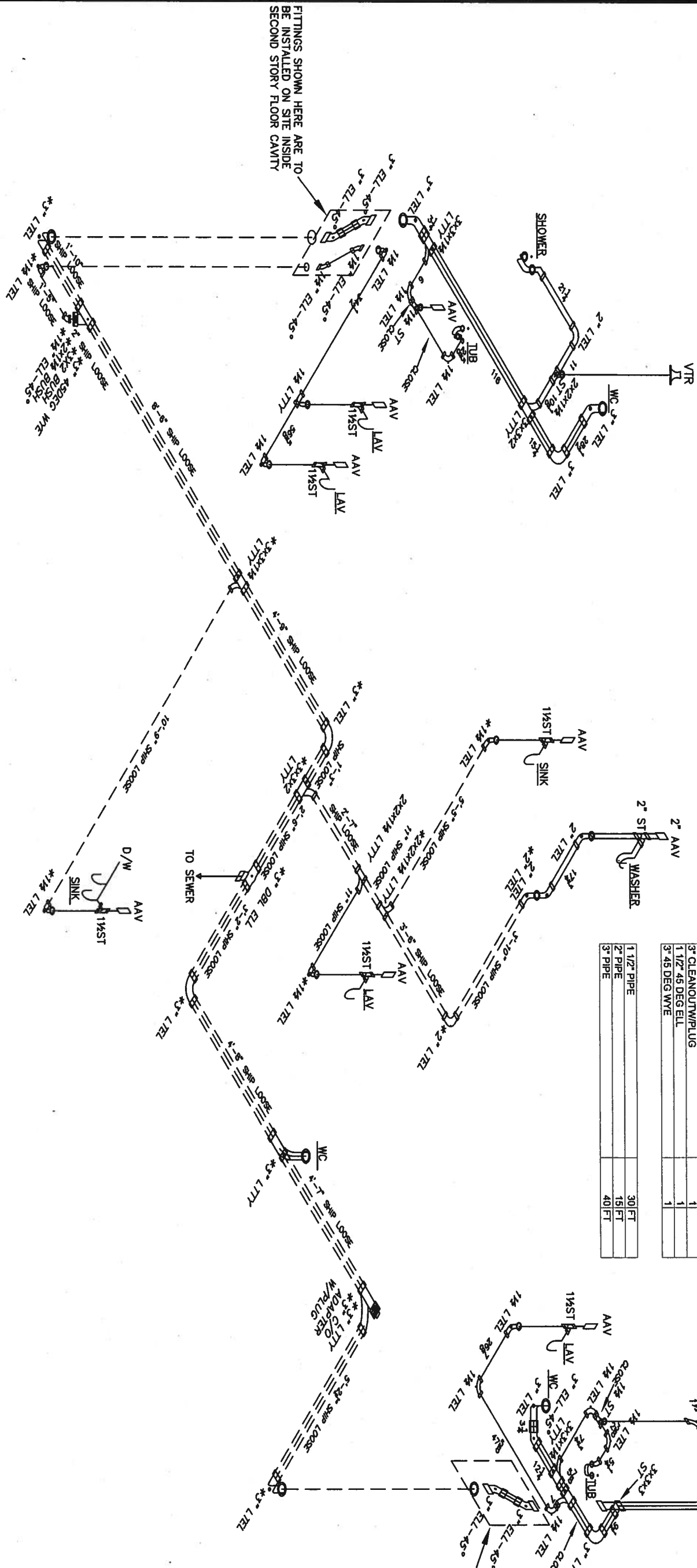
CONST. TYPE	V/B
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	2
WIND VELOCITY	140 (3 SEC)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	1R-2102-0495F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	1/18/07
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



APPROVED JAN 18 2007

FITTINGS SHOWN HERE ARE TO
BE INSTALLED ON SITE INSIDE
SECOND STORY FLOOR CAVITY

DWV PIPING IS CPVC SCHEDULE 40
AAV=AIR ADMITTANCE VALVE
3" PIPE
2" PIPE
1 1/2" PIPE



SHIP LOOSE FITTINGS		MODEL	C9361-D
DESCRIPTION	QUANTITY	CHK	
1 1/2" LITEL	2		0
2" LITEL	2		
2x2x1 1/2" LTTY	1		
3" LITEL	4		
3" LTTY	2		
3x3x1x1/2 LTTY	1		
3x3x2 LTTY	1		
3x3x3 DOUBLE ELL	1		
3" CLEANOUT/PLUG	1		
1 1/2" 45 DEG ELL	1		
3" 45 DEG WYE	1		

1 1/2" PIPE	30 FT
2" PIPE	15 FT
3" PIPE	40 FT

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Fax: 727.781.8942

605 South Frontage Road
Plant City, FL 33563

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Model Number
C9361-D

Model Name
CATALINA

Model Design Criteria
140 mph
1R-2102-0495F

Drain Lines

FP-5

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33756

Drawn By
RC

Date
08/16/06

Scale
N.T.S.

Revision Log

Revision 1: 08/16/06

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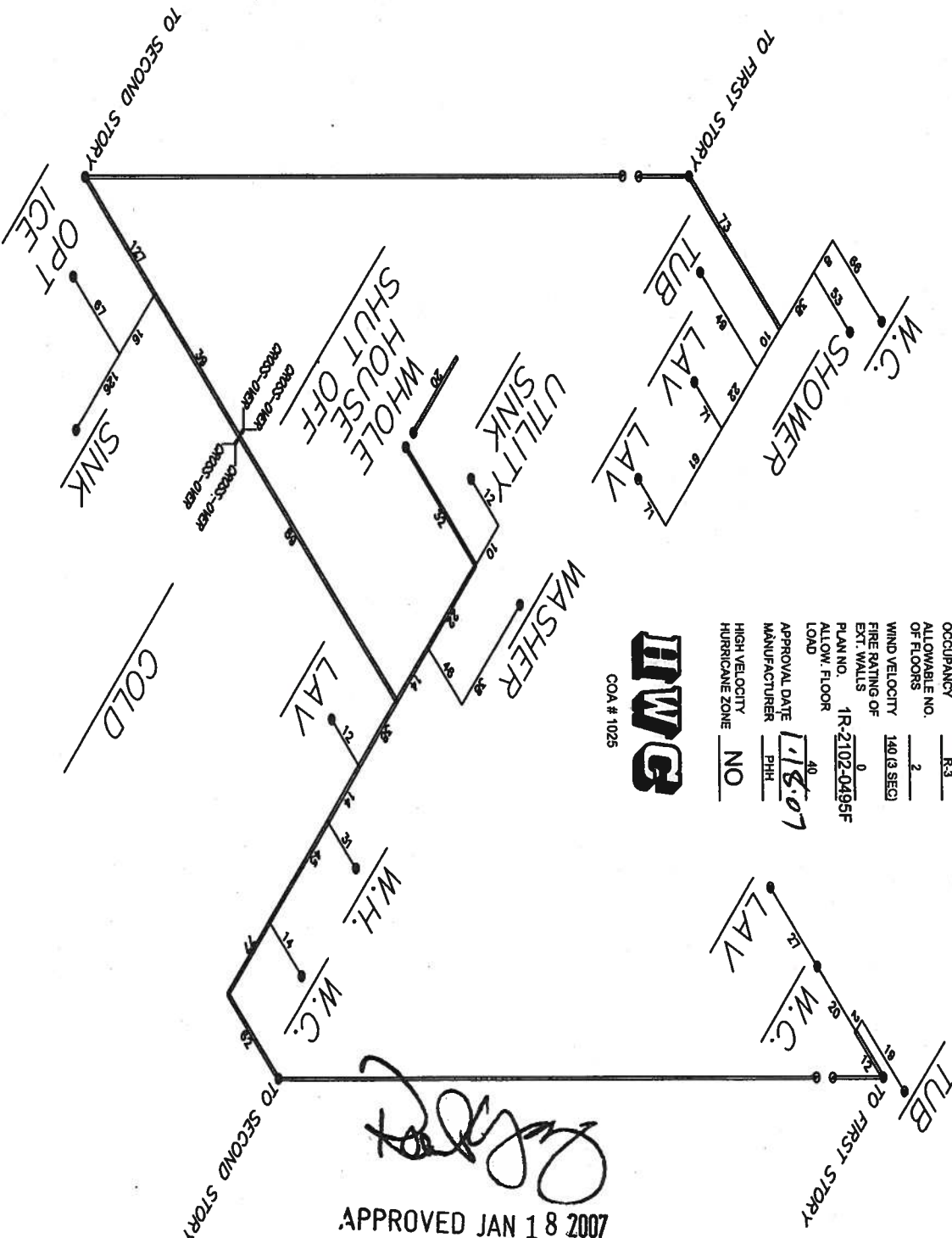
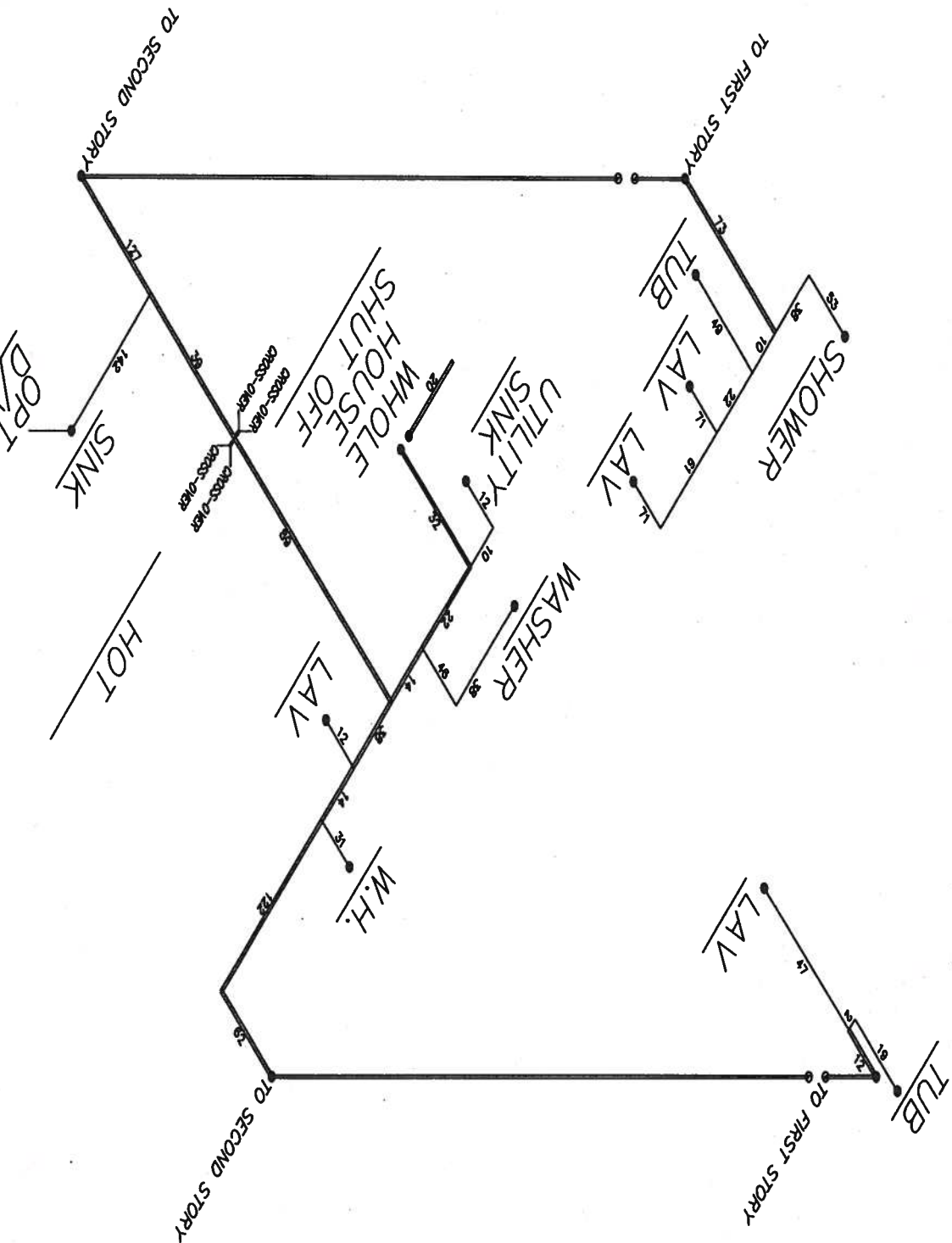
LISTING
AGENCY
APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. 2
OF FLOORS
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF 0
EXT. WALLS
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR
LOAD
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY
HURRICANE ZONE NO



APPROVED JAN 18 2007



ALL WATER LINES ARE TO
BE SECURED 32" O.C.

ALL DIMENSIONS
ARE CUT LENGTHS
1/2" PIPE
3/4" PIPE

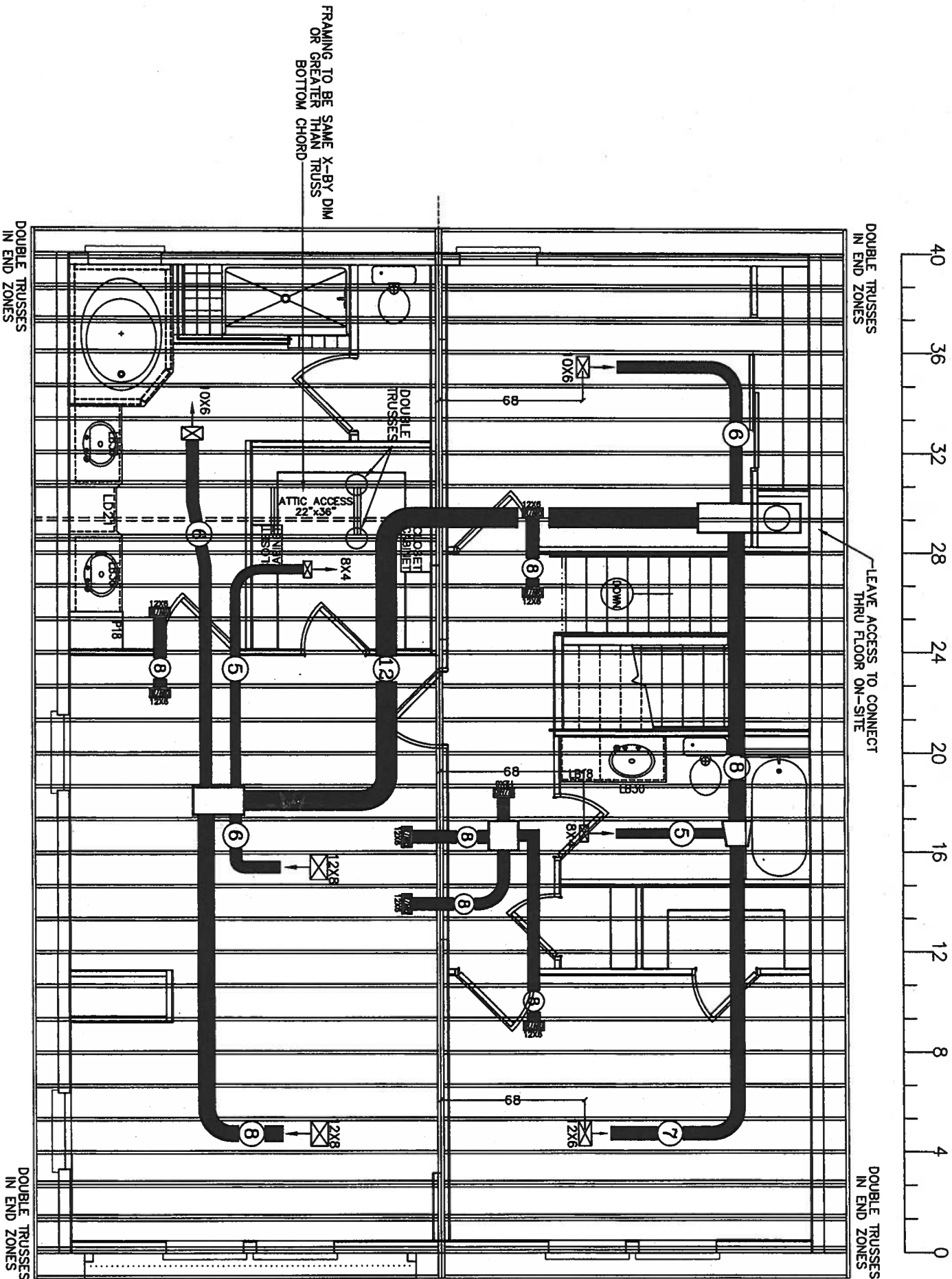
ON SITE CONNECTION BY OTHERS.
MASTER SHUT OFF VALVE AT
INLET, SHUT OFF VALVE AT EACH
FIXTURE. CROSS-LINKED
POLYETHYLENE (PEX) HOT-AND
COLD-WATER DISTRIBUTION
SYSTEM WITH COPPER OR BRASS
FITTINGS W/SOLDERLESS
CONNECTIONS.

Robert E. Gregg Registered Architect 630 Chestnut Street Clearwater, Florida 33765 Phone: 727.786.8714 Fax: 727.811.8545		Palm Harbor Homes 605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004		Model Number: C9361-D		Page Description: Water Supply	
Drawn By: RC	Date: 08/17/06	Model Name: CATALINA	Model Design Criteria: 140 mph		Title: Florida Modular		Name: FP-6
Scale: N.T.S.	Date:	Description of Revision:		Name:			

GABLE ENDWALL TRUSS W/DIAGONAL BRACING
WHEN HINGED TRUSS IS APPLICABLE SEE PAGE G-17.7

RETURN AIR BALANCE IS ACHIEVED BY
IN-CEILING AIR (JUMP DUCTS) IN ALL ROOMS
50 SQ. FT. OR MORE RETURNING 1 SQUARE INCH
FOR EVERY 5 SQUARE FEET OF ROOM SPACE

1. Roof trusses installed at 16" o.c. maximum spacing are allowed in buildings designed to comply with a maximum 140 mph wind load.
2. All flex duct is Class 1, U.L. 181 with minimum R-6 insulation (in attic with insulation).
3. All flex duct installed below the building shall be Class 1, U.L. 181 exterior rated duct with a minimum R-8 insulation.
4. Return air balance (from room to room) may be achieved through the installation of "jump ducts" (in ceiling return air pathways), undercut doors, and/or return air grills.
5. All gable endwalls shall be braced in accordance with Palm Harbor Home's Florida Modular Construction Manual.
6. All exhaust fans/vents shall be ducted to the exterior of the structure.
7. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
8. All air supply registers are adjustable, except where otherwise specified on the plans (in ceiling "jump ducts" for return air purposes are NOT adjustable and remain in the always open position).
9. All Return Air Grills to be 21" x 26"



3 LAYER 24" FULL RIDGE BEAM (EACH MATE LINE)
140 MPH Maximum Wind Loads with Trusses at 16" o.c.

TRUSS NUMBERS
TRUSS # C4292R02

LISTING
AGENCY
APPROVAL
APPROVED JAN 18 2007

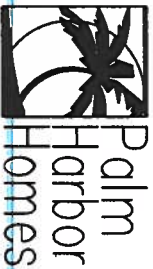
These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR LOAD
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY HURRICANE ZONE NO

FWG
COA # 1025

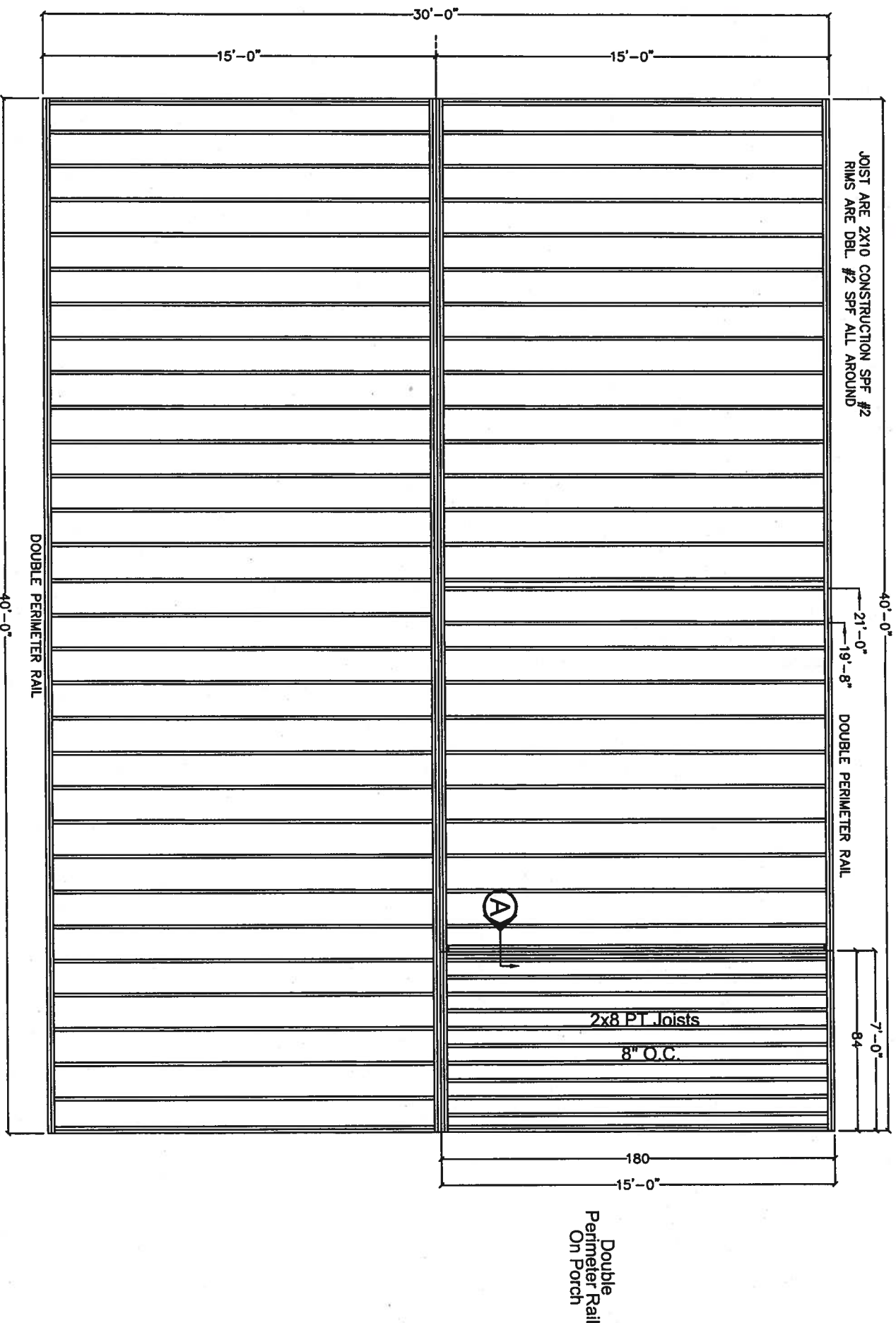
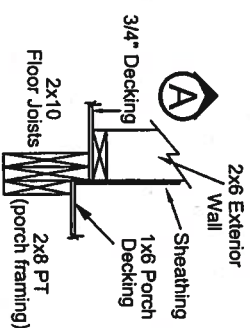
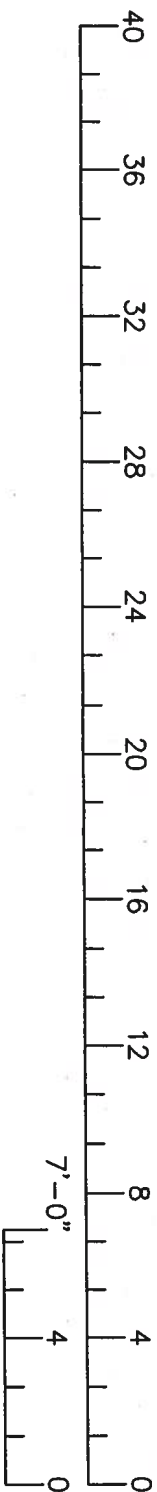
Robert E. Gregg
Registered Architect
630 Chestnut Street
Clearwater, Florida 33756
Phone: 727.798.8774
FAX: 727.781.8942

Third Party:
Hilborn, Werner, Carter
and Associates (HWC)
1627 South Myrtle Ave.
Clearwater, Florida 33756



605 South Frontage Road
Plant City, FL 33563
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Model Number:		Page Description:	
C9361-D		Roof Layout - 16" O.C.	
Drawn By:	RC	Model Name:	CATALINA
Date:	08/18/06	Model Design Criteria:	140 mph
Scale:	3/16" = 1'-0"	Revision Log:	1R-2102-0495F
Date:		Description of Revision:	
		Name:	
			FP-7



FIRST FLOOR JOIST LAYOUT

LISTING
AGENCY
APPROVAL

[Signature]
APPROVED JAN 18 2007

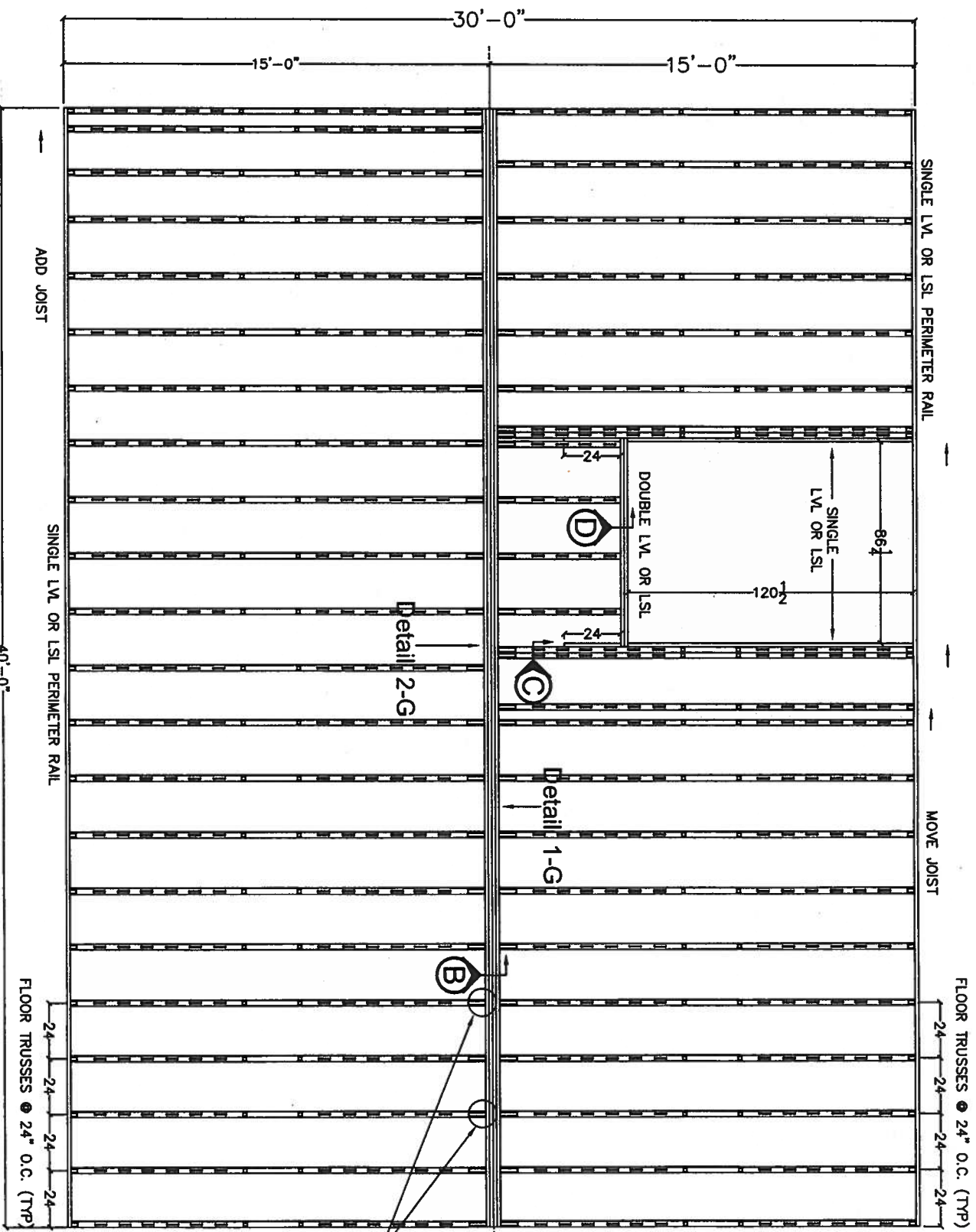
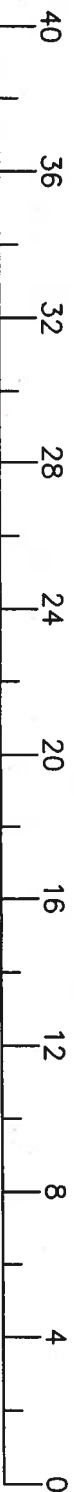
These prints comply with the Florida
Manufacture Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. 2
OF FLOORS
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF 0
EXT. WALLS
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR 40
LOAD
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY
HURRICANE ZONE NO



COA # 1025

Robert E. Gregg Registered Architect 630 Chestnut Street Clearwater, Florida 33756 Phone: 727.798.8774 FAX: 727.791.6942			
Third Party: Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756		605 South Frontage Road Plant City, FL 33563	
Model Number: C9361-D	Page Description: 1st Floor Joist Layout - 16" O.C.	Model Name: CATALINA	Model Design Details: 140 mph
Drawn By: RC	Date: 08/18/06	Revision Log: Florida Modular	Name: FP-8
Scale: 3/16" = 1'-0"			



FOR TRUSS SUPPORT CONNECTION
IN THIS AREA SEE DETAIL (B)
ON FP-8.2 PAGE.

LISTING
AGENCY
APPROVAL

APPROVED JAN 18 2007

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

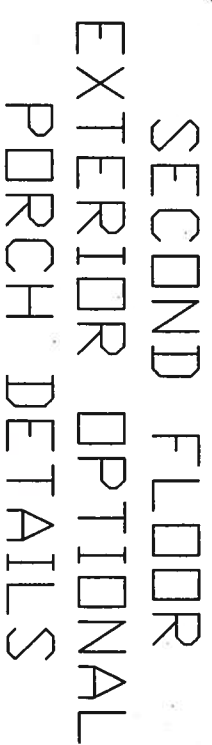
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OCCUPANCY _____ R-3 _____
ALLOWABLE NO. _____ 2 _____
OF FLOORS _____
WIND VELOCITY _____ 140 (3 SEC)
FIRE RATING OF _____ 0 _____
EXT. WALLS _____
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR _____ 40 _____
LOAD _____
APPROVAL DATE 1/18/07
MANUFACTURER PHT
HIGH VELOCITY _____
HURRICANE ZONE NO



COA # 1025

2nd Floor Joist Layout - 24" O.C.

Robert E. Gregg Registered Architect 630 Chestnut Street Clearwater, Florida 33756 Phone: 727.798.8774 Fax: 727.791.6942		Third Party: Hilbom, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756	
		605 South Frontage Road Plant City, FL 33563	
Model Number: C9361-D	Page Description: 2nd Floor Layout - 24" O.C.	Model Name: CATALINA	Model Design Criteria: 140 mph
Drawn By: RC	Date: 08/18/06	Scale: 3/16" = 1'-0"	Revision Log Description of Revision Name
Florida Modular			1R-2102-0495F
			FP-8.1




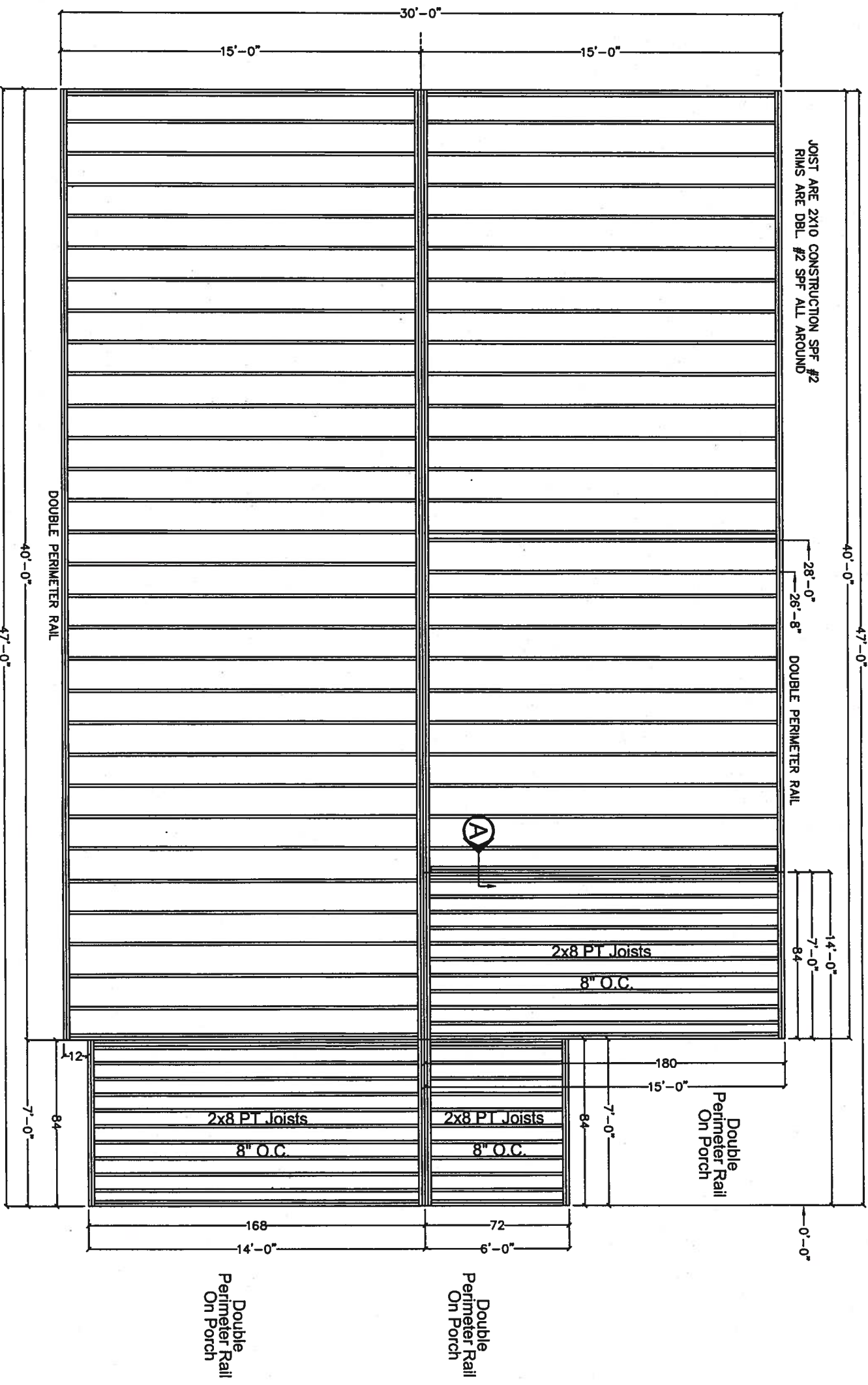
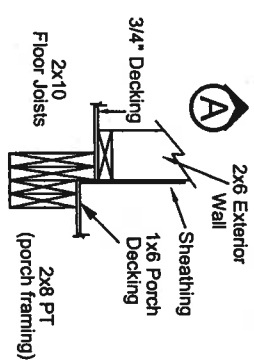
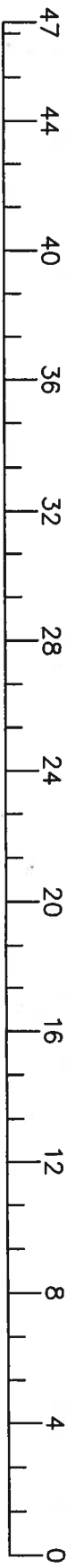
APPROVED JAN 18 2005



HWA

COA # 1026

Robert E. Gregg Registered Architect 600 Diamond Road Clearwater, FL 33670 Phone: 727.293.3774 Fax: 727.291.0623		Third Party: Hibdon, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33768	
 Palm Harbor Homes		605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
Model Number: C9361-D		Prop Description: 2nd Floor Details	
Drawn By: RC	Model Name: CATALINA	Model Designation: 140 mph	
Date: 08/18/03	Florida Modular		1R-2102-0495F
Scale: 3/4" = 1'-0"			
Date:	Revised List: Description of Revision	Notes	
		FP-8.2	



FIRST FLOOR JOIST LAYOUT

1ST FLOOR OPT. PORCH DETAILS

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

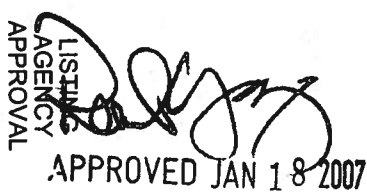
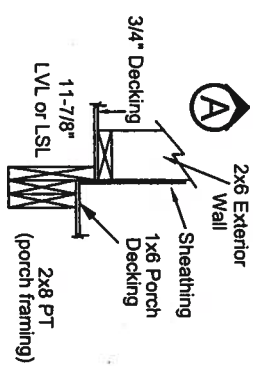
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	2
WIND VELOCITY	140 (3 SEC)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	1R-2102-0495F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	1/18/07
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1025

ENGINEERING AGENCY APPROVAL
APPROVED JAN 18 2007


Robert E. Gregg Registered Architect 600 Chestnut Street Clearwater, Florida 33766 Phone: 727.798.8774 Fax: 727.791.8942			
Third Party: Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756		605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
Model Number: C9361-D	Page Description: 1st Floor Joist Layout - 16" O.C.	Drawn By: RC	Model Name: CATALINA
Date: 08/18/06	Scale: 3/16" = 1'-0"	Description of Revision: Florida Modular	Model Design Criteria: 140 mph 1R-2102-0495F
Name:			FP-8.3

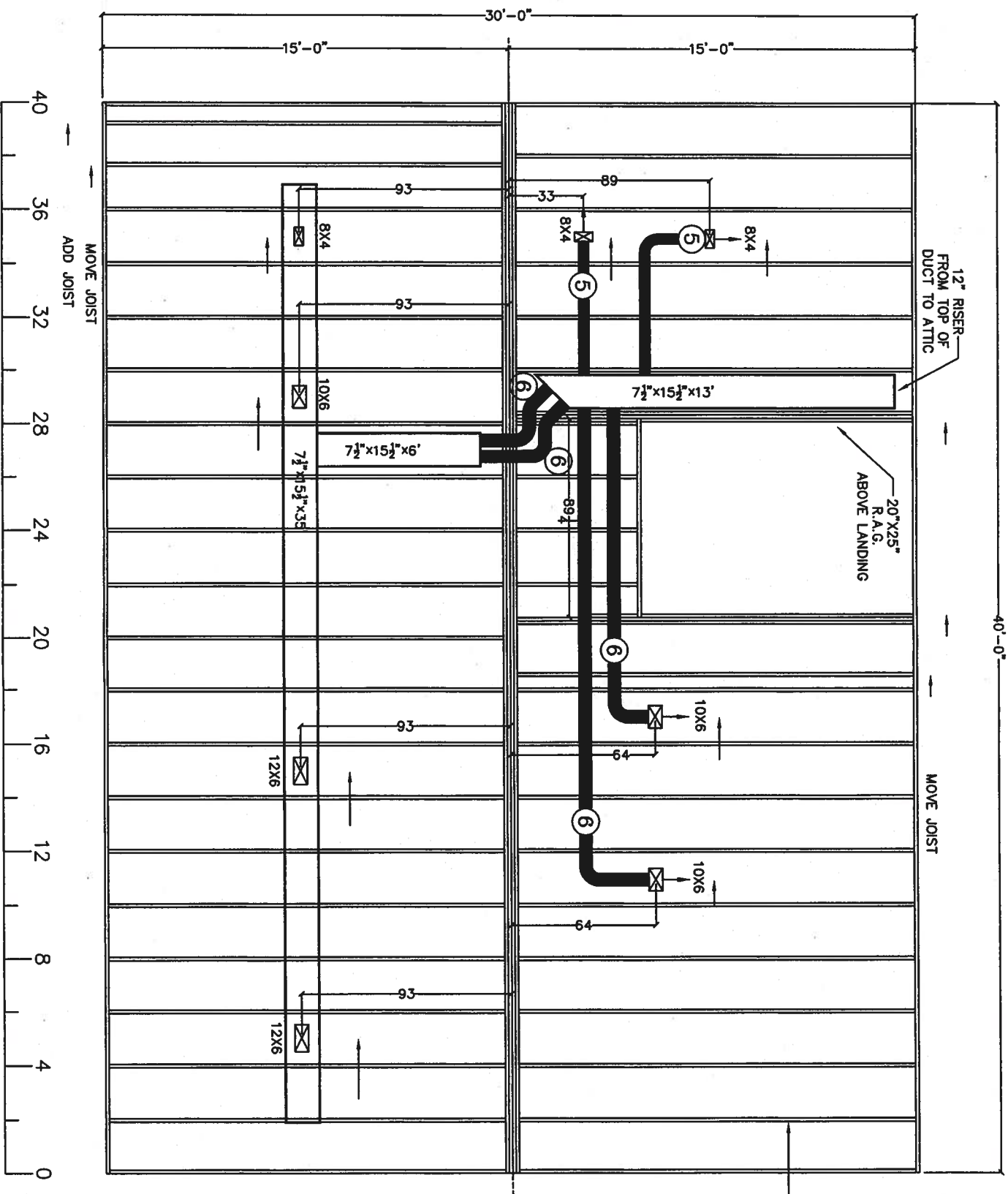
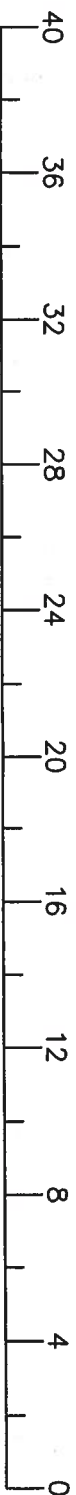


CONST TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO OF FLOORS	2
WIND VELOCITY	140 (3 SEC)
FIRE RATING OF EXT. WALLS	0
PLANO.	1R-2102-0456F
ALLOW FLOOR LOAD	40
APPROVAL DATE	11/18/07
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

COA # 1025

2ND FLOOR OPT. PORCH DETAILS

Robert E. Gregg Registered Architect 630 Central Street Clearwater, Florida 33756 Phone: 727.786.8374 FAX: 727.281.6842		Third Party: Hillbom, Weimer, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756	
		605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
Model Number: C9361-D		Page Description: 2nd Floor Layout - 24" O.C.	
Drawn By: RC	Model Name: CATALINA	Model Design Criteria: 140 mph	
Date: 08/18/06	Florida Modular		1R-2102-0495F
Scale: 3/16" = 1'-0"			
Date:	Revision Log Description of Revision	Name	FP-8.4



LISTING
AGENCY
APPROVAL

APPROVED JAN 18 2007

These prints comply with the Florida
Manufactured Building Act of 1978 Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. 2
OF FLOORS
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF 0
EXT. WALLS
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR 40
LOAD
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY NO
HURRICANE ZONE



COA # 1025

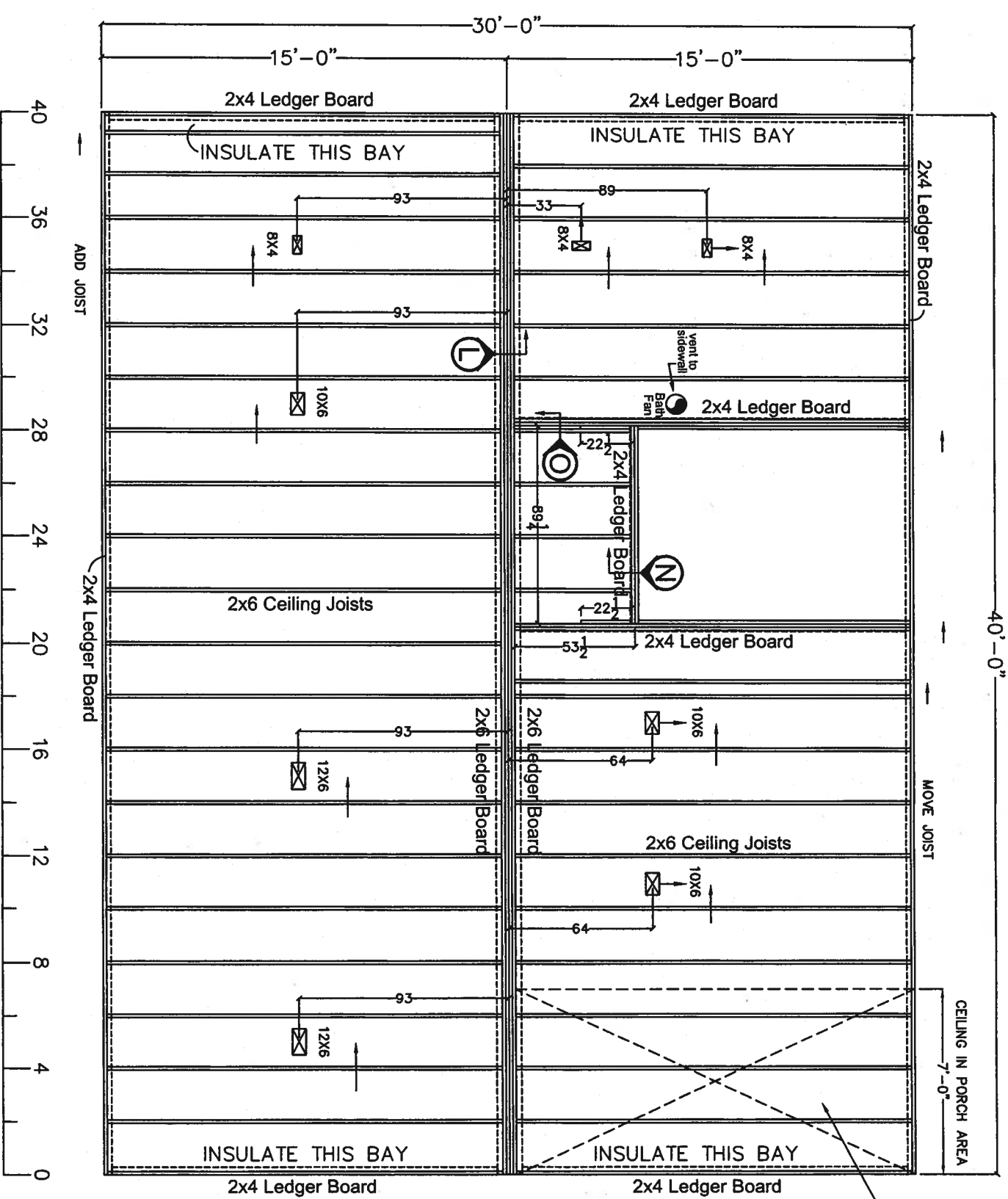
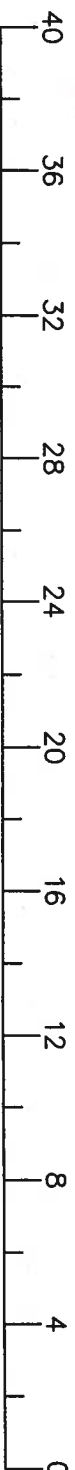
Model Number: C9361-D		Page Description: 2nd Story Floor Ducts	
Owner By: RC		Model Name: CATALINA	
Date: 08/21/06		Description of Revision: Florida Modular	
Scale: N.T.S.		Name: 140 mph 1R-2102-0495F	
Third Party: Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756		F-P-9	

Robert E. Gregg
Registered Architect
630 Chestnut Street
Clearwater, Florida 33756
Phone: 727.798.8774
FAX: 727.791.8842



605 South Frontage Road
Plant City, FL 33563

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CEILING IN PORCH AREA UNDER BEDROOM #3, WILL BE FINISHED 1 1/2" HIGH STRENGTH, EXTERIOR GYP. BOARD

LISTING AGENCY APPROVAL

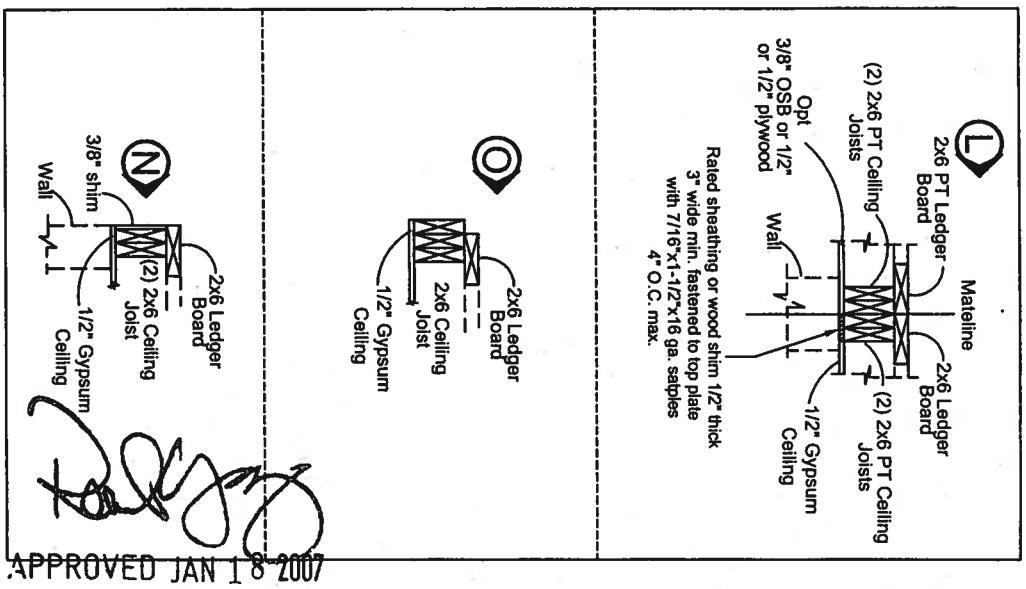
These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 140 (3 SEC)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 1R-2102-0495F
ALLOW. FLOOR LOAD 40
APPROVAL DATE 1/18/07
MANUFACTURER PHH
HIGH VELOCITY HURRICANE ZONE NO



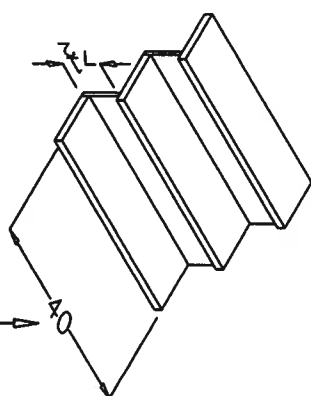
COA # 1025

140 MPH Maximum Wind Loads with Trusses at 24" O.C.

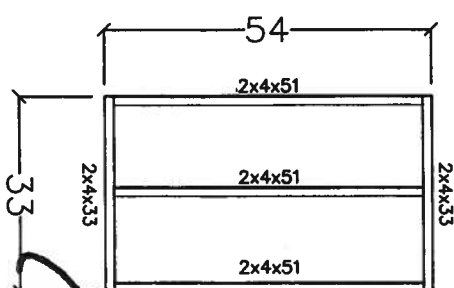
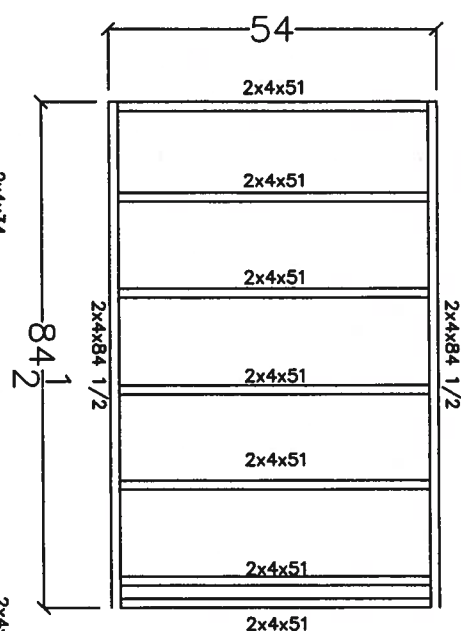
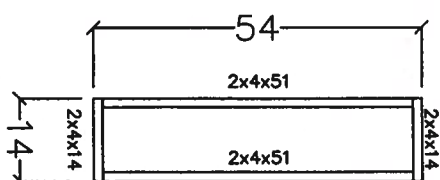
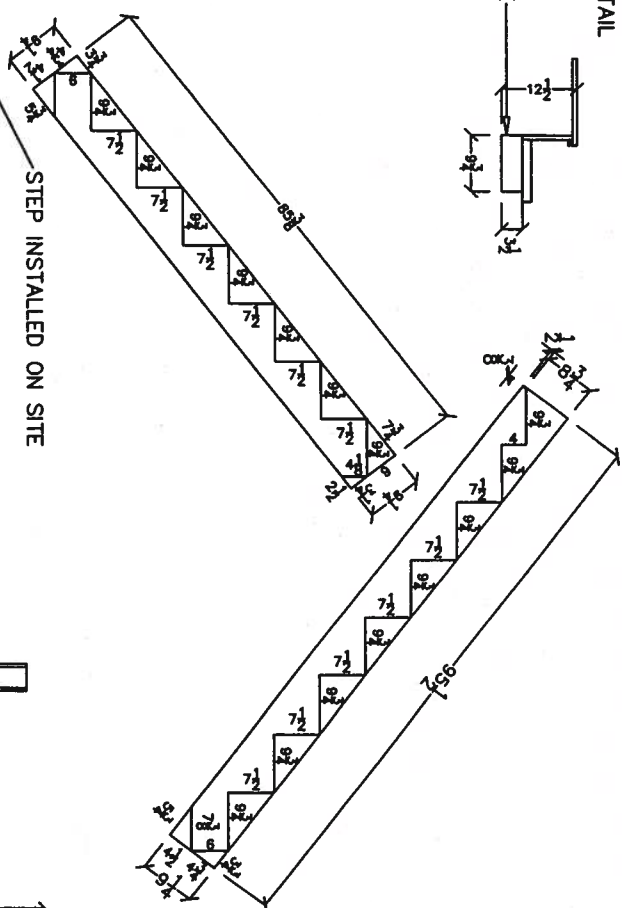


Robert E. Gregg Registered Architect 630 Cleveland Street Clearwater, Florida 33756 Phone: 727.798.8774 Fax: 727.791.8942		Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756	
Palm Harbor Homes		605 South Frontage Road Plant City, FL 33563 © COPYRIGHT 2004	
Model Number: C9361-D	Page Description: 1st Floor Ceiling Layout - 24" O.C.	Model Name: CATALINA	Model Design Criteria: 140 mph
Drawn By: RC	Date: 08/18/06	Revision Log: Florida Modular	Name: 1R-2102-0495F
Scale: 3/16" = 1'-0"			FP-10

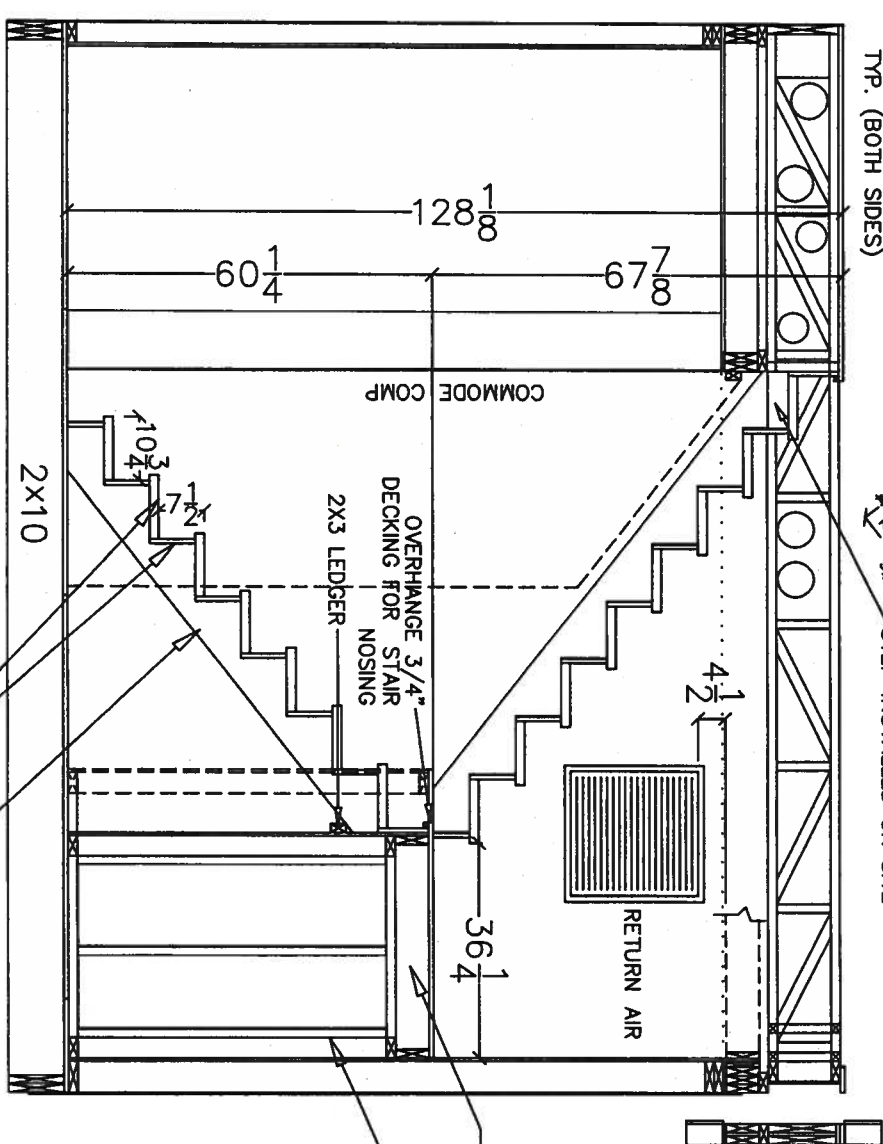
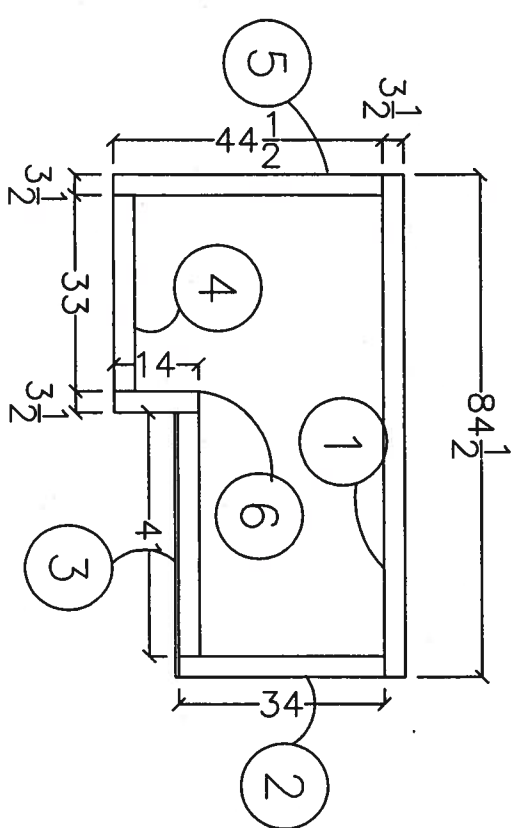
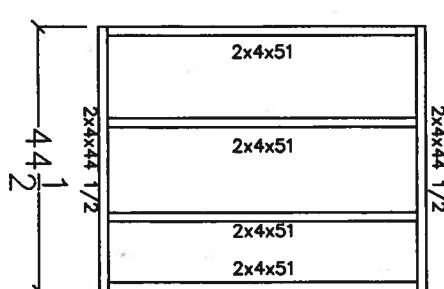
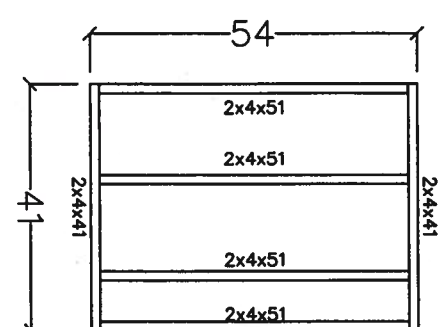
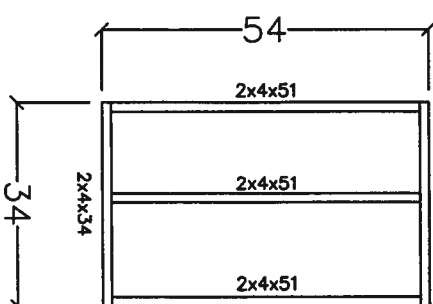
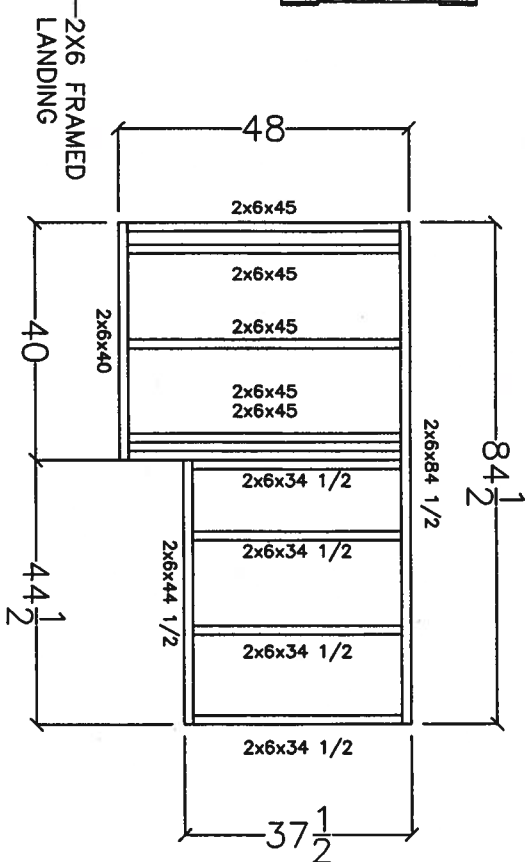
Diagram showing the step installed on site, with dimensions 12 1/2 inches and 9 3/4 inches.



ADJUST OVERALL WIDTH TO -
38 1/2" FOR CROWN MOLDING
TYP. (BOTH SIDES)



APPROVED JAN 18 2007



—2X12 TREADS
AND 1X10 OR ¾"
PLYWOOD RISERS

**LISTING
AGENCY
APPROVAL**

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Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 140 (2 SEC)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 1R-2123-048P
ALLOW. FLOOR LOAD 40
APPROVAL DATE 1/18/87
MANUFACTURER PHI
HIGH VELOCITY HURRICANE ZONE NO

HWC

COA # 1025

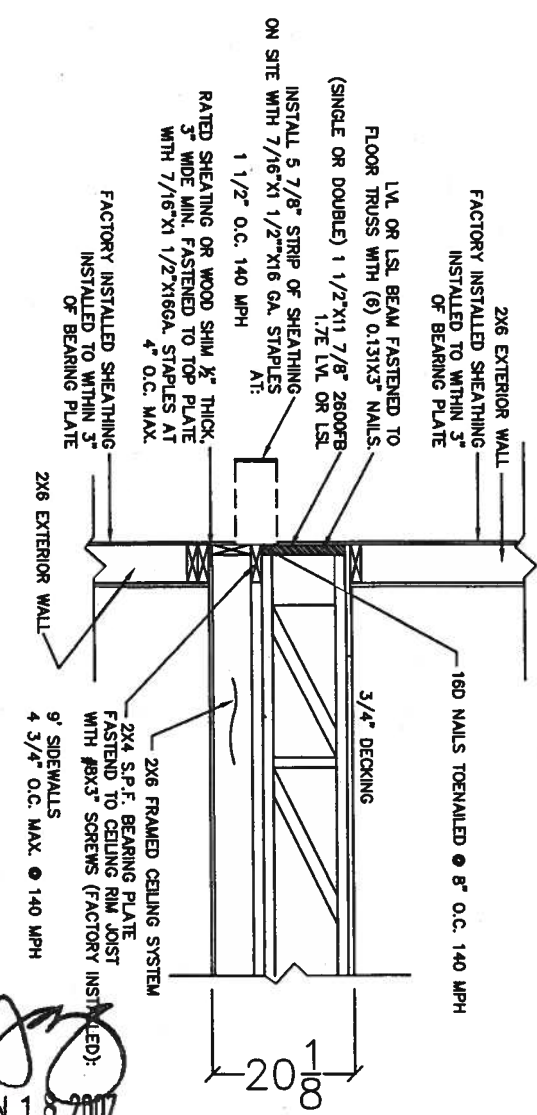
Palm Harbor Homes, Inc.
605 South Pineapple Road
Palm City, FL 32909

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[illegible]

UNIT CONNECTION AT SIDEWALL

IN PLANT CONNECTIONS



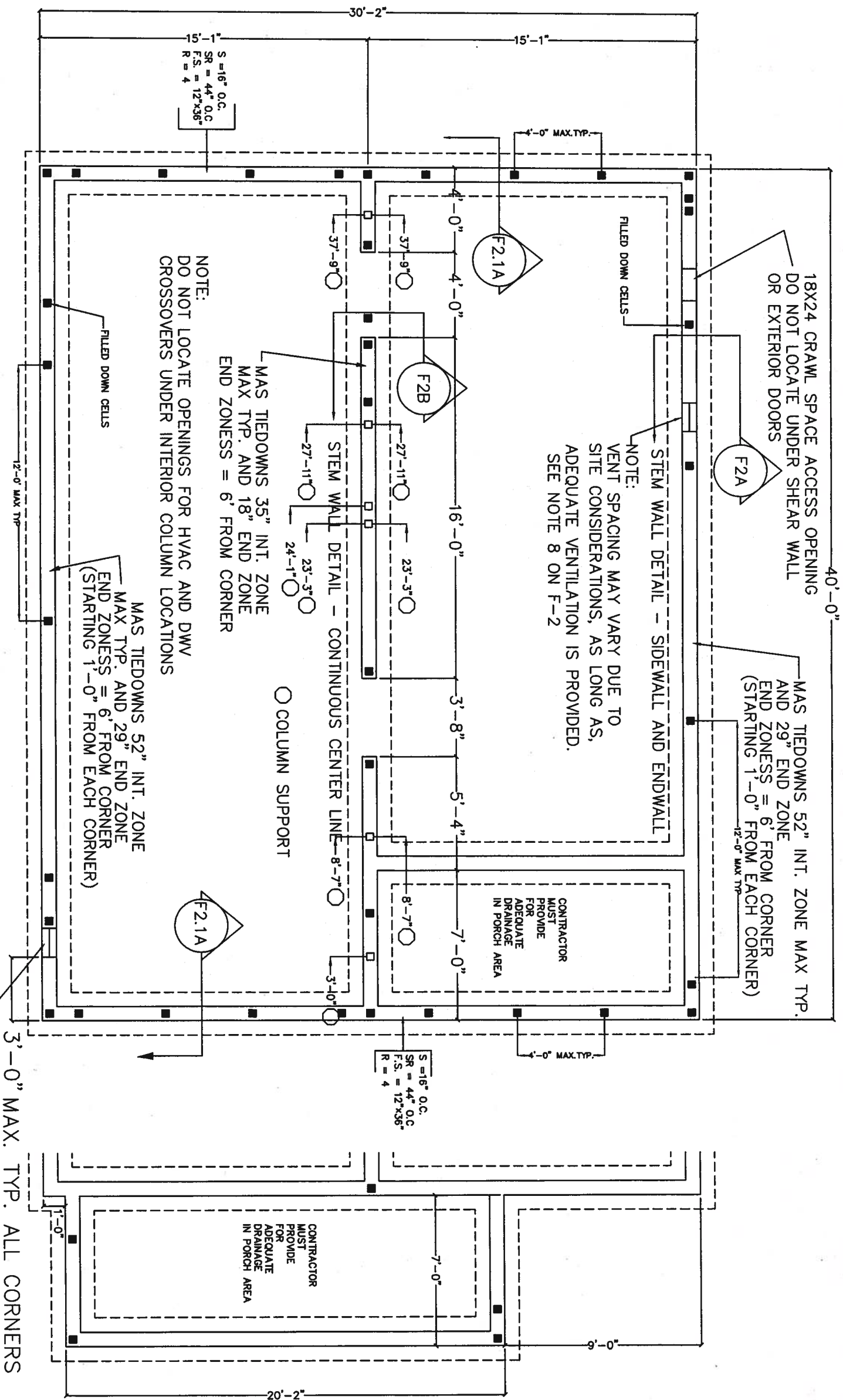
APPROVED JAN 18 2007

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	2
WIND VELOCITY	140 (3 SEC)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	1R-2102-04-95F
ALLOW. FLOOR LOAD	⁴⁰ 11807
APPROVAL DATE	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWG
COA # 1025

Robert E. Gregg Registered Architect 630 Chestnut Street Clearwater, Florida 33756 Phone: 727.766.8774 FAX: 727.791.6942		Model Number:		Page Description:	
Third Party: Hilldon, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave. Clearwater, Florida 33756		C9361-D		Unit Connection	
Drawn By:	CV	Model Name:	CATALINA		
Date:	2/20/06	Florida Modular			
Scale:	N.T.S.	140 mph			
Paul Harbo Home, Inc. 606 South Portage Road Palm City, FL 32909		Revision Log		Name	
		Description of Revision			
				FP-12	



OPTIONAL
EXTERIOR PORCH

APPROVED JAN 18 2007

NOTE TO CONTRACTORS:
WIDTH OF FOUNDATION PLANS MAY NOT MATCH FLOOR PLAN DIMENSIONS.
(TYPICALLY PAGE FP-3)
FOUNDATION PLANS HAVE BEEN DESIGNED TO BE (1") WIDER PER MODULE THAN FLOOR PLANS, TO ACCOMMODATE FLOOR PLAN GROWTH DUE TO CENTERLINE STRAPPING, AND EXTERIOR SHEATHINGS.
THIS APPLIES ONLY TO DOUBLE WIDE SECTIONS AND THE OUTER SECTIONS OF TRIPLE WIDES ONLY.
DOES NOT APPLY TO CENTER SECTION OF TRIPLE WIDES.

S = SPACING FOR ENTIRE WIDTH OF EACH SECTION OF ENDWALL CONTAINING SHEAR WALL (SEE F-2.1)
R = NUMBER OF HORIZONTAL REBAR IN FOOTER
SR = VERTICAL REBAR SPACING (SEE F-2.1)

NOTE:
VENT SPACING MAY VARY DUE TO SITE CONCIDERATIONS, AS LONG AS, ADEQUATE VENTILATION IS PROVIDED.
SEE NOTE 8 ON F-2

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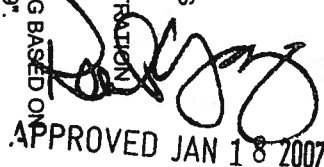
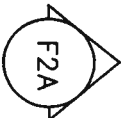
Model Number: C9361-D		Page Description: Foundation	
Drawn By: RC	Model Name: CATALINA	Model Design Outcome: 140 mph	
Date: 08/21/06	Florida Modular		
Scale: 3/16" = 1'-0"	1R-2102-0495F		
Revisions Log	Name		
	F-1		

1. Foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.

- ## Foundation Systems:

1. Unless otherwise specified in this package, Palm Harbor Homes, Plant City, Florida, **REQUIRES** that **ALL** modular buildings be installed on a continuous permanent stem wall foundation. It is the responsibility of the contractor and/or resaler to verify that any foundation systems are in compliance with ALL applicable codes for the area in which the building is being installed. Palm Harbor Homes is NOT responsible for verifying local foundation requirements. When Palm Harbor Homes and/or its engineer provide a foundation plan, the contractor and/or resaler shall maintain responsibility for verifying compliance to local codes.

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[illegible]

Notes:

1. Foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
2. Lots shall be provided with drainage and shall be graded so as to drain surface water away from foundation walls - by lot owner.
3. Materials shall conform to applicable standards and codes.
4. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with code - 3000 psi concrete minimum.
5. All exterior walls, bearing walls, columns, and piers shall be supported on continuous solid concrete footings which shall be of sufficient design to support safely the loads imposed as determined from the character of the soil and shall in all cases extend below the frost line.
6. Foundation walls shall be constructed in accordance with the code and not less than as shown on the drawings.
7. Foundations shall extend not less than 12 inches below the finished natural grade or engineered fill and in no case less than the frost line depth. Footings on soil with lower allowable soil pressure shall be designed in accordance with accepted engineering practice. However, where there is evidence that the ground water table can rise to within 8 inches of the finished grade at the building site, the building official may require that the grade on the under - floor space be as high as the outside finished grade, unless an approved drainage system is provided. Termite shields and/or protection shall be provided as per code. Local and state requirements for footings may exceed that shown on drawings. If any questions, contact your local building inspectors department.
8. Crawl spaces under buildings without basements shall be ventilated by approved mechanical means or by openings in the foundation walls. Openings shall be arranged to provide cross ventilation and shall be covered with corrosion-resistant wire mesh of not less than 1/4 inch nor more than 1/2 inch in any dimension. Openings in foundation walls shall have a net area of not less than 1 sq. ft. for each 150 sq. ft. of crawl space. Crawl space access of minimum 18" x 24" is required.
9. Mortar shall be type "M" or "S"
10. Proper support and tying down of your home are very important. Walls shall be as shown on the plan as prescribed on other details. The construction is designed for a continuous support at the perimeter and the center-line. Alternate foundations to the stem wall set included may be installed if a continuous support is provided to include a minimum of 1 1/2" of the bearing for the end of each floor joist, and the alternate foundation is designed by a registered professional engineer. The foundation and anchorage to the foundation of the unit to the foundation must be capable of withstanding uplift loads of 515#/ft. along the sidewalls and center-line wall and 590#/ft. sliding combined load - 2004 FBC, Residential Code w/2005 suppl.
11. Minimum soil bearing capacity shall be 1500 PSF.
12. For 20 PSF live roof loads only.
13. If site conditions vary from those listed or if a different setup is desired, consult a professional engineer for a new or altered design.
14. Soil bearing to be determined by test or by building official having jurisdiction at the set up site.

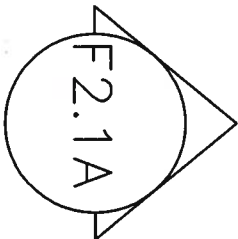
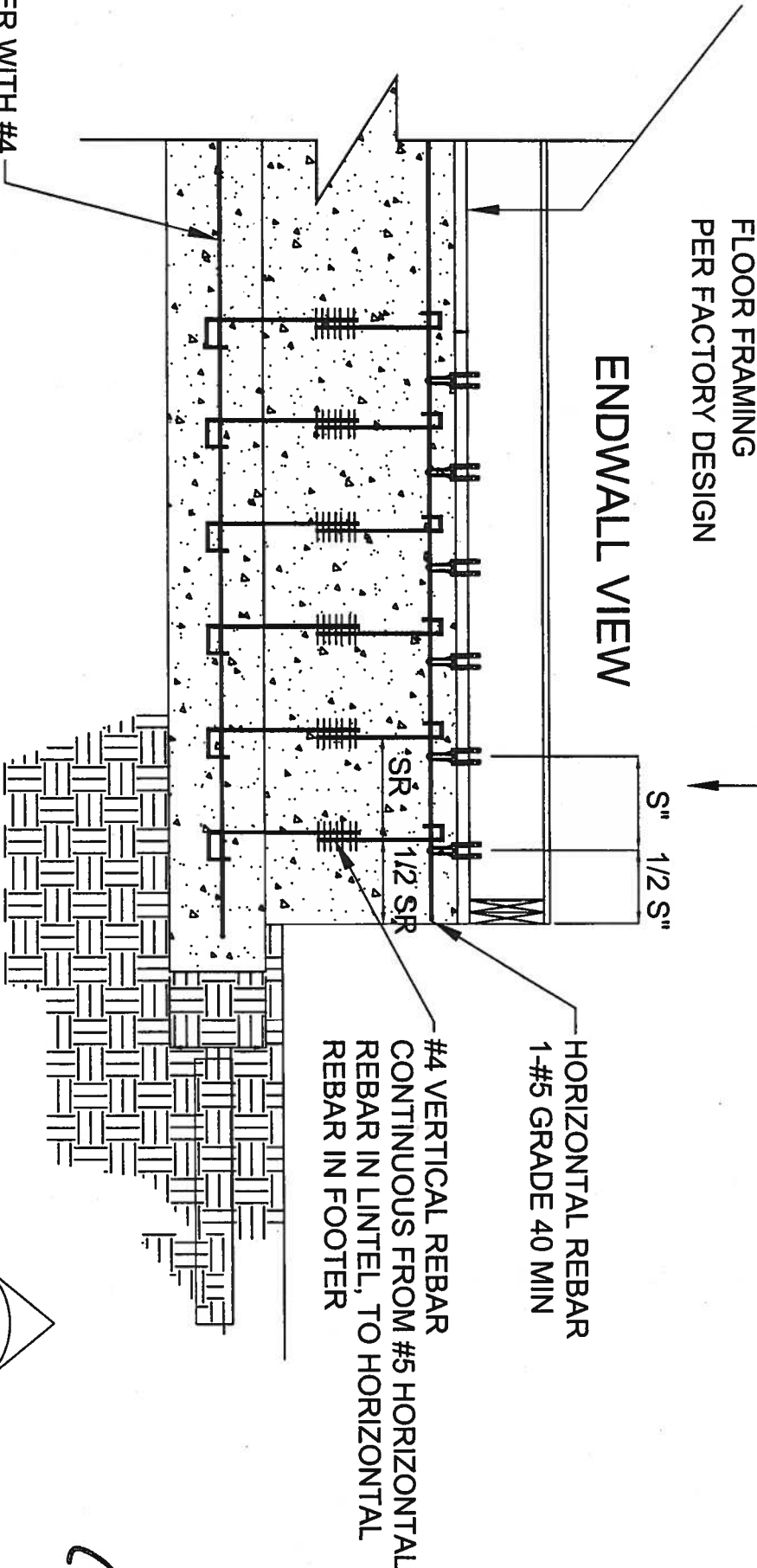
Foundation Systems:

In accordance with the requirements of the Florida Department of Community Affairs, these building plans DO NOT contain Foundation support and tie-down system details (any foundations that are included in the plan are considered options only).

1. Unless otherwise specified in this package, Palm Harbor Homes, Plant City, Florida, **REQUIRES** that ALL modular buildings be installed on a continuous permanent stem wall foundation. It is the responsibility of the contractor and/or retailer to verify that any foundation systems are in compliance with ALL applicable codes for the area in which the building is being installed. When Palm Harbor Homes and/or its engineer provide a foundation plan, the contractor and/or retailer shall maintain responsibility for verifying compliance to local codes.
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3. When foundation plans are designed by others, Palm Harbor Homes and its third party approval agency(ies) along with the architect and/or the engineer of the building plans shall not be held responsible or liable for the foundation design and/or consequential performance of the superstructures structural components and systems relating thereto.
4. In ALL cases (regardless of who designs the foundation) the following requirements shall be met:
 - a. The foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
 - b. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with the Florida Building Code - 3000 p.s.i. concrete minimum.
 - c. Foundation and anchorage of the building to the foundation shall be capable of withstanding a minimum of 515#/ft. uplift along the sidewalls and the marriage line(s) and a minimum of 590#/ft. sliding load over ALL connection point (foundation walls).
5. ALL foundation systems shall be designed by a Registered Professional Engineer or Architect licensed for the area in which the building is being installed.
6. ALL foundation and tie-down systems are subject to approval and inspection by the local jurisdiction having authority. It is the responsibility of the contractor and/or retailer to ensure compliance to applicable codes, obtain required permits and schedule required inspections.
7. ALL modular buildings shall be installed (set-up) by a licensed building contractor.
8. The licensed building contractor is responsible for verifying that the size, shape, height etc... of any supplied details or plans corresponds with the building being installed.

FOOTER WITH #4
HORIZONTAL REBAR
AND FOOTER PER PAGE F-1

MAS CONNECTORS (SIMPSON, EQUAL OR BETTER)
WITH MINIMUM (6) NAILS TO RIM JOIST.
NAILS ARE MINIMUM .0148 X 1 1/2" G185 GALV. OR
STAINLESS



APPROVED JAN 18 2007

140 MPH Maximum

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Model Number: C9361-D	Page Description: Foundation Details
Drawn By: RC	Model Name: CATALINA
Date: 09/25/06	140 mph
Scale: N.T.S.	Florida Modular
Date:	Revision Log
	Description of Revision
	Name
	1R-2102-0495F
F-2.1	

605 South Frontage Road
Plant City, FL 33563

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Notes:

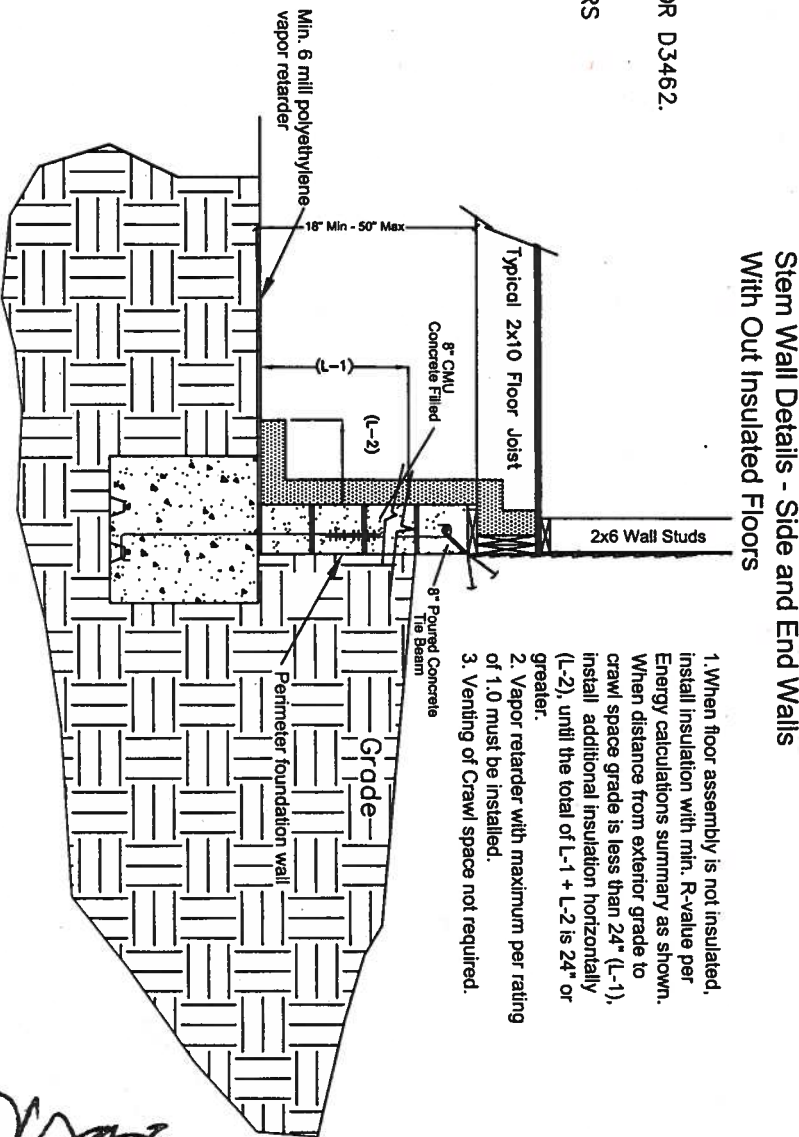
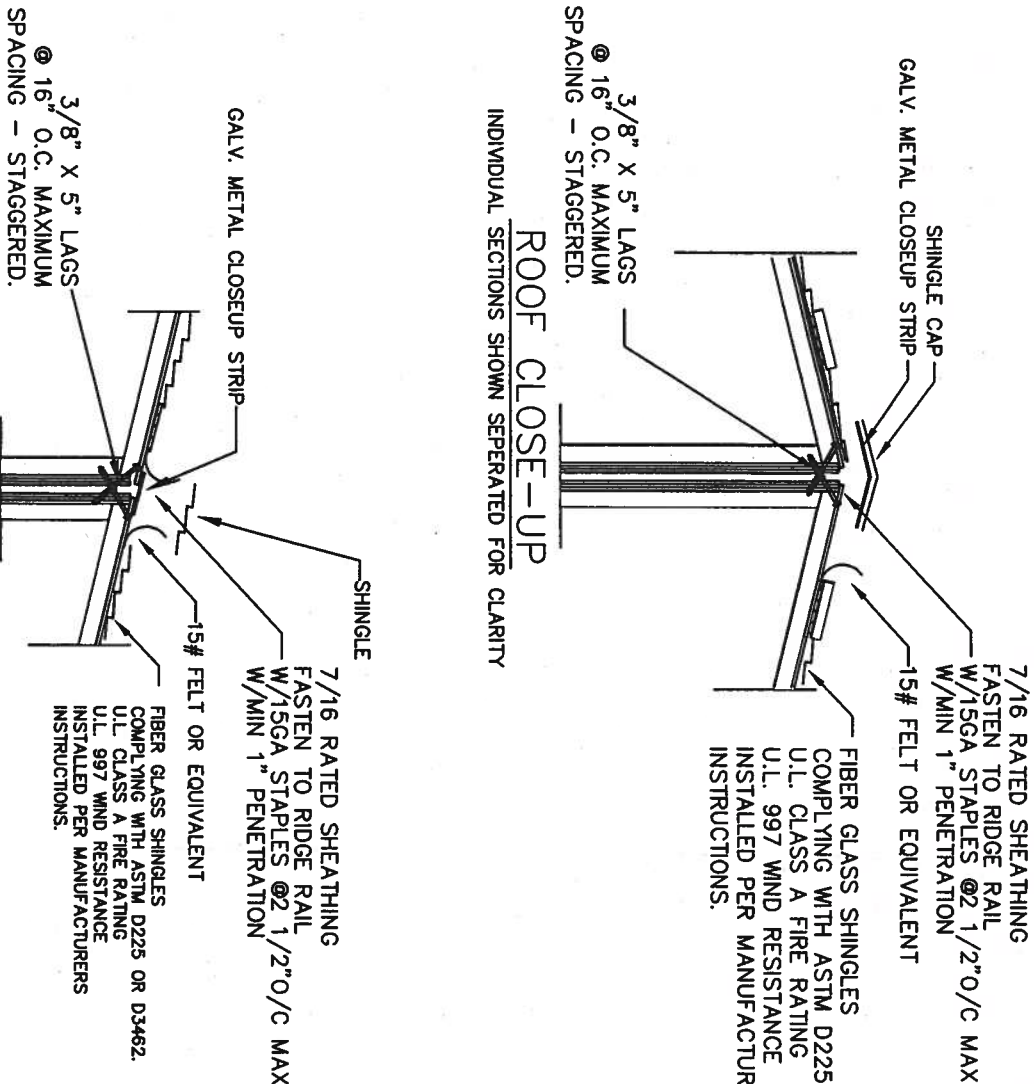
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140 MPH Maximum

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Phone: 727.786.8774
FAX: 727.781.5942

Model Number: C9361-D Page Description: Foundation Details

Drawn By: RC Model Name: CATALINA Model Design Office: 140 mph

Date: 08/25/06 Scale: Florida Modular 1R-2102-0495F



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Plant City, FL 33563

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F-2.2