

DATE05/09/2006

Columbia County Building Permit

PERMIT000024485

This Permit Expires One Year From the Date of Issue

APPLICANTROBERT MCINTOSH

PHONE386.754.8678

ADDRESS289NW CORINTH DRIVE

LAKE CITYFL32055

OWNEREDIX INVESTMENTS,INC.

PHONE352.240.9155

ADDRESS10985S US HWY 441

LAKE CITYFL32025

CONTRACTORMICHAEL DELAHOZ

PHONE386.754.8678

LOCATION OF PROPERTY

SOUTH ON 441 PAST MASON CITY ON L, YELLOW W/STONE ON HOUSE

AS PER BLDG. PERMIT APPLICATION.

TYPE DEVELOPMENTSCREEN ENCL.

ESTIMATED COST OF CONSTRUCTION8245.00

HEATED FLOOR AREATOTAL AREA

HEIGHTSTORIES1

FOUNDATIONWALLS

ROOF PITCHFLOOR

LAND USE & ZONINGA-3

MAX. HEIGHT35

Minimum Set Back Requirments:

STREET-FRONTREARSIDE

NO. EX.D.U.1

FLOOD ZONE

DEVELOPMENT PERMIT NO.

PARCEL ID22-5S-17-09328-013

SUBDIVISIONMASON CITY

LOT2BLOCK3

PHASEUNIT

TOTAL ACRES

SCC056689

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTINGX-06-0154

BLKJTH

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS:

Check # or Cash2880

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

Pool

date/app. by

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$45.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$0.00

ZONING CERT. FEE \$

FIRE FEE \$0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$

CULVERT FEE \$

TOTAL FEE45.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

**This Permit Must Be Prominently Posted on Premises During Construction**

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

## Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0605-03 Date Received 5/1/06 By G Permit # 24485  
Application Approved by - Zoning Official B2K Date 08.05.06 Plans Examiner OK JTH Date 5-3-06  
Flood Zone N/A Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3  
Comments \_\_\_\_\_

Applicants Name Robert McIntosh Phone 386-754-8678  
Address 289 NW Corinth Dr Lake City 32055  
Owners Name Edix Investment 720 NW 23rd Av Gainesville Phone 352-240-9155  
911 Address 1085 N US Hwy 441 Mason City  
Contractors Name Michael A Delattre Phone 386-754-8678  
Address 289 NW Corinth Dr, Lake City, FL 32055  
Fee Simple Owner Name & Address N/A  
Bonding Co. Name & Address N/A  
Architect/Engineer Name & Address Corden Shepardon 1025 S Semoran Blvd Winter Park FL 32792  
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 22-S-S-17-09328-013 Estimated Cost of Construction 82450.00

Subdivision Name \_\_\_\_\_ Lot 2 Block 3 Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions South on 441 pass Mason City, on left yellow w/ Stone House

Type of Construction Screen Pool Enclosure Number of Existing Dwellings on Property 1  
Total Acreage 294.80 Lot Size 1.50 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
Actual Distance of Structure from Property Lines - Front 162' Side 90' Side 90' Rear 75'  
Total Building Height 12' Number of Stories 1 Heated Floor Area \_\_\_\_\_ Roof Pitch 3' 6"

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Robert McIntosh  
Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA  
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

Michael A Delattre  
Contractor Signature

Contractors License Number 22C056689

Competency Card Number \_\_\_\_\_

NOTARY STAMP/SEAL

Nadean G.S. McIntosh

Commission # DD371494

Expires November 14, 2008

Bonded Troy Feltz - Insurance, Inc. 800-365-7019

Nadean G.S. McIntosh  
Notary Signature

**ALTA COMMITMENT  
CHICAGO TITLE INSURANCE COMPANY  
SCHEDULE A**

Office File Number:  
05-433-12

Effective Date: August 20, 2005

1. Policy or Policies to be issued:

ALTA OWNER'S POLICY, Form B (amended 10/17/82)  
with Florida Modifications \$ 58,000.00  
Proposed Insured:

EDIX INVESTMENTS, INC.

ALTA LOAN POLICY (amended 10/17/82)  
with Florida Modifications \$  
Proposed Insured:

371-2026

2. The estate or interest in the land described or referred to in this Commitment and covered herein is a fee simple, and title thereto is at the effective date hereof vested in:

VERNAL L. HUFFINES, A/K/A VERNALL HUFFINES

3. The Land is described as follows:

LOTS 9, 10, 11, 12, 13, 20, 21, 22, 23 & 24, BLOCK 3 OF MASON CITY AS PER PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH: BEGIN AT THE SW CORNER OF LOT 2 IN BLOCK 3 OF MASON CITY AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN THENCE N 88°30'42" E., ALONG THE SOUTH LINE OF SAID LOT 2 AND LOT 31 IN SAID BLOCK 3, 294.80 FEET TO THE SE CORNER OF SAID LOT 31; THENCE N 03°55'06" W., ALONG THE EAST LINE OF SAID BLOCK 3, 85.36 FEET, THENCE S 86°11'41" W., 294.54 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY # 41; THENCE S 03°55'06" E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 73.65 FEET TO THE POINT OF BEGINNING. BEING ALL OF LOTS 2 AND 31 AND A PART OF LOT 1 AND 32, BLOCK 3 OF MASON CITY AS PER PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

NOTE: This Commitment consists of insert pages labeled in Schedule A, Schedule B- Section 1, and Schedule B-Section 2. This Commitment is of no force and effect unless all schedules are included, along with any Rider pages incorporated by reference in the insert pages.

OFFICE COPY

11/21/2005 08:06

3867581337

COLUMBIA CO CLERK CT

PAGE 01

**WARRANTY DEED  
FROM TO INDM.**

Return to: (enclose self-addressed stamped envelope)

Name: Chicago Title-Gainesville

Attn: Lynn Francis

Address: 2831C NW 41st ST, Gainesville, 32608

File Number: 05-433-12

This instrument Prepared by:

Name: Chicago Title-Gainesville

Attn: Lynn Francis

Address: 2831C NW 41st ST, Gainesville, 32608

Property Appraiser's Parcel Identification

Parcel Number(s): R08328-008 AND R08329-000

Grantee(s) S.S. # (s)

Inst: 2005023821 Date: 09/28/2005 Time: 08:24

Doc Stamp-Deed: 408.00

DC, P. Dewitt Cason, Columbia County B: 1859 P: 2173

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**This Warranty Deed, Made and executed this 12 SEPTEMBER 2005****by VERNAL L. HUFFINES, AKA VERNALL HUFFINES, whose address is 624 INDIANA STREET,  
WITCHITA FALLS, TEXAS 76301***hereinafter called the Grantor,***to EDIX INVESTMENTS, INC., whose post office address is***hereinafter called the Grantee.*(Whoever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires)**Witnesseth, That the Grantor, for and in consideration of the sum of \$10.00 (Ten and 00/100 Dollars) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, remises, releases, conveys and confirms unto the Grantee, all that certain land, situate in Columbia County, State of Florida, viz:****LOTS 9, 10, 11, 12, 13, 20, 21, 22, 23 & 24, BLOCK 3 OF MASON CITY AS PER PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA. TOGETHER WITH: BEGIN AT THE SW CORNER OF LOT 2 IN BLOCK 3 OF MASON CITY AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN THENCE N 88°30'42" E, ALONG THE SOUTH LINE OF SAID LOT 2 AND LOT 31 IN SAID BLOCK 3, 294.80 FEET TO THE SE CORNER OF SAID LOT 31; THENCE N 03°55'06" W., ALONG THE EAST LINE OF SAID BLOCK 3, 85.38 FEET, THENCE S 88°11'41" W., 294.54 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY # 41; THENCE S 03°55'06" E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 73.65 FEET TO THE POINT OF BEGINNING. BEING ALL OF LOTS 2 AND 31 AND A PART OF LOT 1 AND 32, BLOCK 3 OF MASON CITY AS PER PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.****ALSO: LOTS 3, 4, 29 & 30 IN BLOCK 3 OF MASON CITY, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.****THIS PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR****Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.****To Have and to Hold, the same in fee simple forever.**Parcel  
# 2Parcel  
# 1

11/21/2005 08:06 3867501337

COLUMBIA CO CLERK CT

PAGE 02

WARRANTY DEED  
REC'D TO INDIVID.Inst:2005023821 Date:09/28/2005 Time:08:24  
Doc Stamp-Deed : 406.00  
DC,P.Dewitt Cason,Columbia County B:1058 P:2100

SPACE ABOVE THIS LINE FOR RECORDING DATA

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Randy Holley  
Witness

Randy Holley  
Printed name

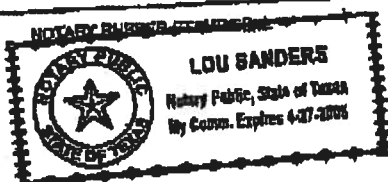
Lou Sanders  
Witness

Lou Sanders  
Printed name

Vernal L. Huffines  
VERNAL L. HUFFINES, A/K/A VERNAL HUFFINES

STATE OF Texas  
COUNTY OF Kochi

This foregoing instrument was acknowledged before me this 28th DAY OF SEPTEMBER 2005 by VERNAL L. HUFFINES, A/K/A VERNAL HUFFINES. (Check one) ☐ Said person(s) is/are personally known to me. ☒ Said person(s) provided the following type of identification: Valid Driver's License

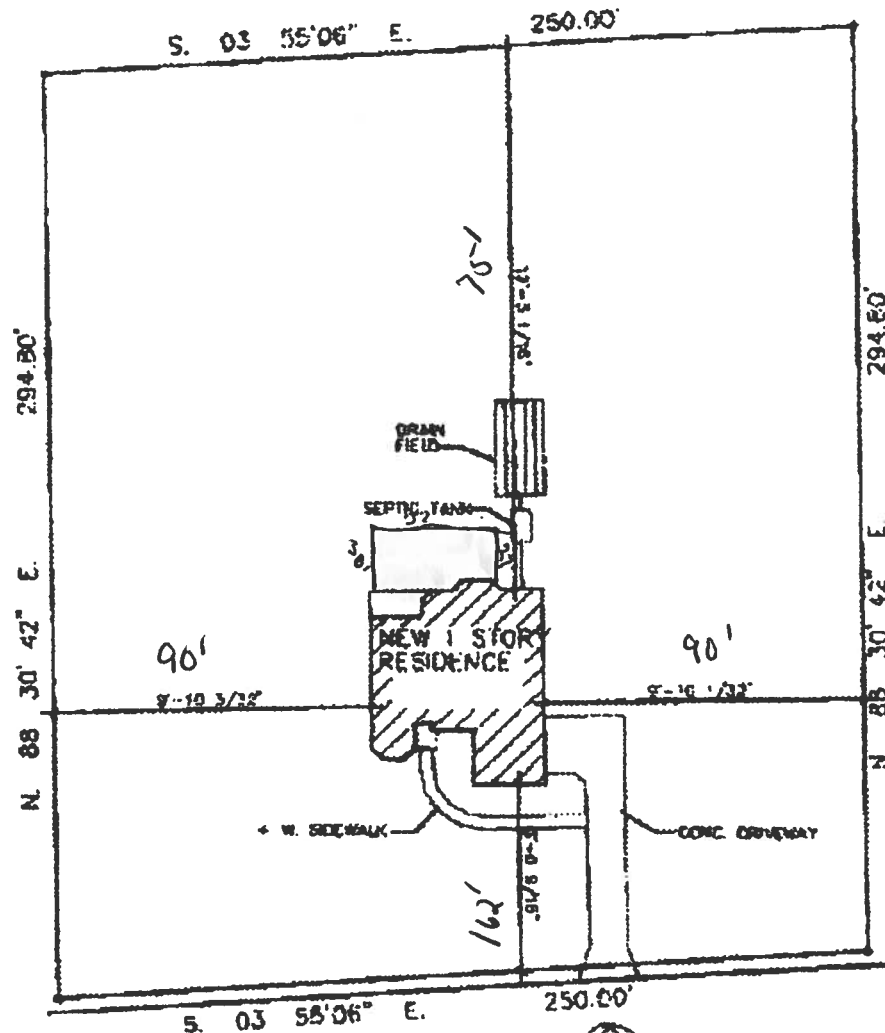


Lou Sanders  
Notary Signature

Lou Sanders  
Print Name

## SHEET INDEX

- A1 FLOOR PLAN, SITE PLAN AND FOUNDATION PLAN
- A2 EXTERIOR ELEVATIONS, ROOF PLAN AND TYP. SECTION
- A3 ELECTRICAL PLAN AND ELECTRICAL LEGEND



**SITE PLAN**

1"=40'-0"

1  
A1

1"=40'-0"  
NOTED FOR 248  
BY (S) - JES. CONT.

# FLILINE INC.

A civil engineering firm  
1025 South Semoran Boulevard  
Suite 1083  
Winter Park FL 32792  
(407) 679-7500  
Fax (407) 679-9188

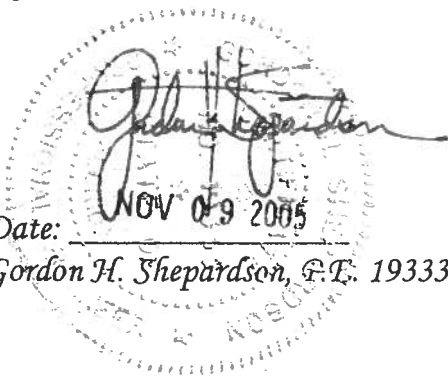
## Authorization Letter to use Aluminum Design Manual Master-file

Authorization for: Florida Pool Enclosures, Inc.  
289 Northwest Corinth Drive  
Lake City, FL 32055

Building Official,

The above referenced contractor is hereby authorized to use our Aluminum Design Manual as a master-file to obtain all permits in your jurisdiction for the time period of October 1<sup>st</sup>, 2005 thru September 30, 2006. If this authorization is to be revoked prior to the ending date indicated we will notify you in writing via mail or facsimile. Any indication of the alteration of this document will void the authorization. Gordon H. Shepardson's, the engineer of record, signature and raised seal is required on this letter to validate the authorization. Thank you for your cooperation.

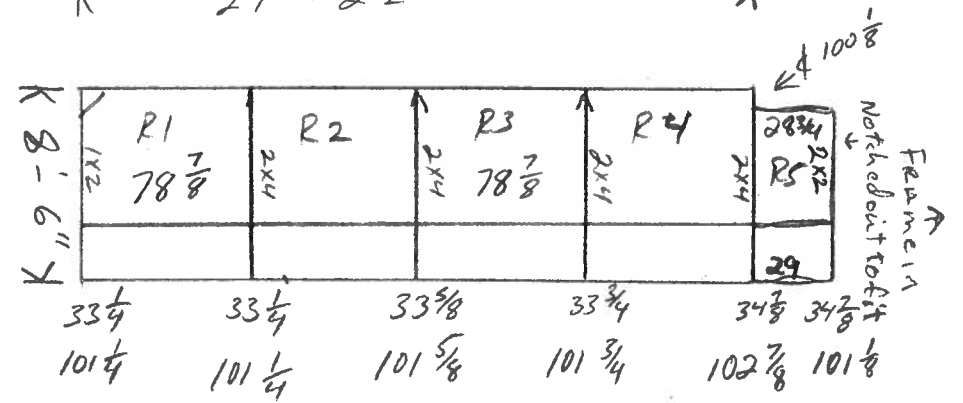
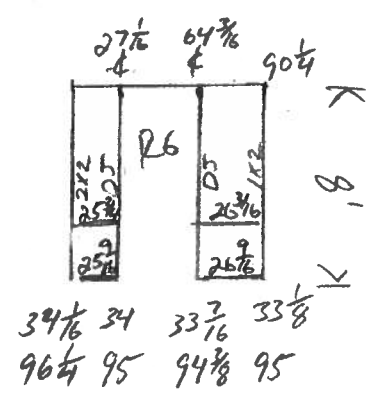
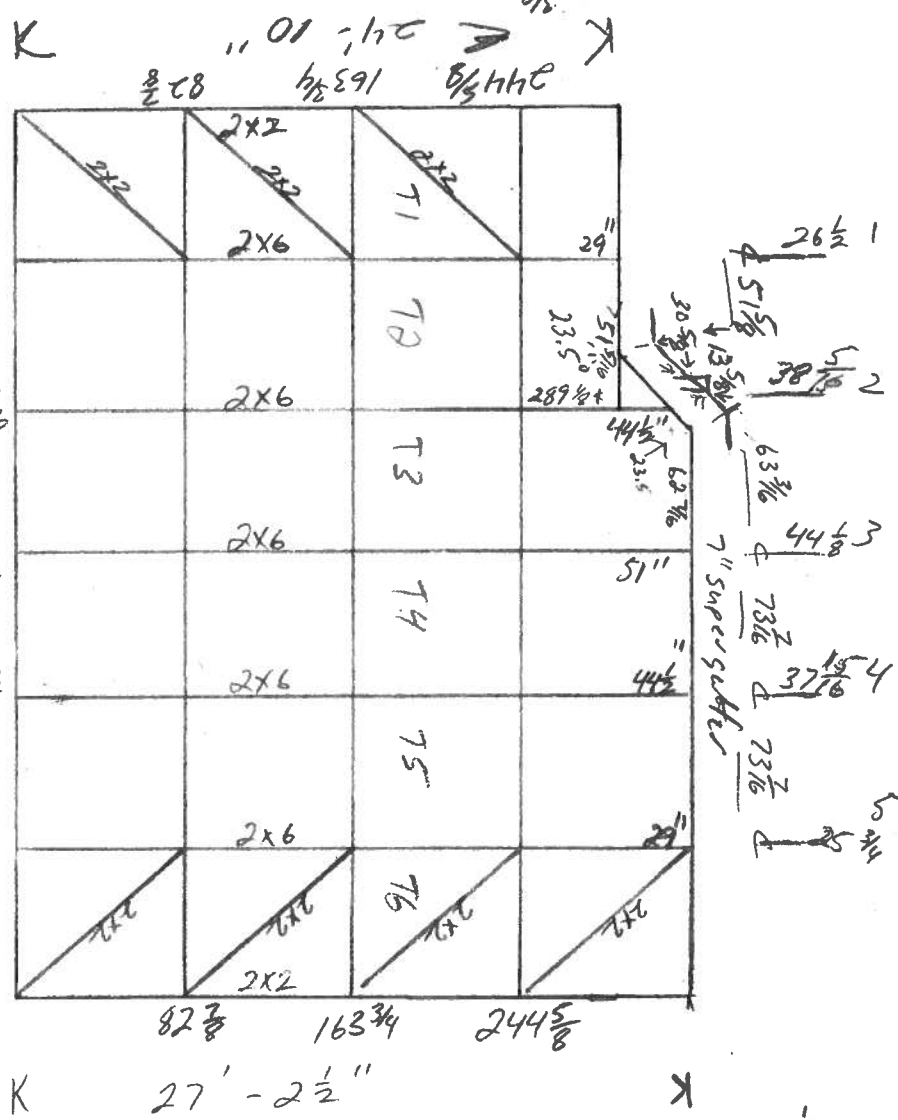
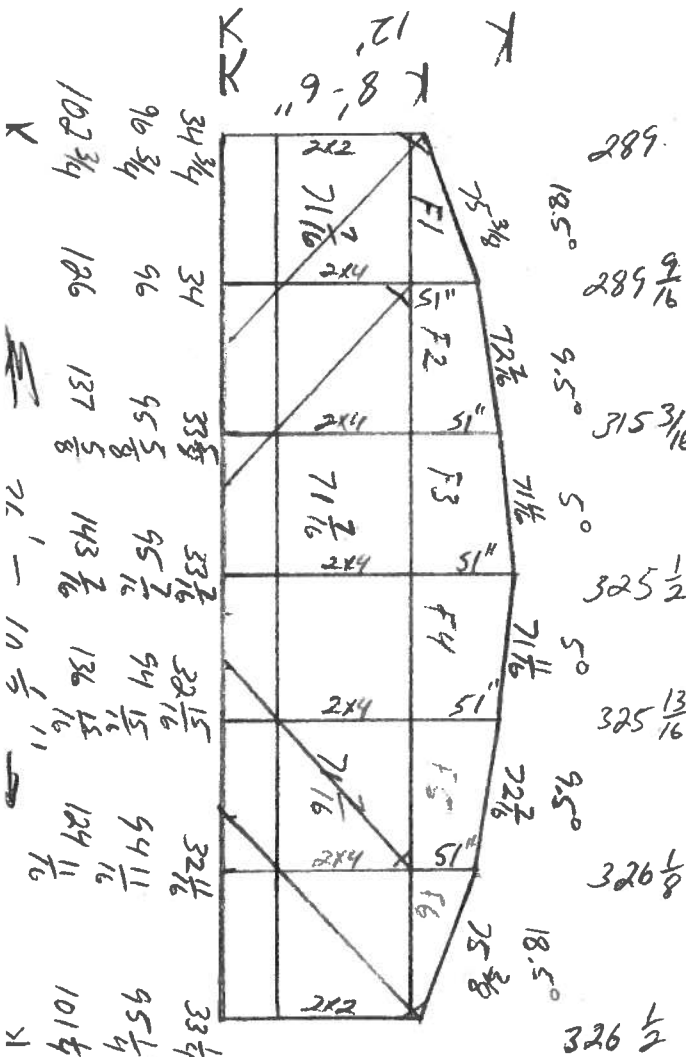
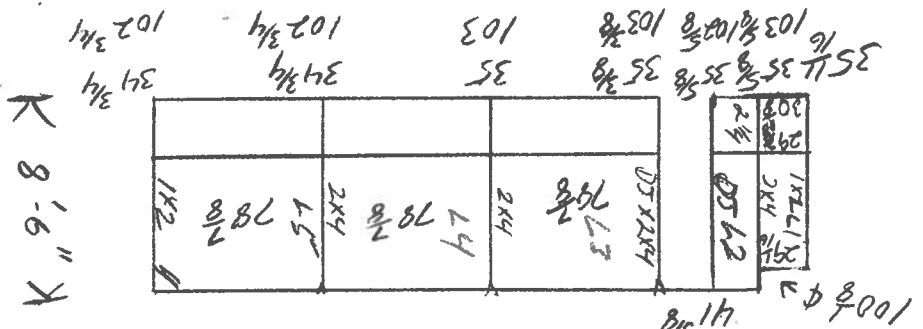
Signed:

The seal is circular with the text "FLORIDA" at the top and "ENGINEER" at the bottom. The date "NOV 09 2005" is stamped across the center of the seal.

Date: NOV 09 2005

Gordon H. Shepardson, P.E. 19333







# FLILINE INC.

A civil engineering firm  
1025 South Semoran Boulevard  
Suite 1083  
Winter Park FL 32782  
(407) 679-7500  
Fax (407) 679-9188

## Aluminum Engineering Index Sheet

This index sheet specifies the master-file pages that can apply for the appropriate type of structure. Typical and Detail sheets and tables indicated are suggested for the type of structure, but do not need to apply in total. The appropriate typical and detail sheets and tables shall be marked as they apply. The listed pages are the only pages that need to be attached per type of structure. Index sheets should be attached with our engineering pages for issuance of a permit. Any signs of alteration shall void this index sheet. Unauthorized typical and detail sheets or span tables cannot be used in conjunction with our engineering designs.

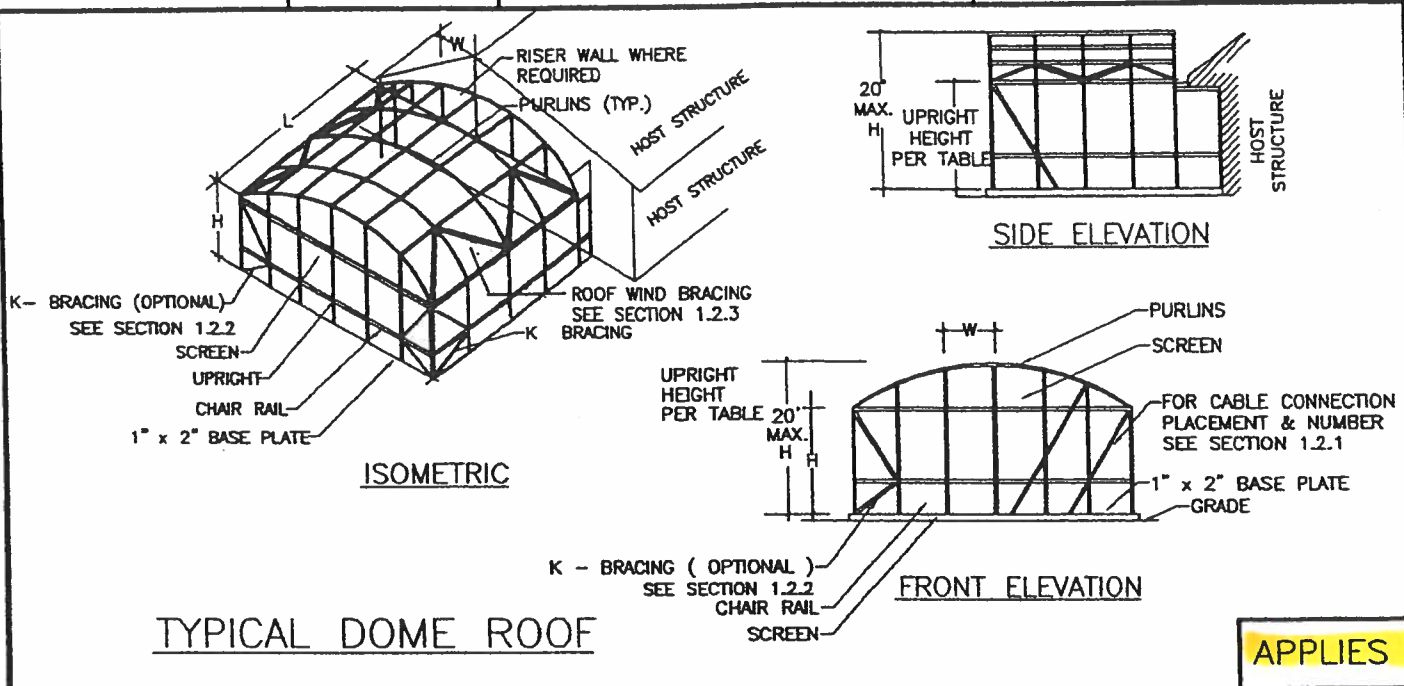
CONTRACTOR:		JOB REFERENCE:	
Company Name:	Florida Pool Enclosures	Owner Name:	Edix Investment
Address:	289 Northwest Corinth Dr.	Address:	1085 S. US Hwy 441
	Lake City, FL 32055		Mason City, FL
Phone number:	386-754-8675	Legal Description:	
Member ID Number:			

Dome Screen enclosure	Mansard Screen enclosure	Splice gable & No splice gable Screen enclosure	Flat Screen enclosure	Composite roof with Screen enclosure	Pan roof with Screen enclosure
1.1.1	1.1.2	1.1.3	1.1.4	2.2.1	3.2.1
1.2.1	1.2.1	1.2.1	1.2.1	2.2.2	3.2.2
1.2.2	1.2.2	1.2.2	1.2.2	2.2.3	3.2.3
1.2.3	1.2.3	1.2.3	1.2.3	1.2.10	1.2.10
1.2.4	1.2.4	1.2.4	1.2.4	1.2.11	1.2.11
1.2.5	1.2.5	1.2.5	1.2.5		
1.2.6	1.2.6	1.2.6	1.2.6		
1.2.7	1.2.7	1.2.7	1.2.7		
1.2.10	1.2.9	1.2.8	1.2.10		
1.2.11	1.2.10	1.2.10	1.2.11		
	1.2.11	1.2.11			
Exposure B tables	Exposure B tables	Exposure B tables	Exposure B tables	Exposure B tables	Exposure B tables
100mph/1.3.2.100B	100mph/1.3.2.100B	100mph/1.3.2.100B	100mph/1.3.2.100B	2.3.1	3.3.1
110mph/1.3.2.110B	110mph/1.3.2.110B	110mph/1.3.2.110B	110mph/1.3.2.110B		
120mph/1.3.2.120B	120mph/1.3.2.120B	120mph/1.3.2.120B	120mph/1.3.2.120B		
130mph/1.3.2.130B	130mph/1.3.2.130B	130mph/1.3.2.130B	130mph/1.3.2.130B		
140mph/1.3.2.140B	140mph/1.3.2.140B	140mph/1.3.2.140B	140mph/1.3.2.140B		
150mph/1.3.2.150B	150mph/1.3.2.150B	150mph/1.3.2.150B	150mph/1.3.2.150B		
Exposure C tables	Exposure C tables	Exposure C tables	Exposure C tables	Exposure C tables	Exposure C tables
100mph/1.3.2.100C	100mph/1.3.2.100C	100mph/1.3.2.100C	100mph/1.3.2.100C	2.3.1	
110mph/1.3.2.110C	110mph/1.3.2.110C	110mph/1.3.2.110C	110mph/1.3.2.110C		
120mph/1.3.2.120C	120mph/1.3.2.120C	120mph/1.3.2.120C	120mph/1.3.2.120C		
130mph/1.3.2.130C	130mph/1.3.2.130C	130mph/1.3.2.130C	130mph/1.3.2.130C		
140mph/1.3.2.140C	140mph/1.3.2.140C	140mph/1.3.2.140C	140mph/1.3.2.140C		
150mph/1.3.2.150C	150mph/1.3.2.150C	150mph/1.3.2.150C	150mph/1.3.2.150C		

Date: MAY 22 2005

Gordon H. Shephardson, P.E. 19333

SECTION 1.1.1	DOME	SCREEN ENCLOSURES	REVISIONS 02/15/05
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## (STANDARDS)

- 1) DESIGN CONFORMS TO THE FLORIDA BUILDING CODE 2004 AS AMENDED & THE FLORIDA BUILDING CODE RESIDENTIAL AS AMENDED & ASCE 7-98 FOR WIND LOAD ON THE ATTACHED TABLES.
- 2) ALL SCREEN ENCLOSURES GREATER THAN 20'-0" MAX. HEIGHT OR GREATER THAN 40'-0" PROJECTION FROM THE HOST STRUCTURE (REGARDLESS OF DIRECTION OF BEAM SPAN) OR WITH A BEAM SPAN GREATER THAN 40'-0", WILL REQUIRE SITE SPECIFIC SIGNED AND SEALED ENGINEERING PLANS AND SIGNED AND SEALED LAYOUT DRAWINGS.
- 3) STRUCTURAL DETAIL DRAWING SHALL RELATE TO 6063-T6, 6061-T5, OR 6061-T6 ALUMINUM EXTRUSIONS WITH AN ACTUAL WALL THICKNESS OF NOT LESS THAN 0.040.
- 4) ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKALI-RESISTANT COATINGS SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER - WHITE METHACRYLATE LACQUER.
- 5) ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR HEAVY-BODIED BITUMINOUS PAINT, OR THE WOOD OR ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH HIGH QUALITY CAULKING COMPOUND.
- 6) ALL FASTENERS WILL BE 24" C-C MAX. UNLESS OTHERWISE NOTED. SCREWS SHALL BE COATED WEATHER SEALED.
- 7) NO OPEN AREA BETWEEN ALUMINUM SHALL EXCEED 56 S.F.
- 8) ALL SCREEN ENCLOSURE DOORS SHALL BE SELF LATCHING AND CLOSING AND MAY BE LOCATED INTO ANY SCREEN PANEL OPENING.
- 9) DISTANCE BETWEEN PURLINS SHALL NOT EXCEED 84 INCHES CENTER TO CENTER.
- 10) ALL PURLINS AND CHAIR RAILS WILL BE ATTACHED WITH MIN. OF 3 SCREWS INTO SCREW BOSS EACH SIDE. SEE SECTION 1.2.3 FOR PURLIN AND CHAIR RAIL SCHEDULE.
- 11) ENCLOSURE MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH N.E.C.
- 12) NO UNAPPROVED APPENDICES OR ACCESSORIES MAY BE ATTACHED TO ANY ALUMINUM MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- 13) WHEN 6061-T5 OR 6061-T6 ALUMINUM ALLOY IS USED IN A STRUCTURE FOR UPRIGHTS, BEAMS, KNEE BRACES, WIND BRACES, AND K-BRACES, 6063-T6 ALUMINUM ALLOY MAY BE USED FOR PURLINS, CHAIR RAILS, TOP PLATES, AND BOTTOM PLATES.
- 14) THIS IS AN OPEN ALUMINUM FRAMED STRUCTURE WITH SCREEN (MAX MESH OF 20/20) ROOF AND WALLS. IT HAS AN IMPORTANCE FACTOR (I<sub>w</sub>) OF 0.77. DESIGN LOADS ARE BASED ON TABLE 2002.4 OF 2004 FLORIDA BUILDING CODE FOR A MEAN HEIGHT UP TO 30 FT.

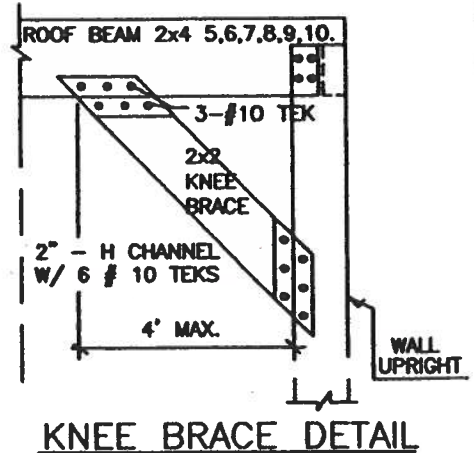
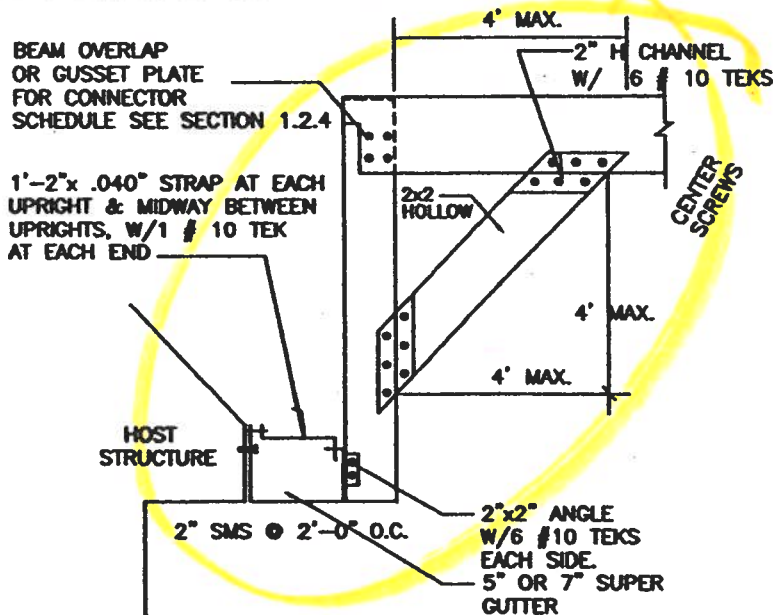
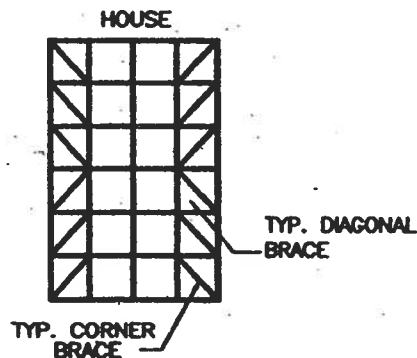
APPLIES

THIS PAGE CAN ONLY BE USED IF THE CONTRACTOR IS AUTHORIZED TO USE THE MASTER FILE MANUAL OR IF THE PAGE HAS AN ORIGINAL SIGNATURE AND SEAL.	FLILINE INC. 1025 S. SEMORAN BLVD. SUITE 1093 WINTER PARK FL 32792 TEL (407) 679-7500 FAX (407) 679-9188 E-MAIL	GORDON H. SHEPARDSON, P.E. FLORIDA P.E. 19333 SEP 21 2005
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## SECTION 1.2.3

## DETAILS

## SCREEN ENCLOSURES

REVISIONS  
02/15/05**STRUCTURAL GUTTER & KNEE BRACE DETAIL****APPLIES**

ROOF WIND BRACE, PURLIN & CHAIR RAIL SIZING					
ROOF BEAM	PURLIN	WIND BRACE		WALL UPRIGHT	CHAIR RAIL
2x7 OR LESS	2x2	2x2		2x7 OR LESS	2x2
2x8	2x3	2x3		2x8	2x3
2x9	2x3	2x3		2x9	2x3
2x10	2x4	2x4		2x10	2x4

**NOTE:** WIND BRACING SHALL NOT BE REQUIRED WHERE BEAMS AND PURLINS ARE LATERALLY SUPPORTED BY CONNECTION TO HOST STRUCTURE.

**NOTE:** WIND BRACING ATTACHMENT TO BE WITH GUSSET PLATE, H CHANNEL OR RECEIVING CHANNEL. NO TOE NAILING IS ALLOWED

**PLAN VIEW**  
(N.T.S.)

**ROOF WIND BRACING, PURLIN & CHAIR RAIL DETAIL****APPLIES**

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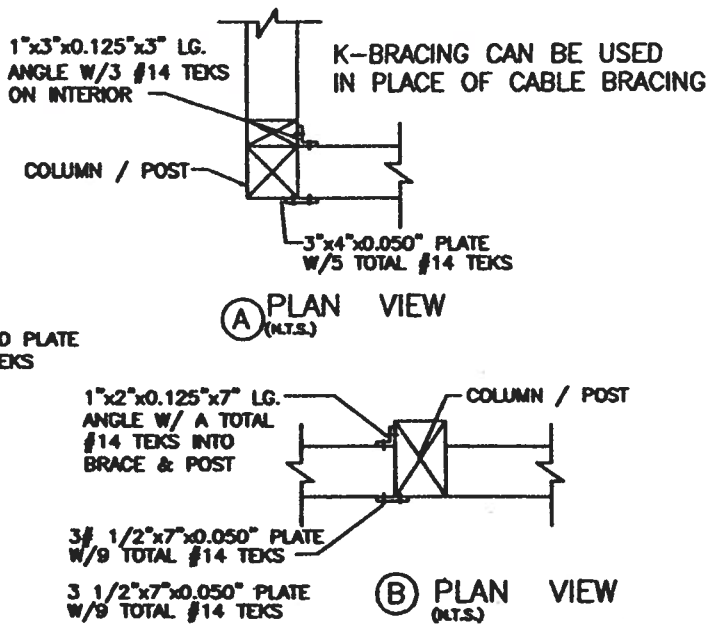
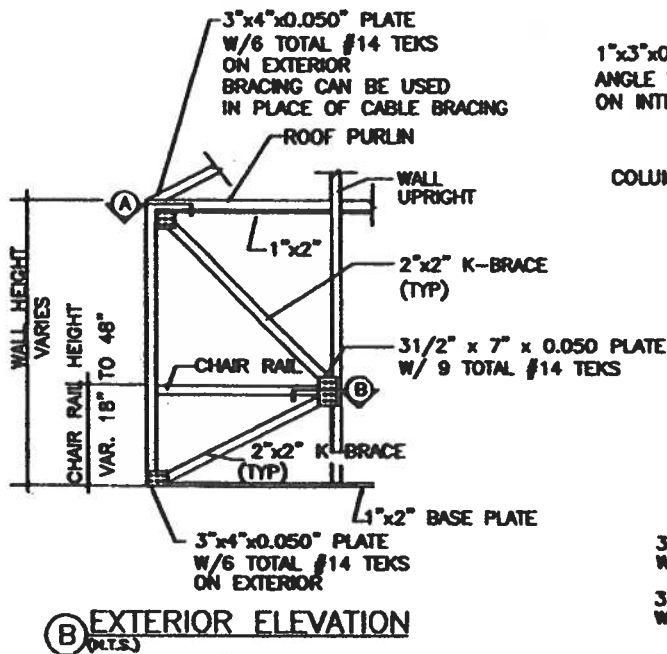
GORDON H. SHEPARDSON P.E.  
FLORIDA P.E. 10839



## SECTION 1.2.2

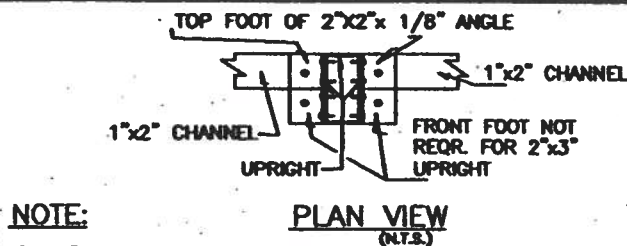
## DETAILS

## SCREEN ENCLOSURES

REVISIONS  
02/15/05

## K-BRACING DETAIL

APPLIES

**NOTE:**

2" x 2" x 1/8" ANGLE IS ONLY REQUIRED ON LOAD BEARING WALLS

**NOTE:**

USED WITH ALL SCREEN TYPES

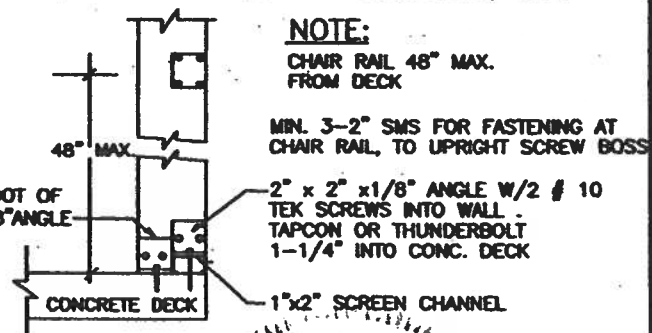
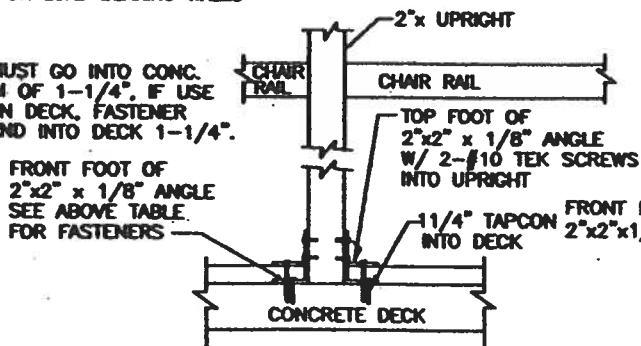
**NOTE:**

2X2 ANGLE ONLY ON LOAD BEARING WALL

FRONT FOOT TABLE							
UPRIGHT SIZES	x4	x5	x6	x7	x8	x9	x10
1/4" TAPCON EACH SIDE	1	2	2	3	3	4	4
#10 TEK SCREWS EACH SIDE	2	4	4	6	6	8	8
HIGHLIGHT ONE							
SELECT LOADBEARING UPRIGHT SIZES							

**NOTE:**

TAPCON MUST GO INTO CONC. A MINIMUM OF 1-1/4". IF USE PAVERS ON DECK, FASTENER WILL EXTEND INTO DECK 1-1/4".

**NOTE:**

CHAIR RAIL 48" MAX. FROM DECK

MIN. 3-2" SMS FOR FASTENING AT CHAIR RAIL, TO UPRIGHT SCREW BOSS

## TYPICAL DECK PLATE &amp; POST CONNECTION

APPLIES

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## SECTION 1.2.1

## DETAILS

## SCREEN ENCLOSURES

REVISIONS  
02/15/05FRONT WALL--1/8" STAINLESS STEEL CABLE

2 CABLE FOR EVERY 200 SQ. FT.

NOTE: ALL WALLS OVER 15" HIGH MUST HAVE 1/2 OR MORE OF THE CABLES AT THE TOP OF THE WALL ABOVE THE TOP CHAIR RAIL.

SIDE WALL--1/8" STAINLESS STEEL CABLE

UP TO 200 SQ. FT. OF WALL: NO CABLE NEEDED  
OVER 200 SQ. FT.: 1 CABLE PER EVERY 200 SQ. FT.

NOTE: ALL WALLS OVER 15" HIGH MUST HAVE 1/2 OR MORE OF THE CABLES AT THE TOP OF THE WALL ABOVE THE TOP CHAIR RAIL.

HOMEOWNER MAINTENANCE RESPONSIBILITY:  
CABLE MUST REMAIN TIGHT AT ALL TIMES. CABLE SHOULD BE TIGHTENED PERIODICALLY TO REMOVE SLACK. TO AVOID DAMAGE CONTACT A QUALIFIED SERVICE COMPANY.

CABLE CORNER  
PLATE 1/8" ALUM.  
W/ 8 # 10 TEXS

TENSIONING  
EYEBOLT

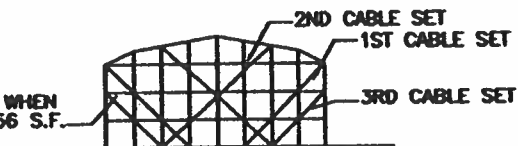
CABLE BRACING CAN BE USED  
IN PLACE OF K-BRACING

MIN 2 DRIVE PINS OR  
2 - 11/4" x 1/4" TAPCON

TOP FASTENER 1 1/2" BELOW  
TOP OF CONCRETE, NO  
NO FASTENING TO PAVERS

CONC. DECK

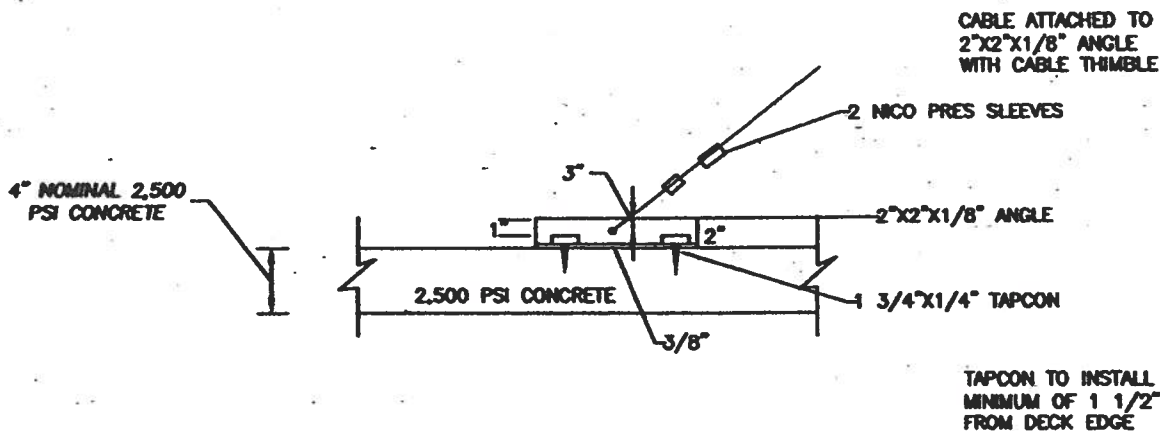
TOP CHAIR RAIL WHEN  
PANEL EXCEED 56 S.F.



SCREEN CABLE BRACING DIAGRAM

CABLE SCHEDULE FOR SCREEN ENCLOSURE

APPLIES

CABLE BRACE MOUNTED ON TOP OF CONCRETE DECK

APPLIES

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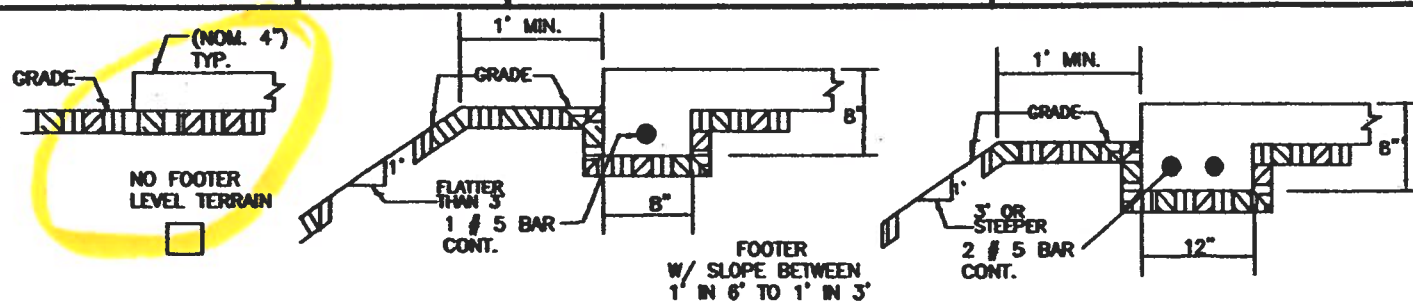
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## SECTION 1.2.10

## DETAILS

## SCREEN ENCLOSURES

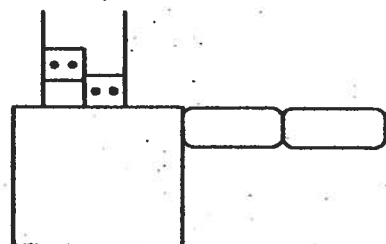
REVISIONS  
02/15/05RIBBON FOOTER—WHERE FOOTER IS NOT CONNECTED TO DECK:

☐ USE 8"x8" CONCRETE RIBBON FOOTER W/ 1#5 REBAR CONTINUOUS TO SUPPORT UP TO 2" X 6" UPRIGHT

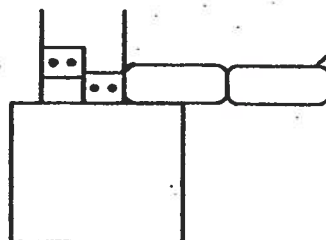
☐ USE 8"x 12" CONCRETE RIBBON FOOTER W/ 2 # 5 REBARS CONTINUOUS TO SUPPORT UPRIGHTS LARGER THAN 2" x 6"

- 1) FOOTER SHALL BEAR ON ROCK, CLEAN SAND, OR STRUCTURALLY SOUND SOIL (>1500 PSI) THAT SHALL BE COMPACTED TO PROVIDE OPTIMUM BEARING CAPACITY TO PREVENT SETTLING.
- 2) CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 2,500 PSI W/ FIBER MESH OR 6x6-10x10 W W MESH.
- 3) 3 - #3 BARS IS EQUIVALENT TO 1 #5 BARS.

FOOTER WHEN SLOPE 1' IN 3' OR STEEPER OR WHEN DECK EXTENDS 33' OR MORE PERPENDICULAR TO THE SUPPORTING STRUCTURE.

TYPICAL SCREEN DECK FOOTER DETAIL**APPLIES**

ALTERNATE 1



ALTERNATE 2

PAVERS SHOULD BE INSTALLED AFTER COMPLETION OF SCREEN ENCLOSURES

NOTE:

SEE TYPICAL SCREEN DECK FOOTER DETAIL FOR FOOTER DETAILS AND SIZING.

RIBBON FOOTERS FOR BRICK PAVERS**APPLIES**

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## SECTION 1.2.4

## DETAILS

## SCREEN ENCLOSURES

REVISIONS  
02/15/05

		BEAMS						
		2x4	2x5	2x6	2x7	2x8	2x9	
		8	10	10	14	X	X	X
UPRIGHT	2x4	8	10	10	14	X	X	X
	2x5	10	10	14	16	16	X	X
	2x6	10	14	16	16	18	18	X
	2x7	14	16	16	18	18	20	X
	2x8	16	16	18	18	20	22	22
	2x9	16	18	18	20	22	22	24
	2x10	18	18	20	22	22	24	24

#10 TEK SCREWS EACH SIDE OF BEAM  
X- NO CONNECTION ALLOWED**NOTE:**

SCREW PATTERN-1"  
CLEARANCE ON ALL 4 SIDES  
OF THE GUSSET PLATE OR  
BEAM OVERLAP.  
SCREWS ARE TO BE EQUALLY  
SPACED FROM TOP TO BOTTOM  
AND SIDE-TO-SIDE. SCREWS  
MUST BE WEATHER SEALED.

**NOTE:**

GUSSET PLATE THICKNESS WILL  
BE EQUAL TO OR LARGER THAN  
LARGEST BEAM OR UPRIGHT USED.

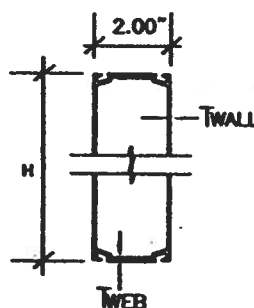
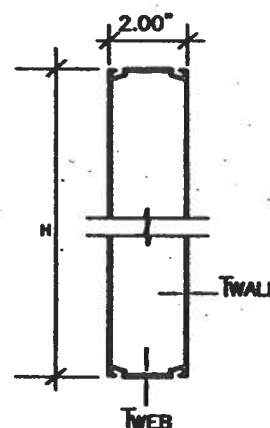
		BEAMS						
		2x4	2x5	2x6	2x7	2x8	2x9	2x10
UPRIGHT	2x4	4	4	6	8	X	X	X
	2x5	4	4	8	8	10	X	X
	2x6	6	8	8	10	12	12	X
	2x7	8	8	10	12	12	14	X
	2x8	8	10	12	12	14	14	14
	2x9	10	12	12	14	14	16	16
	2x10	10	12	14	14	14	16	18

#14 TEK SCREWS EACH SIDE OF BEAM  
X- NO CONNECTION ALLOWED

HOMEOWNER MAINTENANCE RESPONSIBILITY:  
FASTENERS SHOULD BE CHECKED PERIODICALLY FOR DETERIORATION.  
IF DETERIORATION IS DETECTED CONTACT A QUALIFIED SERVICE COMPANY.

BEAM OVERLAP OR GUSSET PLATE CONNECTION**APPLIES**

ALUMINUM			
PHYSICAL PROPERTIES			
2xH	T <sub>WALL</sub>	T <sub>WEB</sub>	SECTION MODULUS (IN <sup>3</sup> )
2x4	0.046	0.100	0.935
2x5	0.050	0.116	1.380
2x6	0.050	0.120	1.920
2x7	0.055	0.220	2.375
2x8	0.072	0.224	4.080
2x9	0.082	0.306	5.910
2x10	0.092	0.389	8.531

HOLLOW BEAM TABLESNAP EXTRUSIONSELF MATING  
BEAMALUMINUM PHYSICAL PROPERTIES**APPLIES**

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FLORIDA P.E. 10393



## BEAM SPAN AND UPRIGHT HEIGHT TABLES

SECTION

1.3.2.110 B

SPAN

TABLES

SCREEN ENCLOSURES

6063-T6 ALLOY

6061-T5 ALLOY

6061-T6 ALLOY

110MPH EXPOSURE B

ALUMINUM ALLOY : 6063-T6, 6061-T5, & 6061-T6 WIND ZONE: 110MPH EXPOSURE B

ALL ROOF STYLES

MAX. SPANS FOR ROOF BEAMS FOR SCREEN ROOF/POOL ENCLOSURES

UP TO 150 MPH WIND LOAD

ALL WIND SPEEDS PRESSURE 10 PSF

MAX. SPANS FOR WALL UPRIGHTS FOR SCREEN ROOF/POOL ENCLOSURES

ROOF BEAM SPANS

Interpolation between spans is permitted.

SPANS	ROOF SPACING (number of feet)					
	4'	5'	6'	7'	8'	9'
2 X 4 - 0 KNEES	16'0	14'10	14'0	13'3	12'9	12'3
2 X 4 - 1 KNEE	20'0	18'10	18'0	17'3	16'9	16'3
2 X 4 - 2 KNEES	24'0	22'10	22'0	21'3	20'9	20'3
2 X 5 - 0 KNEES	19'6	18'2	17'2	16'3	15'7	15'0
2 X 5 - 1 KNEE	23'6	22'2	21'2	20'3	19'7	19'0
2 X 5 - 2 KNEES	27'6	26'2	25'2	24'3	23'7	23'0
2 X 6 - 0 KNEES	23'2	21'6	20'4	19'4	18'2	17'0
2 X 6 - 1 KNEE	27'2	25'6	24'4	23'4	22'2	21'0
2 X 6 - 2 KNEES	31'2	29'6	28'4	27'4	26'2	25'0
2 X 7 - 0 KNEES	26'2	24'4	22'9	21'9	20'0	19'1
2 X 7 - 1 KNEE	30'2	28'4	26'9	25'9	24'0	23'1
2 X 7 - 2 KNEES	34'2	32'4	30'9	29'9	28'0	27'1
2 X 8 - 0 KNEES	32'6	30'4	28'7	27'2	25'10	24'3
2 X 8 - 1 KNEE	36'6	34'4	32'7	31'2	29'10	28'3
2 X 8 - 2 KNEES	40'6	38'4	36'7	35'2	33'10	32'3
2 X 9 - 0 KNEES	35'9	33'4	31'6	29'11	28'1	26'6
2 X 9 - 1 KNEE	39'9	37'4	35'6	33'11	32'1	30'6
2 X 9 - 2 KNEES	43'9	41'4	39'6	37'11	36'1	34'6
2 X 10 - 0 KNEES	44'4	41'4	39'1	37'3	35'8	34'4
2 X 10 - 1 KNEE	48'4	46'4	43'1	41'3	39'8	38'4
2 X 10 - 2 KNEES	52'4	49'4	47'1	45'3	43'8	42'4

Interpolation between spans is permitted.

NOTE 1: Roof spans using knee braces are figured for knee braces of 4ft on the horizontal. The difference in the knee brace length of less than or greater than 4ft on the horizontal will be deducted from or added to the span.

NOTE 2: Wall spans using knee braces are figured for knee braces of 4ft on the vertical. The difference in the knee brace length of less than or greater than 4ft on the vertical will be deducted from or added to the span.

WALL UPRIGHT HEIGHTS

Interpolation between spans is permitted.

HEIGHTS	UPRIGHT SPACING (number of feet)					
	4'	5'	6'	7'	8'	9'
2 X 4 - 0 KNEES	15'7	14'6	13'7	12'11	11'9	11'0
2 X 4 - 1 KNEE	19'7	18'6	17'7	16'11	15'9	15'0
2 X 5 - 0 KNEES	19'2	17'9	16'8	15'3	14'6	13'7
2 X 5 - 1 KNEE	23'2	21'9	20'8	19'3	18'6	17'7
2 X 6 - 0 KNEES	22'8	21'0	19'0	17'10	16'9	15'9
2 X 6 - 1 KNEE	26'8	25'0	23'0	21'10	20'9	19'9
2 X 7 - 0 KNEES	25'7	23'3	21'8	20'0	18'11	18'0
2 X 7 - 1 KNEE	29'7	27'3	25'8	24'0	22'11	22'0
2 X 8 - 0 KNEES	30'6	29'9	27'3	25'9	24'2	23'0
2 X 8 - 1 KNEE	34'6	33'9	31'3	29'9	28'2	27'0
2 X 9 - 0 KNEES	33'6	31'3	30'0	27'9	26'0	24'9
2 X 9 - 1 KNEE	37'6	35'3	34'0	31'9	30'0	28'9
2 X 10 - 0 KNEES	39'3	37'7	35'6	35'0	33'6	30'11
2 X 10 - 1 KNEE	43'3	41'7	39'6	39'0	37'6	34'11

Interpolation between spans is permitted.

NOTE 3: Spans and heights using knee braces are used only for dome, flat, and no splice gable roof styles.

NOTE 4: When using spans or heights in bold bordered areas - site specific sealed engineering and layout drawings are required when enclosure is 40ft or greater in distance from host structure (regardless of which direction beams span) and/or upright height is 20ft or greater.

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FLILINE INC.

1025 S. SEMORAN BLVD.

SUITE 1093

WINTER PARK FL 32782

TEL (407) 679-7500

FAX (407) 679-9188

REVISD 02/15/05

Gordon H. Shepardson, P.E.

Florida P.E. 19333

NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 22-55-17-09328-013

1. Description of property: (legal description of the property and street address or 911 address)

Parcel # 2 SW cor of Lot 2 in Bk 2 of Mason City as  
per Plat thereof as Rec in Plat Bk 1, Page 31

2. General description of improvement: Screen Pool Enclosure

3. Owner Name & Address Edix Investment Inc 120 NW 23rd Ave  
Gainesville FL 32609 Interest in Property Owner

4. Name & Address of Fee Simple Owner (if other than owner): n/a

5. Contractor Name Mike Delahos Phone Number 386-754-8678  
Address 289 NW Corinth Dr Lake City, FL 32055

6. Surety Holders Name n/a Phone Number \_\_\_\_\_  
Address \_\_\_\_\_  
Amount of Bond \_\_\_\_\_

7. Lender Name n/a Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:  
Name n/a Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

9. In addition to himself the owner designates FL Pool Enclosures of  
289 NW Corinth Dr Lake City, FL 32055 to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -  
(a) 7. Phone Number of the designee 386-754-8678

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) \_\_\_\_\_

Inst:2006011756 Date:05/15/2006 Time:10:49

17 DC, P. DeWitt Cason, Columbia County B:1083 P:1899

NOTICE AS PER CHAPTER 713, Florida Statutes:  
The owner must sign the notice of commencement

Jax  
Signature of Owner

Sworn to (or affirmed) and subscribed before  
day of 1 May, 2006

NOTARY STAMP/SEAL

Beth Godwin  
Signature of Notary



Beth Godwin  
MY COMMISSION # DD189590 EXPIRES  
March 10, 2007  
BONDED THRU TROY FAIN INSURANCE, INC