

DATE 04/11/2007

Columbia County Building Permit**PERMIT**

This Permit Expires One Year From the Date of Issue

000025719

APPLICANT LAMAR DUPREE PHONE 754-5678

ADDRESS P.O. BOX 2861 LAKE CITY FL 32056

OWNER MICHAEL & JULIA BECHARD PHONE 755-8998

ADDRESS 373 NW OLD MILL RD LAKE CITY FL 32055

CONTRACTOR J.L. DUPREE PHONE 754-5678

LOCATION OF PROPERTY 90W, TURN ON LAKE JEFFREY, TL ON OLD MILL RD, 2ND HOUSE
ON LEFT

TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 4800.00

HEATED FLOOR AREA TOTAL AREA 96.00 HEIGHT STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB

LAND USE & ZONING RSF-2 MAX. HEIGHT 20

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE X PS DEVELOPMENT PERMIT NO.

PARCEL ID 26-3S-16-02305-232 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 0.79

CGC060631 Lamar Dupree

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

EXISTING 07-236-E BK JH N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 13612**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by

Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by

Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by

M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by

Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by

M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.48 SURCHARGE FEE \$ 0.48

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 75.96

INSPECTORS OFFICE Gale Tedder CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVINCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

BOUNDARY SURVEY
IN SECTION 23, 26,
TOWNSHIP 3 SOUTH,
RANGE 16 EAST,
COLUMBIA COUNTY, FLA.

Curve number 1 FIELD
Radius= 260.00'
Delta= 09°32'59"
Tangent= 38.80'
Chord= 38.76'
Chord Brg= N 42°41'35"E

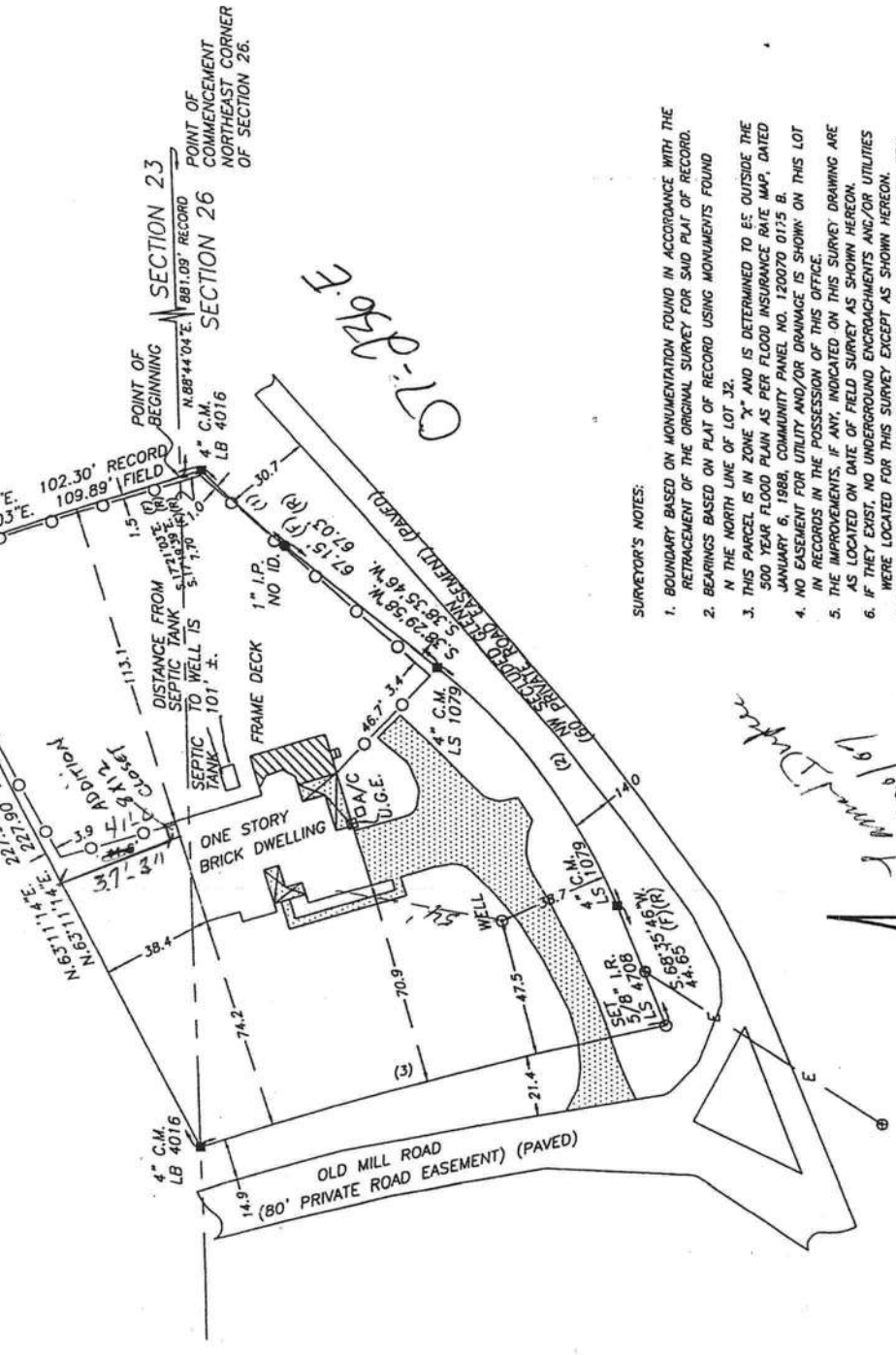
Curve number 2 FIELD
Radius= 200.00'
Delta= 30°00'17"
Arc= 104.74'
Tangent= 53.60'
Chord= 103.54'
Chord Brg= S 53°39'09"W

Curve number 3 FIELD
Radius= 1506.94'
Delta= 166°58'39"
Tangent= 83.37'
Chord= 166.48'
Chord Brg= S 15°00'33"E

Curve number 1 RECORD
Radius= 260.00'
Delta= 09°32'44"
Arc= 38.78'

Curve number 2 RECORD
Radius= 200.00'
Delta= 30°00'00"
Arc= 104.72'

Curve number 3 RECORD
Radius= 1506.94'
Delta= 06°19'44"
Arc= 166.46'



- SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
 2. BEARINGS BASED ON PLAT OF RECORD USING MONUMENTS FOUND IN THE NORTH LINE OF LOT 32.
 3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED JANUARY 6, 1988, COMMUNITY PANEL NO. 120070 0175 B.
 4. NO EASEMENT FOR UTILITY AND/OR DRAINAGE IS SHOWN ON THIS LOT IN RECORDS IN THE POSSESSION OF THIS OFFICE.
 5. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 6. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 7. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 8. CLOSURE OF FIELD SURVEY IS BETTER THAN 1/7,500.
 9. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE POLICY. THEREFORE EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS.
- CERTIFIED TO:

MICHAEL J. AND JULIA R. BECHARD
LIBERTY MORTGAGE CORP.
TITLE OFFICES, LLC
TICOR TITLE INSURANCE COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

APPROVED

SIGNED: *[Signature]*
MARK D. DUREN, LS 4708



SYMBOL LEGEND

- CONCRETE MONUMENT FOUND
- CONCRETE MONUMENT SET, LS 4708
- IRON PIN OR PIPE FOUND
- 5/8" IRON ROD SET, LS 4708
- WIRE FENCE
- ELECTRIC UTILITY LINE (OVERHEAD)
- UNDERGROUND ELECTRIC SERVICE
- CABLE TV LINE (OVERHEAD)
- CHAIN LINK FENCE
- WOODEN FENCE
- CMP CORRUGATED METAL PIPE
- RCF REINFORCED CONCRETE PIPE
- LAND SURVEYOR
- LB LICENSED BUSINESS
- ORB OFFICIAL RECORD BOOK
- PRM PERMANENT REFERENCE MONUMENT
- PCP PERMANENT CONTROL POINT
- UTILITY POLE
- R/W RIGHT-OF-WAY
- NO ID. NO IDENTIFICATION
- FLA. D.O.T. FLA. DEPT. OF TRANSPORTATION
- CENTERLINE
- C.M. CONCRETE MONUMENT
- I.P. IRON ROD
- I.P. IRON PIPE

DESCRIPTION:
A PARCEL OF LAND KNOWN AS LOT 32 OF AN UNRECORDED SUBDIVISION, LYING IN SECTION 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 26, AND RUN S.88°44'04"W., ALONG THE NORTH LINE OF SAID SECTION 26, A DISTANCE OF 881.09 FEET TO THE POINT OF BEGINNING; THENCE S.17°19'39"E., 7.70 FEET TO A POINT ON THE NORTH LINE OF AN INGRESS/EGRESS EASEMENT, SAID POINT OF BEING ON THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 08°32'44"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 38.78 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.38°35'46"W., STILL ALONG THE NORTHERLY LINE OF SAID EASEMENT 67.03 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 30°00'00"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 104.72 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.68°35'46"W., STILL ALONG SAID NORTHERLY LINE OF SAID EASEMENT 44.65 FEET TO A POINT ON THE EASTERLY LINE OF A PRIVATE ROAD, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1506.94 FEET AND A CENTRAL ANGLE OF 06°19'44"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE BEING, ALSO SAID EASTERLY LINE OF A PRIVATE ROAD 166.46 FEET TO A POINT ON THE SOUTH LINE OF SECTION 23; THENCE N.63°11'14"E., 227.98 FEET; THENCE S.17°19'39"E., 102.30 FEET TO THE POINT BEGINNING.
SUBJECT TO: EASEMENTS FOR UTILITIES ACROSS THE SOUTHERLY 15.00 FEET AND THE WESTERLY 15.00 FEET THEREOF.
TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS IN SECTION 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
A STRIP OF LAND .80 FEET IN WIDTH, LYING 40.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCE AT A POINT KNOWN AS "PRM 10" AS SHOWN ON A PLAT OF "LAKE JEFFERY PHASE 1", A SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGES 39 AND 39-A OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN S.75°32'20"E., ACROSS THE SOUTHERLY TERMINUS OF THE RIGHT-OF-WAY OF OLD MILL ROAD 40.00 FEET TO THE POINT OF BEGINNING OF HEREIN DESCRIBED CENTERLINE AND EASEMENT; SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 980.00 FEET AND A CENTRAL ANGLE OF 35°29'39"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 607.10 FEET TO THE POINT OF REVERSE CURVE OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 01°59'24"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 51.29 FEET TO A POINT HEREIN DESIGNATED AS POINT "A".
ALSO: A STRIP OF LAND 60.00 FEET IN WIDTH, LYING 30.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE: BEGIN AT THE ABOVE-REFERENCED POINT "A", SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 00°48'08"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 21.11 FEET TO A POINT ON THE NORTH LINE OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, THENCE CONTINUE SOUTHERLY, STILL ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 06°41'03", A DISTANCE OF 172.31 FEET TO THE TERMINAL POINT OF HEREIN DESCRIBED CENTERLINE AND EASEMENT.

MARK D. DUREN, P.S.M.
LS 4708

1604 SW SISTERS WELCOME ROAD
LAKE CITY, FLA. 32025
(386) 758-9831 OFFICE
(386) 758-8010 FAX

FIELD SURVEY DATE: APRIL 4, 2006
DATE DRAWN: APRIL 5, 2006
FOR: BECHARD
FIELD BOOK: 165, PAGE: 09.10
DRAWN BY: M. DUREN / A. DIAL
WO# 06-215

PERMIT# _____

NOTICE OF COMMENCEMENT
COUNTY OF: COLUMBIA

CITY OF: LAKE CITY

STATE OF: FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

DESCRIPTION OF PROPERTY

SECTION: _____ TOWNSHIP: _____ RANGE: _____ TAX PARCEL #: 02305-232
LOT: 32 BLOCK: _____ SUBDIVISION: UNRECORDED SUBDIVISION
PLATBOOK #: _____ MAP PAGE #: _____
STREET ADDRESS: 373 NW OLD MILL ROAD LAKE CITY, FLORIDA 32055

GENERAL DESCRIPTION OF IMPROVEMENT

TO CONSTRUCT: Residential FRAME ADDITION

OWNER INFORMATION

NAME: MICHEAL and JULIA BECHARD PHONE NUMBER: 755-8998
ADDRESS: 373 NW OLD MILL ROAD LAKE CITY, FL.
STATE: FLORIDA ZIP CODE: 32055
INTEREST IN THE PROPERTY: _____
FEE SIMPLE TITLEHOLDER NAME (OTHER THAN OWNER): _____
FEE SIMPLE TITLEHOLDER ADDRESS: _____

CONTRACTOR NAME: J.L. DUPREE PHONE NUMBER: 386-754-5678
COMPANY NAME: J.L. DUPREE CONSTRUCTION SERVICES, INC. FAX NUMBER: 386-754-5431
ADDRESS: P.O. BOX 2861 CITY: LAKE CITY
STATE: FLORIDA ZIP CODE: 32056

BONDING COMPANY: N/A PHONE NUMBER: _____
ADDRESS: _____ FAX NUMBER: _____
CITY: _____ STATE: _____ ZIP CODE: _____

LENDER NAME: N/A PHONE NUMBER: _____
ADDRESS: _____ FAX NUMBER: _____
CITY: _____ STATE: _____ ZIP CODE: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a), Florida Statute:

NAME: N/A ADDRESS: _____
CITY: _____ STATE: _____ ZIP CODE: _____

In addition to himself, the owner designates N/A of _____

To receive a copy of the Lienor's notice as provided in Section 713.13(1)(b) Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified): _____

SIGNATURE OF OWNER: [Signature]

Sworn to and subscribed before me this 5th day of march, 2007.

Known personally/I.D. Shown _____

Notary: [Signature]

My commission expires: 10-21-2008



Shannon M Regar
My Commission DD364938
Expires October 21, 2008

Inst:2007007820 Date:04/05/2007 Time:14:21

[Signature] DC, P. DeWitt Cason, Columbia County B:1115 P:2165

Exhibit A

A PARCEL OF LAND KNOWN AS LOT 32 OF A UNRECORDED SUBDIVISION, LYING IN SECTION 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 26 AND RUN S 88°44'04" W ALONG THE NORTH LINE OF SAID SECTION 26 A DISTANCE OF 881.09 FEET TO THE POINT OF BEGINNING; THENCE S 17°19'39" E 7.70 FEET TO A POINT ON THE NORTH LINE OF AN INGRESS/EGRESS EASEMENT, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 08°32'44"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 38.78 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S 38°35'46" W STILL ALONG THE NORTHERLY LINE OF SAID EASEMENT 67.03 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 30°00'00"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 104.72 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S 68°35'46" W STILL ALONG SAID NORTHERLY LINE OF SAID EASEMENT 44.65 FEET TO A POINT ON THE EASTERLY LINE OF A PRIVATE ROAD, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1506.94 FEET AND A CENTRAL ANGLE OF 06°19'44"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID EASTERLY LINE OF A PRIVATE ROAD 166.46 FEET TO A POINT ON THE SOUTH LINE OF SECTION 23; THENCE N 63°11'14" E 227.96 FEET; THENCE S 17°19'39" E 102.30 FEET TO THE POINT BEGINNING. SUBJECT TO: EASEMENTS FOR UTILITIES ACROSS THE SOUTHERLY 15.00 FEET AND THE WESTERLY 15.00 FEET THEREOF.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS IN SECTIONS 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 80 FEET IN WIDTH, LYING 40.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT A POINT KNOWN AS "PRM 10", AS SHOWN ON A PLAT OF "LAKE JEFFERY PHASE 1", A SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGES 39 AND 39-A OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN S 75°52'20" E ACROSS THE SOUTHERLY TERMINUS OF THE RIGHT-OF-WAY OF OLD MILL ROAD 40.00 FEET TO THE POINT OF BEGINNING OF HEREIN DESCRIBED CENTERLINE AND EASEMENT, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 980.00 FEET AND CENTRAL ANGLE OF 35°29'39"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 607.10 FEET TO THE POINT OF REVERSE CURVE OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 01°59'24"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 51.29 FEET TO A POINT HEREIN DESIGNATED AS POINT "A".

ALSO: A STRIP OF LAND 60.00 FEET IN WIDTH, LYING 30.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

BEGIN AT THE ABOVE-REFERENCED POINT "A", SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 00°49'09"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 21.11 FEET TO A POINT ON THE NORTH LINE OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST; THENCE CONTINUE SOUTHERLY, STILL ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 06°41'05", A DISTANCE OF 172.31 FEET TO THE TERMINAL POINT OF HEREIN DESCRIBED CENTERLINE AND EASEMENT.

BOUNDARY SURVEY
IN SECTION 23.26,
TOWNSHIP 3 SOUTH,
RANGE 16 EAST.
COLUMBIA COUNTY, FLA.

DESCRIPTION:

A PARCEL OF LAND KNOWN AS LOT 32 OF A UNRECORDED SUBDIVISION, LYING IN SECTION 21 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 26, AND RUN S.88°44'04"W., ALONG THE NORTH LINE OF SAID SECTION 26, A DISTANCE OF 881.09 FEET TO THE POINT OF BEGINNING; THENCE S.17°19'39"E., 7.70 FEET TO A POINT ON THE NORTH LINE OF AN INGRESS-EGRESS EASEMENT, SAID POINT OF BEING ON THE ARC OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 08°32'44"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THENCE S.38°15'46"W., STILL ALONG THE NORTHERLY LINE OF SAID EASEMENT 38.78 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.38°15'46"W., STILL ALONG THE NORTHERLY LINE OF SAID EASEMENT 67.03 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 30°00'00". THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 104.72 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.68°35'46"W., STILL ALONG SAID NORTHERLY LINE OF SAID EASEMENT 44.65 FEET TO A POINT ON THE EASTERLY LINE OF A PRIVATE ROAD, STILL ALONG SAID BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1506.94 FEET AND A CENTRAL ANGLE OF 06°19'44"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE BEING, ALSO SAID EASERLY LINE OF A PRIVATE ROAD 166.46 FEET TO A POINT ON THE SOUTH LINE OF SECTION 23; THENCE N.63°11'14"E., 227.96 FEET; THENCE S.17°19'39"E., 102.30 FEET TO THE POINT OF BEGINNING.

SUBJECT TO: EASEMENTS FOR UTILITIES ACROSS THE SOUTHERLY 15.00 FEET AND THE WESTELY 15.00 FEET THEREOF.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS IN SECTION 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND .80 FEET IN WIDTH, LYING 40.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT A POINT KNOWN AS "TRIN 10", AS SHOWN ON A PLAT OF TAKE JEFFERY PHASE 1st, A SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGES 19 AND 39-41 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND RUN S. 75° 52'20"E. ACROSS THE SOUTHERLY TERMINUS OF THE RIGHT-OF-WAY OF OLD MILL ROAD 40.00 FEET TO THE POINT OF BEGINNING OF HEREN DESCRIBED CENTERLINE AND EASEMENT, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 980.00 FEET AND CENTRAL ANGLE OF 35°29'19". THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 607.10 FEET TO THE POINT OF REVERSE CURVE OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1478.94 FEET AND A CENTRAL ANGLE OF 01°59'24". THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 51.29 FEET TO A POINT HEREN DESIGNATED AS POINT "A".

ALSO: A STRIP OF LAND 60.00 FEET IN WIDTH, LYING 30.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE; BEGIN AT THE ABOVE-REFERENCED POINT "A", SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 00°49'09"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 21.11 FEET TO A POINT ON THE NORTH LINE OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, THENCE CONTINUE SOUTHERLY, STILL ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 06°41'05", A DISTANCE OF 172.31 FEET TO THE TERMINAL POINT OF HEREIN DESCRIBED CENTERLINE AND EASEMENT.



MARK D. DUREN, P.S.M.
LS 4708

1604 SW SISTERS WELCOME ROAD
LAKE CITY, FLA. 32025
(386) 758-9831 OFFICE
(386) 758-8010 FAX

FIELD SURVEY DATE APRIL 4, 2006
DATE DRAWN APRIL 5, 2006
FOR BECHARD

FIELD BOOK 165 PAGE 09/10
DRAWN BY M. DUREN / A. DYAL

WO# 06-215

SYMBOL LEGEND

- CONCRETE MONUMENT FOUND.
 □ CONCRETE MONUMENT SET, LS 4708
 ○ IRON PIN OR PIPE FOUND
 ○ 5/8" IRON ROD SET, LS 4708
 — X WIRE FENCE
 — E— ELECTRIC UTILITY LINE (OVERHEAD)
 — UGE — UNDERGROUND ELECTRIC SERVICE
 — CTV — CABLE TV LINE (OVERHEAD)
 — ○ CHAIN LINK FENCE
 — ○ WOODEN FENCE
 CMP CORRUGATED METAL PIPE
 RCP REINFORCED CONCRETE PIPE
 LS LAND SURVEYOR
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 PCP PERMANENT CONTROL POINT
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 R/W RIGHT-OF-WAY
 NO ID. NO IDENTIFICATION
 D.O.T. FLA. DEPT. OF TRANSPORTATION
 C CENTERLINE
 C.M. CONCRETE MONUMENT
 I.R. IRON ROD
 I.P. IRON PIPE

NO ID. NO IDENTIFICATION
FLA. D.O.T. FLA. DEPT. OF TRANSPORTATION
C.C. CENTERLINE
C.M. CONCRETE MONUMENT
I.P. IRON ROD
I.P. IRON PIPE

Curve number 3 FIELD

Radius= 1506.94'
Delta= 06°19'59"
Arc= 166.56'
Tangent= 83.37'
Chord= 166.48'
Chord Brg.= S.15°00'30"E

Curve number 3 RECORD

Radius= 1506.94'
Delta= 06°19'44"
Arc= 166.46'

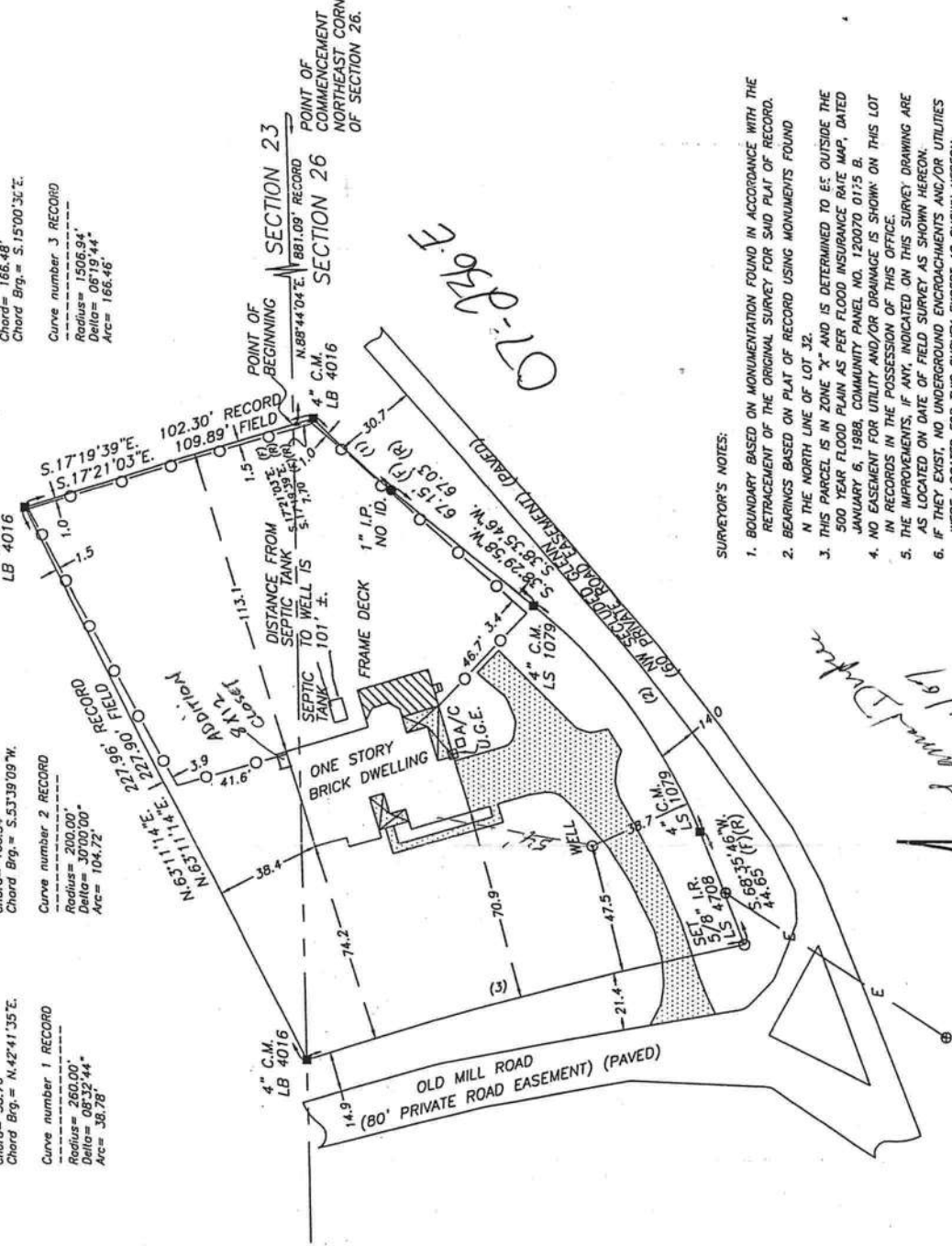
Curve number 2 FIELD

Radius = 200.00'
Delta = 30°00'17"
Arc = 104.74'
Tangent = 53.60'
Chord = 103.54'
Chord Brg. = S.53°19'09"W.

Curve number 2 RECORD

Radius = 200.00'
Delta = 30°00'00"
Arc = 104.72'

Curve number 1 FIELD	Curve number 1 RECORD
Radius= 260.00'	Radius= 260.00'
Delta= 08°32'59"	Delta= 08°32'44"
Arc= 38.80'	Arc= 38.78'
Tangent= 19.43'	
Chord= 38.76'	
Chord Brg.= N.42°41'35"E.	



SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETICEMENT OF THE ORIGINAL SURVEY FOR SMD PLAT OF RECORD.
 2. BEARINGS BASED ON PLAT OF RECORD USING MONUMENTS FOUND IN THE NORTH LINE OF LOT 32.
 3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED JANUARY 6, 1988, COMMUNITY PANEL NO. 120070 0175 B.
 4. NO EASEMENT FOR UTILITY AND/OR DRAINAGE IS SHOWN ON THIS LOT IN RECORDS IN THE POSSESSION OF THIS OFFICE.
 5. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 6. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 7. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.*
 8. CLOSURE OF FIELD SURVEY IS BETTER THAN 1/7.500.
 9. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE POLICY. THEREFORE EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS.
- CERTIFIED TO:

MICHAEL J. AND JULIA R. BECHARD
LIBERTY MORTGAGE CORP.
TITLE OFFICES, LLC
TICOR TITLE INSURANCE COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

APPROVED

Sally

SIGNED: Mark D. Duren
MARK D. DUREN, LS 4708

MARK D. DUREN, LS 4708

Columbia County Building Permit Application

Renee
CK# 13612

For Office Use Only Application # 0703-79 Date Received 3/21/07 By GP Permit # 25719
 Application Approved by - Zoning Official BLK Date 02.04.07 Plans Examiner OK JTH Date 4-10-07
 Flood Zone X Supervisor Development Permit N/A Zoning RSF-2 Land Use Plan Map Category RES. Low Den
 Comments /
☐ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permit

Fax 386-754-5311
 Name Authorized Person Signing Permit Lamar DuPree Phone 386-754-5678
 Address P.O.Box 2861 Lake City, Florida 32056 2902 West US Highway 90 Lake City, Florida
 Owners Name Michael J. and Julia Bechard Phone 386-755-8998
 911 Address 373 N.W. Old Mill Road Lake City, Florida 32055
 Contractors Name J.L. DuPree Construction Services, Inc. Phone 386-754-5678
 Address P.O. Box 2861 Lake City, Fla 32056 2902 West US Highway 90 Lake City, FL 32055
 Fee Simple Owner Name & Address Michael J and Julia Bechard 373 N.W. Old Mill Road, Lake City, FL
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address GTC Design Group, Gary Gill, P.E., 130 W. Howard Street, Live Oak
 Mortgage Lenders Name & Address N/A
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 02305-232 Estimated Cost of Construction 12,640.00
 Subdivision Name unrecorded sub Lot 32 Block Unit Phase Phase
 Driving Directions West on Lake Jeffery Road to Old Mill Road, turn left, 2nd house on the left.

Type of Construction Frame Addition CL Closet/Patio Number of Existing Dwellings on Property 1
 Total Acreage .790 Lot Size Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 70.9 Side 45.3 37'-3" Side 51.1 Rear 113.1
 Total Building Height 20 ft. Number of Stories 1 Heated Floor Area 2,000 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 26th day of March 2007.
 Personally known X or Produced Identification

Shannon M. Regar
 Contractor Signature
 Contractors License Number CG-C060631
 Competency Card Number
 NOTARY STAMP/SEAL
 My Commission DD364938
 Expires October 21, 2008
Shannon M. Regar
 Notary Signature

Columbia County Property Appraiser

DB Last Updated: 3/8/2007

Parcel: 26-3S-16-02305-232 HX

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	BECHARD MICHAEL J & JULIA R		
Site Address	OLD MILL		
Mailing Address	373 NW OLD MILL DR LAKE CITY, FL 32055		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	26316.00	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.790 ACRES		
Description	COMM NW COR OF SEC, RUN W 881.09 FT FOR POB, RUN SE 7.70 FT TO N R/W OF A 60 FOOT EASE- MENT, SW 255.18 FT, NW 166.46 FT, NE 227.96 FT, SE 102.30 FT TO POB. (AKA LOT 32) ORB 856-1401, WD 1080-1242.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$24,853.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$128,235.00
XFOB Value	cnt: (3)	\$4,303.00
Total Appraised Value		\$157,391.00

Just Value	\$157,391.00
Class Value	\$0.00
Assessed Value	\$157,391.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$132,391.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
4/7/2006	1080/1242	WD	I	Q		\$195,900.00
4/9/1998	856/1402	WD	V	Q		\$10,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1998	Common BRK (19)	1608	2366	\$128,235.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1998	\$903.00	602.000	0 x 0 x 0	(.00)
0190	FPLC PF	1998	\$1,600.00	1.000	0 x 0 x 0	(.00)
0120	CLFENCE 4	1998	\$1,800.00	400.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	.790 AC	1.00/1.00/1.21/1.00	\$31,459.49	\$24,853.00

Columbia County Property Appraiser

DB Last Updated: 3/8/2007

Exhibit A

A PARCEL OF LAND KNOWN AS LOT 32 OF A UNRECORDED SUBDIVISION, LYING IN SECTION 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 26 AND RUN S 88°44'04" W ALONG THE NORTH LINE OF SAID SECTION 26 A DISTANCE OF 881.09 FEET TO THE POINT OF BEGINNING; THENCE S 17°19'39" E 7.70 FEET TO A POINT ON THE NORTH LINE OF AN INGRESS/EGRESS EASEMENT, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 08°32'44"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 38.78 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S 38°35'46" W STILL ALONG THE NORTHERLY LINE OF SAID EASEMENT 67.03 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 30°00'00"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO THE NORTHERLY LINE OF SAID EASEMENT 104.72 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S 68°35'46" W STILL ALONG SAID NORTHERLY LINE OF SAID EASEMENT 44.65 FEET TO A POINT ON THE EASTERLY LINE OF A PRIVATE ROAD, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1506.94 FEET AND A CENTRAL ANGLE OF 06°19'44"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID EASTERLY LINE OF A PRIVATE ROAD 166.46 FEET TO A POINT ON THE SOUTH LINE OF SECTION 23; THENCE N 63°11'14" E 227.96 FEET; THENCE S 17°19'39" E 102.30 FEET TO THE POINT BEGINNING. SUBJECT TO: EASEMENTS FOR UTILITIES ACROSS THE SOUTHERLY 15.00 FEET AND THE WESTERLY 15.00 FEET THEREOF.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS IN SECTIONS 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 80 FEET IN WIDTH, LYING 40.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT A POINT KNOWN AS "PRM 10", AS SHOWN ON A PLAT OF "LAKE JEFFERY PHASE 1", A SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGES 39 AND 39-A OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN S 75°52'20" E ACROSS THE SOUTHERLY TERMINUS OF THE RIGHT-OF-WAY OF OLD MILL ROAD 40.00 FEET TO THE POINT OF BEGINNING OF HEREIN DESCRIBED CENTERLINE AND EASEMENT, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 980.00 FEET AND CENTRAL ANGLE OF 35°29'39"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 607.10 FEET TO THE POINT OF REVERSE CURVE OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 01°59'24"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 51.29 FEET TO A POINT HEREIN DESIGNATED AS POINT "A".

ALSO: A STRIP OF LAND 60.00 FEET IN WIDTH, LYING 30.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

BEGIN AT THE ABOVE-REFERENCED POINT "A", SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1476.94 FEET AND A CENTRAL ANGLE OF 00°49'09"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE 21.11 FEET TO A POINT ON THE NORTH LINE OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 16 EAST; THENCE CONTINUE SOUTHERLY, STILL ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 06°41'05", A DISTANCE OF 172.31 FEET TO THE TERMINAL POINT OF HEREIN DESCRIBED CENTERLINE AND EASEMENT.



WIND LOAD CALCULATIONS

For

Sky Designs

Bechard Residence



Gary Gill, P.E. 51942
P.O. Box 187
130 West Howard Street
Live Oak, FL 32064
Ph. (386) 362-3678
Fax (386) 362-6133
AUTH # 9461

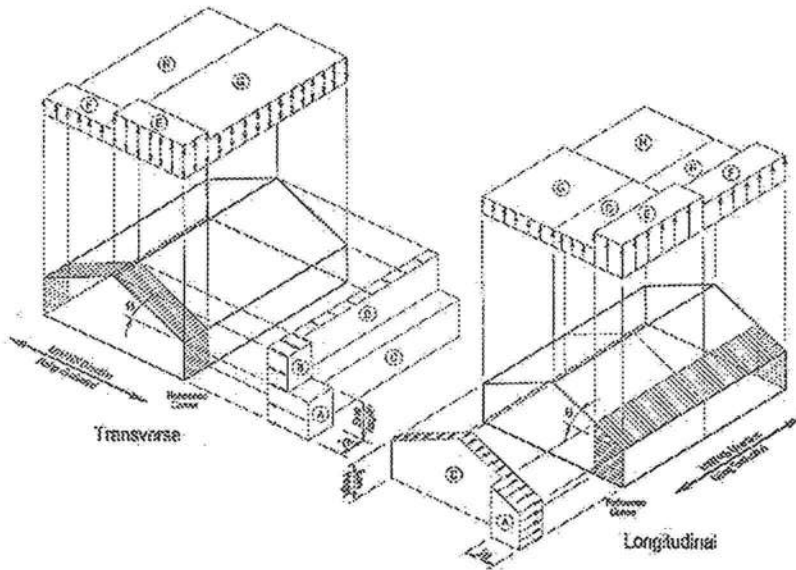
WIND02 v2-21

Simplified Wind Load Design (Method 1) per ASCE 7-02

Description: Bechard Addition -

Analysis by: Gary Gill

V	Basic Wind Speed	110 mph
Cat	Structural Category (I, II, III, and IV)	II
Exp	Exposure Category (B, C, or D)	B
RHt	Ridge Height	12 ft
Eht	Eave Height	9 ft
Ht	Mean Roof Height of Building	10.50 ft
Theta	Roof Angle	36.87 Deg
L	Length of Building (If Gabled roof, along Ridge)	12 ft
B	Width of Building (Perpendicular to Ridge)	8 ft
Lambda	Adjustment Factor for Building Height and Exposure	1.00
I	Importance Factor	1.00
a	10% of Least Horiz Dim or 0.4h, whichever is less	0.80 ft
2a	Length over which Zone A acts on Each Corner	1.60 ft



Wind Pressure ps (psf) on Main Wind Force Resisting System (MWFRS)										
Load Case	Zones									
	Horizontal Pressures				Vertical Pressures				Overhangs	
	A	B	C	D	E	F	G	H	EOH	GOH
1	21.60	14.80	17.20	11.80	1.70	-13.10	0.60	-11.30	-7.60	-8.70
2	21.60	14.80	17.20	11.80	8.30	-6.50	7.20	-4.60	-7.60	-8.70

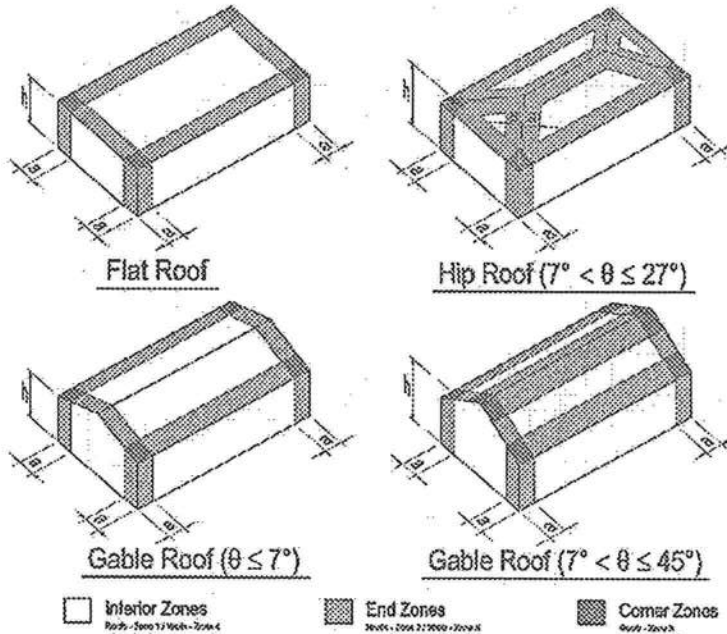
Notes:

* ps = Lambda * I * ps30

Simplified Wind Load Design (Method 1) per ASCE 7-02

Description: Bechard Addition -

Analysis by: Gary Gill



Double Click on any data entry line to receive a help Screen

[illegible]

Notes:

Zones 2H and 3H represent roof overhangs
Zones 1, 2, and 3 represent the roof
Zones 4 and 5 represent the walls



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Tamko Roofing Products, Inc.
P.O. Box 1404
Joplin, MO 64802

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: TAMKO Heritage Declaration & Heritage XL Roof Shingles

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This consists of pages 1 through 4.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 03-0620.01
Expiration Date: 09/04/08
Approval Date: 09/04/03
Page 1 of 4

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: 07310 Composition Shingles
Materials: Dimensional
Deck Type: Wood

1. SCOPE:

This approves **Tamko Heritage Declaration and Heritage XL** Asphalt Shingles, manufactured by **Tamko Roofing Products, Inc.** as described in this Notice of Acceptance.

2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Heritage Declaration & Heritage XL	12" x 36"	TAS 110	A heavy weight dimensional asphalt shingle.

3. EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
PRI Asphalt Technologies, Inc.	TAS 100	TAP-066-02-01 TAP-073-02-01	01/09/03 05/20/03
Underwriters Laboratories, Inc.	ASTM D 3462	R2919	06/12/03
Underwriters Laboratories, Inc.	TAS 107	03CA08442	06/12/03

4. LIMITATIONS

- 4.1 Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 4.2 Shall not be installed on roof mean heights in excess of 33 ft.
- 4.3 All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

5. INSTALLATION

- 5.1 Shingles shall be installed in accordance with Roofing Application Standard RAS 115.
- 5.2 The manufacturer shall provide clearly written application instructions.
- 5.3 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 5.4 Nailing shall be in compliance with Detail 'B', attached.

6. LABELING

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County-Product Control Approved".

7. BUILDING PERMIT REQUIREMENTS

- 7.1 Application for building permit shall be accompanied by copies of the following:
 - 7.1.1 This Notice of Acceptance.
 - 7.1.2 Any other documents required by the Building Official or the applicable Building Code in order to properly evaluate the installation of this system.

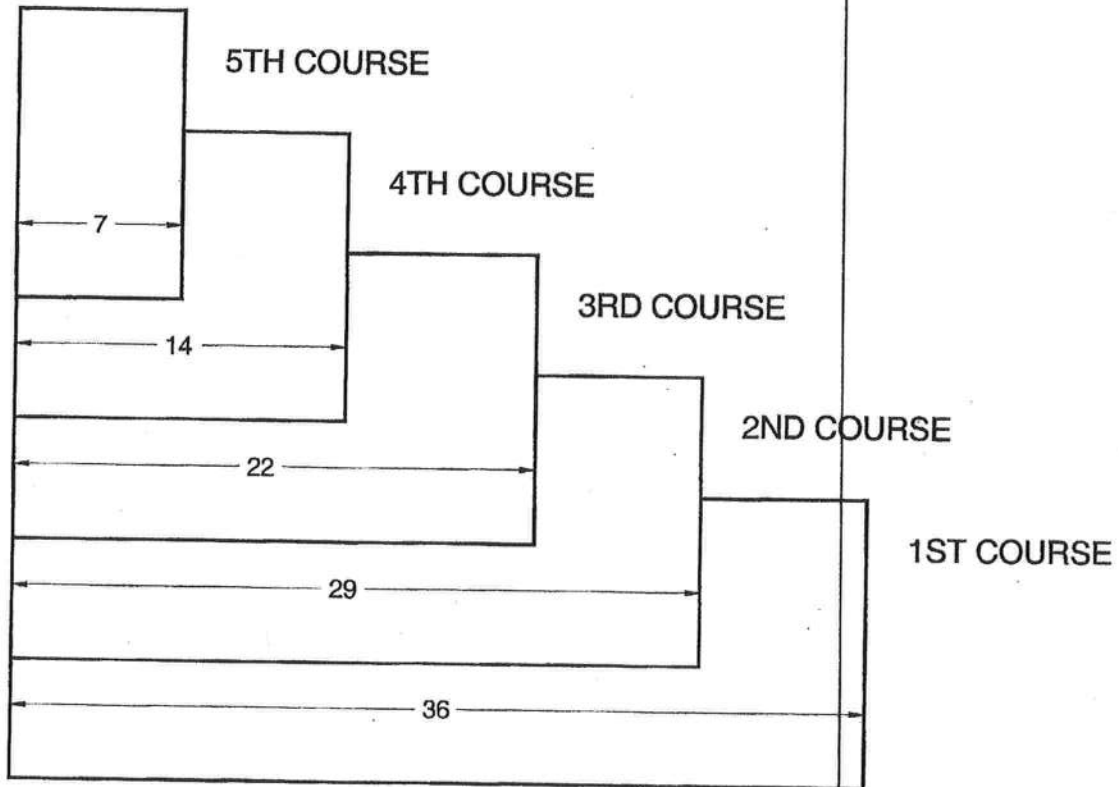


NOA No.: 03-0620.01
Expiration Date: 09/04/08
Approval Date: 09/04/03
Page 2 of 4

DETAIL A

HERITAGE DECLARATION & XL

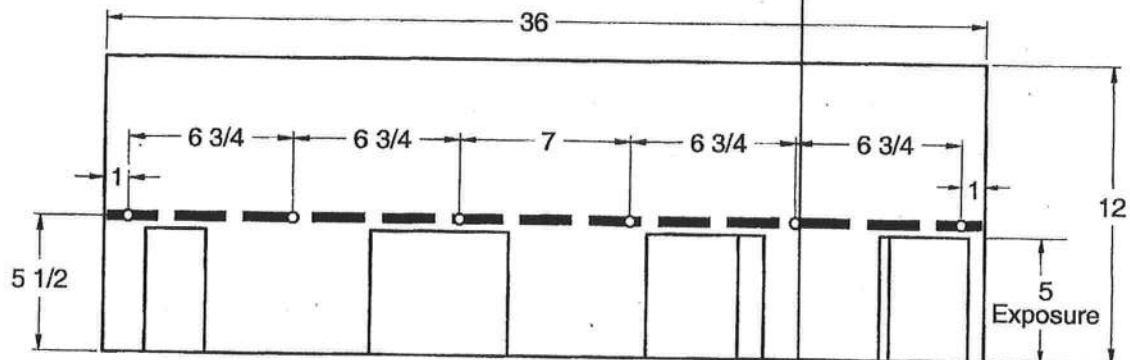
All dimensions are in inches.



DETAIL B

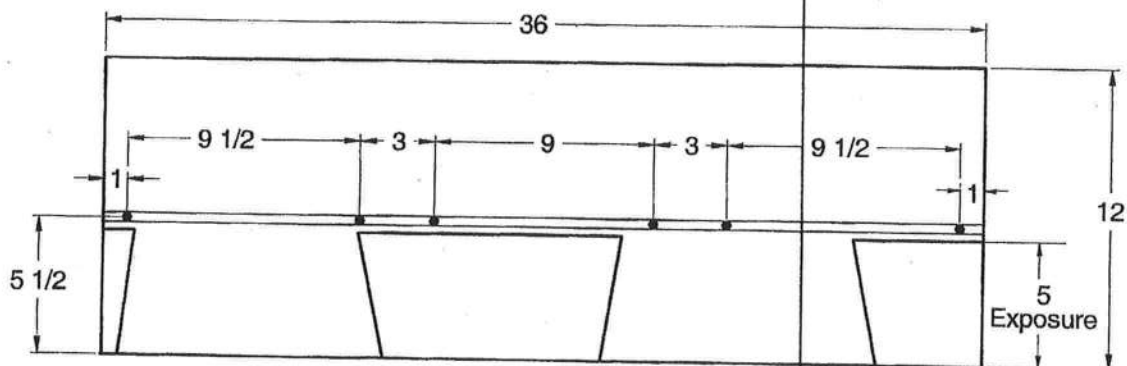
HERITAGE DECLARATION

12" x 36" LAMINATED SHINGLE
All dimensions are in inches.



HERITAGE XL

12" x 36" LAMINATED SHINGLE
All dimensions are in inches.



END OF THIS ACCEPTANCE



COLUMBIA COUNTY BUILDING DEPARTMENT

Revised 10-01-05

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ——— 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ——— 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
☒	☐	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
☒	☐	Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.
☒	☐	<u>Site Plan including:</u> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
☐	☐	<u>Wind-load Engineering Summary, calculations and any details required</u> Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, I_w , and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf (kN/m^2) to be used for the design of exterior component and cladding materials not specifi ally designed by the registered design professional.
☒	☐	<u>Elevations including:</u> a) All sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation
☒	☐	
☒	☐	
☒	☐	

- | | |
|-------------------------------------|--------------------------|
| ☐ | ☐ |
| ☐ | ☐ |
| ☒ | ☐ |
| ☒ | ☐ |

- d) Location, size and height above roof of chimneys.
e) Location and size of skylights
f) Building height
e) Number of stories

Floor Plan including:

- | | |
|-------------------------------------|--------------------------|
| ☒ | ☐ |
| ☒ | ☐ |
| ☒ | ☐ |

- a) Rooms labeled and dimensioned.
b) Shear walls identified.
c) Show product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 (see attach forms).
d) Show safety glazing of glass, where required by code.
e) Identify egress windows in bedrooms, and size.
f) Fireplace (gas vented), (gas non-vented) or wood burning with hearth, (Please circle applicable type).
g) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails.
h) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

- | | |
|-------------------------------------|--------------------------|
| ☒ | ☐ |
| ☐ | ☐ |
| ☐ | ☐ |
| ☐ | ☐ |

- a) Location of all load-bearing wall with required footings indicated as standard or monolithic and dimensions and reinforcing.
b) All posts and/or column footing including size and reinforcing
c) Any special support required by soil analysis such as piling
d) Location of any vertical steel.

Roof System:

- | | |
|-------------------------------------|--------------------------|
| ☒ | ☐ |
|-------------------------------------|--------------------------|

- a) Truss package including:
1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
2. Roof assembly (FBC 106.1.1.2)Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
b) Conventional Framing Layout including:
1. Rafter size, species and spacing
2. Attachment to wall and uplift
3. Ridge beam sized and valley framing and support details
4. Roof assembly (FBC 106.1.1.2)Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

- | | |
|--------------------------|--------------------------|
| ☐ | ☐ |
|--------------------------|--------------------------|

Wall Sections including:

- | | |
|-------------------------------------|--------------------------|
| ☒ | ☐ |
|-------------------------------------|--------------------------|

- a) Masonry wall
1. All materials making up wall
2. Block size and mortar type with size and spacing of reinforcement
3. Lintel, tie-beam sizes and reinforcement
4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation shall be designed by a Windload engineer using the engineered roof truss plans.
6. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
7. Fire resistant construction (if required)
8. Fireproofing requirements
9. Shoe type of termite treatment (termicide or alternative method)
10. Slab on grade
a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
11. Indicate where pressure treated wood will be placed
12. Provide insulation R value for the following:

- a. Attic space
- b. Exterior wall cavity
- c. Crawl space (if applicable)

☒
☐

b) Wood frame wall

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers) shall be designed by a Windload engineer using the engineered roof truss plans.
7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termiteicide or alternative method)
11. Slab on grade
 - a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

☐
☐

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms
- h) Exhaust fans in bathroom

HVAC information

- a) Energy Calculations (dimensions shall match plans)
- b) Manual J sizing equipment or equivalent computation
- c) Gas System Type (LP or Natural) Location and BTU demand of equipment

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done**
Private Potable Water

☐
☐

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS – PLEASE DO NOT ASK

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

APPLICANT SIGNATURE

DATE



Columbia County 9-1-1 Addressing / GIS Department

P.O. Box 1787, Lake City, FL 32056

Telephone: (386) 758-1125 * Fax: (386) 758-1365 * E-mail: ron_croft@columbiacountyfla.com



9-1-1 Address Request Form

NOTE: ADDRESS ASSIGNMENT MAY REQUIRE UP TO 10 WORKING DAYS. IF THE ADDRESSING DEPARTMENT NEEDS TO CONDUCT ON SITE GPS LOCATION IDENTIFICATION, ADDITIONAL TIME MAY BE REQUIRED.

Date of Request: _____

Requester Last Name: _____

First Name: _____

Contact Telephone Number: _____

(Cell Phone Number if Provided): _____

Requested for Self: _____ or Requested for Company: _____
(check one)

If Address is Requested by a Company, Provide Name of Requesting Company:

Parcel Identification Number: _____ - _____ - _____ - _____

If in Subdivision, Provide Name Of Subdivision:

Phase or Unit Number (if any): _____ Block Number (if any): _____

Lot Number: _____

Attach Site Plan or you may use back of Request Form for Site Plan:

Requirements for Site Plan Are Listed on Back of Request From:
(NOTE: Site Plan Does NOT have to be a survey or to scale; FURTHER a Environmental Health Dept. Site Plan showing only a 210 by 210 cutout of a property will NOT suffice for Addressing Requirements.)

Addressing / GIS Department Use Only:

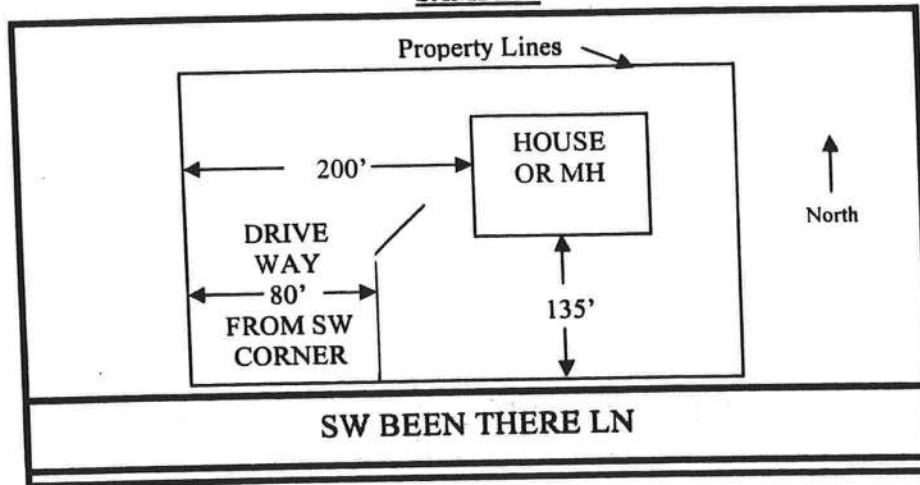
Date Received: _____

Date Assigned: _____

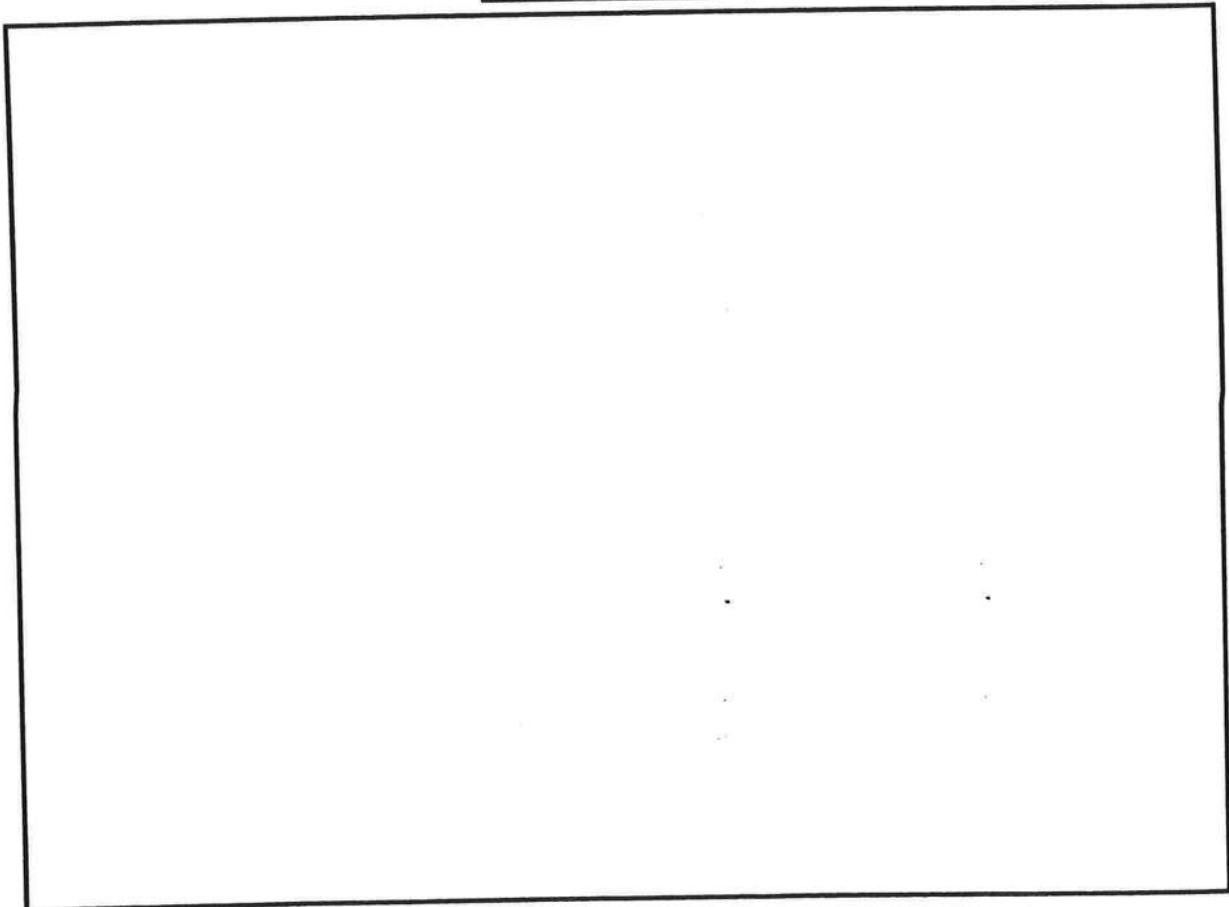
ID Number: _____

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:





Product Approval

USER: Public User

[Product Approval Menu](#) >
 [Product or Application Search](#) >
 Application List

- ▶ COMMUNITY PLANNING
- ▶ HOUSING & COMMUNITY DEVELOPMENT
- ▶ BUILDING CODES
- ▶ FLORIDA COMMUNITIES TRUST
- ▶ FRONT PORCH FLORIDA
- ▶ EMERGENCY MANAGEMENT
- ▶ OFFICE OF THE SECRETARY
- ▶ NEWS
- ▶ FREQUENTLY ASKED QUESTIONS
- ▶ ABOUT OUR SECRETARY
- ▶ E-MAIL THE SECRETARY
- ▶ INSPECTOR GENERAL
- ▶ WEB ASSISTANCE
- ▶ CONTACT US
- ▶ OUR LOGO
- ▶ DCA EMPLOYEE SERVICES

Search Criteria

Code Version	2004	FL#	ALL
Application Type	ALL	Product Manufacturer	Masonit
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL

Search Results - Applications

FL#	Type	Manufacturer	Validated By
FL4242-R1 History	Revision	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL4334-R1 History	Revision	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL4668-R1 History	Revision	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL4904	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL4940	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL5114	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL5465	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door	

		Assemblies	
FL5507	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL5508	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL6015	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL6506-R1 History	Revision	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL6509	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL7050	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	
FL7091	New	Masonite International Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	

DCA Administration

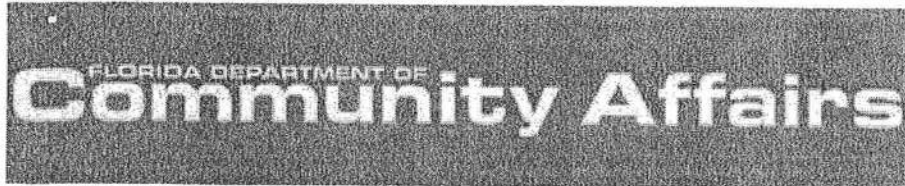
Department of Community Affairs
Florida Building Code Online
Codes and Standards

2555 Shumard Oak Boulevard

Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

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Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

► COMMUNITY PLANNING

► HOUSING & COMMUNITY DEVELOPMENT

► EMERGENCY MANAGEMENT

► OFFICE OF THE SECRETARY

FL # FL7674
Application Type New
Code Version 2004
Application Status Approved
Comments
Archived ☐

Product Manufacturer Alenco
Address/Phone/Email 615 Carson
Bryan, TX 77802
(979) 779-7770 ext 343
mkoppers@alenco.com

Authorized Signature Martin Koppers
mkoppers@alenco.com

Technical Representative Martin Koppers
Address/Phone/Email 615 Carson St.
Bryan, TX 77802
mkoppers@alenco.com

Quality Assurance Representative
Address/Phone/Email

Category Windows
Subcategory Single Hung

Compliance Method Certification Mark or Listing

Certification Agency National Accreditation & Management Institute,

Referenced Standard and Year (of Standard

Standard)

AAMA/NWWDA 101/IS2

Equivalence of Product Standards
Certified By

Product Approval Method

Method 1 Option A

Date Submitted 10/06/2006
Date Validated 11/17/2006
Date Pending FBC Approval 11/20/2006
Date Approved 12/06/2006

Summary of Products

FL #	Model, Number or Name	Description
7674.1	3753	Single Hung
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +40 /-40 Other: 3753 - 4'0" X 6'0" H-R40 - 1/8" annealed glass - smaller units to comply with ASTM E-1300-02		Certification Agency Certificate FL7674 R0 C CAC 3753 H R-40.pdf Installation Instructions FL7674 R0 II 3753 Installation Instructions.pdf Verified By: National Accreditation & Management Institute,
7674.2	3753FL	Single Hung
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35 /-35 Other: 3753FL - 4'5" X 5'3" H-R35 - 1/8" annealed glass - smaller units to comply with ASTM E-1300-02		Certification Agency Certificate FL7674 R0 C CAC 3753FL H R35.pdf Installation Instructions FL7674 R0 II 3753FL - 4710FL Install Instructions.pdf Verified By: National Accreditation & Management Institute,
7674.3	3753FL	Single Hung
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +30 /-30 Other: 3753FL - 4'4" X 5'11" H-R30 - 1/8" annealed glass - smaller units to comply with ASTM E-1300-02		Certification Agency Certificate FL7674 R0 C CAC 3753FL H R30.pdf Installation Instructions FL7674 R0 II 3753FL - 4710FL Install Instructions.pdf Verified By: National Accreditation & Management Institute,
7674.4	4710/4710F	Single Hung
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No		Certification Agency Certificate FL7674 R0 C CAC 4710 4710F H-R4 DP50.pdf Installation Instructions

Design Pressure: +40 /-50 Other: 4710/4710F - 4'0" X 6'0" H-R40 -DP 50 - DSB annealed glass - smaller units to comply with ASTM E-1300-02		FL7674 R0 II 4710F Installation Instructions.pdf Verified By: National Accreditation & Management Institute,
7674.5	4710FL	Single Hung
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +40 /-40 Other: 4710FL - 3'8" X 6'6" H-R40 - 1/8" annealed glass - smaller units to comply with ASTM E-1300-02		Certification Agency Certificate FL7674 R0 C CAC 4710FL H R-40.pdf Installation Instructions FL7674 R0 II 3753FL - 4710FL Install Instructions.pdf Verified By: National Accreditation & Management Institute,

Back

Next

DCA Administration

Department of Community Affairs
Florida Building Code Online
Codes and Standards

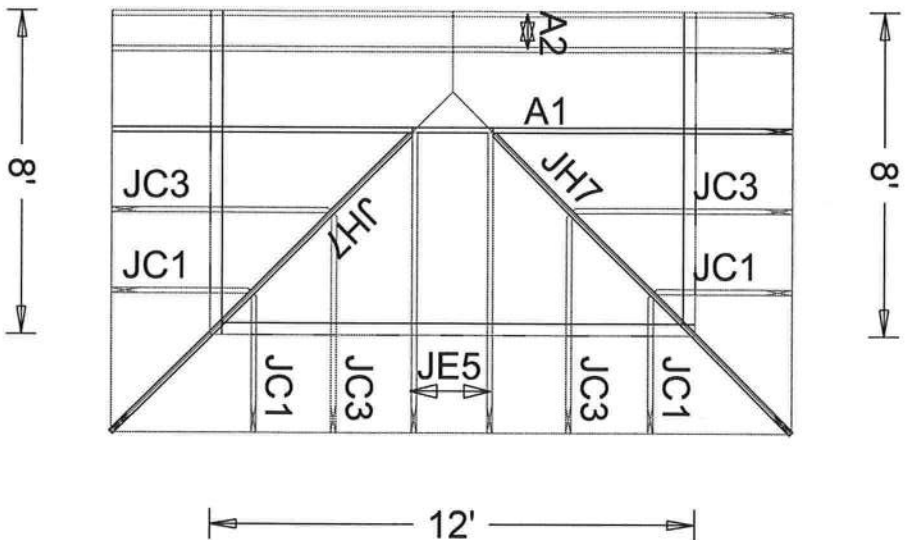
2555 Shumard Oak Boulevard
 Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

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Product Approval Accepts:





W.B. Howland Truss Co.
P.O. Box 700
Live Oak, FL 32064
(386) 362-1235
(386) 362-7124 (fax)

ROOF PITCH: 6/12
CLG PITCH: N/A
OVERHANG: 29" PLUMB CUT
LOADING: 40 PSF T.L./SHINGLE
WIND LOAD: 110 MPH/ENCLOSED
EXT WALLS: 2x4 FRAMING
DATE: 3-21-07

Roof Plane Sheathing Area = 196 sq. ft
Gable Sheathing Area = 0 sq. ft
Total Sheathing Area = 196 sq. ft
Fascia Material = 38 linear ft
Valley Flashing Material = 0 linear ft
Ridge Cap Material = 2 linear ft
Hip Ridge Material = 25 linear ft

Job Name: 12' x 8' Hip Addition 6/1
Customer: J.L. DUPREE
Designer: Chris McCall

JOB NO:
4296

PAGE NO:
1 OF 1

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 567
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: 1T5U215-Z0221152305

Truss Fabricator: W.B. Howland
Job Identification: 4296-/12' x 8' Hip Addition 6/1 /J.L. DUPREE -- LAKE CITY, FL
Truss Count: 6
Model Code: Florida Building Code 2004 and 2006 Supplement
Truss Criteria: ANSI/TPI-2002(STD)/FBC
Engineering Software: Alpine Software, Version 7.25.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-02 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

Details: -

#	Ref	Description	Drawing#	Date
1	36169--A2		07080008	03/21/07
2	36170--A1		07080009	03/21/07
3	36171--JH7		07080010	03/21/07
4	36172--JC1		07080011	03/21/07
5	36173--JC3		07080012	03/21/07
6	36174--JE5		07080013	03/21/07



Seal Date: 03/21/2007

-Truss Design Engineer-
James F. Collins Jr.
Florida License Number: 52212
1950 Marley Drive
Haines City, FL 33844



(4296-/12' x 8' Hip Addition 6/1 /J.L. DUPREE -- LAKE CITY, FL - A2)

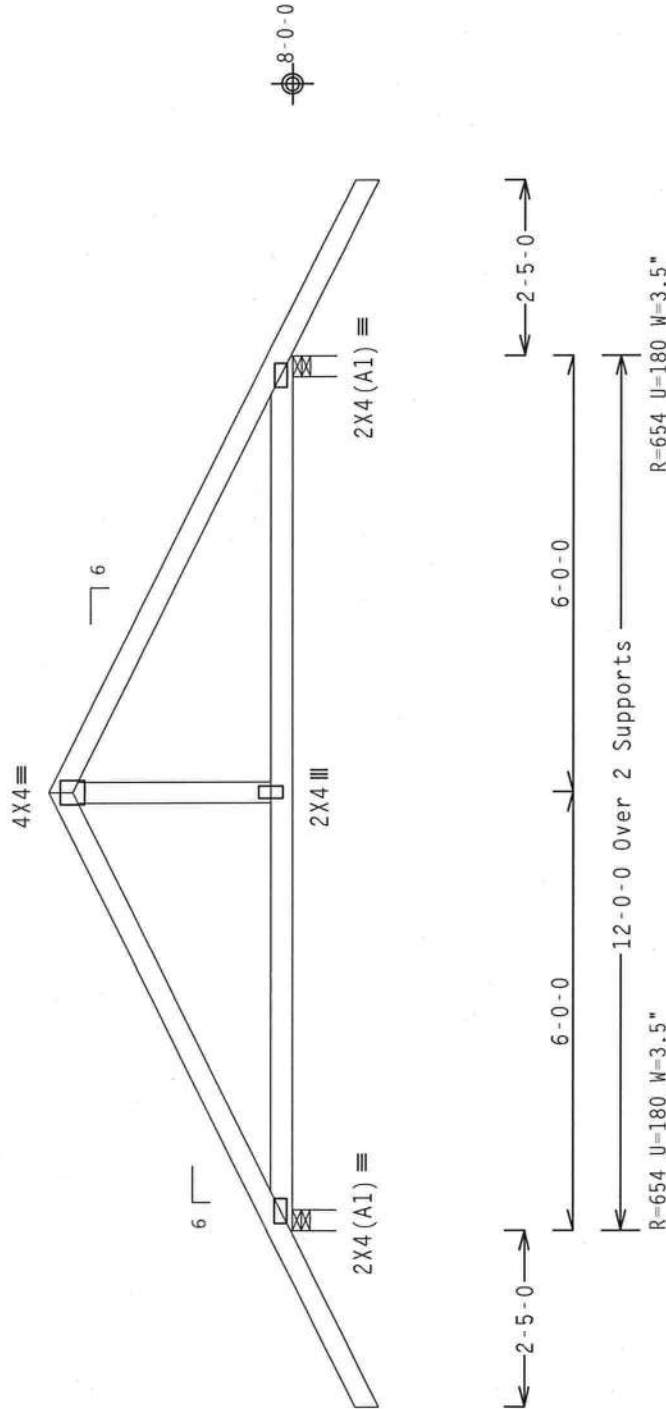
Top chord 2x4 SP #2 N
Bot chord 2x4 SP #2 N
Webs 2x4 SP #2 N

Wind reactions based on MWFRS pressures.

The overall height of this truss excluding overhang is 3-4-3.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg. Located anywhere in roof. CAT II, EXP 8, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ Gcpi(+/-)=0.18

Deflection meets L/240 live and L/180 total load.



Design Crit: TPI-2002(STD)/FBC

Cq/RT=1.00(1.25)/10(0)

7.25.0503

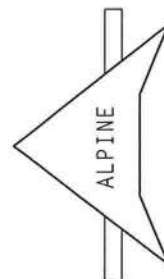
QTY:2

Scale = .375"/Ft.

PLT TYP. Wave

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND MTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF IBCS NATIONAL DESIGN SPEC. BY AERPA) AND TPI. ITW BCG PLATES TO EACH FACE OF TRUSS AND WEBS (UNLESS OTHERWISE INDICATED) SHALL BE PER ANNEX A3 OF TPI-2002 SEC. 3. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



ITW Building Components Group, Inc.
Haines City, FL 33844
FL Certificate of Authorization # 567



TC LL	20.0 PSF
TC DL	10.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT.LD.	40.0 PSF
DUR.FAC.	1.25
SPACING	24.0"

REF	R215--	36169
DATE	03/21/07	
DRW	HCUSR215	07080008
HC-ENG	RA/WHK	
SEQN-	170278	
FROM	CDM	
JREF-	1T5U215_Z02	

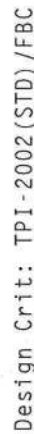
THE UNIVERSITY OF CHICAGO LIBRARY

1110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCpl(+/-)=0.18

Wind reactions based on MWFRS pressures.

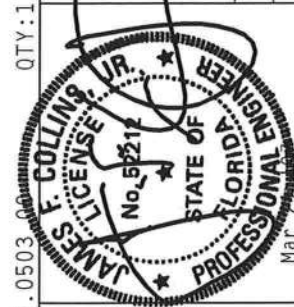
Deflection meets L/240 live and L/180 total load.

The overall height of this truss excluding overhang is 2-10-3.



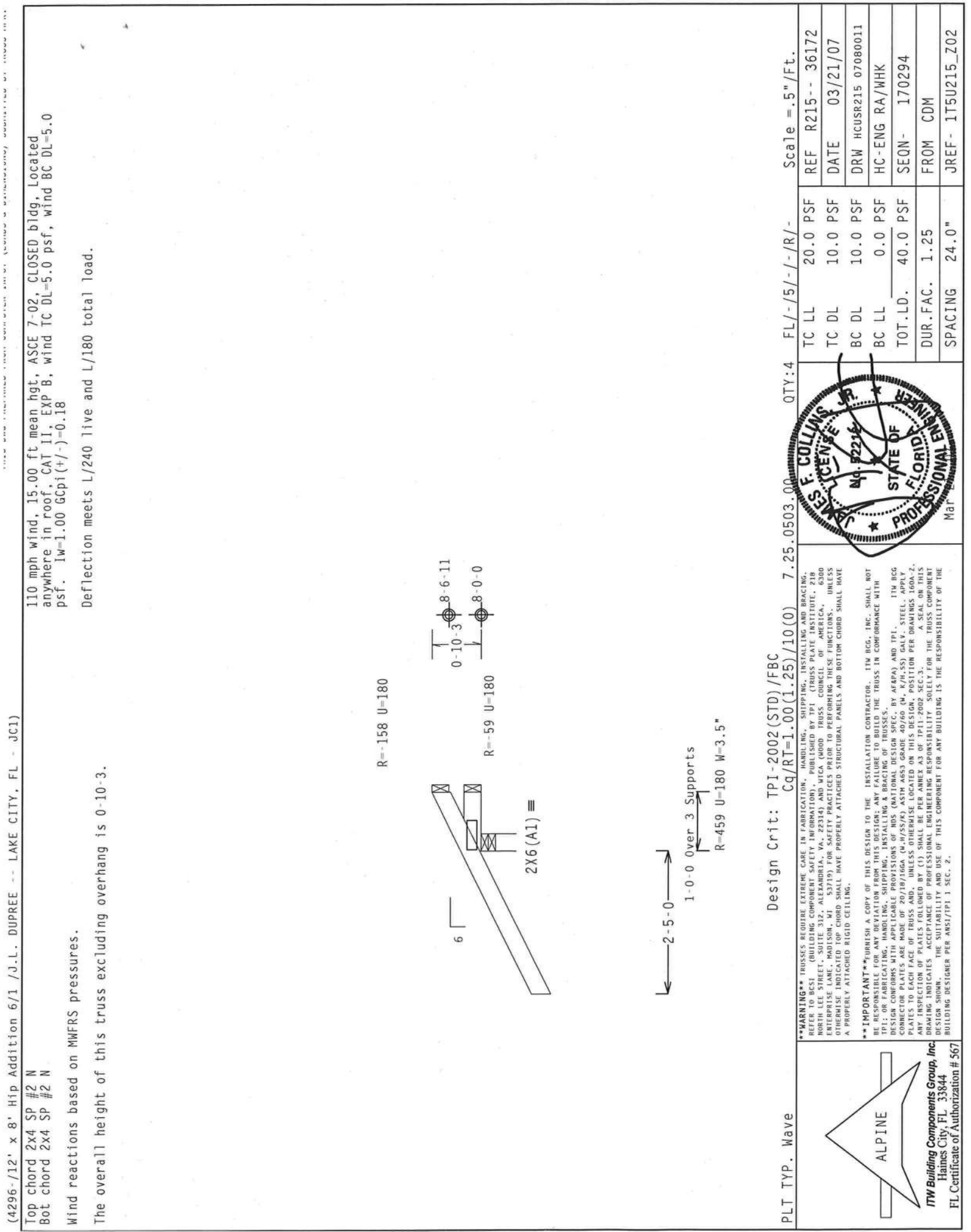
0503-0000

Scale = .375"/Ft.

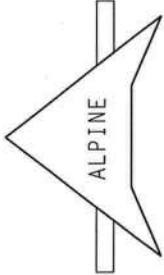


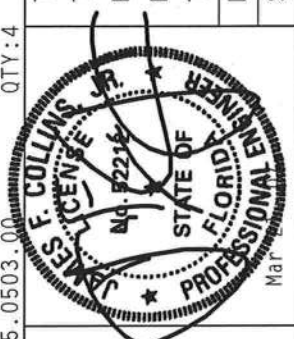
ITW Building Components Group, Inc.
Haines City, FL 33844
FL Certificate of Authorization # 567

TC LL	20.0	PSF	REF	R215--	36170
TC DL	10.0	PSF	DATE	03/21/07	
BC DL	10.0	PSF	DRW	HCUSTR215 07080009	
BC LL	0.0	PSF	HC-ENG	RA/WHK	
TOT.LD.	40.0	PSF	SEQN-	170282	
DUR.FAC.	1.25		FROM	CDM	
SPACING	24.0"		JREF-	1T5U215_Z02	



4296-/12' x 8' Hip Addition 6/1 /J.L. DUPREE -- LAKE CITY, FL - JC1

PLT TYP. Wave	Design Crit: TPI-2002(STD)/FBC		QTY: 4		FL/-/5/-/-/R/-		Scale = .5"/Ft.	
	Cq/RT=1.00(1.25)/10(0)		7.25.0503.00		TC LL		REF R215-- 36172	
 ITW Building Components Group, Inc. Haines City, FL 33844 FL Certificate of Authorization # 567	**WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCST (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THE DESIGN OR THE INSTRUCTIONS HEREON SHALL BE THE RESPONSIBILITY OF THE INSTALLER. ITW BCG SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING DUE TO THE INSTALLER'S FAILURE TO FOLLOW THE DESIGN OR THE INSTRUCTIONS HEREON. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.		TC DL		20.0 PSF		DATE 03/21/07	
			BC DL		10.0 PSF		DRW HCUSR215 07080011	
			BC LL		0.0 PSF		HC-ENG RA/WHK	
			TOT.LD.		40.0 PSF		SEQN- 170294	
			DUR.FAC.		1.25		FROM CDM	
			SPACING		24.0"		JREF- 1T5U215_Z02	



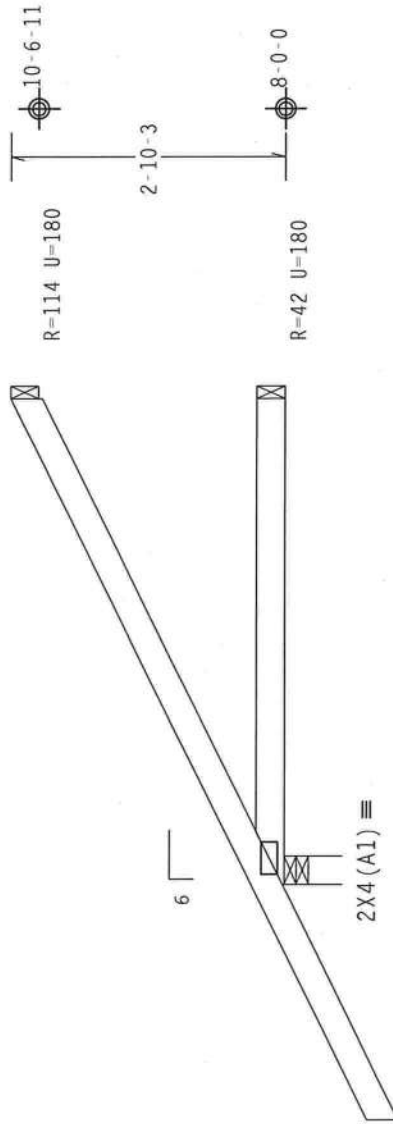
Top chord 2x4 SP #2 N
Bot chord 2x4 SP #2 N

Wind reactions based on MWFRS pressures.

The overall height of this truss excluding overhang is 2-10-3.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCpi(+/-)=0.18

Deflection meets L/240 live and L/180 total load.



2-5-0

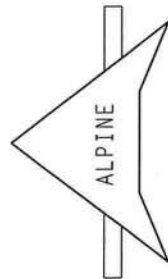
5-0-0 Over 3 Supports
R-416 U=180 W-3.5"

Design Crit: TPI-2002(STD)/FBC

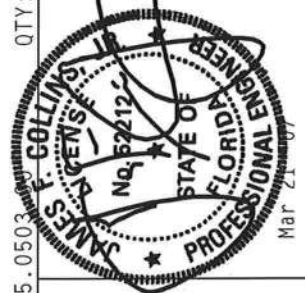
PLT TYP. Wave Cq/RT=1.00(1.25)/10(0) 7.25.0503 QTY:2 FL/-/5/-/-/R/- Scale = .5"/Ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BC31 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND MTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR.



ITW Building Components Group, Inc.
Haines City, FL 33844
FL Certificate of Authorization # 567



REF	R215--	36174
DATE	03/21/07	
DRW	HCUSR215 07080013	
HC-ENG	RA/WHK	
SEQN	170286	
FROM	CDM	
JREF	1T5U215_Z02	



OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 26-3S-16-02305-232 Building permit No. 000025719

Use Classification ADDITION TO SFD

Fire: 0.00

Permit Holder J.L. DUPREE

Waste: _____

Owner of Building MICHAEL & JULIA BECHARD

Total: 0.00

Location: 373 NW OLD MILL ROAD, LAKE CITY, FL

Date: 06/04/2007



[Signature]

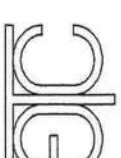
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

PROFESSIONAL
BUILDING DESIGN



JANUARY S. JERNIGAN
119 SW JOHN STREET
LIVE OAK, FL 32064
PHONE: 386-208-1340
E-MAIL: skydesigns@alltel.net



GTC DESIGN GROUP

Gary Gill, P.E.
Lic#51942 Auth#9461
130 West Howard Street
Live Oak, FL 32064
Phone: 386-362-3678

AN ADDITION FOR:
MIKE & JULIE BECHARD

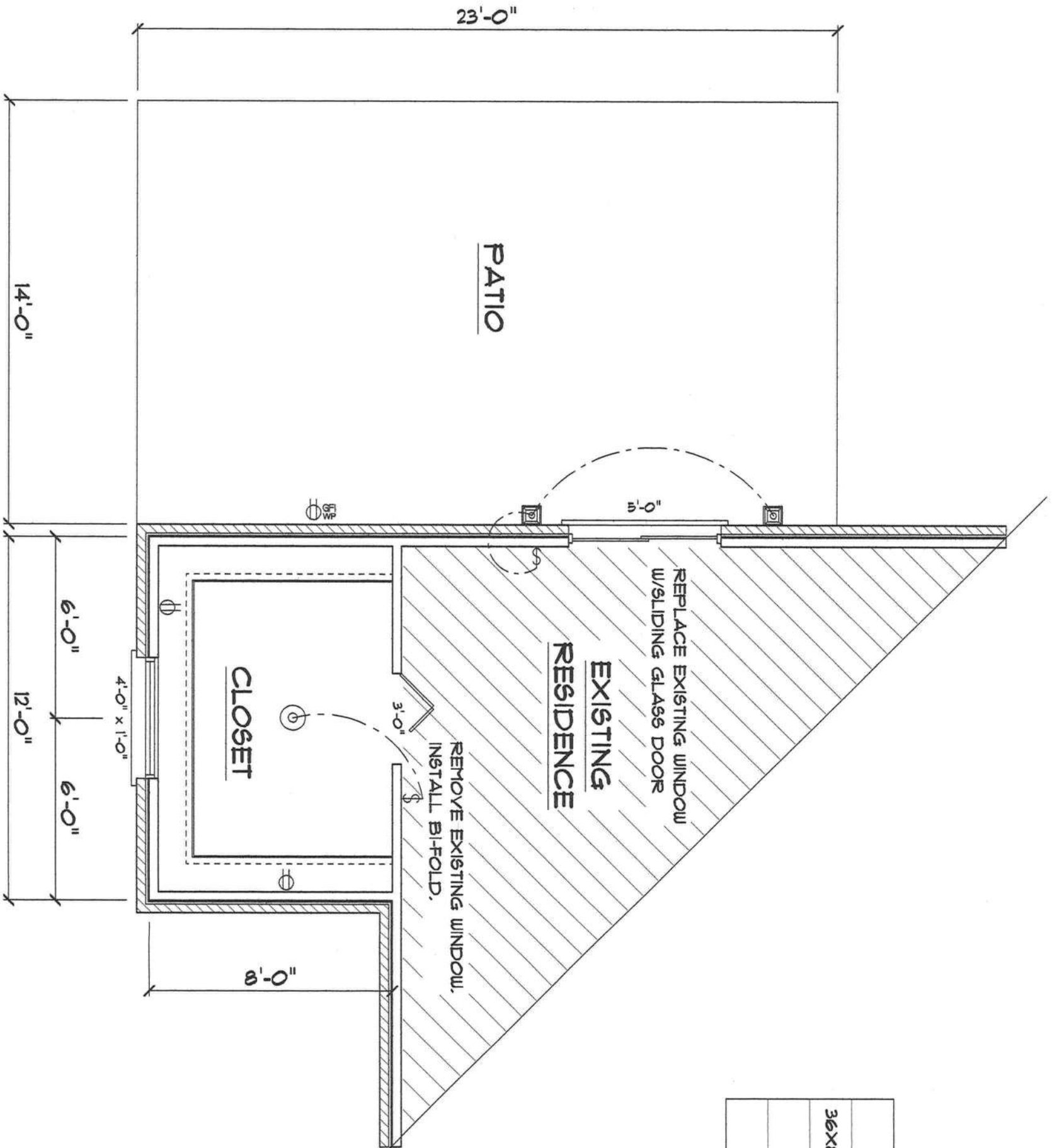
SHEET INDEX:

FLOOR PLAN	1
ELECTRICAL PLAN	1
FOUNDATION PLAN	2
ELEVATIONS	3
DETAILS	4

FILE COPY

FILE COPY





OPENING SCHEDULE

PRODUCT CODE	SIZE	COUNT
36X80 BIFOLD COLONIAL 1-MODIFIED	3'-0"	1
60X80 SLIDING GLASS 2	5'-0"	1
48X12 TRANSOM	4'-0" x 1'-0"	1

ELECTRICAL LEGEND

ELECTRICAL	COUNT	SYMBOL
ceiling globe light	1	⊙
wall mount 2	2	⊠
outlet w/p	1	⊕
outlet	2	⊖
switch	2	\$

NOTE: LICENSED ELECTRICIAN MUST VERIFY THAT ADDITIONAL LOAD MAY BE ADDED TO MAIN PANEL

ADDITION AREA: 96 SF
PATIO AREA: 322 SF

HE IS THE
CHIEF CORNERSTONE

SKY DESIGNS
January B. Jernigan
119 SW John Street
Live Oak, FL 32064
Phone: 386-208-1940
E-Mail: skydesigns@att.net

AN ADDITION FOR:
MIKE & JULIE BECHARD

GTC
DESIGN GROUP
Gary Gill, P.E.
Lic#91542 Auth#5461
130 West Howard Street
Live Oak, FL 32064
Phone: 386-362-3618

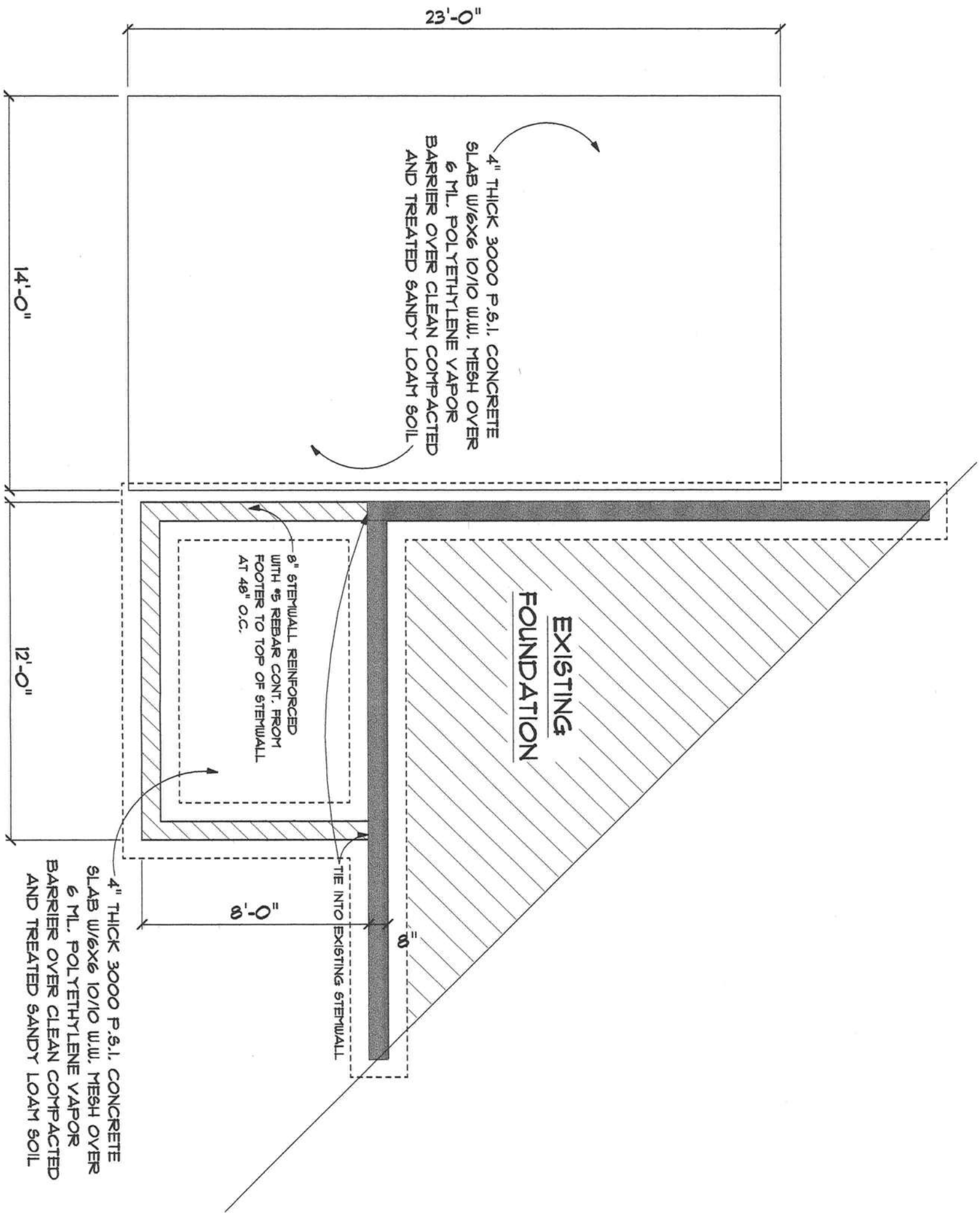
FLOOR/ELEC
Date: 03/2007

Sheet Number:

1

Drawn By: JSJ
Scale: 1/4" = 1'

9/14/05



HIE IS THE
CHIEF CORNERSTONE

SKY DESIGNS
January B. Jernigan
119 SW John Street
Live Oak, FL 32064
Phone: 386-208-1340
E-Mail: ekysdesigns@aol.net

AN ADDITION FOR:
MIKE & JULIE BECHARD

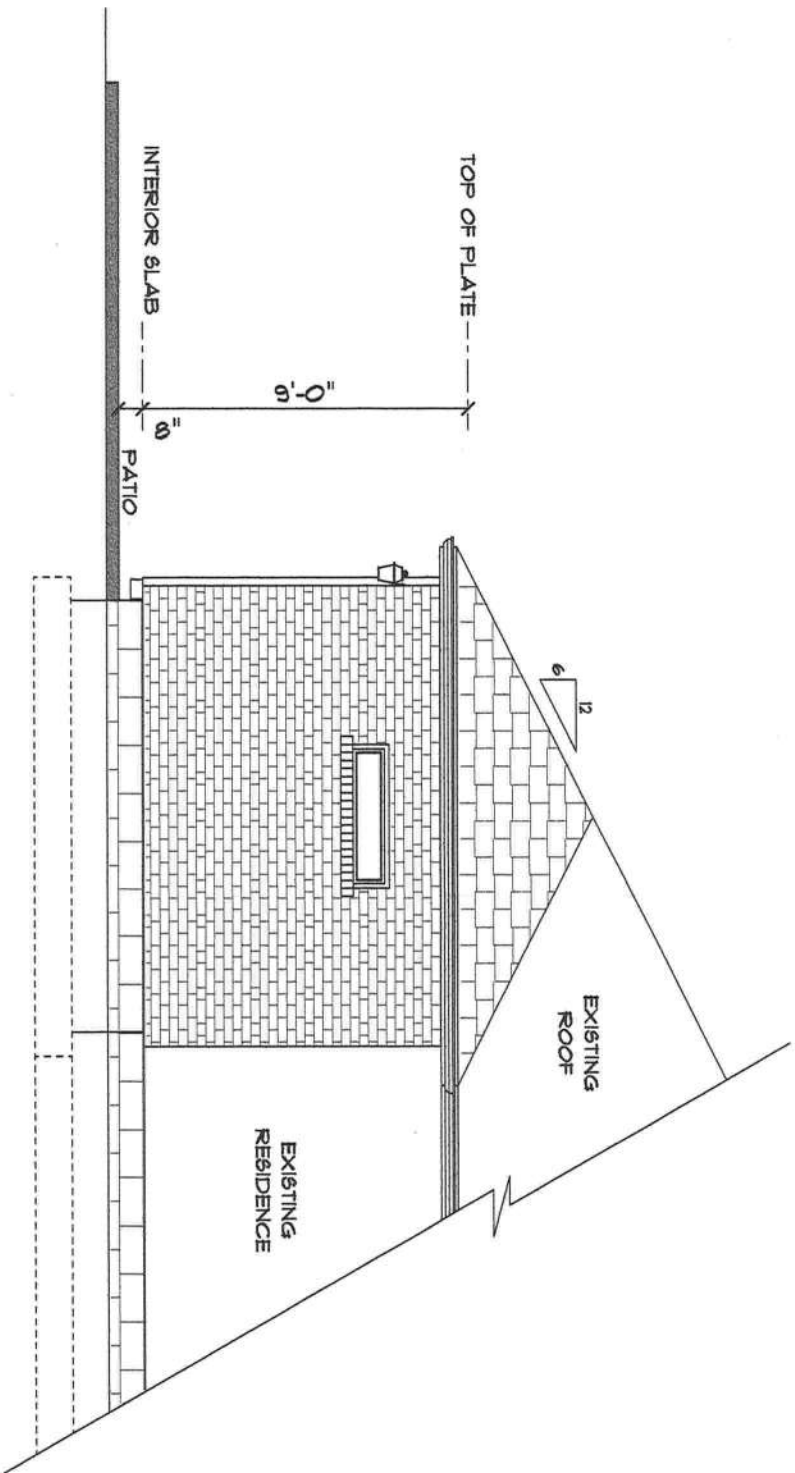
**GTC
DESIGN GROUP**
Gary Gill, P.E.
Lic#151342 Auth#1461
130 West Howard Street
Live Oak, FL 32064
Phone: 386-362-3678

FOUNDATION
Date: 03/2007

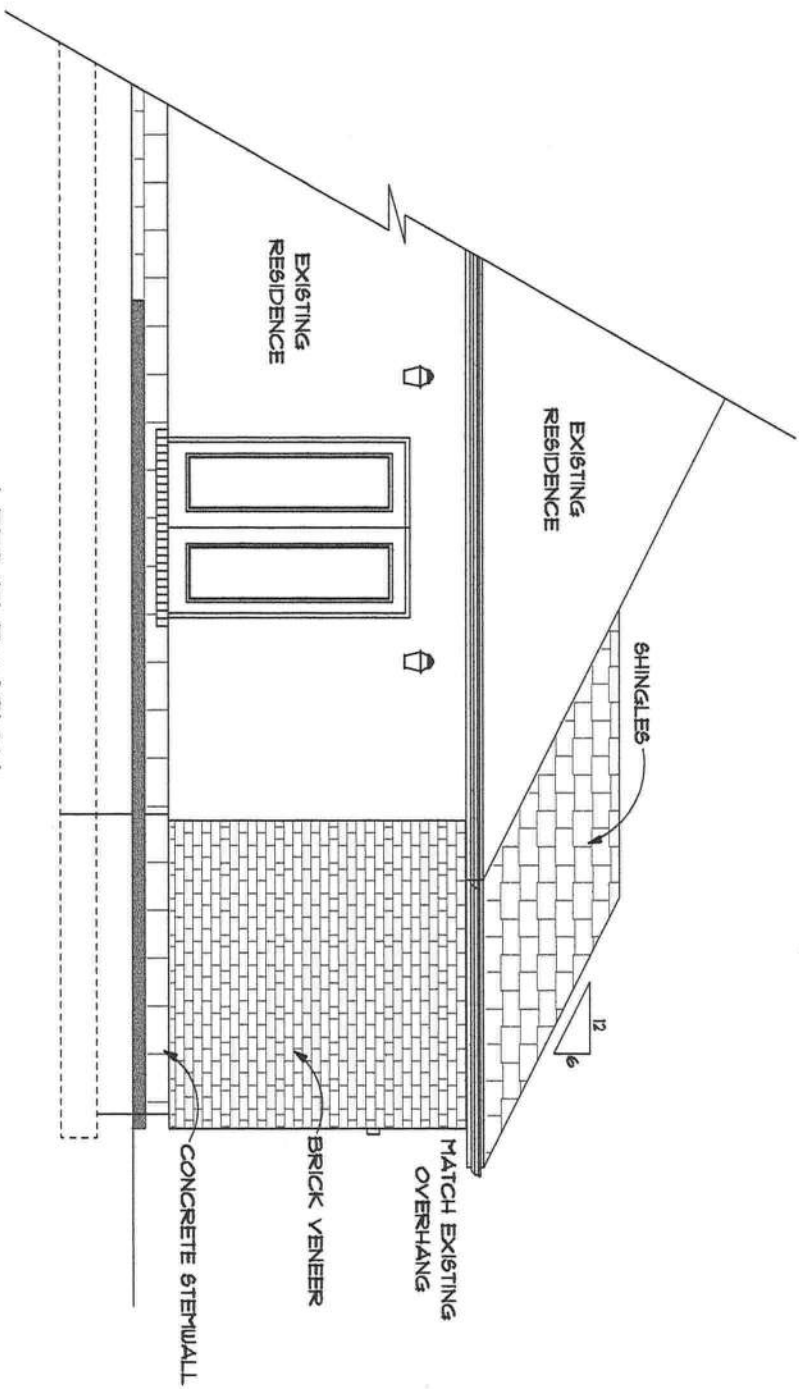
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2

Drawn By: JSJ
Scale: 1/4" = 1'

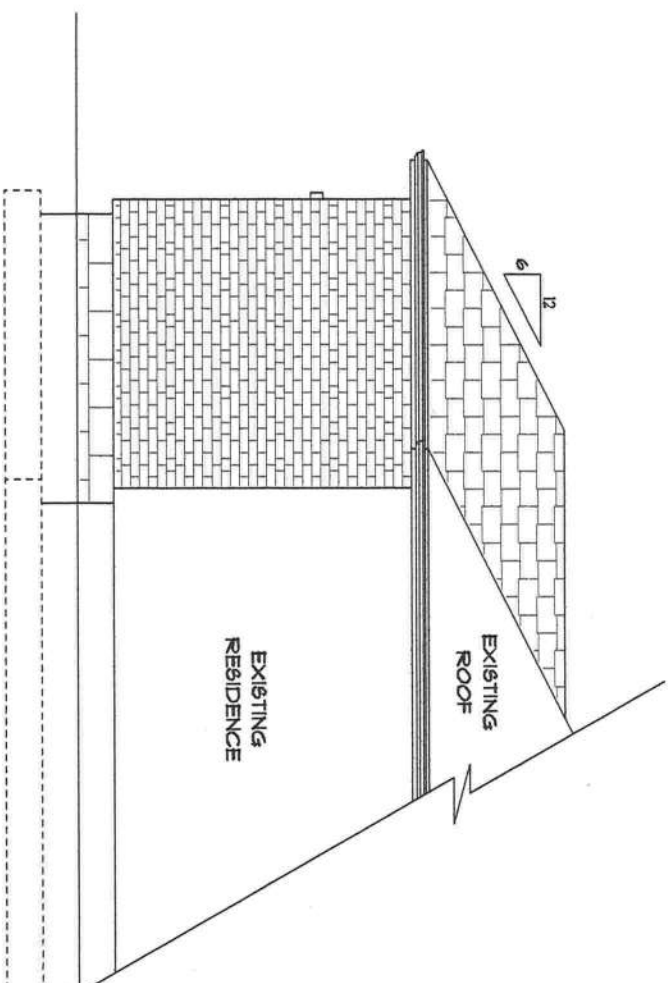
7/14/06



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

HE IS THE
CHIEF CORNERSTONE

SKY DESIGNS

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AN ADDITION FOR:
MIKE & JULIE BECHARD

STRUCTURAL ENGINEER:
GTC DESIGN GROUP
Gary Gill, P.E.
Lic#91342 Auth#9461
130 West Howard Street
Live Oak, FL 32064
Phone: 386-362-3678

ELEVATIONS

Date: 03/20/01

Sheet Number:

3

Drawn By: JSJ
Scale: 3/16" = 1'

7/14/01

