

ABBREVIATIONS

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE

area tabulation 'a'

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

area tabulation 'b'

GARAGE	401 SF
FRONT PORCH	108 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB

EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70

Covington

38' - 1607 - RH

Florida Region (Frame)

INDEX

ARCHITECTURAL

CS	GENERAL NOTES & LEGENDS
A1	EXTERIOR ELEVATIONS
A2	SLAB PENETRATION PLAN
A3	FLOOR PLANS
A4	SECTIONS & DETAILS
A5	INTERIOR DETAILS
A6	ROOF PLAN
E1	ELECTRICAL PLANS
CD	CONSTRUCTION DETAILS

REVISIONS

NUMBER	DATE	DESCRIPTION
01	03.04.2021	Added Elevations A1 & B1
02	06.14.21	Added outlet to O.Suite & noted outlets to meet 6' max from wall break & 12' max between outlet spacing at habitable rooms (E1.1)
03	07.08.21	Added floor break transition strips to plan
04	07.20.21	Added elevations A4 & B4
05	08.02.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted
06	08.30.21	Added stemwall options, called out GFI at outlets within 6'-0" of Kitchen sink
07	09.08.21	Carbon / smoke alarm moved 3' min away from bathroom door/opening with tub/shower



Signing Date: 06/27/2022

THE SEAL OF THE ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR PROFESSIONAL DESIGNER, OR THE SEAL OF THE PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR PROFESSIONAL DESIGNER, IS THE PROPERTY OF THE PROFESSIONAL ENGINEERING, ARCHITECTURAL, LANDSCAPE ARCHITECTURAL, OR PROFESSIONAL DESIGNER BOARD OF REGISTRATION. IT IS TO BE USED ONLY FOR THE PROJECT AND FOR THE PURPOSES FOR WHICH IT WAS ISSUED. IT IS TO BE KEPT IN THE PROJECT FILES AND IS NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER MISUSED. IT IS TO BE DESTROYED UPON THE DESTRUCTION OF THE PROJECT FILES.

Professional Engineer
State of Florida
No. 12345
Expiration Date: 12/31/2024

Professional Engineer
State of Florida
No. 12345
Expiration Date: 12/31/2024



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OKLA. BROWN, P.E. - FL #58128
Luis Pablo Torres, P.E. - FL #17184

Reserve at Jewel Lake
Lot 030
436 SW Jewel Lake Drive
Lake City, FL 32024

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PLAN NUMBER:	33811607	RELEASE DATE:	08.30.2021
MODEL:	COVINGTON	DRAWING TITLE:	COVER SHEET

SHEET NO:

CS

Keynotes | Legend

1.

CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2.

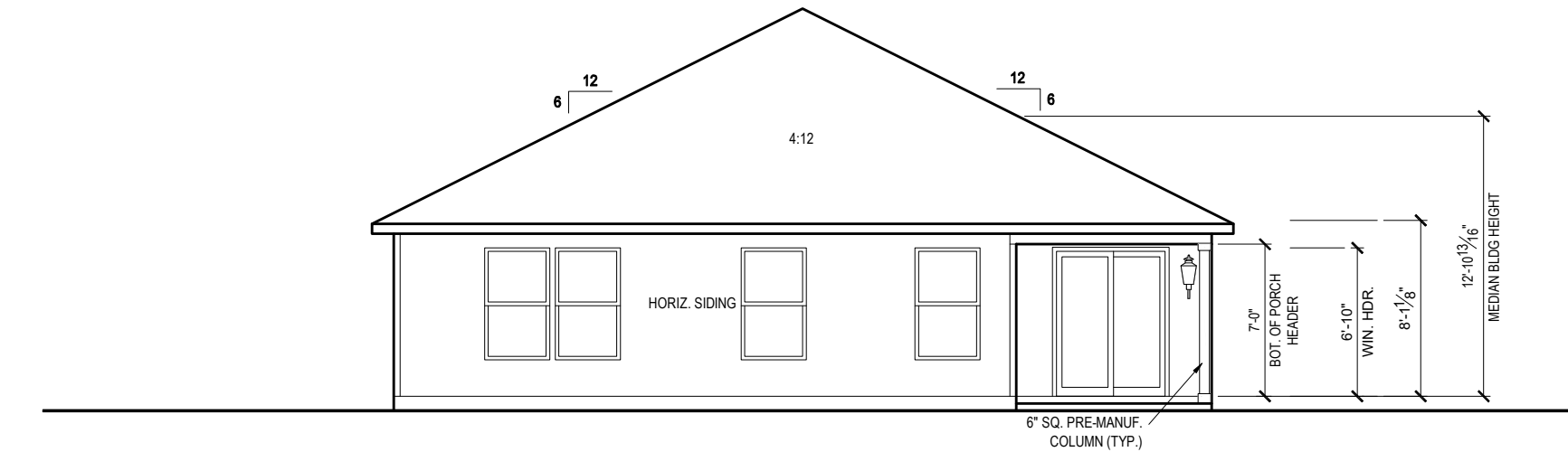
CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3.

BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4.

STONE WAINSCOT WITH SLOPED STONE CAP.
5.

3 1/2" VINYL TRIM SURROUND
6.

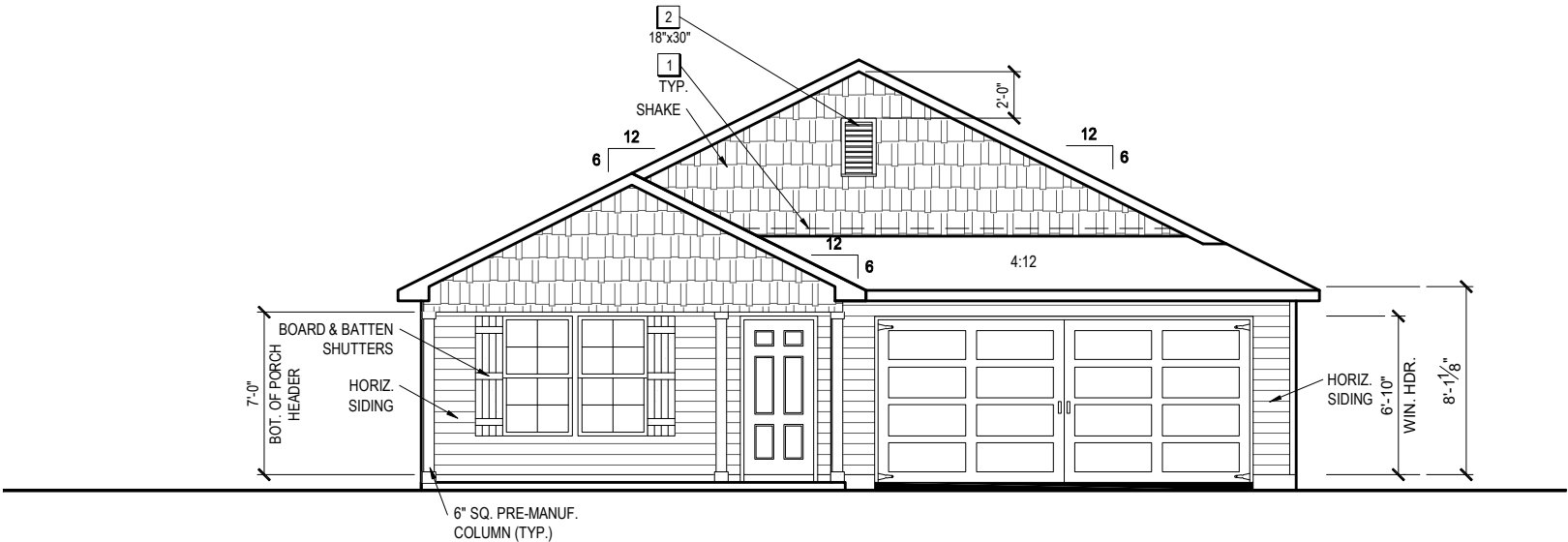
36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



THE SET OF PLANS SHOWN HEREIN, INCLUDING ALL SPECIFICATIONS, NOTES, AND SCHEDULES, SHALL BE CONSIDERED THE ENTIRE AGREEMENT BETWEEN THE UNDERSIGNED ARCHITECT AND THE CLIENT. NO PART OF THESE PLANS SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LEGAL ACTION. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR OMISSIONS. THE CLIENT AGREES TO HOLD THE ARCHITECT HARMLESS FROM ALL SUCH CLAIMS. THESE PLANS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES MUST BE MADE IN WRITING AND SIGNED BY BOTH PARTIES. THE DATE OF THIS AGREEMENT IS 6-24-2022.



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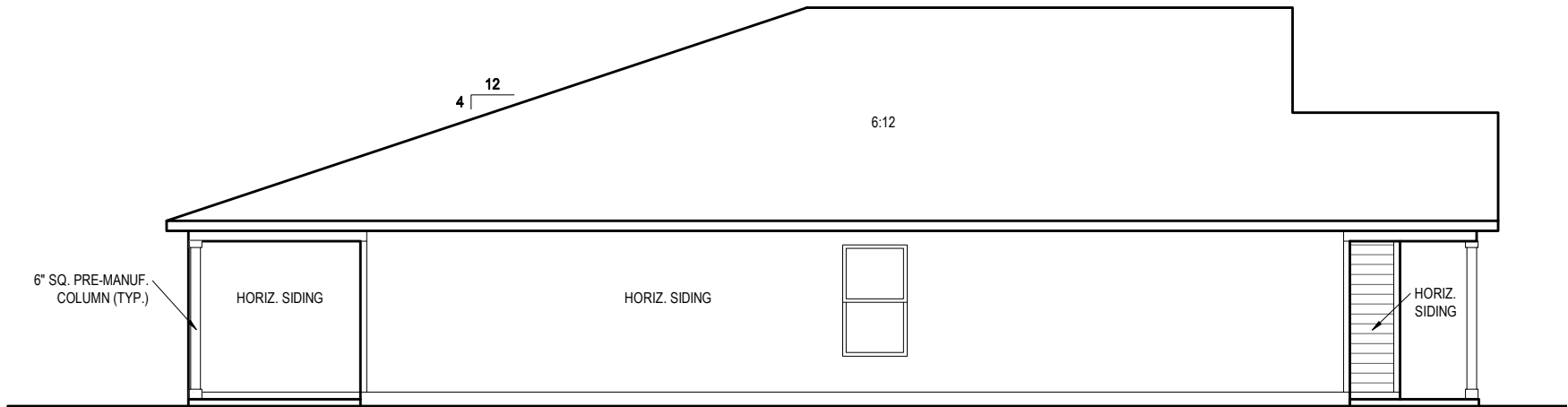
RELEASE DATE:
08.30.2021

MODEL:
COVINGTON

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

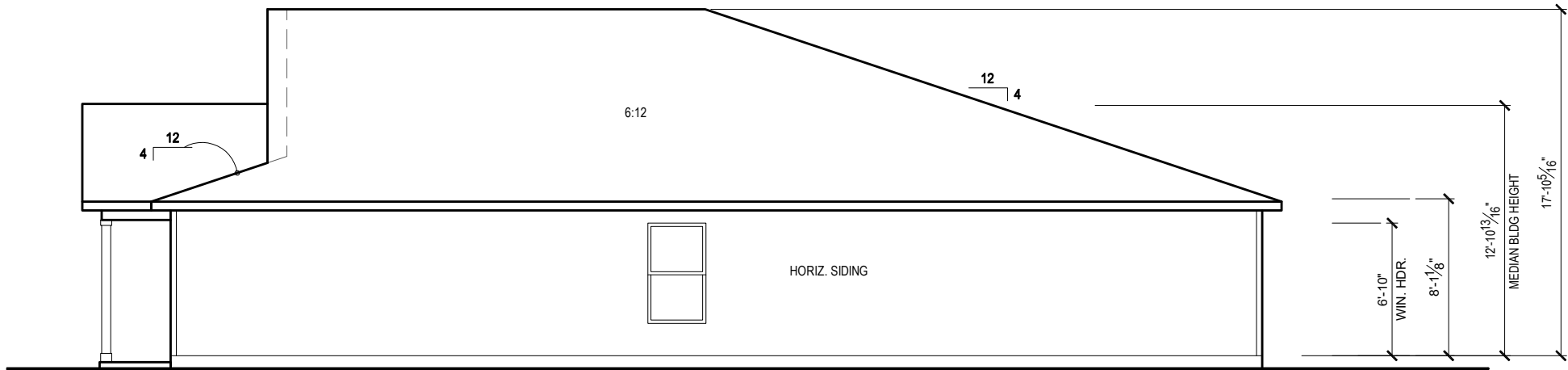
1.1-B1



LEFT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



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6-24-2022

IF SEAL AND SIGNATURE ARE NOT MADE ON ONE SET OF PLANS, THE USER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PLANS.



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RELEASE DATE:
08.30.2021

MODEL:
COVINGTON

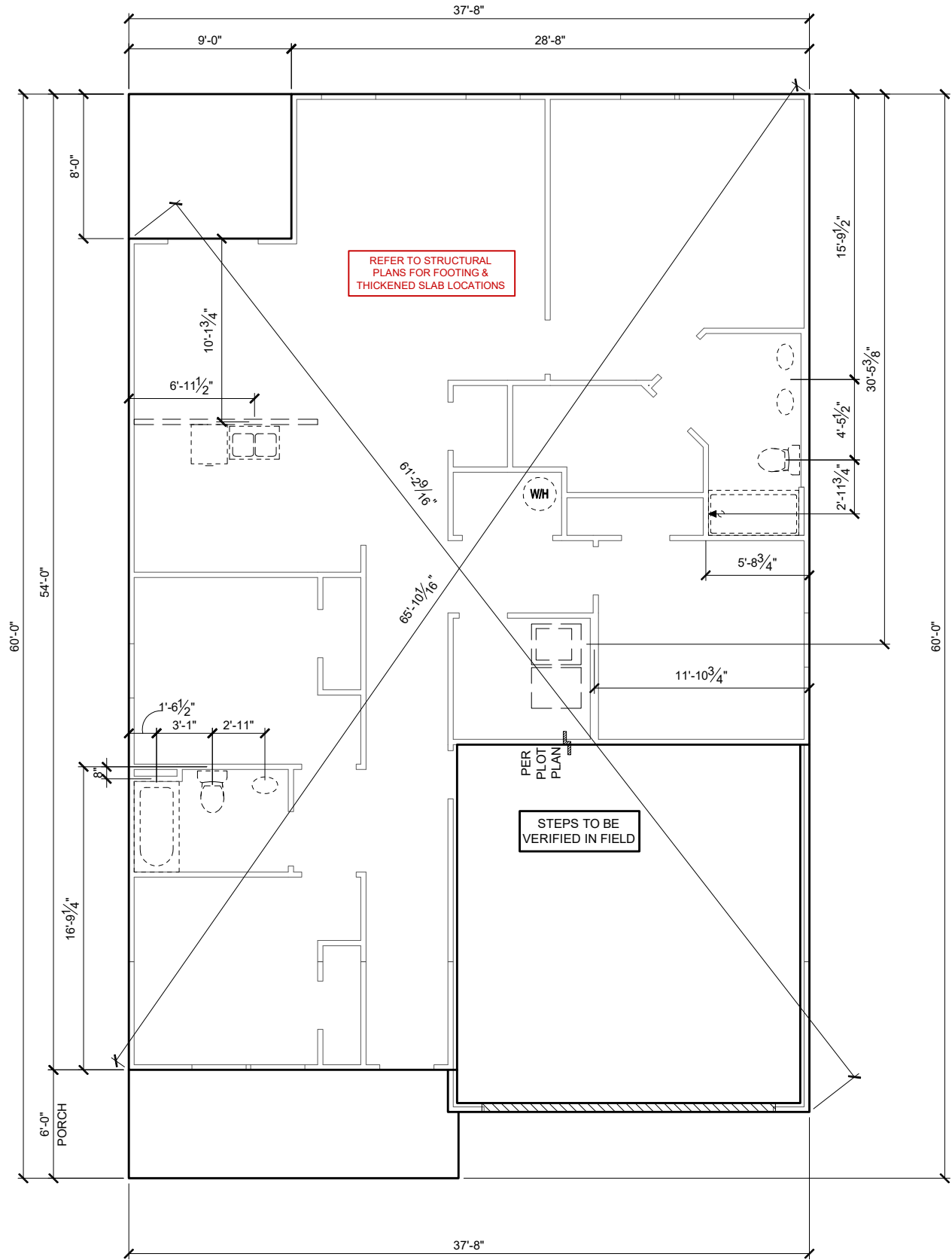
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

1.2-B1

GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



SLAB PENETRATION PLAN 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



6-24-2022

FDS
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PLAN NUMBER:	33811607	RELEASE DATE:	08.30.2021
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MODEL:

COVINGTON

DRAWING TITLE:

SLAB PENETRATION PLAN

SHEET NO:

2.1-B

NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS

2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

OPTIONAL WINDOW

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL
(PER STRUCTURALS)

KEYNOTES

A1 GARAGE CEILING - 5/8" TYPE X DRYWALL
VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2 22'X30' ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4 PULL DOWN STAIRS 25.5" x 54"

A5 TEMPERED SAFETY GLASS PER IRC R308.4

A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9 LOUVERED DOOR w/ GAS FURNACE

D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE

K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS

K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING

P1 30" X 60" SHOWER ENCLOSURE PER SPECS

P2 30"X60" TUB PER SPECS

S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'b'

GARAGE	401 SF
FRONT PORCH	108 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

The first floor plan shows a house with overall dimensions of 37'-8" wide by 60'-0" deep. The layout includes a front porch (5'-8" x 6'-0") leading into a foyer (8' x 8') with a closet. To the left is a large living area (8' x 10'-5 1/2') with a fireplace and access to a covered patio (4'-8" x 4'-4") via a 5068 slider. The kitchen (8' x 10'-5 1/2') features a double wall (DW), sink, and stove. Adjacent to the kitchen is a dining area (8' x 10'-5 1/2') and a pantry (4' x 3'-0") with a linen closet. The owner's suite (8' x 13'-3") includes a walk-in closet (wic) and a bathroom (ba). Another bedroom (br 4, 8' x 11'-3 1/2') has a closet and a linen closet. A third bedroom (br 3, 8' x 10'-5 1/2') is located near the front porch. A fourth bedroom (br 2, 8' x 6'-2") is situated near the kitchen. A bathroom (ba 2, accessible) is located near the front porch. A large garage (8' x 20'-0") with a 16' x 7' overhead door is at the rear. The plan also shows a laundry room (lau, 3'-0" x 4'-0") with a washer/dryer area and a linen closet. Various closets (A1, A2, A6) and storage areas are indicated. The plan is detailed with dimensions, door swings, and window types.

FIRST FLOOR PLAN 'B'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

CENTURY
Complete

6-24-2022

FDS

ENGINEERING ASSOCIATES

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Lake City, FL 32024

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MODEL: COVINGTON

DRAWING TITLE: FIRST FLOOR PLAN

PLAN NUMBER: 33811607
RELEASE DATE: 08.30.2021
SHEET NO: 3.1-B

ATTIC VENT CALCULATION

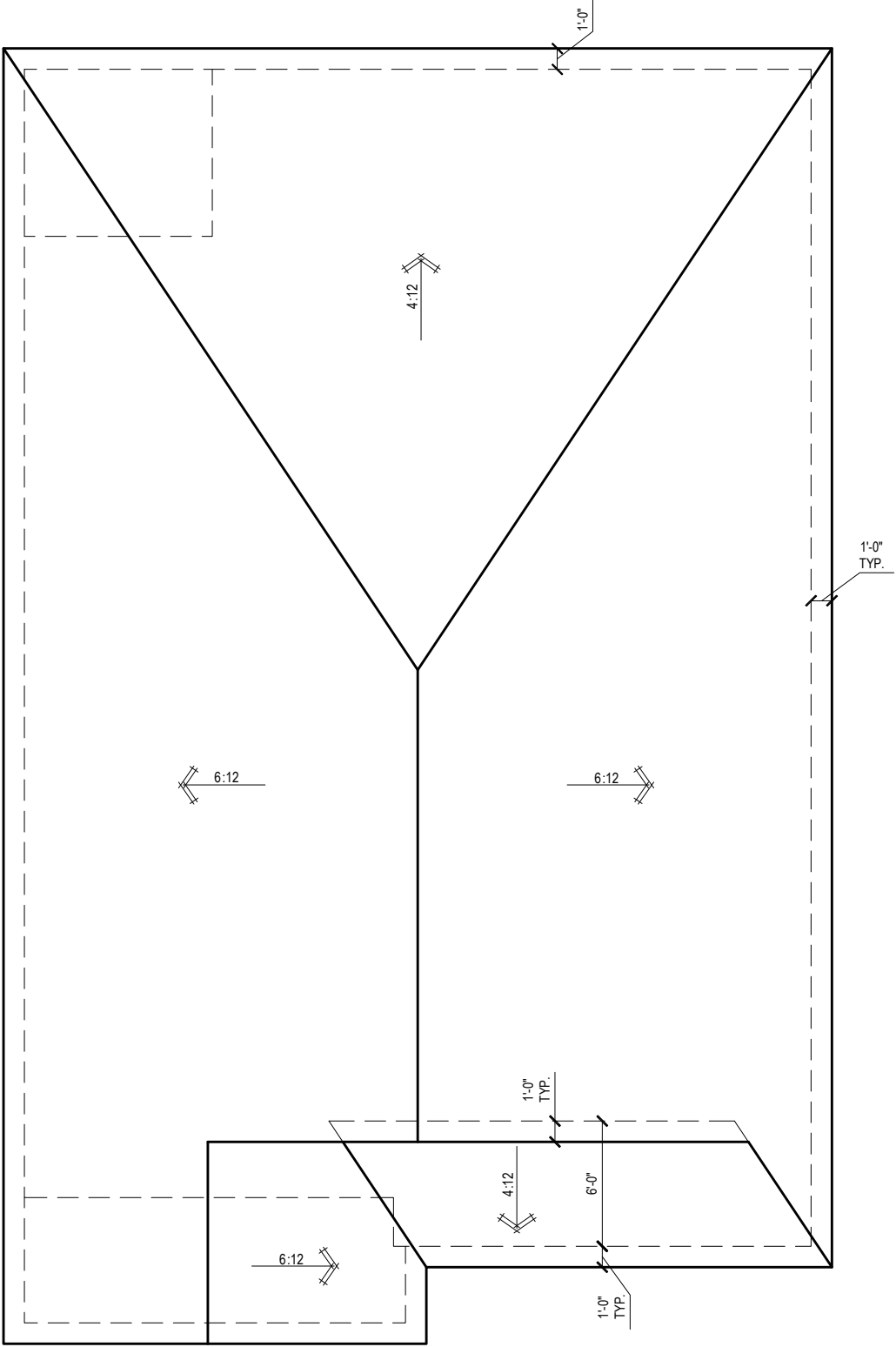
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS			
ROOF AREA	2,388 SF		
TOTAL NET FREE AREA REQ'D (1 TO 300)	1146.2 SQ. IN.		
MAIN HOUSE INLET (SOFFIT) VENTILATION	100.0 LF x	6.4 SQ. IN / LINEAR FT =	640.0 SQ. IN.
POD VENT(S) REQUIRED WITH BASE HOUSE	8	VENTS AT 70.0 SQ. IN EA. =	560.0 SQ. IN.
LOWER VENTING PROVIDED (573.1 SQ. IN. REQ'D)	640.0 SQ. IN	53.3%	
UPPER VENTING PROVIDED (573.1 SQ. IN. REQ'D)	560.0 SQ. IN	46.7%	

NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'B'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



6-24-2022



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PLAN NUMBER:	33811607	RELEASE DATE:	08.30.2021
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MODEL:	COVINGTON	DRAWING TITLE:	ROOF PLAN
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SHEET NO:

6.1-B

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

S

SMOKE DETECTOR

C

SMOKE/CARBON MONOXIDE ALARM

VP=VAPOR PROTECTED

B = BRACE FOR FUTURE FAN

H = HANGING

P = OPT. PENDANT

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

GFI

GFI OUTLET

220v

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

PW

•

PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS

•

INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G

•

ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT

•

IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

•

DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

E1 ELECTRICAL PANEL PER SPECS

E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL

E3 DOOR CHIME TRANSFORMER LOCATION

E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER

E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF

E6 INSTALL COACH LIGHT AT 68" AFF

FIRST FLOOR ELECTRICAL PLAN 'B'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

6-24-2022

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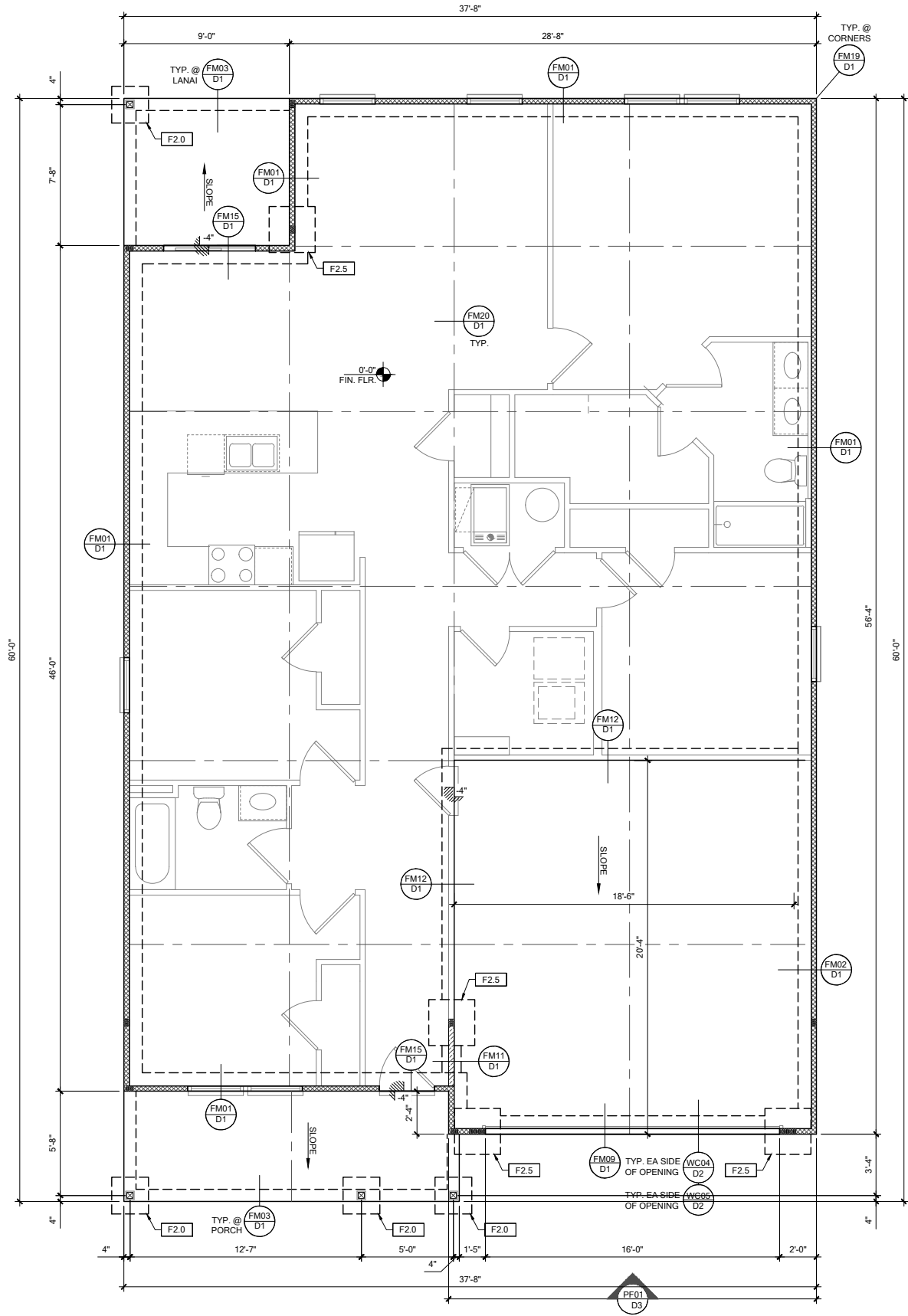
RELEASE DATE:
08.30.2021

MODEL:
COVINGTON

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1



FOUNDATION PLAN B

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

FOUNDATION LEGEND	
SYMBOL	DESIGN DESCRIPTION
[Symbol]	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.
[Symbol]	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE 1/2" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12"x12" SQUARE MAXIMUM
[Symbol]	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1
[Symbol]	4" 2500 PSI CONC. SLAB W/ REINF. PER S0 w/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN
[Symbol]	INDICATES BUILT UP COLUMN. SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB

- GENERAL NOTES:
1. TYPICAL CORNER FRAMING PER DETAIL FM19/D1
 2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENTS.

PLAN KEY NOTES	

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
[Symbol]	2x. INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
[Symbol]	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
[Symbol]	INTERIOR NON-BRG. WALL BY BUILDER
[Symbol]	2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO)



DATE: June 27, 2022
PROJECT: 33811607
DRAWING: FOUNDATION PLAN
SHEET: S1

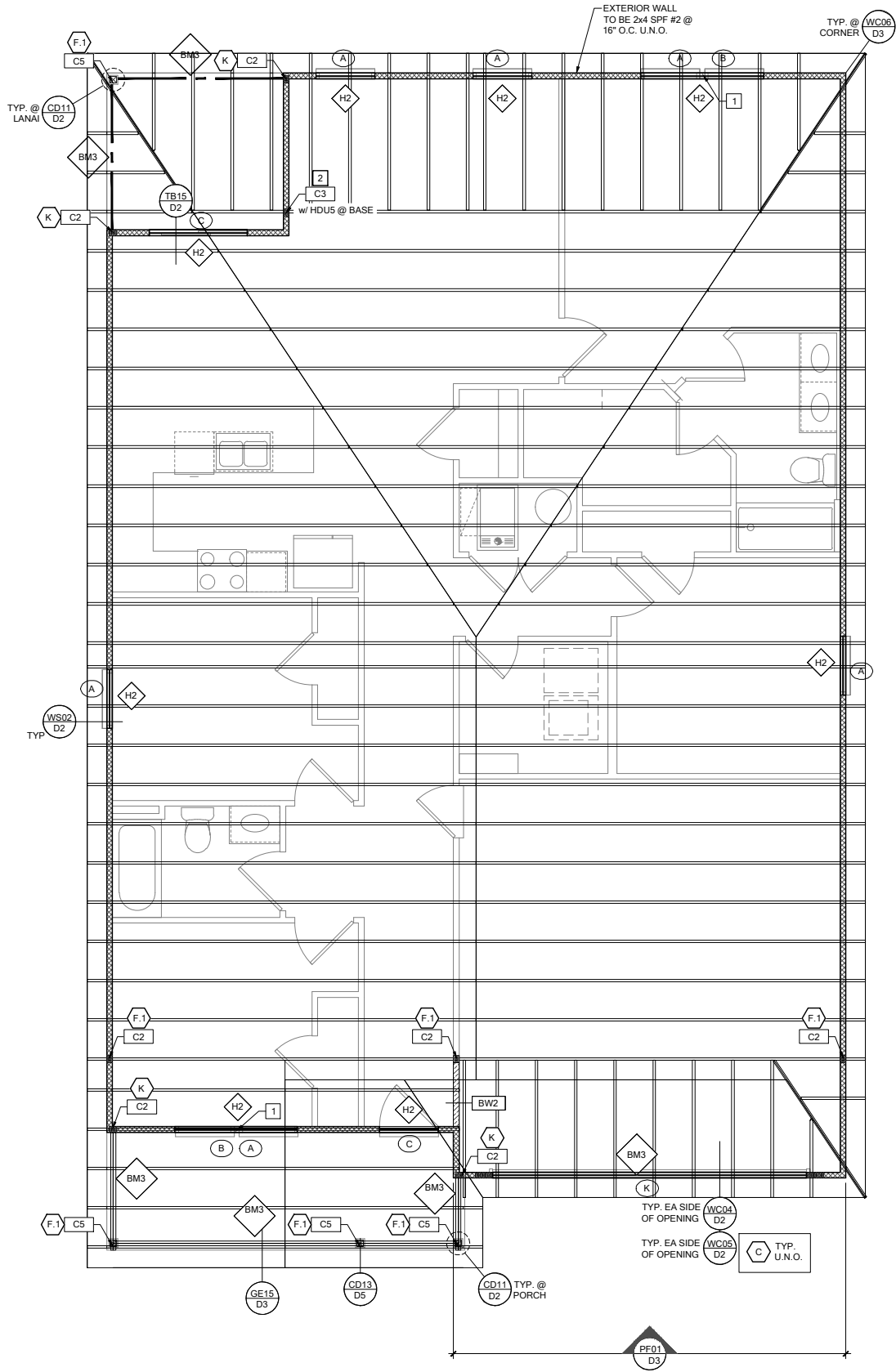
FDS
FLOOR DESIGN SERVICES
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CARLA BROWN, PE - FL #5126
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LOT 30
RESERVE @ JEWEL LAKE
436 SW JESEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33811607
RELEASE DATE: 08.03.2020

MODEL: COVINGTON
DRAWING TITLE: FOUNDATION PLAN

SHEET NO: S1



ROOF FRAMING PLAN B

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

RSH ENGINEERED ROOF PER ASCE 7-16 ROOF DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT $\leq$ 25 ft

WIND SPEED (ULTIMATE) 130 MPH
WIND SPEED (ALLOWABLE) 100.7 MPH
EXPOSURE CATEGORY C

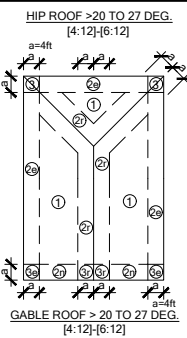
EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF)							
	(*) VALUE DENOTES PRESSURE							
	(-) VALUE DENOTES SUCTION							
AREA	ROOF	1	2e	2n	2r	3	3e	3r
10	HIP	-33.0	-45.50		-45.50	-45.50		
	GABLE	-35.0	-35.0	-55.90	-55.90		-55.90	-65.20

ROOF NAILING SCHEDULE/ NAILING ZONES (SHINGLE AND TILE):

ZONE 1: ASTM F1667 RSRS-01 (8d) NAILS @ 6" O.C. ON EDGE AND 6" O.C. IN FIELD
ZONE 2e, 2n, 2r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C. IN FIELD
ZONE 3, 3e, 3r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C. IN FIELD

ROOF SHEATHING:
SHINGLE: $\frac{3}{8}$ " EXP. 1 ($\frac{2}{3}$) or $\frac{1}{2}$ " EXP. 1 ($\frac{2}{3}$)
TILE: $\frac{1}{2}$ " EXP. 1 ($\frac{2}{3}$)

NOTE:
1. PER CODE ASTM F1667 RSRS-01 REFERENCE TO 8d (2 $\frac{3}{8}$ " x 0.113") NAILS
2. WHERE THE SHEATHING THICKNESS IS GREATER THAN $\frac{1}{2}$ ", SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRS-03 10d (2 $\frac{1}{2}$ " x 0.131") NAILS OR ASTM F1667 RSRS-04 (3" x 1.20") NAILS
3. GABLES- DROP GABLE END & (1) ADDITIONAL DROPPED TRUSS 2x4 #2 SYP OUTLOOKER RAFTER W/ BLOCKING @ 16" O.C. IF NO DROPPED GABLE END, ATTACH 2x4 #2 SYP BLOCKING @ 16" O.C. FIRST 4 BAYS WITH (2) 12d NAILS EA. END. ATTACH ROOF SHEATHING TO RAFTERS W/ BLOCKING PER NAILING SCHEDULE.



SYMBOL	DESIGN DESCRIPTION
 2x	INDICATES BEARING WALL. SEE BEARING WOOD BEARING SCHEDULE ON SN. SEE ARCHITECTURAL PLANS FOR WALL WIDTH, 2x4 MINIMUM U.O.N.
 C#	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB. INDICATES NO BOTTOM CONNECTOR REQUIRED
 #	INDICATES WINDOW PRESSURE - SEE S0 FOR MORE INFORMATION.
 #	INDICATES UPLIFT CONNECTION. CONSTRUCTED PER DETAIL UPLIFT CONNECTOR SCHEDULE ON SHEET SN

- FRAMING NOTES:
- SEE WIND SPEED CHART ON S0 FOR WINDOW PRESSURES
 - AT SECOND FLOOR FOR TYPICAL CORNER FRAMING SEE DETAIL FB06/D4

- GENERAL NOTES:
- THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL, RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION
 - ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION.
 - SEE SHEET SN FOR DESIGN SCHEDULES AND NOTES: FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES.

PLAN KEY NOTES

- MIN. (2) INTERMEDIATE JACK STUDS REQUIRED BETWEEN OPENINGS.
- SIMPSON MGT w/ (22) 0.148 x 1 $\frac{1}{2}$ " & (1) $\frac{5}{8}$ " ATR & SIMPSON HDU4-SDS 2.5 w/ (10) $\frac{1}{4}$ " x 2 $\frac{1}{2}$ " SDS SCREWS

BUILDER NOTE:
IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE TRUSS MANUFACTURERS LAYOUT

-----STOP-----

AND CALL THE ENGINEER OF RECORD PRIOR TO PLACEMENT OF ANY TRUSSES.

WALL TYPE

SYMBOL	DESIGN DESCRIPTION
 2x	2x. INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
 2x	INDICATES BEARING WALL. SEE BEARING WOOD BEARING SCHEDULE ON SN
 2x	INTERIOR NON-BRG. WALL BY BUILDER
 2x	2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO)



DATE: June 27, 2022
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



LOT 30
RESERVE @ JEWEL LAKE
436 SW JESEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33811607
RELEASE DATE: 08.03.2020

MODEL: COVINGTON
DRAWING TITLE: ROOF FRAMING PLAN

SHEET NO: S2

WOOD BEARING WALL SCHEDULE					
MARK	STUD SPACING	CONNECTION & FASTENERS		LUMBER SPECIES	UPLIFT CAP. [kN]
		TOP	BOTTOM		
[BW1]	16"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SPF	NO UPLIFT
[BW2]	16"	SP2 w/ (6)16d NAILS	(2) 6" (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	402
[BW3]	16"	(2) SP2 w/ (6)16d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	804
[BW4]	16"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SYP	NO UPLIFT
[BW5]	16"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	439
[BW6]	16"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	878

SIMPSON - CONNECTOR SCHEDULE					
MARK	TYPE	CONNECTOR & FASTENERS	SPF	SYP	
(E)	FRAME TO FRAME	H2 5A w/ (10)8d NAILS	615	700	
(C)	FRAME TO FRAME	H10A w/ (18)10d x 1 1/2"	1015	1040	
(C)	FRAME TO FRAME	H10A-2 w/ (18)14 x 1 1/2 at EXTERIOR LOCATIONS	930	1080	
(C)	FRAME TO FRAME	MTS12 w/ (14)10d x 1 1/2 at EXTERIOR LOCATIONS INCLUDE (3) 2d TONALS	805	990	
(F)	FRAME TO FRAME	HTS20 w/ (16)14 x 1 1/2 at EXTERIOR LOCATIONS INCLUDE (3) 2d TONALS	1215	1415	
(F)	FRAME TO FRAME	(2) HTS20 w/ (36)10d x 1 1/2 at EXTERIOR LOCATIONS INCLUDE (6) 2d TONALS	2430	2830	
(F)	FRAME TO MASONRY / (2) 16d SINKER NAILS	(2) LGTW2 w/ (32) 16d SINKER NAILS & (14) 1/4" x 2 1/4" TIE RODS (2x 2 PLY TRUSSES OR 2x4)	3500-M 3510-F	4080-F	
(F)	FRAME TO FRAME	GLT3/3J w/ (24) 2 1/2 x 7 PDSS SCREWS			

BW7	12"	(2) 10d TOENAILS	(2) 10d TOENAILS & (1) 12d END OR BOX NAILS	#2 SPF	535
BW8	12"	SP2 w/ (6) 10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	1070
BW9	12"	(2) SP2 w/ (6) 10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	1070

J3	MASONRY / FRAME	& (8) 3/8" x 5" TITEN (2 PLY TRUSS) OR (52) 16d SINKERS FOR FRAME (EA)	4730-M 5010-F	6570-M 6960-F
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[BW10]	12"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SYP	NO UPLIFT
[BW11]	12"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	585
[BW12]	12"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	1170

	BEAM TO MASONRY / FRAME	HU46 OPT HUC46 w/ (6) 10d NAILS & (12) 1/4" x 2 3/4" TITEN TURBO (TO MAS.) OR (12) 16d & (6) 10d (FOR FRAME)	G#2165 U#1135 SYP-F	G#3000 U#1135 SYP-M
	FRAME TO FRAME	H10S w/ (24) 10d x1 1/2" NAILS	785	910

2x STUDS BEYOND.
SEE PLAN

@ 32" O.C. w/ EMBEDMENT
 OF 7" MIN. OR 1/2" TIE IN HD
 w/ 4 1/2" MIN. EMBEDMENT (IF AT STEP,
 7" MIN PAST LOWER SLAB.) ONLY IF
 INDICATED WOOD BEARING
 WALL OR SHEAR WALL. SEE
 PLAN FOR BEARING WALL. /

SEE FOUNDATION
 FOR FOOTING
 TYPE & SIZE

BWD BEARING WALL DETAIL
 SCALE: NONE

5. EACH CORNER G.C. TO VERIFY LOCATION DOES NOT CONFLICT w/TJ (IF APPLICABLE)
CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALL/BEAMS w/ (2) 1/2" x 6" x 1/2" MINIMAL CONNECTOR UNO ON FRAMING PLAN

VERTICAL BLOCKING

SECTION X-X

GENERAL BEARING WALL NOTES:

1. ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SYP #2 AND ALL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 U.N.O.
2. SEE FLOOR PLAN FOR WALL SIZE. ASSUME 2x4 STUDS USED UNO.
3. CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED
4. CONTACT E.O.R. IF SP#4, SP#5 OR SP#8 CONNECTORS ARE SUBSTITUTED, TO VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS.
5. IF "BW" IS INDICATED ON SECOND FLOOR BASE CONNECTION TO BE IGNORED. SEE WTB6 AND FTB66 OR INDICATED DETAIL FOR PROPER CONNECTIONS FOR 2ND FLOOR TO FIRST FLOOR CONNECTIONS. (NOTE: THIS IS FOR 2 STORY PROJECTS ONLY)
6. IF "SW" IS INDICATED ON PLAN THE WALL IS CONSIDERED A SHEAR WALL AND REQUIRES MIN. 2x6 OSB PLYWOOD NAILLED @ 4" O.C. IN FIELD AND EDGE TO ONE SIDE OF WALL. U.N.O. ON PLANS.
7. ALL 2x EXTERIOR WALLS w/ SHEATHING ATTACHED PER NAILING SCHEDULE TB139N ACTS AS SHEAR WALLS. SEE PLAN AND WALL SECTIONS FOR STUD SIZE AND NAILING SCHEDULE.
8. ALL TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WOOD STUDS.
9. IF THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT. THE STUDS ARE TOE NAILED TO THE PLATE AND THE 2x PLATE CAN BE ATTACHED WITH HARD CAPPED NAILS (GUN NAILS) AND WILL NOT REQUIRE THE ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDULE.

2x4 SPF#2 w/ 2-12d NAILS @ 24" O.C.
@ PARALLEL TRUSS CONDITION

ROOF TRUSS

1/2" MIN. SPACE

SIMPSON DTC w/4-5d NAILS TO TOP PLATE AND 2-6d NAILS @ SLOT @ 4'-0" O.C. MAX

1. CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS



SEE SCHEDULE

ALL EDGES, A MINIMUM $\frac{1}{8}$ "
LS AT EDGES AND END
ENERS SHALL NOT

COMMON NAIL

2x PT BOTTOM PLATE

WF18

NON-BRG INTERIOR WALL

SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

(2) 2x TOP PLATE

2x4 LAMINATIONS w/ ROW OF STAGGERED 10d COMMON WIRE NAILS ($O = 0.148''$, $L = 3''$) OR EQUAL

3-2x LAMINATIONS w/ 2-ROWS OF STAGGERED 16d COMMON WIRE NAILS (ONE INTO EACH OUTSIDE FACE) ($O = 0.162''$, $L = 3-1/2''$) OR EQUAL

4-2x LAMINATION PROVIDE $1/2'' \times 5 1/2''$ LAG SCREWS AT SAME SPACING AS ABOVE

ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.

ALL NAILS PENETRATE AT LEAST $1/2''$ OF THE THICKNESS OF THE LAST LAMINATION

REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFO.

EDGE

3-1

2x8

NA

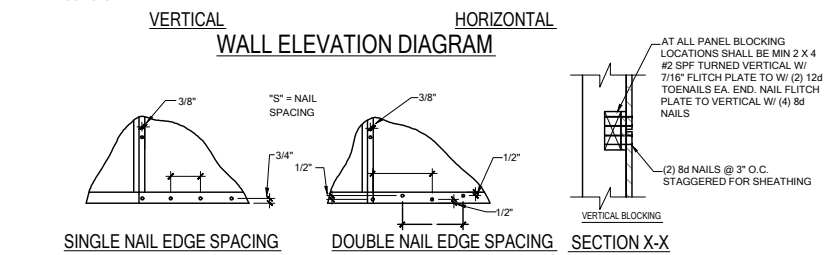
FRA

AD

INFO

Technical drawing showing a cross-section of a wall step at a brick frame wall. The drawing includes the following labels and dimensions:

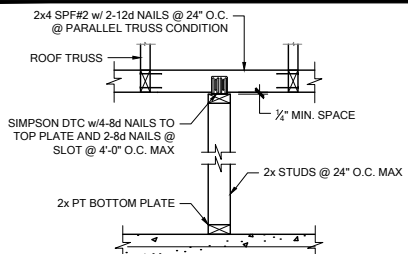
- Labels:
 - w/ (2) @ END
 - STA30 NAILS
 - SEE FLOOR PLAN FOR MORE BRG. WALL INFO
 - DOUBLE 2x BLOCKING w/ (4) 12d NAILS @ EACH END
 - SHOWS D.C.
- Dimensions:
 - E: 3/4" = 1'-0" @ 22x34
 - E: 3/8" = 1'-0" @ 11x17



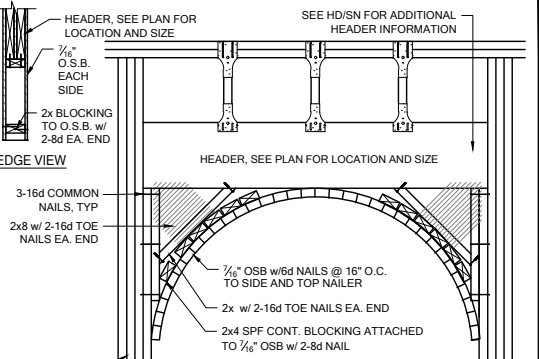
NOTE: 8d NAILS FOR WALL SHEATHING MUST BE MIN. .131" X 2 1/2".
DO NOT OVERDRIVE NAILS: FASTENERS SHALL NOT PENETRATE
SURFACE MORE THAN 1/8"



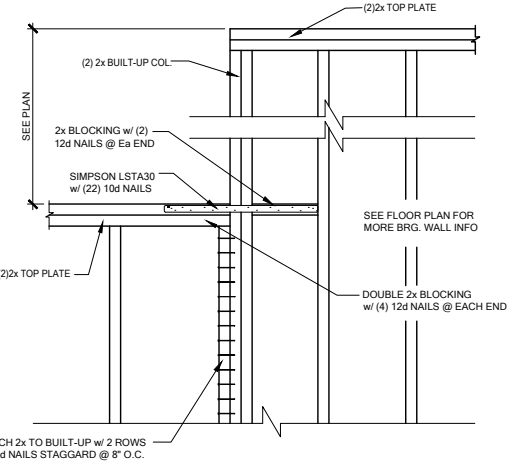
TB13
WALL SHEATHING INSTALL & NAILING SCHEDULE
 SCALE: N.T.S. REV. FBC 7TH ED. 2020



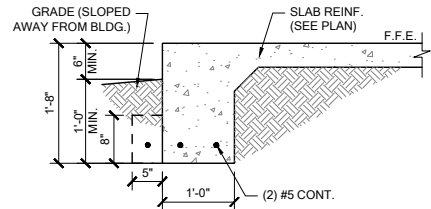
WF18 **NON-BRG INTERIOR WALL**
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



WF02 WOOD FRAMED ARCH
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

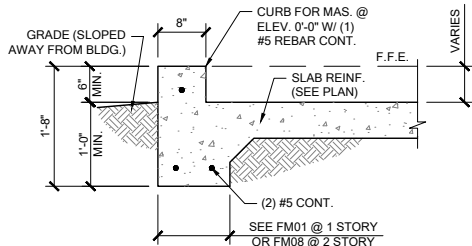


WC07 WALL STEP @ BRG. FRAME WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



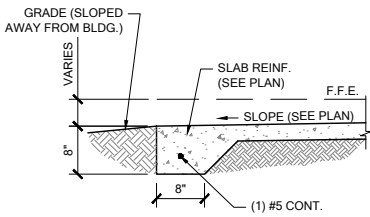
FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.C ON THIS SHEET.

FM01 SINGLE STORY FTG
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

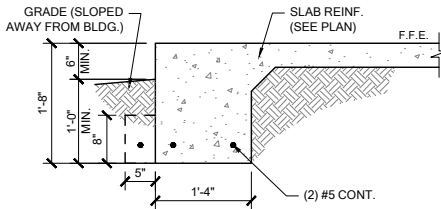


FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.D ON THIS SHEET.

FM02 SECTION @ GARAGE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

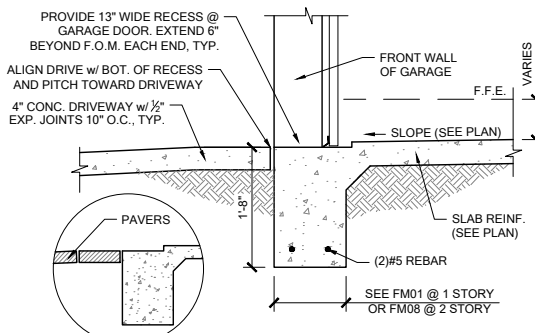


FM03 THICKENED EDGE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

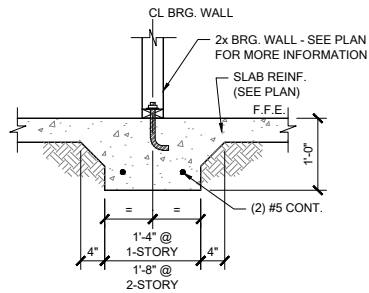


FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.C ON THIS SHEET.

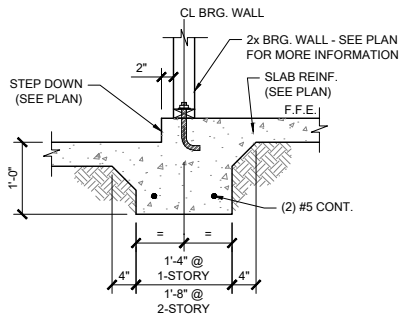
FM08 2-STORY FOOTING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



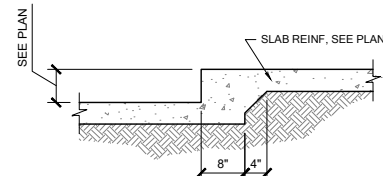
FM09 SECTION @ GARAGE DOOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



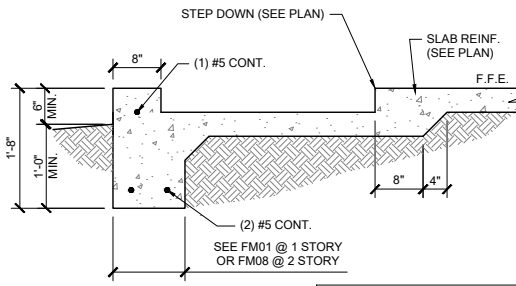
FM10 INTERIOR BEARING WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



FM11 STEP DOWN BEARING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

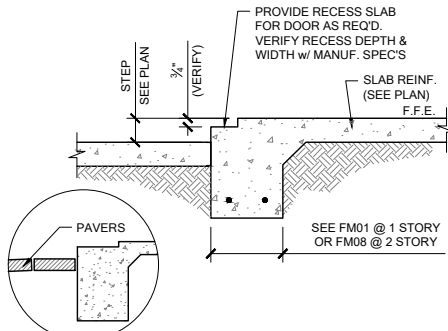


FM12 STEP DOWN @ NON BRG.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

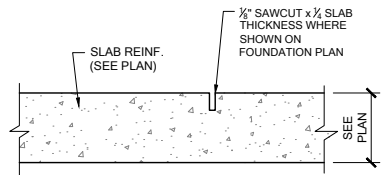


FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.D ON THIS SHEET.

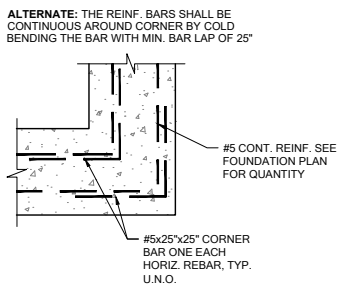
FM14 SECTION @ SHOWER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



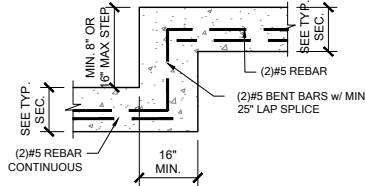
FM15 EXTERIOR BEARING @ RECESS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



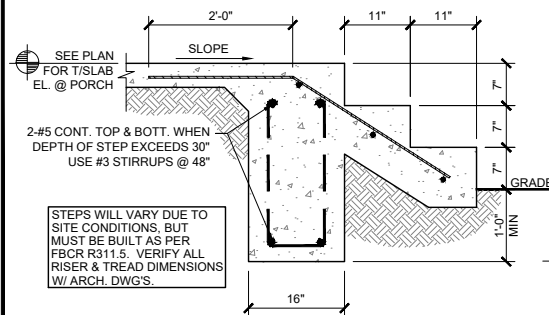
FM20 CONTROL JOINT
SCALE: N.T.S.



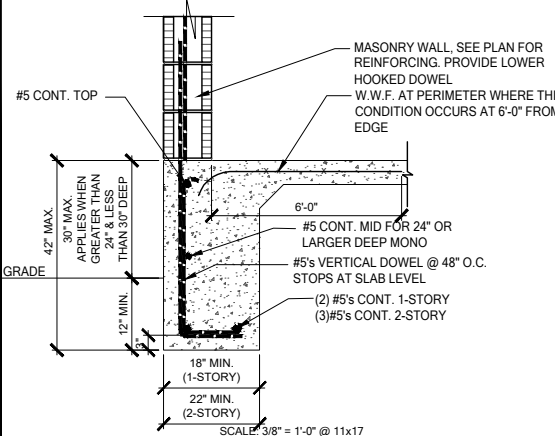
FM19 TYP. CORNER BAR DETAIL
SCALE: N.T.S.



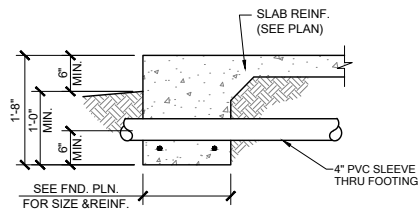
FM18 TYP. STEP FOOTING DETAIL
SCALE: N.T.S.



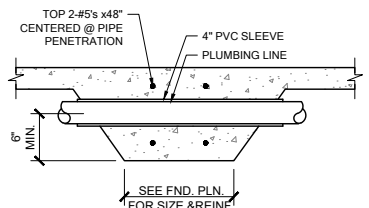
FM22 PORCH STEP
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



FM01.C DEEP MONO FTG.
SCALE: 3/4" = 1'-0"

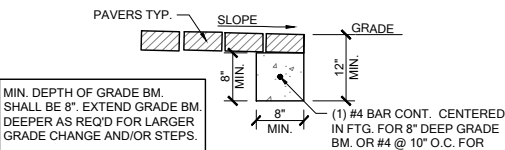


PIPE PERPENDICULAR TO EXTERIOR FOOTING

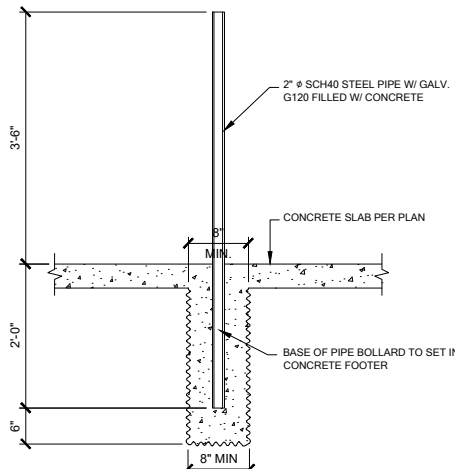


PIPE PERPENDICULAR TO INTERIOR FOOTING

FM23 FOUNDATION PENETRATIONS, TYPICAL
SCALE: N.T.S.

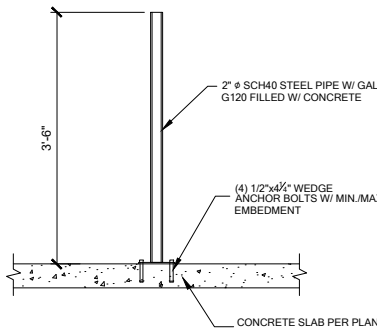


FM32 GRADE BEAM @ PAVER THRESHOLD
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

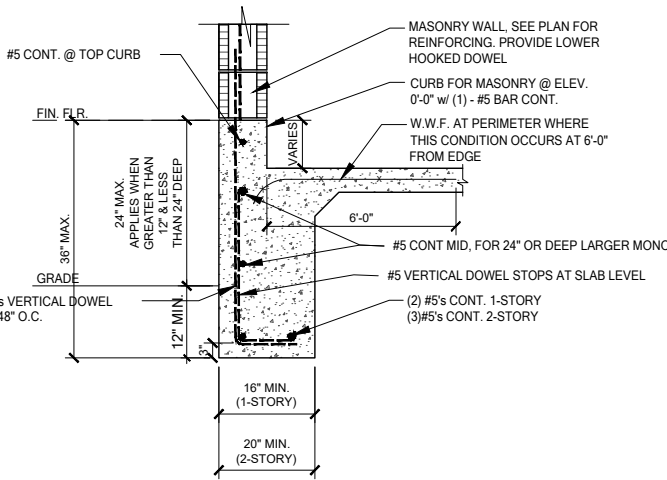


GAS WATER HEATER

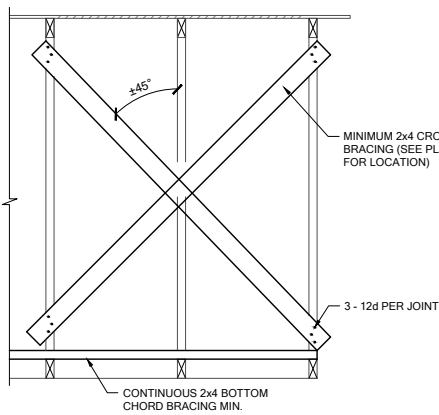
1 BOLLARD DETAIL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



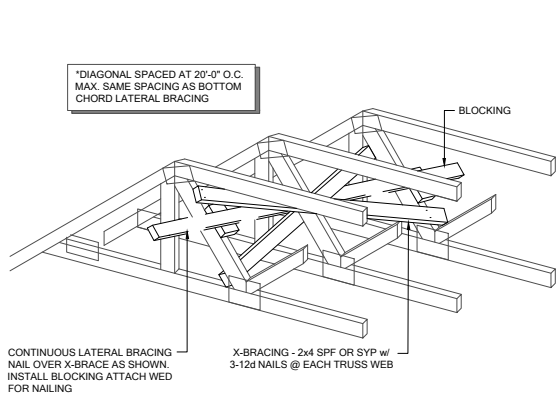
ELECTRIC WATER HEATER



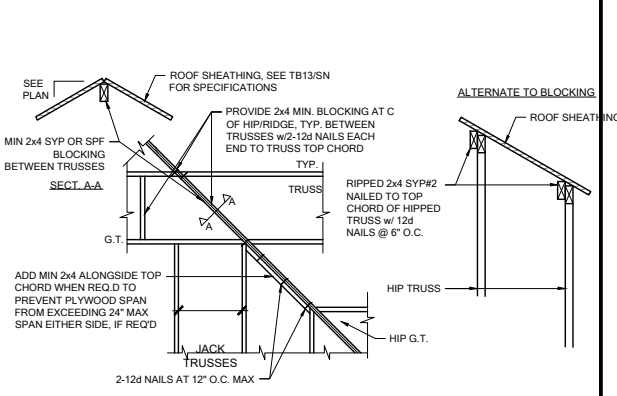
FM01.D DEEP MONO FTG. w/ CURB
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



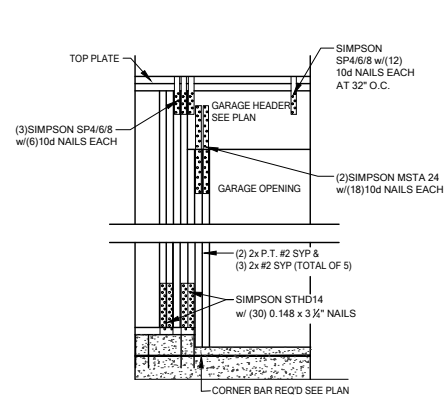
TB01 CROSS BRACING, TYP.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



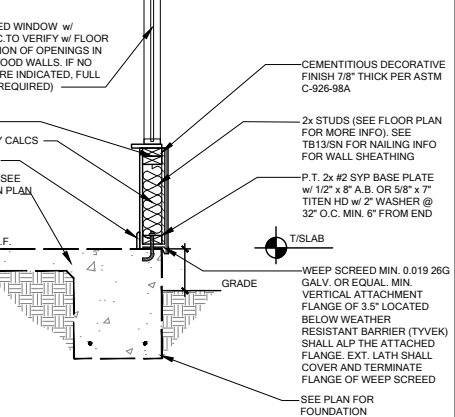
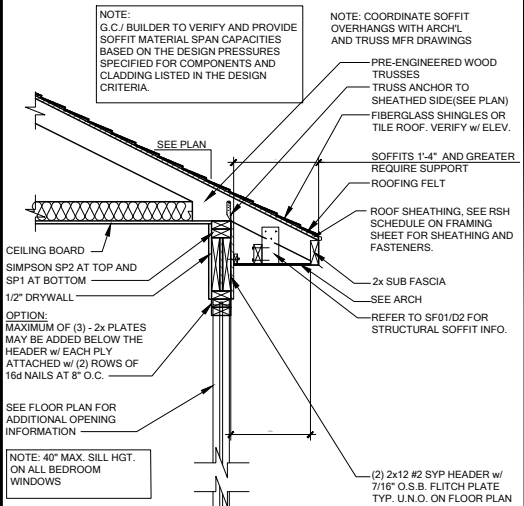
TB02 CROSS BRACING TYPICAL
SCALE: N.T.S.



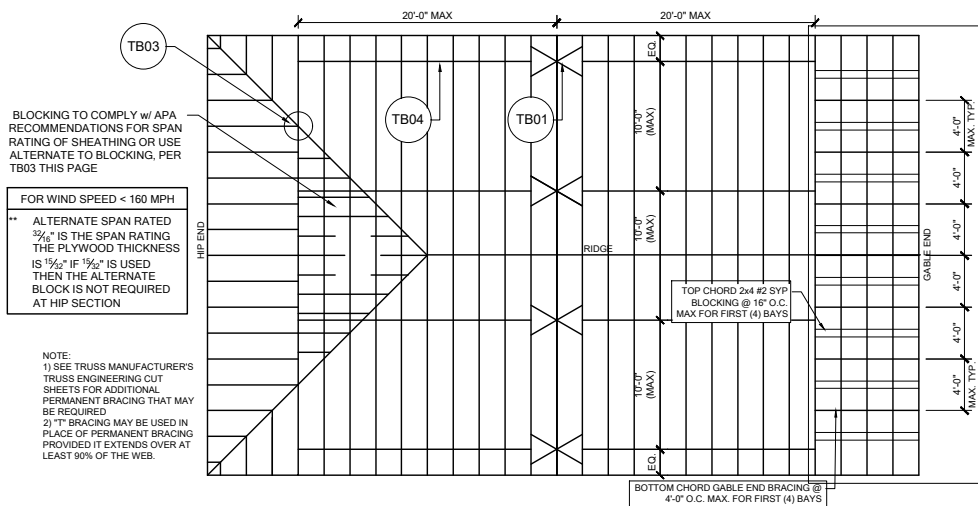
TB03 HIP/RIDGE BLOCKING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



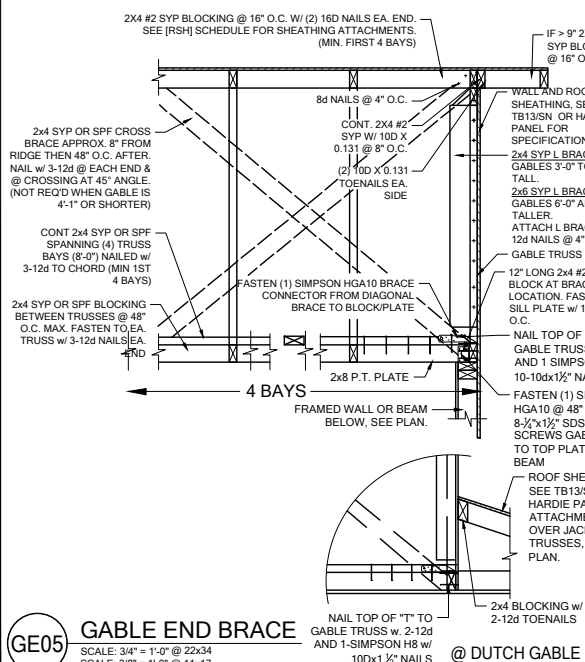
WC04 GARAGE HEADER ANCHOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



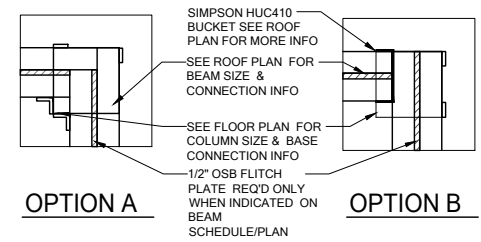
WS02 TYP. WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



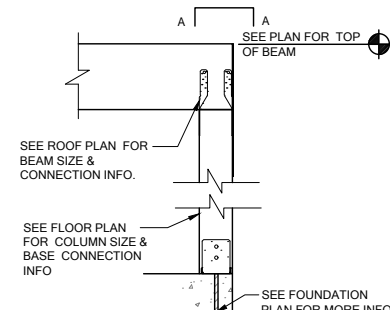
TB05 REQUIRED MIN. PERMANENT TRUSS BRACING PLAN
SCALE: N.T.S.



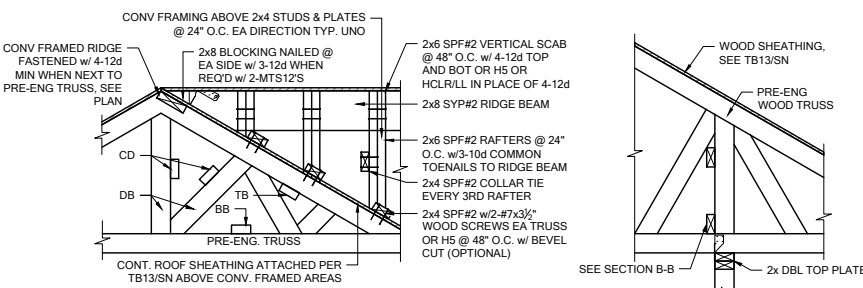
GE05 GABLE END BRACE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



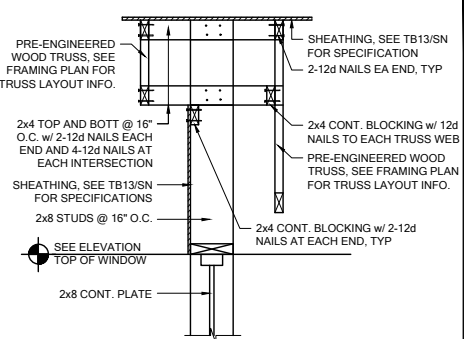
A COMMON BM. TO POST ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



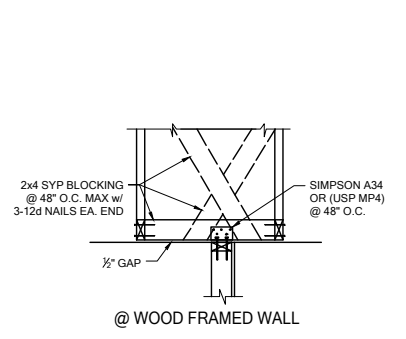
CD11 COMMON BM. ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



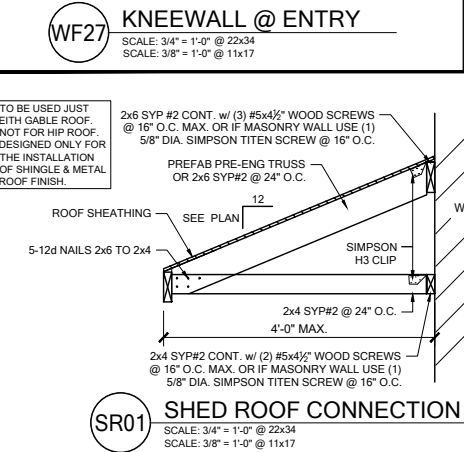
TB06 BLOCKING/CONV. FRAME DETAILS
SCALE: 1/2" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



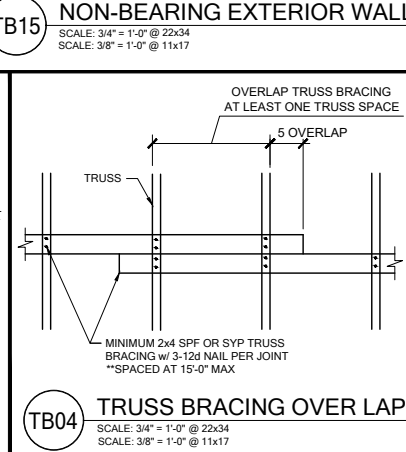
WF27 KNEEWALL @ ENTRY
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



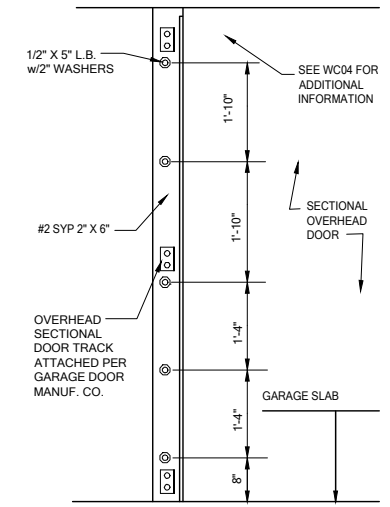
TB15 NON-BEARING EXTERIOR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



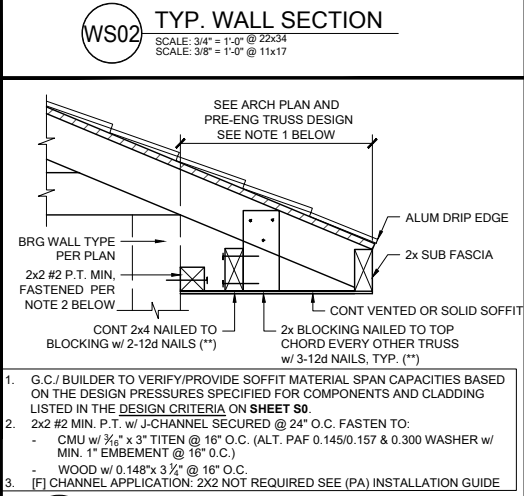
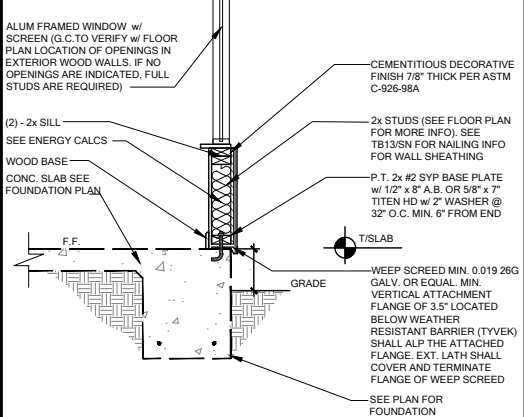
SR01 SHED ROOF CONNECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



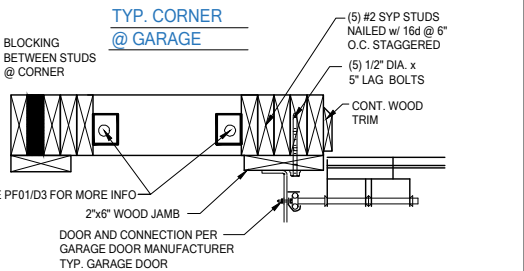
TB04 TRUSS BRACING OVER LAP
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



WC05 SECT. OVERHEAD GAR. DOOR INSTALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SF01 STRUCTURAL SOFFIT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



TYP. CORNER @ GARAGE



DATE: June 27, 2022
DRAWN BY: J. L. BROWN
CHECKED BY: J. L. BROWN
DESIGNED BY: J. L. BROWN

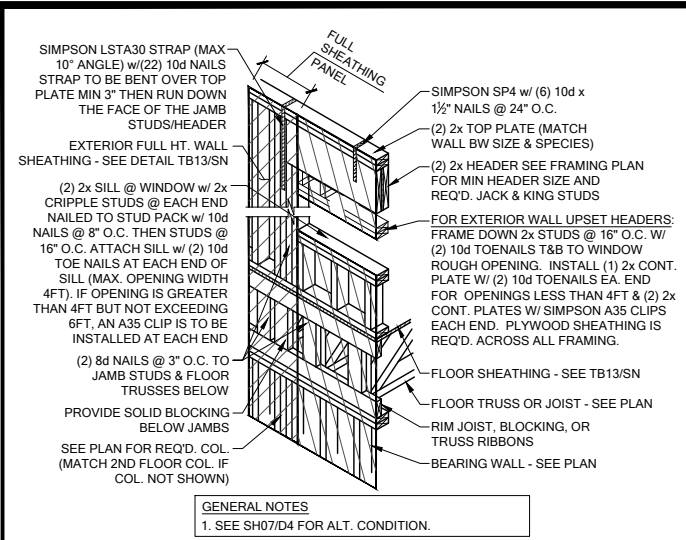


LOT 30
RESERVE @ JEWEL LAKE
436 SW JESEL LAKE DR.
LAKE CITY, FL 32024

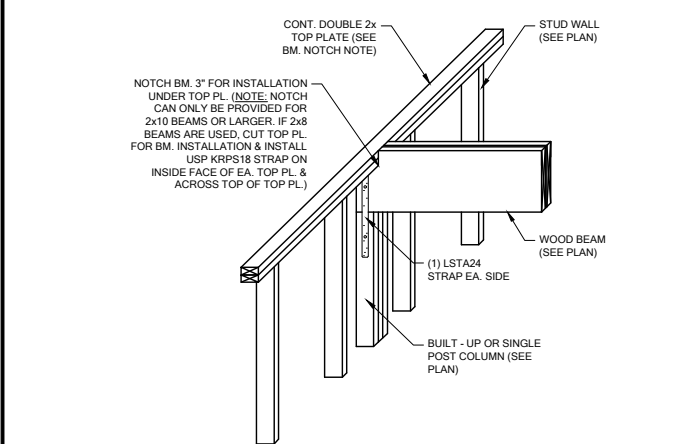
PLAN NUMBER: 33811607
RELEASE DATE: 08.03.2020

MODEL: COVINGTON
DRAWING TITLE: FLOOR FRAMING DETAILS

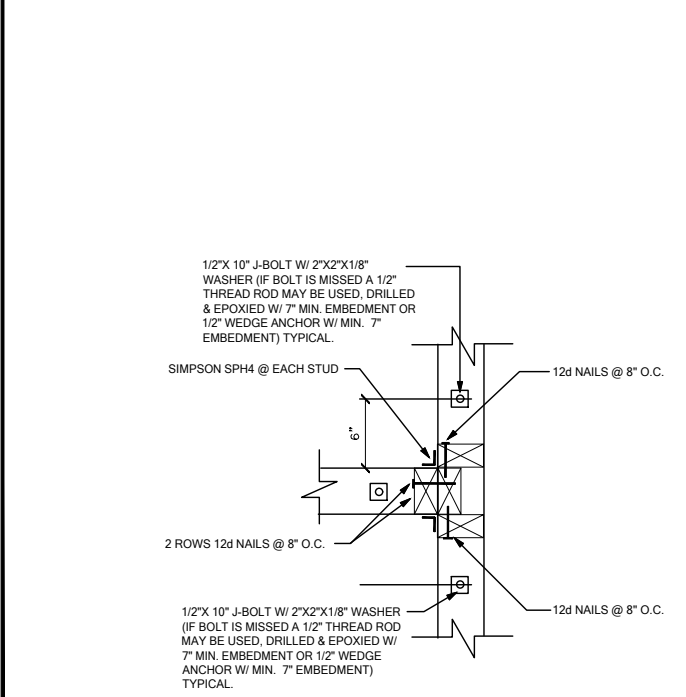
SHOOT NO: D2



SH00 HEADER CONN. @ 2ND FLOOR (NO BASE STRAP)
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



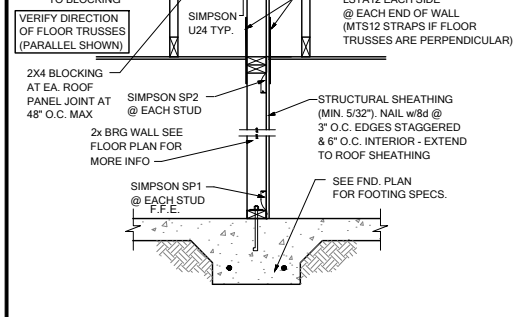
WF103 TYP. WOOD BEAM TO WOOD WALL CONN.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



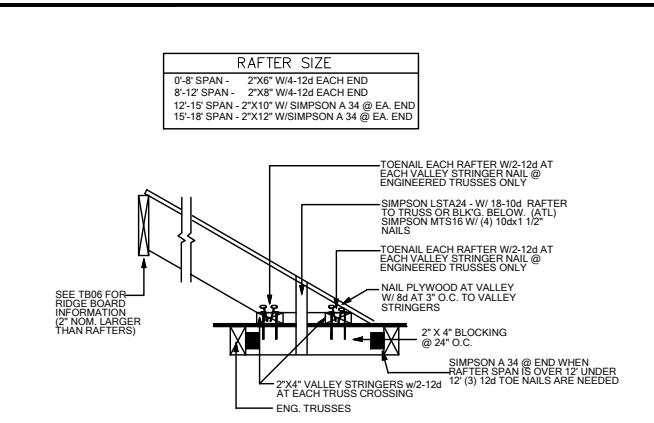
WC03 WALL TO WALL @ END OF SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



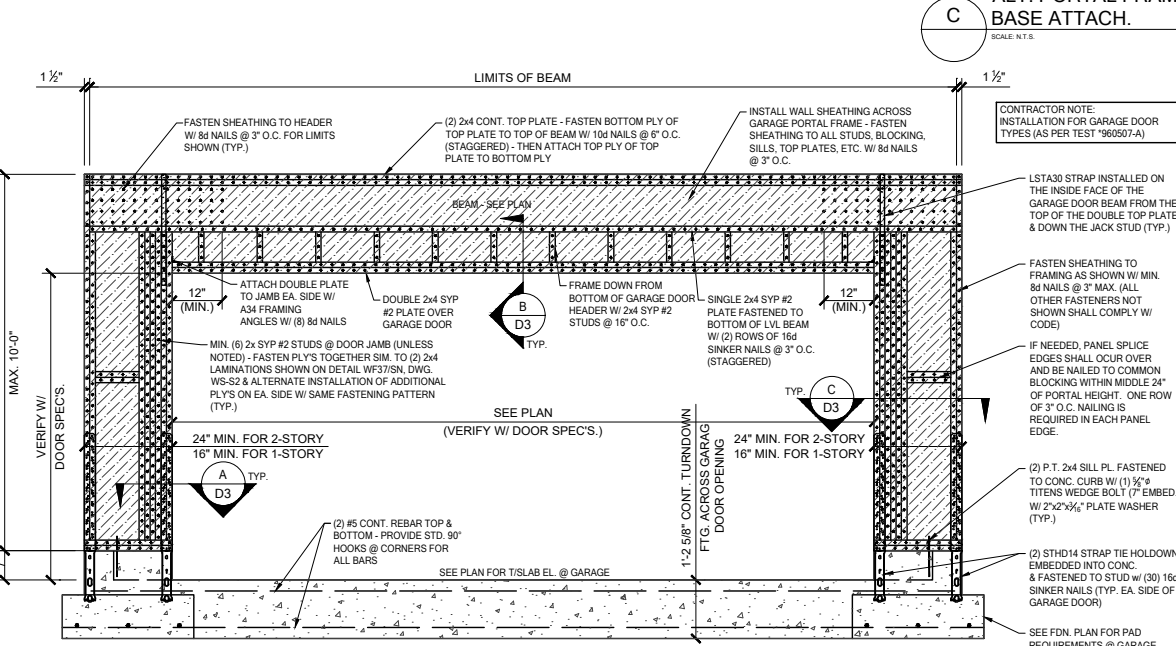
SW04 INTERIOR SHEAR WALL @ TRUSSES
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



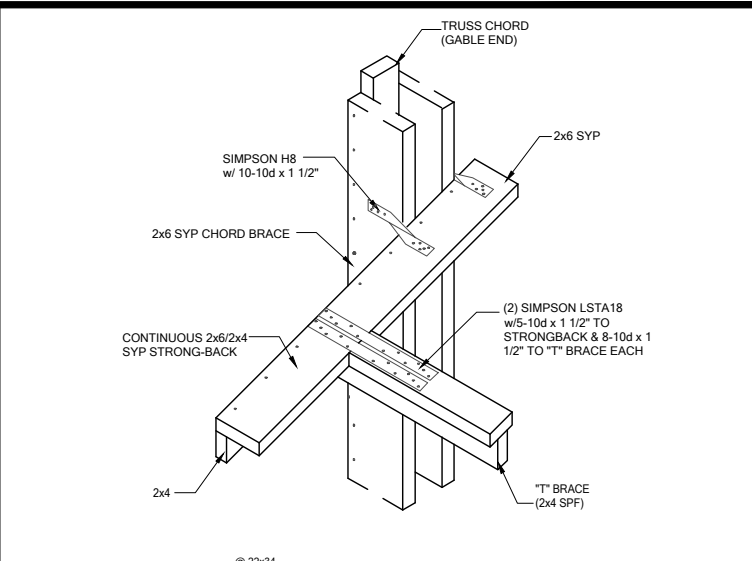
GE03 GABLE END BRACIN w/ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



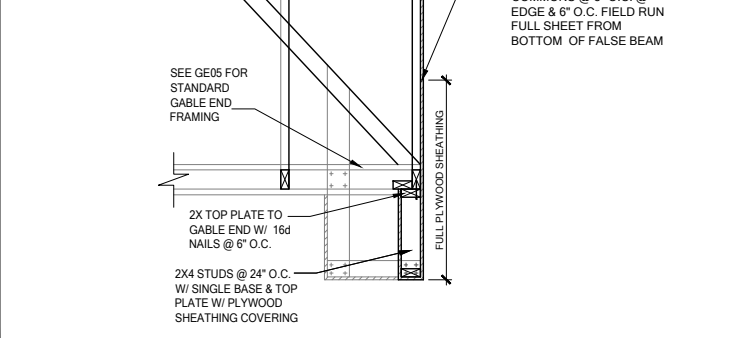
TB17 CONV. FRAMING & VALLEY FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



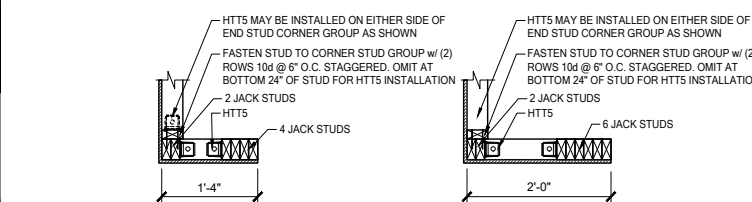
PF01 GARAGE DOOR PORTAL FRAME
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



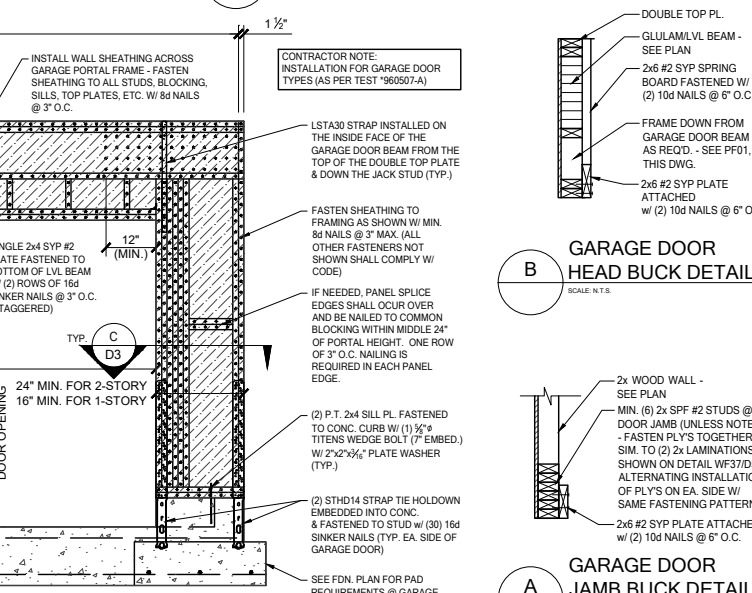
GE04 T\"/>



GE15 FALSE BEAM @ GABLE END
SCALE: 3/4" = 1'-0" @ 11x17



C ALT. PORTAL FRAME BASE ATTACH.
SCALE: N.T.S.



B GARAGE DOOR HEAD BUCK DETAIL
SCALE: N.T.S.



A GARAGE DOOR JAMB BUCK DETAIL
SCALE: N.T.S.



DATE: June 27, 2022
PROJECT: 33811607
DRAWING: 08.03.2020

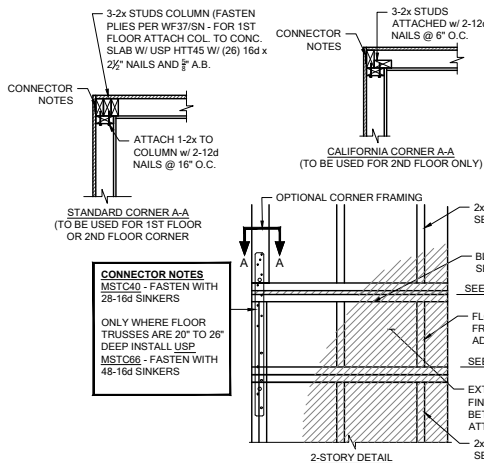


LOT 30
RESERVE @ JEWEL LAKE
436 SW JESEL LAKE DR.
LAKE CITY, FL 32024

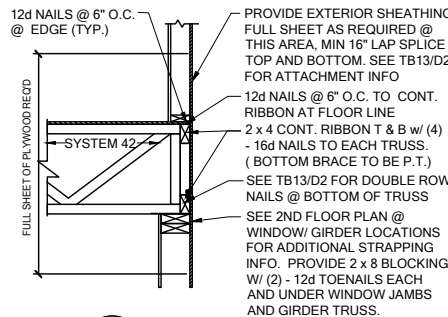
PLAN NUMBER: 33811607
RELEASE DATE: 08.03.2020

MODEL: COVINGTON
DRAWING TITLE: FLOOR FRAMING DETAILS

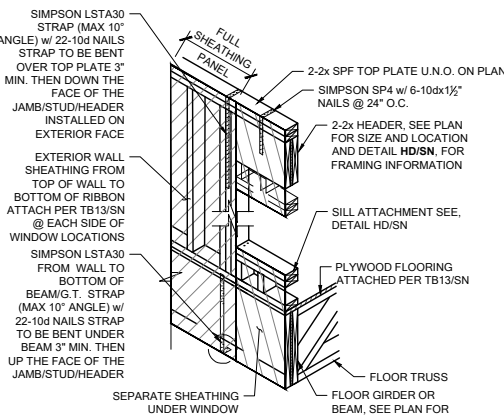
SHEET NO: D3



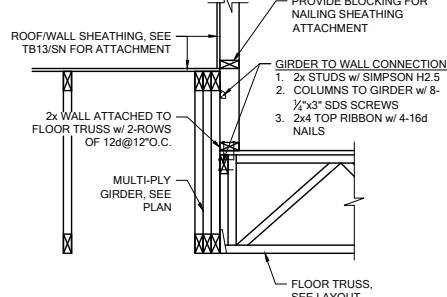
FB06 TYP. CORNER FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



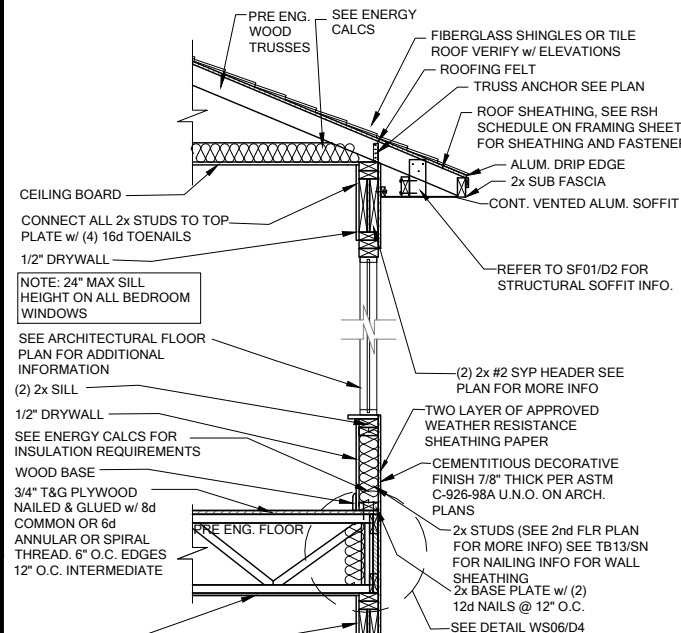
WS06 FLOOR ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



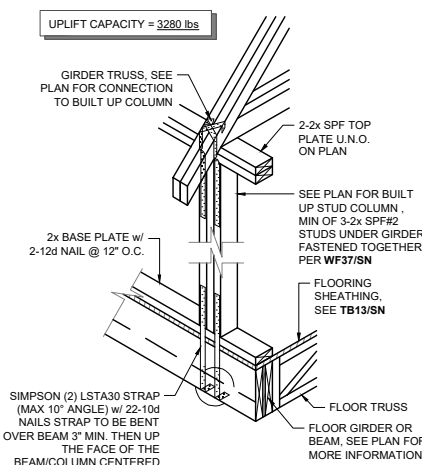
SH05 HEADER CONN. @ BEAM
SCALE: N.T.S.



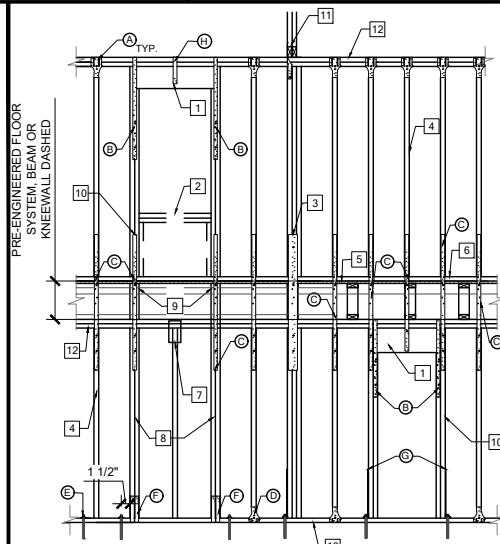
WF100 BRG. WALL OVER FLOOR SYSTEM
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



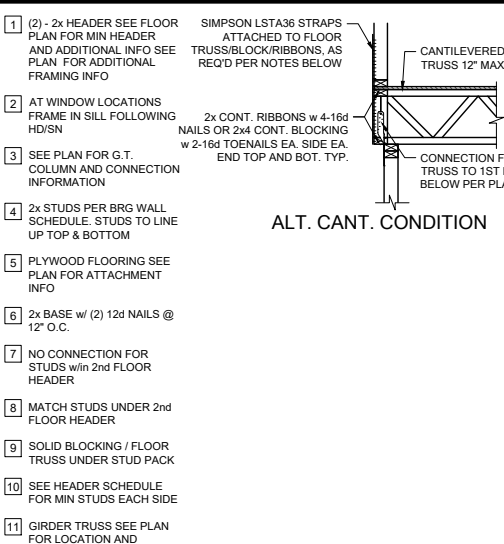
WS04 2 STORY FRAME WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



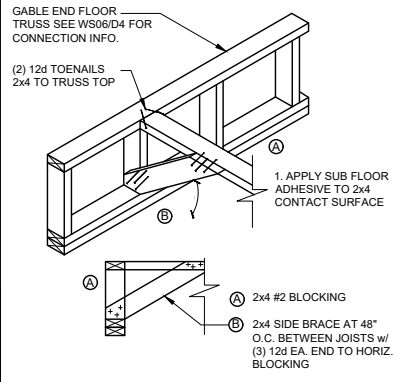
SG01 COLUMN CONN. @ BEAM
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



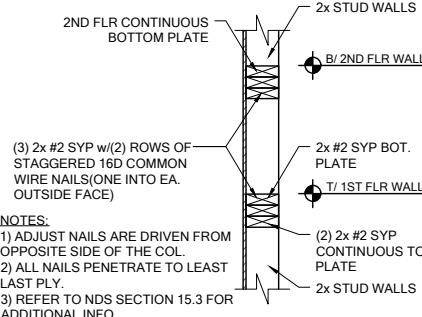
WF06 2-STORY INT. BEAR & EXT. WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



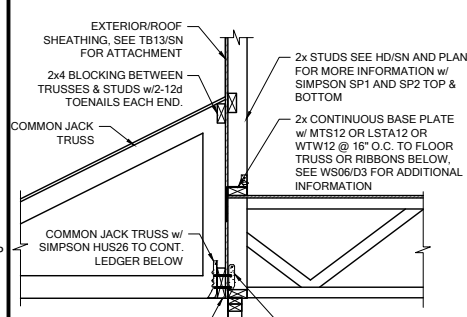
ALT. CANT. CONDITION



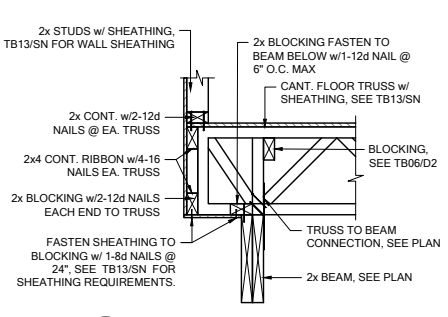
FB12 BLOCKING w/BOTTOM CHORD
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



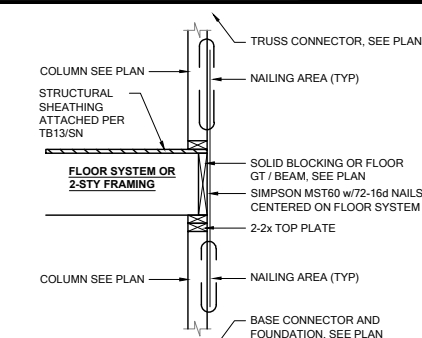
WF03 WALL SPLICE DETAILS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



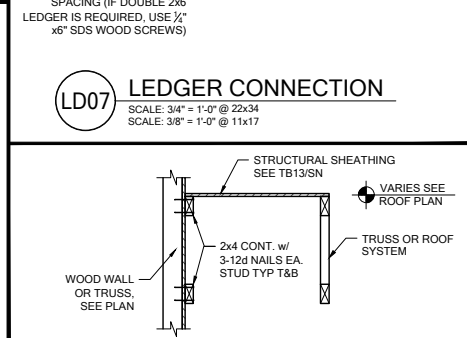
LD07 LEDGER CONNECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



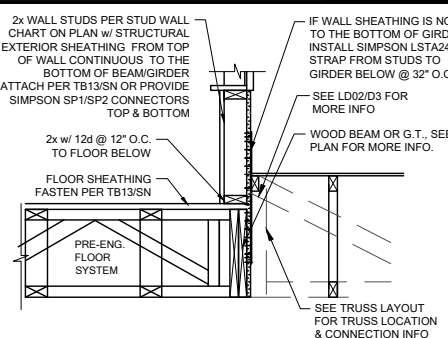
FC03 CANTILEVER FLOOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



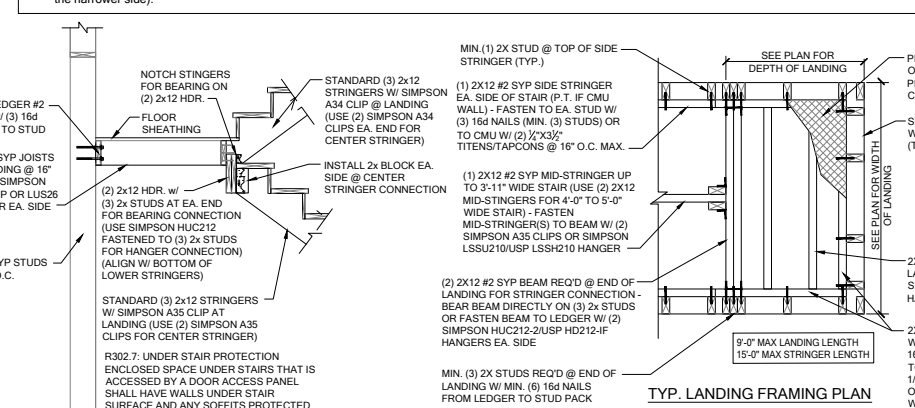
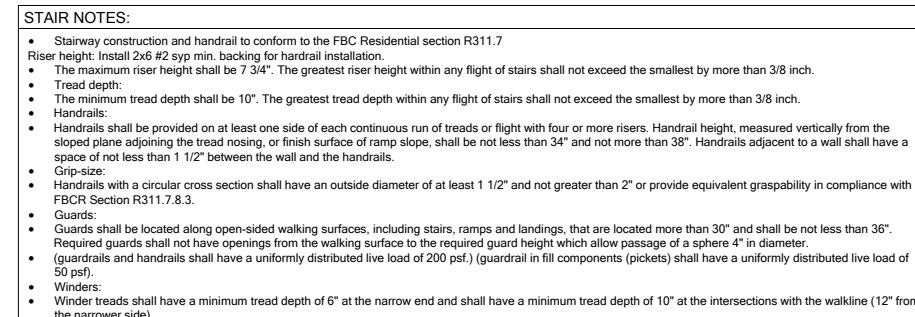
SG07 2-STORY COLUMN @ GIRDER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



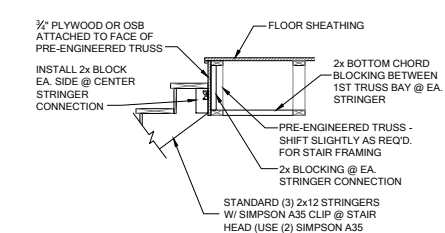
LD02 SHEAR TRANSFER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



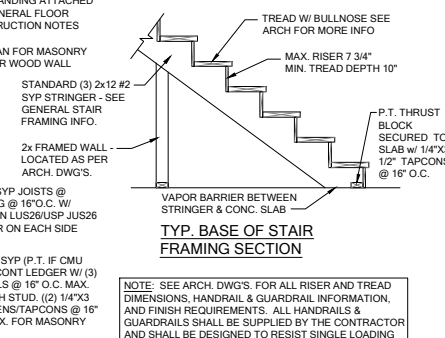
WF31 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



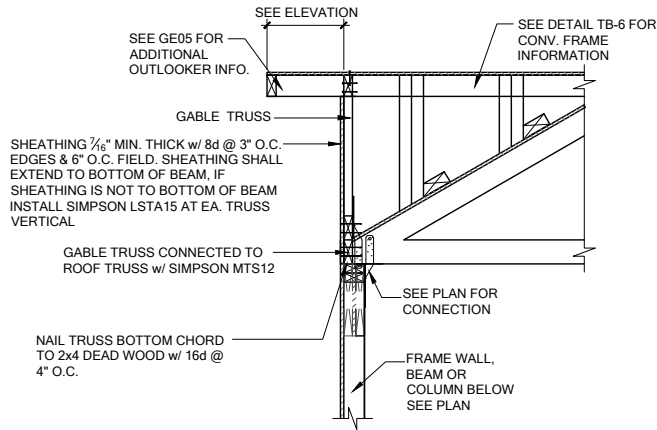
SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



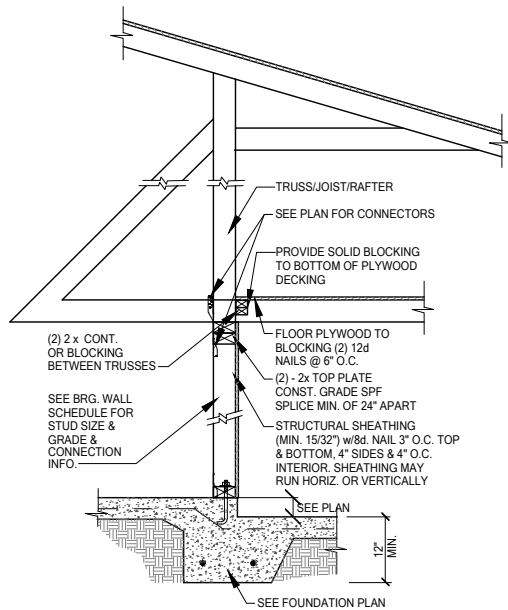
TYP. HEAD OF STAIR FRAMING SECTION



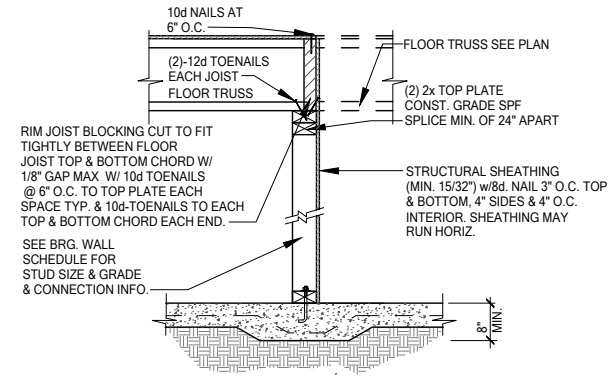
TYP. BASE OF STAIR FRAMING SECTION



GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

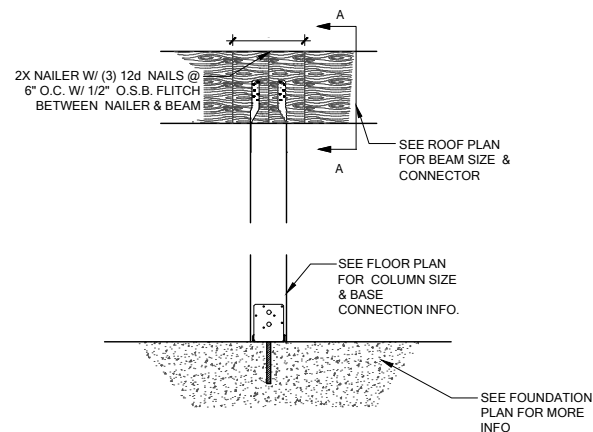
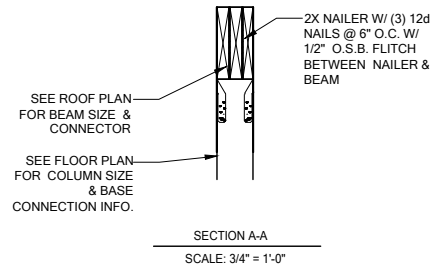


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17