# **ABBREVIATIONS**

יוטטוי	
A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
ВОТ	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
НВ	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
	A/C ADJ AFF AHU ALUM BLK BOT BRG CJ CLG CONC CONT CPT DIA DN DWG EA ELEC EQ FF FTG HB HDR HGT MAX MIN NTS

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

GARAGE	401 S	SF
FRONT PORCH	108 S	SF
REAR PATIO	72 S	SF
FLOOR 1 LIVING	1,607 S	SF
TOTAL LIVING	1,607 S	SF

# Covington

# **INDEX**

SIM TYP

VLT

UNO

#### **ARCHITECTURAL**

SIMILAR

**TYPICAL** 

UNLESS NOTED OTHERWISE

GENERAL NOTES & LEGENDS

**EXTERIOR ELEVATIONS** 

SLAB PENETRATION PLAN

FLOOR PLANS

SECTIONS & DETAILS

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**ROOF PLAN** 

ELECTRICAL PLANS

CONSTRUCTION DETAILS

#### area tabulation 'a'

#### area tabulation 'b'

GARAGE	401	SF
FRONT PORCH	108	SF
REAR PATIO	72	SF
FLOOR 1 LIVING	1,607	SF
TOTAL LIVING	1,607	SF

38' - 1607 - RH Florida Region (Frame)

REV	REVISIONS				
NUMBER	DATE	DESCRIPTION			
01	03.04.2021	Added Elevations A1 & B1			
02	06.14.21	Added outlet to O.Suite & noted outlets to meet 6' max from wall break & 12' max between outlet spacing at habitable rooms (E1.1)			
03	07.08.21	Added floor break transition strips to plan			
04	07.20.21	Added elevations A4 & B4			
05	08.02.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted			
06	08.30.21	Added stemwall options, called out GFI at outlets within 6'-0" of Kitchen sink			
07	09.08.21	Carbon / smoke alarm moved 3' min away from bathroom door/opening with tub/shower			



ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF

5.7 SQUARE FEET

FOLLOW ALL APPLICABLE STATE AND LOCAL CODES. FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70





Reserve at Jewel Lake 436 SW Jewel Lake Drive Lake City, FL 32024

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RELEASE DATE: 08.30.2021 PLAN NUMBER: 33811607

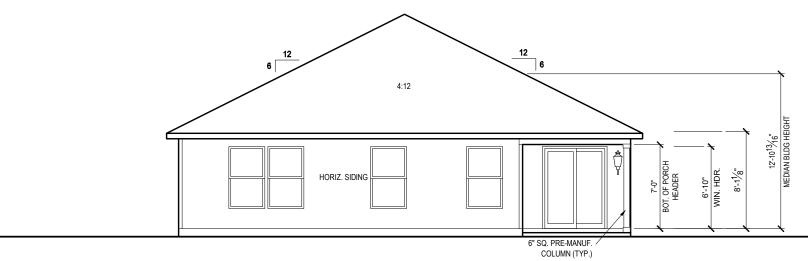
MODEL: COVINGTON

SHEET NO:

### Keynotes | Legend

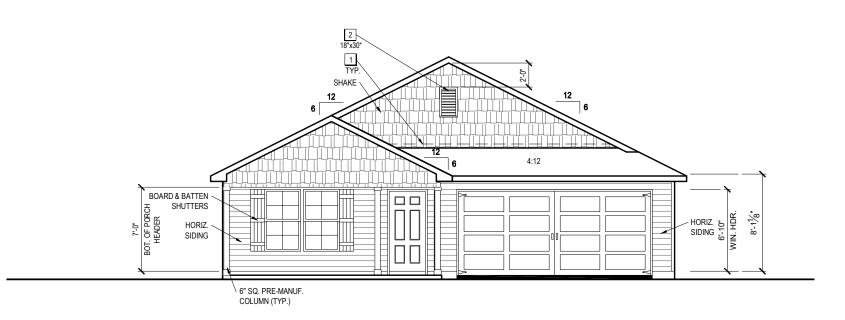
- CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS. CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP. STONE WAINSCOT WITH SLOPED STONE CAP.

- 3 1/2" VINYL TRIM SURROUND 36" H. GUARDRAIL AS REQUIRED



# **REAR ELEVATION 'B1'**

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



# FRONT ELEVATION 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







Reserve at Jewel Lake Lot 030

436 SW Jewel Lake Drive Lake City, FL 32024

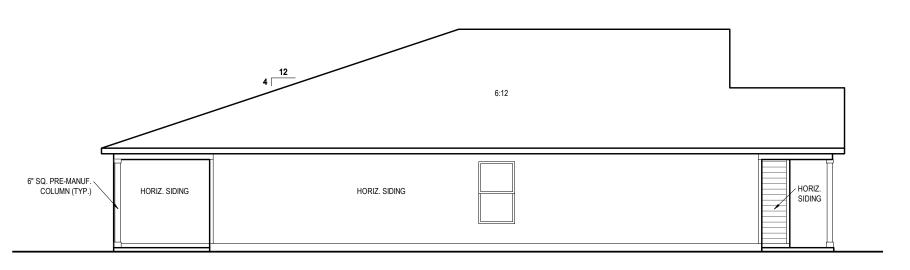
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| MODEL: DRAWING TITLE:

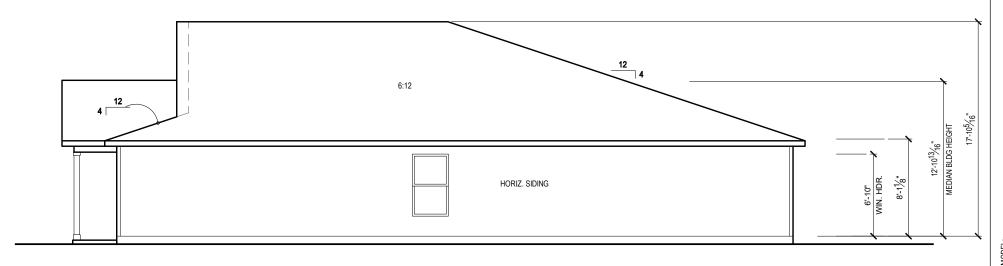
EXTERIOR ELEV

SHEET NO:



# **LEFT SIDE ELEVATION 'B1'**

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



# RIGHT SIDE ELEVATION 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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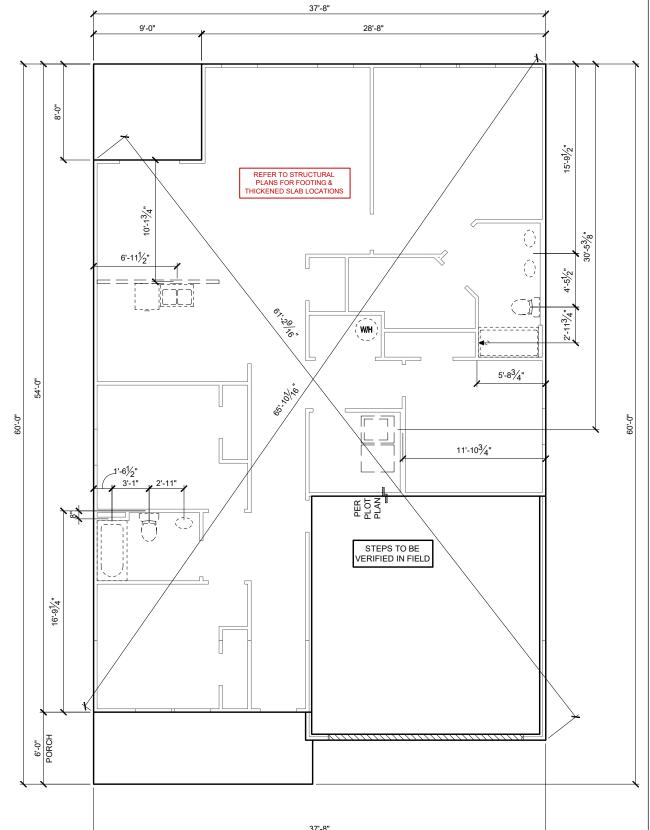
EXTERIOR ELEVATIONS MODEL: COVINGTON

SHEET NO:

1.2-B1

#### GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



# SLAB PENETRATION PLAN 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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Lake City, FL 32024

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PLAN NUMBER:	33811607	RELEASE DATE:	08.30.2021

DRAWING TITLE: SLAB PENETRATION PLAN

MODEL:
COVINGTON SHEET NO:

#### **NOTES & LEGENDS**

- 1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
- 2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
- 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
- 4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL (PER STRUCTURALS)

#### **KEYNOTES**

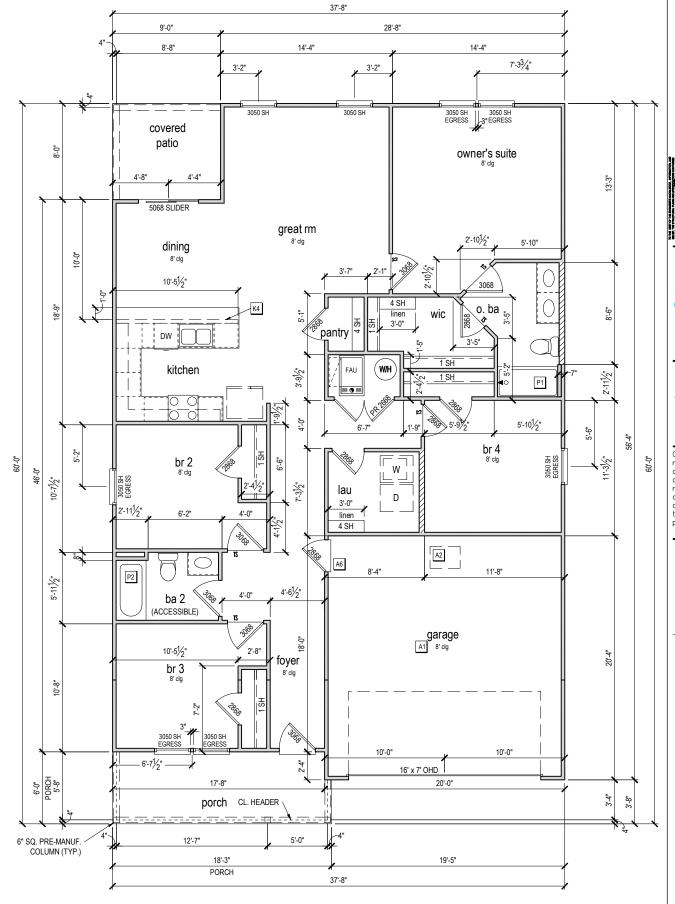
- A1 GARAGE CEILING 5/8" TYPE X DRYWALL
  VERTICAL SURFACE WALLS 1/2" DRYWALL
  A2 22"X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X
  AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT
  A3 PROVIDE 6" MIN. FLAT CLG AT A

- A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION
  A4 PULL DOWN STAIRS 255" x 6"
  A5 TEMPERED SAFETY GLASS PER IRC R308.4
  A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20
  MINUTE RATED DOOR PER IRC 302.5.1
  A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION.
  VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
  A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
  A9 LOUVERED DOOR W/ GAS FURNACE

- D1 DRYWALL SOFFIT 12" DROP FROM CEILING LINE
- D2 DRYWALL SOFFIT 8" DROP FROM CEILING LINE
- K1 39" KNEE WALL WITH CAP PER SPECS
- K2 38" KNEE WALL WITH 1x CAP
- K3 46" KNEE WALL WITH CAP PER SPECS
- K4 34 1/2" KNEE WALL
- K5 42" KNEE WALL WITH 1x CAP
- K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
- P1 30" X 60" SHOWER ENCLOSURE PER SPECS P2 30"X60" TUB PER SPECS
- S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP
- S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD
- S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

#### area tabulation 'b'

area tabalation	
GARAGE	401 SF
FRONT PORCH	108 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF



# FIRST FLOOR PLAN 'B'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



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RELEASE DATE: 08.30.2021 33811607

FLOOR PLAN MODEL:
COVINGTON FIRST

SHEET NO:

#### ATTIC VENT CALCULATION

ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

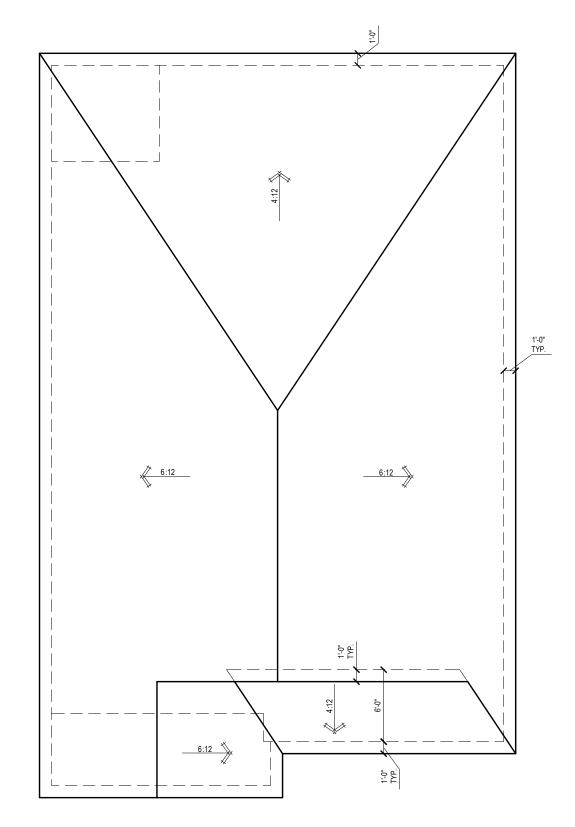
ROOF VENTILATION CALCULATIONS					
ROOF AREA	2,388 SF				
TOTAL NET FREE AREA REQ'D (1 TO 300)	1146.2 SQ. IN.				
MAIN HOUSE INLET (SOFFIT) VENTILATION	100.0 LF x	6.4 SQ. IN / LINEAR FT =	640.0 SQ. IN.		
POD VENT(S) REQUIRED WITH BASE HOUSE	8	VENTS AT 70.0 SQ. IN EA. =	560.0 SQ. IN.		
LOWER VENTING PROVIDED (573.1 SQ. IN. REQ'D)	640.0 SQ. IN	53.3%			
UPPER VENTING PROVIDED (573.1 SQ. IN. REQ'D)	560.0 SQ. IN	46.7%			

NOTE: TYPICAL VENTILATION INCLUDES:

1. SOFFIT VENTS

(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770\* ATTIC VENT LOCATED 12\* MIN. FROM RIDGE

(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
\*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



# **ROOF PLAN 'B'**

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



6-24-2022



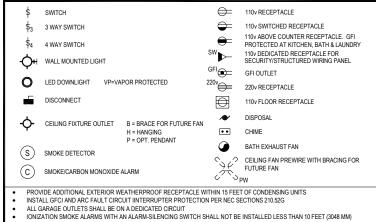
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RELEASE DATE: 08.30.2021 33811607 MODEL:
COVINGTON DRAWING TITLE:
ROOF PLAN

SHEET NO:

#### ELECTRICAL LEGEND

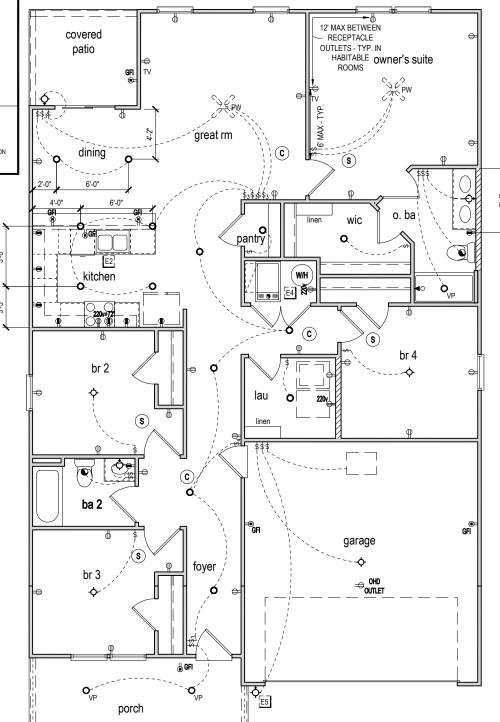


- HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

  DWGS. ARE DIAGRAMMATICAL 8 INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE ELECTRICAL DRAWINGS.

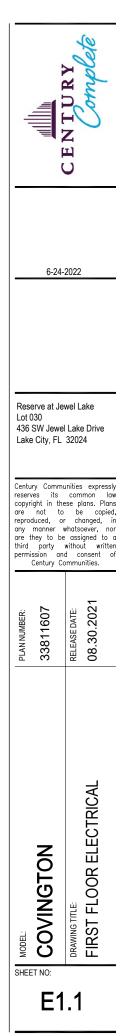
#### **KEYNOTES**

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



# FIRST FLOOR ELECTRICAL PLAN 'B'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



# **REVISION SUMMARY**

#### **ABBREVIATIONS**

A.B. Abv. Adj. A.F.F. ALT. Bm. B/Beam Brg. Cant. Cir. Clg. CJ. Cont. Dbl. Dia. Ea. E.W. Elec. Elev. E.O.R	Anchor Bolt Above Adjustable Adjustable Adjustable Above Finished Floor Alternate Beam Bottom of Beam Bearing Cantilever Circle Ceiling Control Joint Column Coulumn Coulumn Double Diameter Each Each Way Electrical	F.O.M. Ft. Ftg. Galv. G.C. G.F.I. G.T. Hdr. Hgt. Int. K/Wall L.F. Mas. Min M.L. Mir. Mono N.T.S. O.C.	Floor System Face Of Masonry Foot / Feet Foot / Feet Footing Galvanized General Contractor Ground Fault Interrupter Grider Truss Header Height Interior Kneewall Linear Ft. Masonry Maximum Microlam Microlam Mirror Monolithic Not us Scale On center	Thik'n. T.O.B. T.O.M. T.O.P. Trans. Typ. U.N.O. Vert. V.L.	Room Square Ft. Sheet Side Lights Spruce Pine Fir Square Southern Yellow Pine Tinicken Top of Block Top of Masony Top of Plate Transom Window Typical Unless Noted Otherwi Vertical Versalam
Ea. E.W. Elec. Elev.	Each Way Electrical Elevation	M.L. Mir. Mono N.T.S.	Microlam Mirror Monolithic Not to Scale	Trans. Typ. U.N.O. Vert.	Transom Window Typical Unless Noted Otherwi Vertical

# CENTURY COMPLETE 38-1607 COVINGTON B RH

#### SECTION R318 PROTECTION AGAINST TERMITES

ESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVEI ETHODS OF TERMITE PROTECTION LABELED FOR USE A PREVENTIVE TREATMENT TO NEW

**TERMITE SPECIFICATIONS** 

- METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON PILE WITH THE BUILDING DEPARTMENT. PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED
- PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

#### - - NOTICE TO BUILDER AND ALL SUBCONTRACTORS-

FIS THE INTENT OF THE ENGINEER LISTED IN THE TITLEBLOCK OF THESE DOCUMENTS THAT THESE OCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY TTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE

- JURIEU 10:
  REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER ARE NOT RESPONSIBLE FOR ANY PLAN ERFOMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER
- SHALL STRICTLY OBSERVE ALL APPLICATION CODES DURING THE COURSE OF CONSTRUCTION. INCLUDING ALL STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS PRIOR TO
- PLUMINING AND THE OUDES. CUNITAGE THAT STRALL VERIFT ALL OUDE REQUIREMENTS THAT TO COMMENCEMENT OF WORK.

  THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN.

  AND METHODS OF CONSTRUCTION, TECHNOLOGIES, OR THE CONTRACTION TO CARRY OUT THE

  WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OR RELATED CODES.

  THE FRAMINS PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE

  TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER

  THE TRUSS OF THE STRANGE OF THE S
- (DELEGATED ENGINEER) HAS FINAL, RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS
- PROVIDE NATION OF THE OFFICE OF RECORD FOR REVIEW PRIOR TO FABRICATION ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGH TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE
- ALL CUNSTRUCTION MUST BE IN ACCORDANCE THE INFORMATION FOUND IN THESE PLANS SHOULD DOCUMENTS. ANY QUESTION REGARDING THE INFORMATION FOUND IN THESE PLANS SHOULD BE DIRECTED TO DUR QUALITY ASSURANCE MANSAGER AT 321-97-9491 IMMEDIATELY. NO BACK CHARGES WILL BE CONSIDERED FOR REIMBURSAMERT AT 321-97-9491 IMMEDIATELY. NO BACK ADVANCED NOTIFICATION AND APPROVAL BY THE ENGINEER. PAYMENTS WILL BE MADE IN ACCORDANCE TO THE TERMS OF THE AGREEMENT.

#### HOME MAINTENANCE & INSPECTIONS

YEARLY MAINTENANCE AND INSPECTIONS BY THE BUILDER/HOMEOWNER ARE NECESSARY FOR THE FUTURE LIFE OF THIS HOME. CARE MUST BE TAKEN TO CHECK WINDOWS AND DOORS FOR CALILKING REMOVE LEAVES AND DEBRIS OFF ROOFS, MAKE SURE THAT WATER FLOW IS AWAY FROM THE HOUSE AND HAVE YOUR HOME REPAINTED EVERY 3 - 5 YEARS TO PROTE HOUSE AND HAVE YOUR HOME REPAIN LED EVERY 3 - 5 YEARS 10 PROTECT THE COATINGS. THE DESIGNER AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR THE UPKEEP OF THE HOME AND WILL NOT BE HELD LIABLE FOR INSTANCES THAT MAY OCCUR OVER THE NORMAL LIFE OF THE HOME WITHOUT PROPER MAINTENANCE.

#### CAST IN PLACE REINFORCED CONCRETE

- PLUS OR MINUS 1\*, AND HAVE 2 TO 5% AR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.63
  HONGS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOPB BARS OF BEAMS.
  HORIZONTAL FOOTING BARS SHALL BE BENT 25\* AROUND CORNERS OR CORNER BARS WITH A 25\* LAP PROVIDED EA WAY.
  CONCRETE COVER MIN. 3\* "WHEN EXPOSED TO EARTH OR 1 12\* TO FORM LIN. OF.
  FIBER MESH LENGTH SHALL BE ½" TO 2", DOSAGE AMOUNT SHALL BE FROM 1.0 TO 1.5 LBS PER CUBIC YARD IN ACCORDANCE WITH THE
  MANUFACTURERS AND SHALL COMPLY WITH ASTAIL C1116
  ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST SCALE & OIL & SHALL MEET ASTM A615/
  AS15M GRADE OIL NO. REINFORCING FOR FOOTING SHALL DE SUPPORTED ON PRE-CAST CONCRETE PADS. STEW RICE OR PLAYS TO REINFORCING SHALL BE FOUTING SHALL BE SECURED IN
- REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS A FILED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS-. REINFORCING TED TO FOOTING REINFORCING, SPLICES IN REINFORCING WHERE PERMITTED SHALL BE AS PER DETAIL MS0501.

  HIGH STRENGTH SIMPS ON SET EPOXY-TIE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EPOXY, THEY
- HIGH STRENGTH SIMPSON SET EPOXY-TIE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EFFORT, THE THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EFFORT, THE THIS PRODUCT FOR THE FLORIDA BUILDING CODE THE EDITION (2020) RESIDENTIAL IS TO BE INFLEMENTED. PAGE A CONCRETE STRENGTH IN THESE AREAS ARE TO BE A MINIMUM OF 300 P.S.I. THEREFORE, ANY AND ALL NOTES ON THESE PLANS THAT INDICATE 2500 P.S.I. SHALL BE REPLACED WITH 3000 P.S.I. FOR THE CONCRETE STRENGTH.

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM 050-014, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (Tim = 2000 PSI) (Tim = 2000

- ALL EXTERIOR WOOD STUDS WALLS, BEARING WALLS, SHEAR WALLS, AND MISC. STRUCTURAL WOOD FRAMING MEMBERS (JE. BLOCKING OR GABLE END BRACING) SHALL BE EITHER AS SPECIFIED IN PLAN OR IN DETAILS, IF CONFLICTS OCCUR BETWEEN PLAN AND DETAILS, THE STRONGEST MATERIAL BLUE SUED. AT A MINNIMM, ALL WOOD STRUCTURAL FRAMING MEMBERS SHALL BE SFF #2.

  ALL LIMBER SPECIFIED ON DRAWINGS ARE INTENDED FOR DRY USE ONLY (MOISTURE CONTENT 19% OR LESS), JUNO, ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE THE RESPRONSIBILITY OF THE CONTRACTOR HAND ARE TO BE DESIGNED AND DETAILS OF THE SHALL HAVE STUD PROTECTION OF THE STUD UP TO THAN SHALL HAVE STUD PROTECTION SHELDS. ALL HOLES OVER TH'N DIAL FOR PROVIDENCE AND SHELDS. ALL HOLES OVER TH'N DIAL FOR PROVIDENCE HAVE STUD BY THE SHELDS. AND STANDARD SHE STUD HOUSE STYP. LIN O. MANY OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS THAT ARE CORROSIVE TO STEEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE OF WOOD THE ATHERITATION TO SELECT APPROPRIATE CONNECTIONS THAT RESIST SCORPOSIVE FROM THE SHEET STANDARD SHE SETS CORPOSIVE FOR EXAMPLE, ACC-C, ACC-D, CBA-AO R C-A B REQUIRE HOT CIPIPED GALVANUED OR STAINLESS STEEL FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.
- CBA-A OR CA-B REQUIRE HOT-DIPPED GALVANIZED OR STAINLESS STELE FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.

  ALL EXPOSED WOOD OR WOOD IN CONTACT WITH HEARTH OR CONCRETE TO BE PRESSURE TREATED.

  UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS
  WITHOUT WOOD DEN TOP PLATES.

  SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS.

  SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS.

  ALL ENGINEERED LUMBER TO HAVE THE FOLLOWING MIN VALUES U.N.O.

  PARALLAM COLLIMIS: 18E Fb = 2400 PSI

  MICROLAM (LV) BEAMS: SUE Fb = 2500 PSI

  GILLAM BEAMS: SIPSP 24F-VS LAYUP (1.7 EF B=2400 PSI) MIN.

  SEE PLAN NOTE FOR ADDITIONAL ROOF, WALL, SHEAR WALL AND FLOOR SHEATHING REQUIREMENTS ALONG WI NAILING INFORMATION OTHERWISE:

  ROOF DECK PL WOOD C-CLO. EXTERIOR OR OSE.

  PLAN OF A GROUP 1 APA PARIED (824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FACE.

  PLAN OF BEATHINGS: TAS GO GROUP 1 APA PARIED (824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR OR WALL FACE.

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  PLAN OF BEATHINGS: TAS GO GROUP 1 APA PARIED (824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR OR WALL FACE.

- 2. FLOOR SHEATHING: T&G AC GROUP 1 APA RATED (4824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FACE.
  WALL SHEATHING: "A" STRUCTURAL 10S BEYPOSURE 1 GO SEPOSURE 1 (5PECIFIC GRAVITY, GG-50, MIN.). A MINIMUM X" SPACE IS RECOMMENDED BETWEEN PANELS AT EDGE AND END JOINTS TO ALLOW FOR EXPANSION. PER R604.3 SHEATHING SHALL NOT BE USED AS WEATHER RESISTANCE BARRIER UNLESS SPECIFIED.
  LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED TO WOOD SHEATHING WITH LY" LONG, 11 GAGE NAILS HAVING A X", "HEAD, OR 1 ½" LONG, 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1062 OR C1787, OR AS OTHERWISE APPROVED (RFE. 2020 FBC-R7703.7.1).

## **GENERAL STRUCTURAL NOTES** STRUCTURAL STEEL

- MATERIAL SPECIFICATIONS: WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, Fy=50 KSI TUBE STEEL (HSS): ASTM A500, GRADE 8, Fy = 46 KSI PIPE STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy=36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL OTHER STRUC
- STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy-36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL BOLTS THAT A35 UN.O.
  STRUCTURAL BOLTS SMALLER THAN 5/8" DIA. TO BE A307 THREADED ROD SHALL CONFORM TO A36 OR A307 ANCHOR BOLTS SHALL CONFORM TO A5TM F1554 ALL BOLTS CAST IN CONCRETE: A5TM A36 OR A57M F1554 ALL BOLTS CAST IN CONCRETE: A5TM A36 OR A57M F1554 ALL BOLTS CAST IN CONCRETE: A5TM A36 OR A57M S105 H10P AND FIELD WELDS: E70XX ELECTRODES STEEL REINFORCEMENT SHOP DRAWINGS TO BE PROVIDED TO ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVED ENGINEER OF ASTMUCTURAL BOLTS TO BE A235M HAD LA A235M BOLTS SHALL BE BROUGHT TO A "SNUG-TIGHT" CONDITION, AS DEFINED IN THE SPECIFICATION. SLIP CRITICAL (SC) BOLTS MUST BE FILLY TENSIONED PER SPECIFICATION STRUCTURAL BOLTS SMALLER THAN 56" DIA. TO BE A307 THEADED END SHALL CONFORM TO A557M F1559 ALL BOLTS CAST IN CONCRETE:
- WELDS SHALL BE  $\frac{3}{16}$ " UNO. SHOP DRAWINGS OF ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. SHOP
- A CERTIFIED TESTING AGENCY SHALL BE ENGAGED TO PERFORM INDUSTRY STANDARD INSPECTIONS TO ENSURE CONFORMANCE WITH PLANS AND

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY EASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HUBRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN
  PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
  TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LUFE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
  BRIDGING FOR PRE-ENSINEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
  TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS.
  TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS.
  THE PREVIOUS PLATE INSISTIMATE TO THE PROPERTY OF THE PROP LOCATIONS, AND PERMANENT BRACING ANDIOR BRIDGING AS REQUIRED FOR ERECTION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

- MISSED "J" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DETH'A TFLOOR STEPS.
  FOR MISSED VERT. DOWELS, DRILL A 3/4" DIAMETER HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE
- MANUFACTURERS INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN HE NORMAL WAY DURING BOND BEAM POUR.

  OR MORTAR JOINTS LESS THAN 1/4\*, PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO
- FOOTING ).

  MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTSM16 TWIST STRAP WI (4) ½"x 2½" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1660#). IF CORNER STRAP IS MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS.

  MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS. CONNECTION
- MISSED, CONTRACTOR 19 TO MIS ALE, 25 SIMPSON PROMISED AND MISSED, CONTRACTOR AND CONTRACTOR AND

### STRUCTURAL DESIGN CRITERIA

- FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
- NEPA 70-17 NATIONAL ELECTRICAL CODES (NEC 2017)
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13).
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2018 EDITION
- WOOD FRAMED CONSTRUCTION MANUAL 2018 EDITION
- APA PLYWOOD DESIGN SPECIFICATION E30-16
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16

#### GENERAL ROOF LOADING

	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)
TOP CHORD LL TOP CHORD DL	20 10	20 10	20 15	20 25
BOTTOM CHORD LL* BOTTOM CHORD DL	0 10	0 10	0 10	0 10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT) ATTICS W/ LIMITED STORAGE ATTICS W/ HEAVY STORAGE * ATTICS W/ NO STORAGE (NON-CONCURRENT)	20 50 10		•	

NOTE: LL REDUCTIONS ARE ALLOWED PER CODE BUT ONLY WITH WRITTEN APPROVAL FROM EOR OR INDICATED ON PLAN

#### GENERAL FLOOR LOADING

TOP CHORD LL TOP CHORD DL	40 (PSF) 10 (PSF)	COMMENTS:
BOTTOM CHORD LL BOTTOM CHORD DL	0 (PSF) 5 (PSF)	

#### SPECIAL FLOOR LOADING

ONIES/ DECKS ONIES OVER 100 SQ:FT GHT STORAGE UARDRAILS AND HANDRAILS IUARDRAILS AND HANDRAILS IUARDRAIL IN-FILL COMPONENTS TAIRS / NON SLEEPING ROOMS LEEPING ROOMS IBRARIES - STACK ROOMS ABITABLE ATTICS SERVED

v/ FIXED STAIRS

ASSENGER VEHICLE GARAGES

COMMENTS:

1. A SINGLE CONCENTRATED LOAD
APPLIED IN ANY DIRECTION AT AN'
POINT ALONG THE TOP.

1. BALUSTERS AND PANELS FILLERS
SHALL BE DESIGNED TO WITHSTAN

## WIND LOADING CRITERIA

OTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND F

#### ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 60 ft

WIND AREA (SQ FEET)	(+) VALUE DENOTE (-) VALUE DENOTE			SP	RESSURE	WIND PRESSURE AND SUCTION DIAGRAM		
AREA		4	T		<b>⑤</b>	_		
10 - 19.99	(4)	(+) 25.5 (-) 26.6	Œ	D	(+) 25.5 (-) 33.6			
20 - 49.99	0	(+) 24.4 (-) 26.6	Œ	0	(+) 24.4 (-) 30.8			
50 - 99.99	(E)	(+) 22.8 (-) 23.8	Œ	Ð	(+) 22.8 (-) 28.0	(S)		
> 100	<u> </u>	(+) 21.7 (-) 23.8	Œ	Đ	(+) 21.7 (-) 26.6	(4) (5) (6) (8) (9) (9) (9) (9) (9) (9) (9) (9) (9) (9		
GARAGE DOORS*					SOFFIT			
9'-0" x 7'-0"		16'-0" x 7'-0"				kejal		
(+) 22.5 (-) 25.5	Θ	(+) 21.7 (-) 24.1	$\otimes$		(+) 25.5 (-) 33.6	DIAGRAM		

#### GENERAL PRESSURE NOTES

## I<u>LES:</u> MULTIPLY THE ABOVE PRESSURES BY 1.67 TO GET ULTIMATE WIND

D4 FRAMING DETAILS FRAMING DETAILS

OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREAS DESIGNATED AREAS WHERE THE ULTIMATE WIND SPEED IS 140 MPH OR

# GREATER AND IS CONSIDER TO BE IN THE WIND-BOURNE DEBRIS AREA. CONTRACTOR TO PROVIDED ADDITIONAL INFO AS REQUIRED FOR

SHEET INDEX

## NOTES & SCHEDULES S1 FOUNDATION PLAN LOW ROOF AND FLOOR FRAMING PLAN D1 FOUNDATION DETAILS D2 FRAMING DETAILS



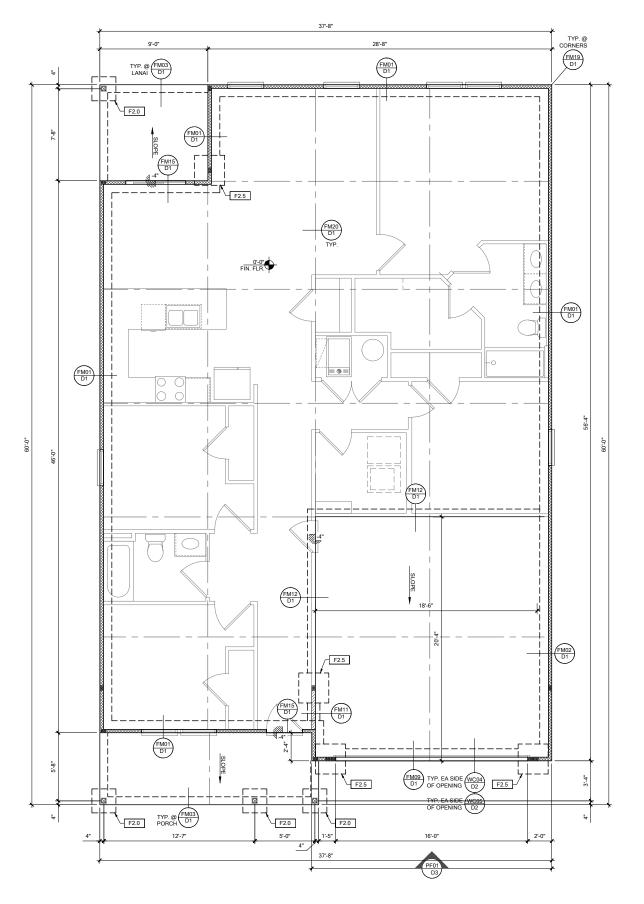


ESERVE @ JEWEL LAKE 436 SW JESEL LAKE DR

PLAN NUMBER: 33811607

COVINGTON

SHEET



# FOUNDATION PLAN B

SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17

FOL	JNDATION LEGEND	ſ		- 0	(n)
SYMBOL	DESIGN DESCRIPTION				10
F#.#	INDICATES CONCRETE FOOTING W/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.			IRY	noll
	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE \( \frac{1}{6}\)" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12"x12" SQUARE MAXIMUM		1	LIL	3
#-#"	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1			CEI	
0'-0" FIN. FLR.	4" 2500 PSI CONC. SLAB W/ REINF. PER SO W/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. <u>SEE</u> FOUNDATION SCHEDULE ON SN	S CONTANED	THE MAD SEAL NO OF THE DOSEAL ANY STOR MRENOT SEAD.		DOT DE
XXX	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND <u>UPLIFT</u> CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB	E BIQNEERS HIDMEDDE, INFOR- TURK, PLANSAND SPECHOATION ANGGEORIEV AI TURESTINED OF	THE DAY BY THE PLAN OF THE SHAPE AND T		June 27, 2022 Som the corr all of CAN STATT THE COLD, FOR ADDRESS.
2. SEE ARCH	CORNER FRAMING PER DETAIL FM19/D1 HITECTURAL PLANS FOR ALL SLAB STEP	TO THE BESTOFTS BELUE, THE STRUC	COCHEDON WAS BOARD FOR THE BOA		DATE:
DEPTHS IF	SHOW SHOWN WITHIN THESE DOCUMENTS.				724

## PLAN KEY NOTES



LOT 30 RESERVE @ JEWEL LAKE 436 SW JESEL LAKE DR. LAKE CITY, FL 32024

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES
SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN
PROFESSIONAL FOR CLARIFICATION PRIOR TO
COMMENCEMENT OF CONSTRUCTION

	WALL TYPE					
SYMB	OL	DESIGN DESCRIPTION				
		2x_INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.				
	1111	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN				
		INTERIOR NON-BRG. WALL BY BUILDER				
	<b>XXX</b>	2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO)				

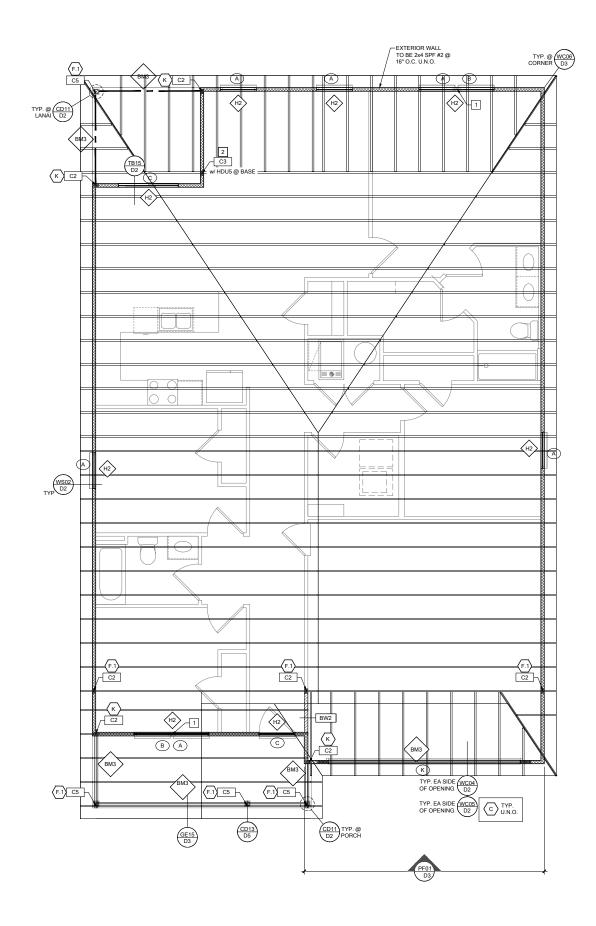
# PLAN NUMBER: 33811607 RELEASE DATE: 08.03.2020

COVINGTON

DRAWING
TITLE:
FOUNDATION PLAN

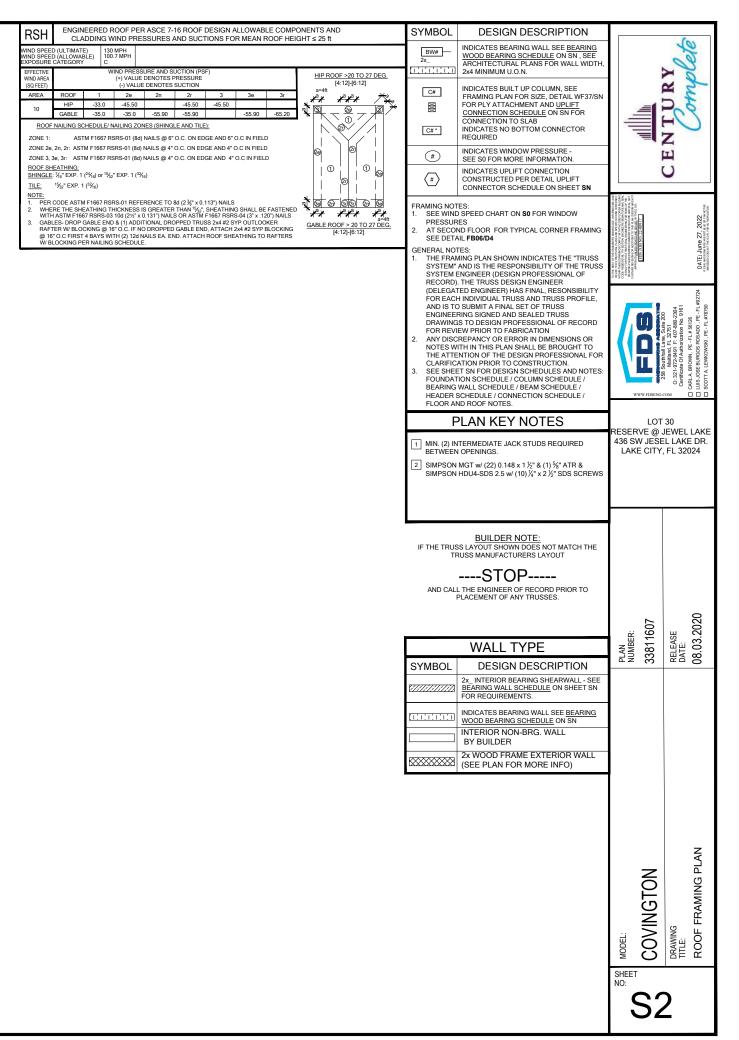
SHEET NO:

**S1** 



# **ROOF FRAMING PLAN B**

SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17





- PROVIDE MIN. 6 MIL. APPROVED VAPOR BARRIER. ALL JOINTS TO BE LAPPED MIN. 6° AND SEALED. 4° 2500 PSI CONG. SLAB WITH WI. 4xW1.4 OVER 6 MIL VISQUEEN VAPOR BARRIER 8. TREATED FOR TERMITES. GCJ BUILDER, SEE ARCH PLANS FOR ROUGH OPENING LOCATIONS AND ADDITIONAL INFORMATION RECOF FOR DOGRAWINDOW

- AND ADDITIONAL INFORMATION RECID FOR DOORWINDOW INSTALLATION ALONG WID MIRHSIONS NOT SHOWN ON FOUNDATION CONSULT WI MANUFACTURER SPECIFICATIONS PRIOR TO POURING OR RECESSING DOOR SILLS. NO WOOD STAKES PERMITTED IN FOUNDATION. POUNDATION SET CONDITIONS, FOUNDATION MAY HAVE TO BE STEPPED DOWN. SEE FIRMSD FOR ADDITIONAL INFORMATION. GC. TO DETERMINE STEP LOCATIONS, I FREQUIRED.
- DOWN, SEE PMINDT FOR AUDITIONS, IN REQUIRED.
  DETERMINES SEEP LOCATIONS, IN REQUIRED.
  DETERMINES SEEP LOCATIONS, IN REQUIRED.
  SELECTION OF SELECTION OF THE SELECTION OF THE SELECTION OF SELECTION OF THE SELECTION OF SELECTION O

COLUMN SCHEDULE						
MARK	COLUMN SIZE	FIRST FLOOR BASE CONNECTIONS, SEE PLAN FOR SECOND FLOOR CONNECTIONS	UPLIFT(lb)			
C1	(3) 2x #2 SPF	(4)12d TOENAILS	NO UPLIFT			
C2	(3) 2x #2 SPF	DTT2Z W/ ½" ATR & (8) ¼" X 1 ½" SDS SCREWS	1835			
C3	(3) 2x #2 SYP	(4)12d TOENAILS	NO UPLIFT			
C4	(3) 2x #2 SYP	DTT2Z w/ ½" ATR & (8) ¼" x 1½" SDS SCREWS	1835			
C5	4x4 P.T.#2 SYP POST	ABU44 w/ 5/8" ATR & (12)16d NAILS FIRST/SECOND FLOOR CONN.	G = 6665 U = 1782			
C6	6x6 P.T. #2 SYP POST	ABU66 w/ 5/8" ATR & (12)16d NAILS FIRST/SECOND FLOOR CONN.	G = 12000 U = 2070			
C7	8x8 P.T. #2 SYP POST	ABU88 w/(2)5/8" ATR & (18)16d FIRST/SECOND FLOOR CONN.	G = 24335 U = 2088			
C8	3.5" x 3.5" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU5-SDS2.5 w/ 5%" ATR AND (14) ½"x2½" SDS WOOD SCREWS	5080			
C9	3.5" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU5-SDS2.5 w/ 5%" ATR AND (14) 1/4" x2 1/2" SDS WOOD SCREWS	5080			
C10	3.5" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2½" SDS WOOD SCREWS	6372			
C11	5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082			
C12	5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082			
C13	5.25" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082			

x4 BEYOND AGAINST 2x8 STUD -

AT ALL EXTERIOR CONDITIONS —
ATTACH 2x STUDS TO TOP PLATE

w/ 4-16d NAILS (2 ON EA SIDE)

2x8 STUDS, PER PLAN (SIM w/2x6 STUDS) -PROVIDE 2x4 ON TOP OF 2x8 TO BLOCK -

OUT TOP PLATE ATTACH w/ 2-ROWS OF 12d @ 3" O.C. (SOLID BLOCK w/ 2x6)

PIPE OR DUCT W/ PENETRATION

THRU TOP PLATE W MORE THAN 50% OF TOP PLATE WIDTH INSTALL SIMPSON PSPN516Z W/12-16d NAILS TOP AND BOTTOM

WF17

AT ALL EXTERIOR CONDITIONS = ATTACH 2X STUDS TO TOP PLATE W/ (4) 16d NAILS (2 ON EA. SIDE) TYP

- MINIMUM BOLT EMBEDMENT: 5" EMBEDMENT FOR 1/2" ATR. 6"
- MINIMUM BUL 1 EMBEDMEN I: 5° EMBEDMEN I FOR 1/2° A1R. 6°
  EMBEDMENT FOR 5/8° ATR 8° EMBEDMENT FOR 7/8° ATR.
  P.L. COL. TO BRG DIRECTLY ON FOUNDATION. CUT BASE PLATE AS
  REO'D. G. C. TO PROVIDE MOISTURE BARRIER
  IF COL. IS CALLED OUT ON 2ND FLOOR, THE BASE CONNECTION IS NOT
  REO'D. SEE PLANS FOR BASE CONNECTION
  VALUES HAVE BEEN REDUCED FOR NARROW FACE APPLICATION.
- ECTIONS SHALL BE INSTALLED ON NARROW OR WIDE FACE PER SIMPSON TC-SCLCLM

TOP PLATE TRANSITION

BOTTOM SPLICE OVER STUD

TOP PLATE SPLICE

- TOP SPLICE

2x TOP PLATE WITH 2-ROWS OF 12d @ 3" O.C., TYPICAL

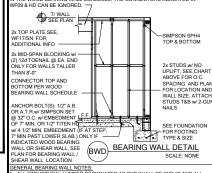
- TOP PLATE SPLICE

NO UPLIFT #2 SPF ) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS #2 SPF (2)16d TOENAILS ) 12d TOENAILS OR (2) 2d END OR BOX NAILS NO UPLIFT BW4 #2 SYP P1 w/ (6) 10d NAILS & #2 SYP 439 SP1 w/ (6) 10d NAILS & #2 SYP ANCHOR BOLTS #2 SYP 878 3) 12d TOENAILS OR (2) 2d END OR BOX NAILS #2 SPF NO UPLIFT 12" SP1 w/ (6) 10d NAILS & #2 SPF ANCHOR BOLTS #2 SPF 535 2) SP1 w/ (6) 10d NAILS & #2 SPF BW9 12" (3) 12d TOENAILS OR (2) 12d END OR BOX NAILS #2 SYP SP1 w/ (6) 10d NAILS & #2 SYP 12" 585 ANCHOR BOLTS (2) SP1 w/ (6) 10d NAILS & #2 SYP ANCHOR BOLTS #2 SYP

WOOD BEARING WALL SCHEDULE

CROSS REFERENCE CHART
SIMPSON SP1 / USP SPT22 SIMPSON SP2 /

2) 2x HEADER (U.N.O.) SEE FLOOR PLAN FOR MIN. SIZE. SEE HD/SN FOR CONNECTION INFO. IF HEADER IS WITHIN A WALL W. <u>NO UPLIET</u> AS INDICATED IN THE WOOD BEARING WALL SCHEDULE, THE CONNECTORS INDICATED IN WF09 & HD CAN BE IGNORED.—7



SHEAR WALL LOCATION

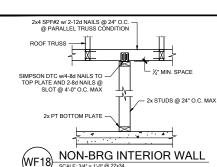
CHERAL BEARING WALL NOTES.

ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SYP #Z AND ALL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SYP #Z AND ALL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SYP #Z UN O. SEE FLOOR PLAN FOR WALL SIZE, ASSUME 24 STUDS USED UNO. CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED CONTACT E.O.R. IF SPR\*, SPR\*S OR SPR\*S CONNECTIONS ARE SUBSTITUTED, VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS.

IF "BW" IS INDICATED ON SECOND FLOOR BASE CONNECTION TO BE IGNORED SEE WITEGE AND PEOS OR INDICATED DETAIL FOR PROPER CONNECTIONS FOR 2ND FLOOR TO FIRST FLOOR CONNECTIONS. (NOTE: THIS IS FOR 2 STORY SPRICESTS FOR WALL STORY SERVICESTS OF THE STRUCTURE STORY SERVICESTS OF THE STRUCTURE STORY SERVICESTS.

LL TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WOO

STUDS. F THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UP THE STUDS ARE TOE NAILED TO THE PLATE AND THE 2X PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIF ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDU



ALL NAILS PENETRATE AT LEAST  $\mbox{\ensuremath{\%}}"$  OF THE THICKNESS OF THE LAST LAMINATION

MULI-PLY FASTENING

REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFO.

SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17

(WF37)

615 700 H2.5A w/ (10)8d NAILS H10A w/(18)10d x 1 1/2" 1015 1040 2 w/(18)10d x 1 1/2" AT 2 PLY TRUSSES 930 1080 F HEADER IS ON THE 2ND FLOOR SEE PLAN FOR FRAME → 10.42-2 w(18) 10.4 x 11.2\* AT 2 PLY TRUSSES

FRAME 10 MTS12 w(14) 10.4 x 11.2\* (AT EXTERIOR FRAME LOCATION INCLUDE (3) 124 TOENALIS)

FRAME 10 (2) HTS20 w(16) 10.4 x 11.2\* (AT EXTERIOR FRAME LOCATION INCLUDE (3) 124 TOENALIS

FRAME 10 (2) HTS20 w(16) 10.4 x 11.2\* (AT EXTERIOR LOCATION INCLUDE (3) 124 TOENALIS

FRAME 10 (2) LOTZ w(32) 163 SINKERS & (14) 14\* x 14.2\* (AT EXTERIOR FRAME (2) 163 SINKERS FOR FRAME (2) 164 SINKE ALL HEADER JACK AND KING STUDS SHALL BE FASTENED TO EACH PER DEFIAL WF375NN.
FASTEN ALL MULTI-PLY HEADERS TO GETHER W. (2) ROWS
12d COMMON NAILS AT 12" O. O. O. (1) BOWS 16" 24.10 OR
LARGER TYP. EACH SIDE OR (2) ROWS 14" x 3 12" SDS
WOOD SCREWS 916" O. C. TYP. EACH SIDE.
FASTEN ALL HEADERS TO KING STUDS W. (3) 10d TOENALL
PER SIDE. 2430 2830 | FRAME TO | (2) LGT3 w/ (24) 114" x 3" SDS SCREWS | MASONRY / FRAME | OR (52) 16d SINKERS FOR FRAME (EA) 2x6 OR 2x8 WALL JACKS EA END KINGS EA END JACKS EA END KINGS/EA END HU46 OPT HUC46 w/ (6) 10d NAILS & (12) 1/4" x 2 3/4" TITEN TURBO (TO MAS.) OR (12) 16d & (6) 10d (FOR FRAME) MASONRY / FRAME H10S w/ (24) 10d x1 1/2" NAILS GT w/ (16) 1/4"x3" SDS WOOD SCREWS & x CRIPPLE STUDS @ 16" O.C. w/ (1) SIMPSON SP2 CONNECTOR @ TOP AND BOTTOM "PROVIDE (3) 2x CRIPPLE STUDS BELOW ANY GIRDER TRUSS BEARING OVER HEADE FRAME TO FRAME HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" Ø A.T.R.

"PROVIDE (3) & CRIPPLE STUDS BELOW ANY GIRDER TRUSS BEARING OVER HEAD CONNECT BLIT TO STUD W(2) SIMPSON HTS20 STRAPS AND CONNECT BUTTOM OF STUD TO HEADER W(2) SIMPSON HTS20 STRAPS, U.N.O. (IF STUD IS LESS THAN 10' TALL THEN USE SIMPSON CS18 INSTALLED FROM BOTTOM OF HEADER, U.P. STUD OVER TOP PLATE & BACK DOWN OTHER SIDE OF WALL TO BOTTOM OF HEADER. ASTEN STRAP w/ (2) 10d NAILS @ 3" O.C.)

HEADER SCHEDULE

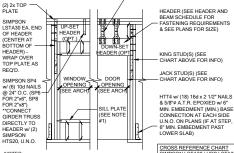
2) 2x8 #2 SYF

(2) 2x10 #2 SYF

1/16" FLITCH PLAT

2.0E Fb=2600 (2) 1 3/4" x 9 1/4" LVL

(2) 1 3/4" x 7 1/4" LVL 2.0E Fb=2600



NOTES:

1. OPENINGS GREATER THAN 4'-0" PROVIDE (2) 2x SILL PLATE w. A35 CLIPS EACH SIDE.

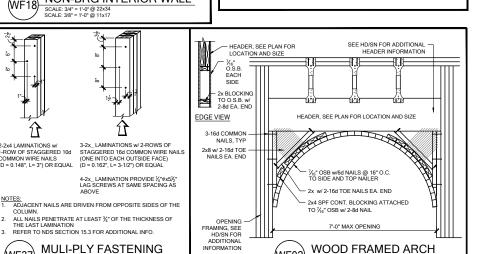
2. NO TOP PLATE SPLICES SHALL OCCUR OVER OR WITHIN 2 FEET OF HEADER.

3. HOLD DOWN CONNECTIONS NOT REQUIRED AT BEARING WALLS WITHOUT UPLIFT. SIMPSON SP4 / USP SPT4 SIMPSON SP6 / USP SPT6 SIMPSON SP8 / USP SPT8

(HD) TYPICAL FRAMING CONNECTIONS AT OPENINGS

		BEAM SCHEDULE				
MARK	BEAM SIZE	FASTENING SCHEDULE				
BM1	(2) 2x8 SYP #2 w/ 7/16" OSB FLITCH PLATE			LAN	١,	PLAN
BM2	(2) 2x10 SYP #2 w/ 7/16" OSB FLITCH PLATE.	(2) ROWS OF 12d @ 12" O.C. TYP. EACH SIDE	U.N.O. ON FRAMING PLAN		U.N.O. ON FRAMING PL,	
ВМЗ	(2) 2x12 SYP #2 w/ 7/16" OSB FLITCH PLATE.					
BM4	(2) 1 3/4"x11 1/4" LVL 2.0E Fb=2600			HTS20		HTW20
BM5	(2) 1 3/4"x11 7/8" LVL 2.0E Fb=2600		SIMPSON CONNECTOR	POST: (2) LSTA18 OR (2) HTS20 CMU COLUMN: (2) HETA16	TOR	2) LSTA18 OR (2) HTW20 _UMN: (2) HTA16
BM6	(2) 1 3/4"x16" LVL 2.0E Fb=2600	(2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C TYP. EACH SIDE OR (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE		(2) LSTA LUMN: (	USP CONNECTOR	OST: (2) LSTA18 OR (2) CMU COLUMN: (2) HTA16
ВМ7	(3) 2x10 SYP #2 w/ (2) 7/16" OSB FLITCH PLATES		SIMPS :: OP OF OF STATES			WOOD POST: CMU CO
BM8	(3) 1 3/4"x9 1/4" LVL 2.0E Fb=2600			MOOD		WOOL

VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EACH



(WF02)

WOOD FRAMED ARCH

SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17

HU410 OPT HUC410 w/ (18) 16d & (10) 10d G#2800 G#3250

SIMPSON - CONNECTOR SCHEDULE CONNECTOR & FASTENERS

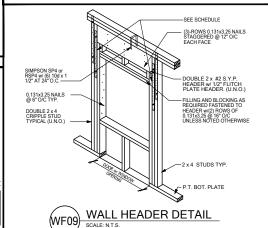
- IENERAL CONNECTOR NOTES:

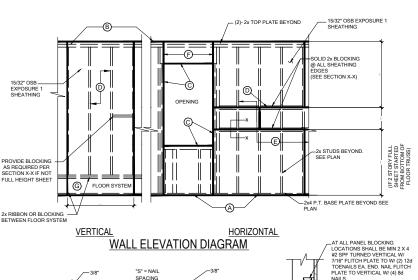
  CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS W/ (2) 12d TOENAILS.

  ALL TRUSS TO TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER, U.N.O ON PLAN.

  G.C. MAY USE EITHER SIMPSON OR USP CONNECTIONS, SEE FRAMING PLAN FOR CONNECTOR CAL
- OUT. FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VERTICAL WEB w/ (2) ROWS
- A MINIMAL CONNECTOR UNO ON FRAMING PLAN
- CONNECTION FOR ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS/ LINTELS/ ICF WALLS UNO ON
- CUNNECTION FOR ALL ROOT / LOOK SETTIONS FOR ALL FLOOR TRUSSES PARALLEL TO MASONRY WALLS SEED BETAIL EB 12/103 FOR MORE INFORMATION CONNECTION FOR ALL HEI JACK GORNER JOKO TO MASONRY WALLS SICE DETAIL EB 12/103 FOR MORE INFORMATION CONNECTION FOR ALL HE JACK (CORNER JOKO TO MASONRY WALLSICE WALLSJUNTELS CONNECTION FOR ALL CONTINUOUS RIM BOARD TO TOP DE MASONRY AT 32° D.C. MAX. W. (2) AT EACH CORNER G.C. TO VERBIY LOCATION DOES NOT CONFLICT WITH (IF APPLICABLE) LAYOUT CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALL/BEAMS W. (2) 12d TOENAILS
- B) MINIMAL CONNECTOR UNO ON FRAMING PLAN CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM
- C MINIMAL CONNECTOR UNO ON FRAMING PLAN

CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS





-(2) 8d NAILS @ 3" O.C. STAGGERED FOR SHE

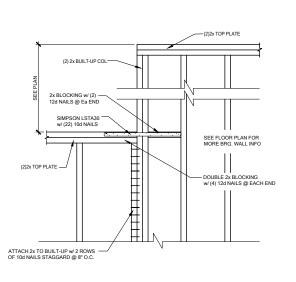


CH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE TACHED TO STUD AND OR BLOCKING AT ALL EDGES. A MINIMUM ½" ACE IS RECOMMENDED BETWEEN PANELS AT EDGES AND END NETRATE SURFACE MORE THAN 1/4".

- A NAIL AT BASE 2 ROWS @ 4" O.C. w/ 8d COMMON NAIL
- (B) NAIL AT TOP PLATE TWO ROWS @ 4" O.C. w/ 8d COMMON NAIL
- (C) NAIL OPENING PERIMETER w/ (2) ROWS @ 4" O.C. w/ 8d COMMON NAIL
- NAIL INTERIOR AT 6" O.C. W/ 8d COMMON NAIL.
- E STAGGER ALL VERTICAL JOINTS & NAIL @ 4" O.C. W 8d COMMON NAIL.
- PLYWOOD SPLICES @ HEADER NAIL SHEATHING TO HEADER w/ 8d COMMON NAILS @ 4\* O.C. (2) ROWS @ TOP & BOTT.
- $\begin{tabular}{ll} \begin{tabular}{ll} \beg$

TE: 8d NAILS FOR WALL SHEATHING MUST BE MIN .131" X 2 NOT OVERDRIVE NAILS: FASTENERS SHALL NOT PENETRATE RFACE MORE THAN ½"

TB13\ WALL SHEATHING INSTALL & NAILING SCHEDULE



WALL STEP @ BRG. FRAME WALL SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17





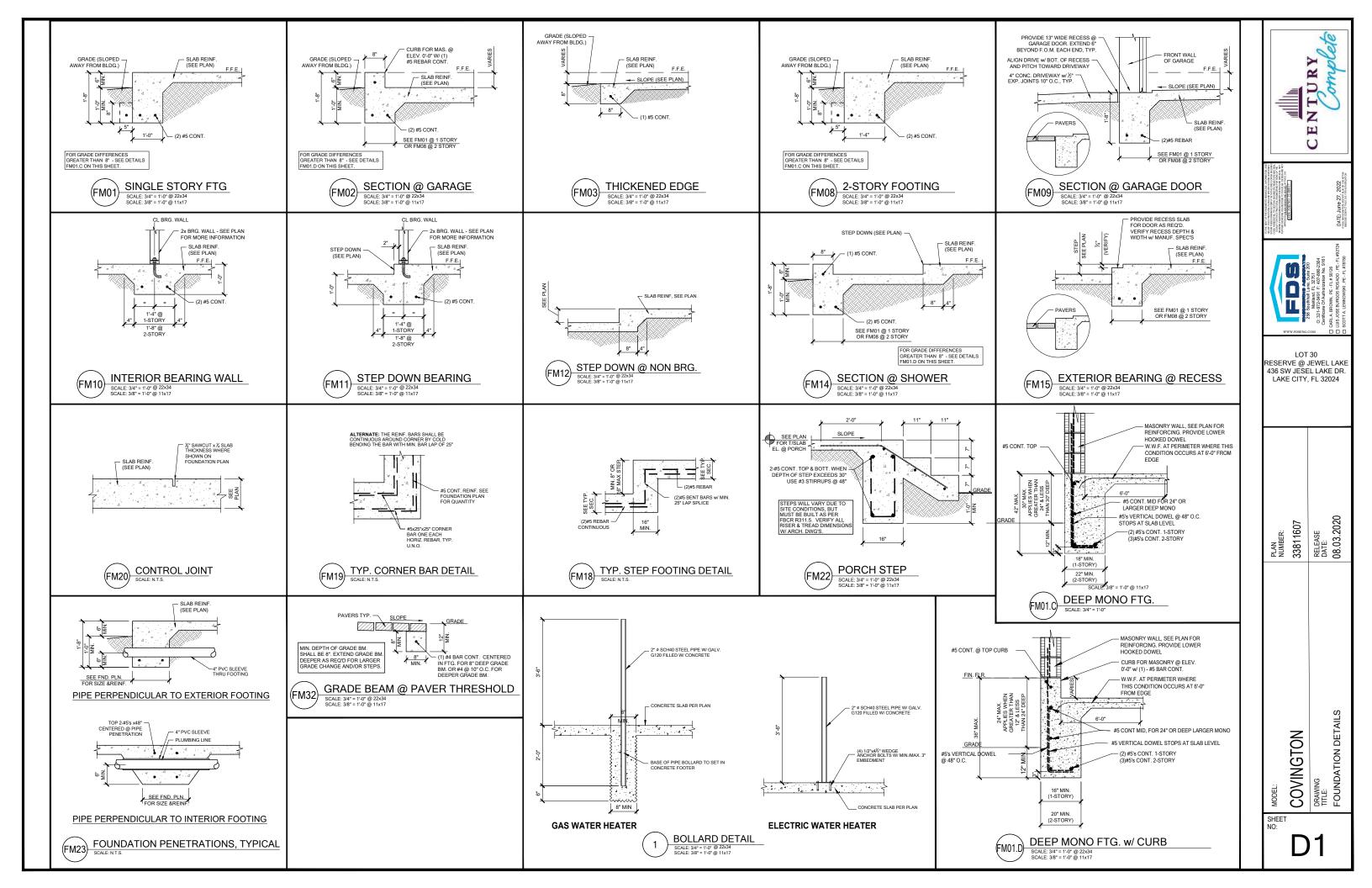
LOT 30 RESERVE @ JEWEL LAKE 436 SW JESEL LAKE DR LAKE CITY, FL 32024

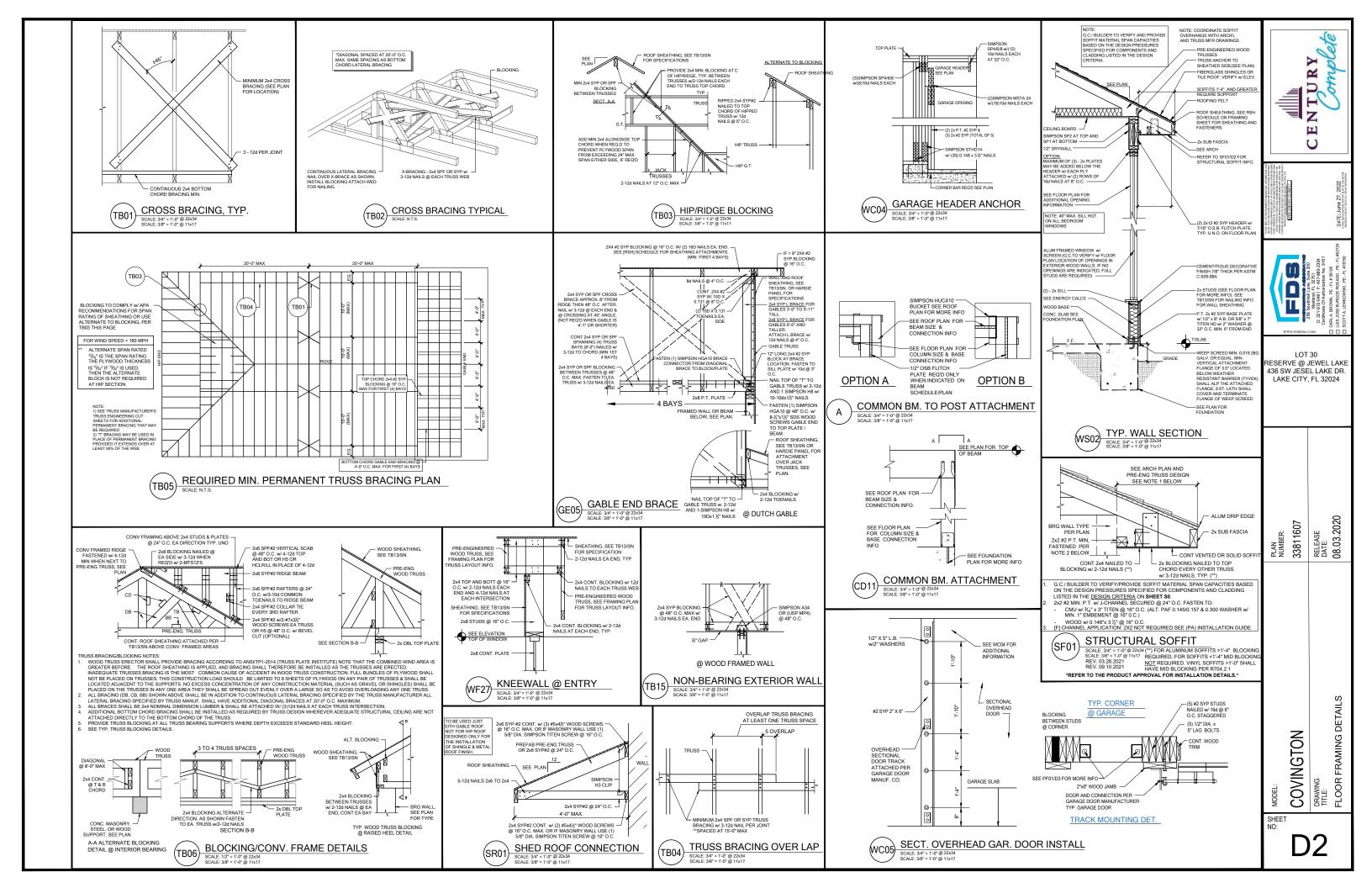
RELEASE DATE: 08.03.2020 PLAN NUMBER: 33811607

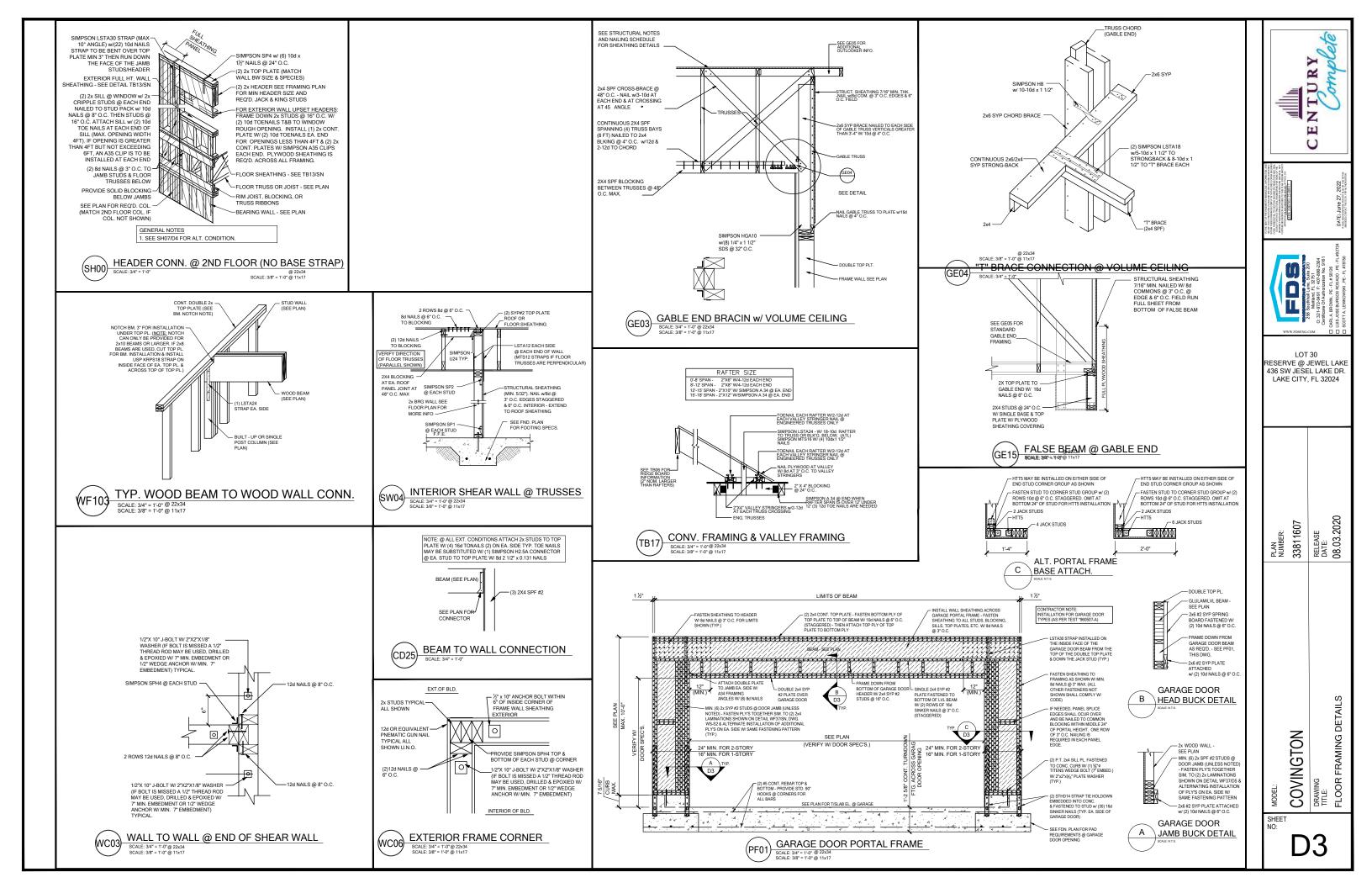
COVINGTON

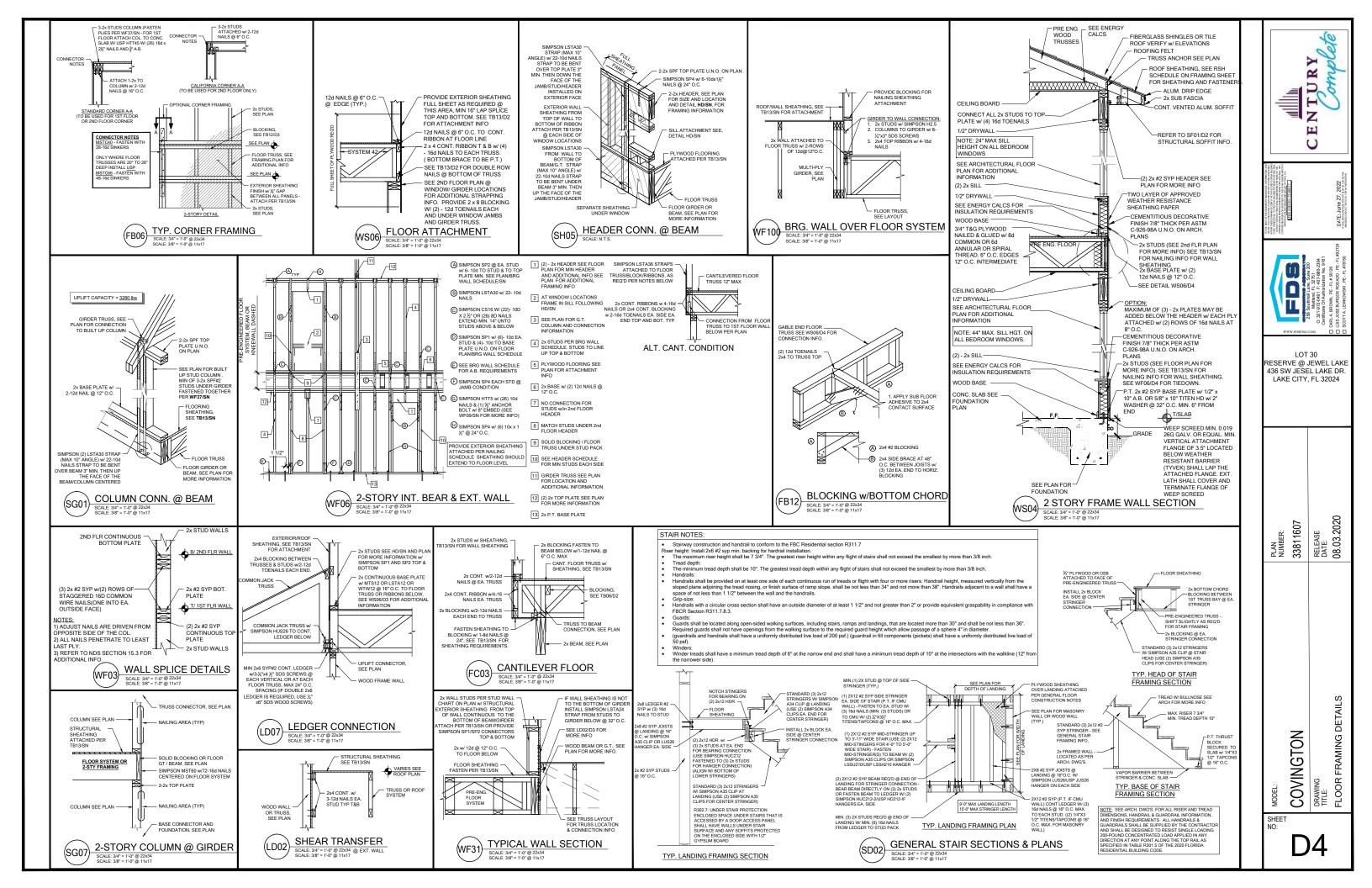
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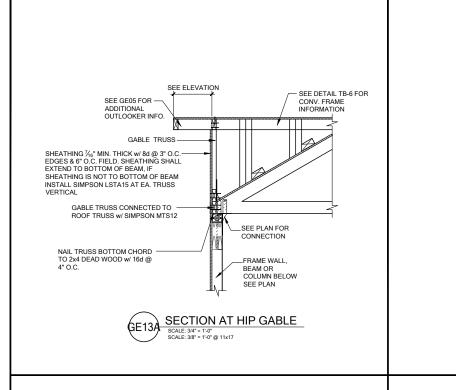
DRAWING TITLE: NOTES 8

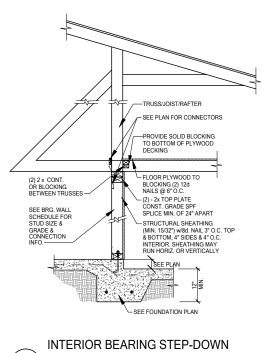




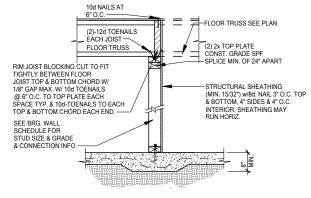






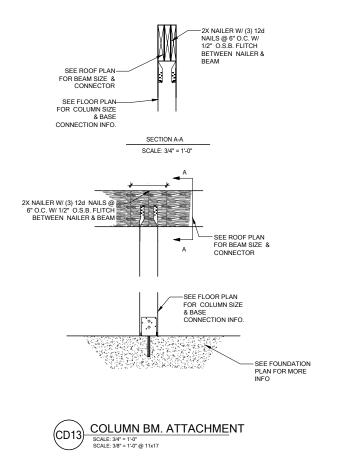


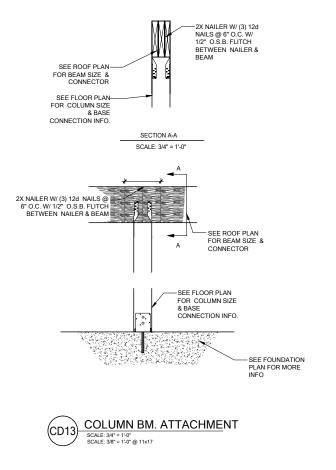
SHEARWALL w/UPLIFT (SW01) SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17



UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW) SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER









TURY

CE