DATE 09/11/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000028073

APPLICANT WENDY GRENNELL PHONE 497-2311

ADDRESS P.O. BOX 39 FT. WHITE FL 32038

OWNER DON RENKEN PHONE 697-6475

ADDRESS 293 NW ABIGAIL LANE LAKE CITY FL 32055

CONTRACTOR TERRY THRIFT PHONE 623-0115

LOCATION OF PROPERTY 41N, TL ON ABIGAIL, LAST DRIVE ON RIGHT

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT ____ STORIES ____

FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____

LAND USE & ZONING A-3 MAX. HEIGHT _____

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 22-2S-16-01719-011 SUBDIVISION SUWANNEE VALLEY ESTATES

LOT 11 BLOCK ____ PHASE ____ UNIT ____ TOTAL ACRES 0.28

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor	
		IH0000036	Wendy Grennell	
EXISTING	09-458	CS	WR	Y
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 5385

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by (footer/Slab)

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 0.00 CERTIFICATION FEE $ 0.00 SURCHARGE FEE $ 0.00

MISC. FEES $ 300.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 6.42 WASTE FEE $ 16.75

FLOOD DEVELOPMENT FEE $ ____ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ ____ **TOTAL FEE** 398.17

INSPECTORS OFFICE _____ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

5385

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only *(Revised 1-10-08)* **Zoning Official** csb 9/1/09 **Building Official** 8/31/09 (am)

AP# 0908-51 **Date Received** 8/28/09 **By** JT **Permit #** 28073

Flood Zone X **Development Permit** — **Zoning** A-3 **Land Use Plan Map Category** A-3

Comments ______________________

FEMA Map# ________ **Elevation** ________ **Finished Floor** ________ **River** ________ **In Floodway** ________

☑ **Site Plan with Setbacks Shown** ☑ **EH #** 09-458 ☐ **EH Release** ☐ **Well letter** ☑ **Existing well** (WATER SYSTEM)

☑ **Recorded Deed or Affidavit from land owner** ☐ **Letter of Auth. from installer** ☐ **State Road Access**

☐ **Parent Parcel #** ________ ☐ **STUP-MH** ________ ☐ **F W Comp. letter**

IMPACT FEES: EMS ________ **Fire** ________ **Corr** ________ **Road/Code** ________

School ________ **= TOTAL** ________

Lot 11

Property ID # 22-2S-16-01719-011 **Subdivision** SUWANNEE Valley ESTATES

- **New Mobile Home** ✓ **Used Mobile Home** ________ **MH Size** 28 X 44 **Year** 09
- **Applicant** Dale Bird, Rocky Ford + WENDY GRENNELL **Phone #** 386-497-2311
- **Address** P O BOX 39, FORT WHITE, FL, 32038
- **Name of Property Owner** DON RENKEN **Phone#** 386-697-6475
- **911 Address** 293 NW Abigail Lane, Lake City, FL 32055
- **Circle the correct power company -** **FL Power & Light** - **Clay Electric**
  (Circle One) - **Suwannee Valley Electric** (circled) - **Progress Energy**
- **Name of Owner of Mobile Home** DON RENKEN **Phone #** SAME
  Address 291 NW ABIGAIL, LAKE CITY, FL, 32055
- **Relationship to Property Owner** SAME Daughter to live in M.H
- **Current Number of Dwellings on Property** 0 ON LOT 11
- **Lot Size** 100 X 124 **Total Acreage** .28
- **Do you : Have Existing Drive** (circled) **or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)**
  (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- **Is this Mobile Home Replacing an Existing Mobile Home** NO (owes)
- **Driving Directions to the Property** 41 NORTH, T L ON Abigail, LAST DRIVE ON RIGHT

- **Name of Licensed Dealer/Installer** Terry L Thrift **Phone #** (386) 623-0115
- **Installers Address** 448 NW Nye Hunter Dr Lake City Fla 32055
- **License Number** IH-0000036 **Installation Decal #** 304328

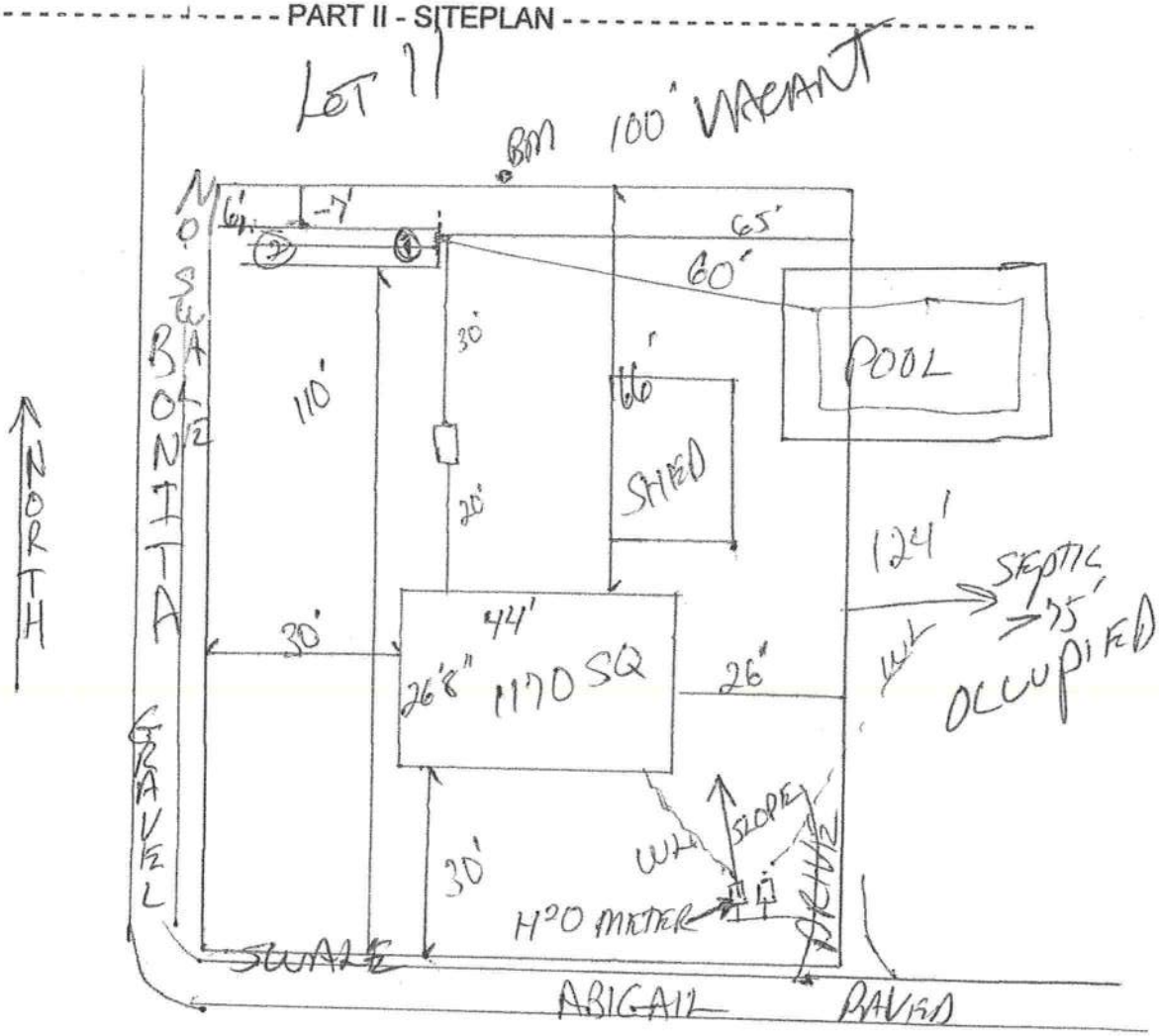
[illegible] 9-10-09 LH.

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number_____

PART II - SITEPLAN

Scale: 1 inch = ~~50~~ 30 feet.



Notes: _____

Site Plan submitted by: Rock D 7 S

MASTER CONTRACTOR

Plan Approved_____ Not Approved_____ Date_____

By_____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

DH 4015, 10/96 (Replaces HRS-H Form 4016 which may be used)
(Stock Number: 5744-002-4015-6)

>> Print as PDF <<

```
LOTS 11, 12 & 13 BLOCK D          RENKEN DON A & NANCY A          22-2S-16-01719-011              Columbia County  2009 R
SUWANNEE VALLEY ESTATES S/D.      291 NW ABIAIL LANE                                                         CARD 001 of 001
ORB 399-83, 657-223, 770-652,     LAKE CITY, FL 32055                          PRINTED  7/08/2009  9:53         BY  JEFF
INCORRECT DEED 843-647,                                                        APPR    11/04/2008 DF
BUSE 000100 SINGLE FAM        AE? Y       2061 HTD AREA    108.480 INDEX    22216.02 SWNE VALY          PUSE  000100 SINGLE FAMILY
MOD   1 SFR         BATH       2.00       2475 EFF AREA     52.070 E-RATE   100.000 INDX   STR  22- 2S- 16
EXW  19 COMMON BRK  FIXT                128873 RCN                               1978 AYB   MKT AREA 03                  90,211 BLDG
 %      0000000000  BDRM         3        70.00 %GOOD      90,211 B BLDG VAL     1978 EYB   (PUD1                        11,786 XFOB
RSTR 03 GABLE/HIP   RMS                                                                     AC                           33,150 LAND
RCVR 03 COMP SHNGL  UNTS          FIELD CK:                               HX AppYr 1998     NTCD                              0 AG
 %      N/A         C-W%          LOC:  291 ABIGAIL LN NW                                   APPR CD                           0 MKAG
INTW 05 DRYWALL     HGHT                                                                    CNDO                        135,147 JUST
 %      N/A         PMTR                        +--12-+----17--+                            SUBD                              0 CLAS
FLOR 14 CARPET      STYS       1.0              IFEP1993       I                            BLK
 %      N/A         ECON                        1     1        1                            LOT                               0 SOHD
HTTP 04 AIR DUCTED  FUNC                        6     6        6                            MAP#                              0 ASSD
A/C  03 CENTRAL     SPCD              +----19---++--12-+       +-------28-----+             HX VX                             0 EXPT
QUAL 05 05          DEPR 52           IFGR1993  IBAS1993                      I             TXDT     003                      0 COTXBL
FNDN    N/A         UD-1   N/A        I             +-+                       I
SIZE 03 RECTANGLE   UD-2   N/A        I              I                        I          -------------- BLDG TRAVERSE ------------
CEIL    N/A         UD-3   N/A        2              I                        2          BAS1993=W17 FEP1993=W12 S16   E12 N16$ S16
ARCH    N/A         UD-4   N/A        9              2                        9           W15 FGR1993=W19  S29 E24N21 W5N8$ S8 E5 S
FRME 01 NONE        UD-5   N/A        I              1                        I          21 E3 FOP1993=S8 E22 N8 W22$ E52 N29W28 N1
KTCH 01 01          UD-6   N/A        I              I                        I          6$.
WNDO    N/A         UD-7   N/A        +-----24----+-+-----22---+-52-----------+
CLAS    N/A         UD-8   N/A                      IFOP1993   I
OCC     N/A         UD-9   N/A                      +-----22---+
COND 03 03              %  N/A                                                         ----------------- PERMITS -----------------
SUB   A-AREA  %  E-AREA  SUB VALUE                                                      NUMBER      DESC              AMT     ISSUED
BAS93   1907 100  1907      69509
FEP93    192  80   154       5613
FGR93    656  55   361      13158                                                    ------------------ SALE ------------------
FOP93    176  30    53       1931                                                    BOOK   PAGE      DATE                    PRICE
                                                                                        843   1459  7/31/1997 Q I               76000
                                                                                     GRANTOR LEONARD
                                                                                     GRANTEE RENKEN
                                                                                        657    223  7/18/1988 Q I               69000
                                                                                     GRANTOR FALLON DONALD
TOTAL   2931      2475      90211  -------------------------------------------------  GRANTEE LEONARD CURTIS M
-------EXTRA FEATURES----------------------------------- FIELD CK:
AE BN  CODE      DESC        LEN   WID HGHT QTY QL   YR  ADJ        UNITS UT       PRICE   ADJ UT PR    SPCD %    %GOOD  XFOB VALUE
Y   1 0180   FPLC 1STRY                      1     0000 1.00        1.000 UT    2300.000    2300.000              100.00       2,300
Y     0166   CONC,PAVMT                      1     0000 1.00        1.000 UT     600.000     600.000              100.00         600
Y     0280   POOL R/CON       32    16       1     1978 1.00      512.000 SF      36.000      36.000               40.00       7,373
Y     0296   SHED METAL       20    20       1     1993 1.00      400.000 SF       5.000       5.000 AP   50.00    50.00       1,000
Y     0120   CLFENCE  4                      1     1993 1.00      190.000 SF       4.500       4.500 AP   40.00    60.00         513
------------------------------------------------------------------------------------------------------------------------------------
    LAND    DESC        ZONE  ROAD {UD1 {UD3 FRONT DEPTH  FIELD CK:
AE  CODE                TOPO  UTIL {UD2 {UD4  BACK   DT     ADJUSTMENTS            UNITS UT      PRICE    ADJ UT PR    LAND VALUE
Y 000100 SFR           RSF-1  0008                        1.00 1.00  .85 1.00      3.000  LT  13000.000    11050.00        33,150
                        0002 0003



L001 - 0.81 AC.
```

Columbia County Property Appraiser

DB Last Updated: 7/22/2009

Parcel: 22-2S-16-01719-011 HX VX

2009 Preliminary Values

Owner & Property Info

Search Result: 1 of 1

Owner's Name	RENKEN DON A & NANCY A		
Site Address	ABIGAIL		
Mailing Address	291 NW ABIAIL LANE LAKE CITY, FL 32055		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	022216.02	**Tax District**	3
UD Codes	MKTA03	**Market Area**	03
Total Land Area	0.000 ACRES		
Description	LOTS 11, 12 & 13 BLOCK D SUWANNEE VALLEY ESTATES S/D. ORB 399-83, 657-223, 770-652, INCORRECT DEED 843-647, CORRECTIVE DEED 843-1459,		

GIS Aerial

Property & Assessment Values

Mkt Land Value	cnt: (1)	$33,150.00
Ag Land Value	cnt: (0)	$0.00
Building Value	cnt: (1)	$90,211.00
XFOB Value	cnt: (5)	$11,786.00
Total Appraised Value		$135,147.00

Just Value		$135,147.00
Class Value		$0.00
Assessed Value		$96,217.00
Exemptions	(code: HX VX)	$55,000.00
Total Taxable Value	County: $41,217.00 | City: $41,217.00 Other: $41,217.00 | School: $66,217.00	

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
7/31/1997	843/1459	WD	I	Q		$76,000.00
7/18/1988	657/223	WD	I	Q		$69,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1978	Common BRK (19)	2061	2931	$90,211.00
	Note: All S.F. calculations are based on exterior building dimensions.					

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said License shall be renewed annually, and each licensee shall pay a fee of $150.

I, Terry L. Thrift, license number IH – 0000036 do herby state that the installation of the manufactured home for (applicant) Dale Burd, Rocky Ford or Wendy Grennell for (customer name) Renken in Columbia County will be done under my supervision.

Terry L. Thrift
Signature

Sworn to and subscribed before me this 26 day of Aug, 2009.

Personally Known: ✓
Produced ID (Type): _____

Notary Public: Kelly R Bishop

(stamp)

KELLY R. BISHOP
Comm# DD0747380
Expires 1/9/2012
Florida Notary Assn., Inc

PERMIT WORKSHEET

PERMIT NUMBER ____________________

Installer Terry L Thrift License # IH-0000036

Address of home being installed NW Abigail
Lake City, FL, 32055

Manufacturer Town Home Length x width 44 x 28'

NOTE: ***if home is a single wide fill out one half of the blocking plan***
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials TLT

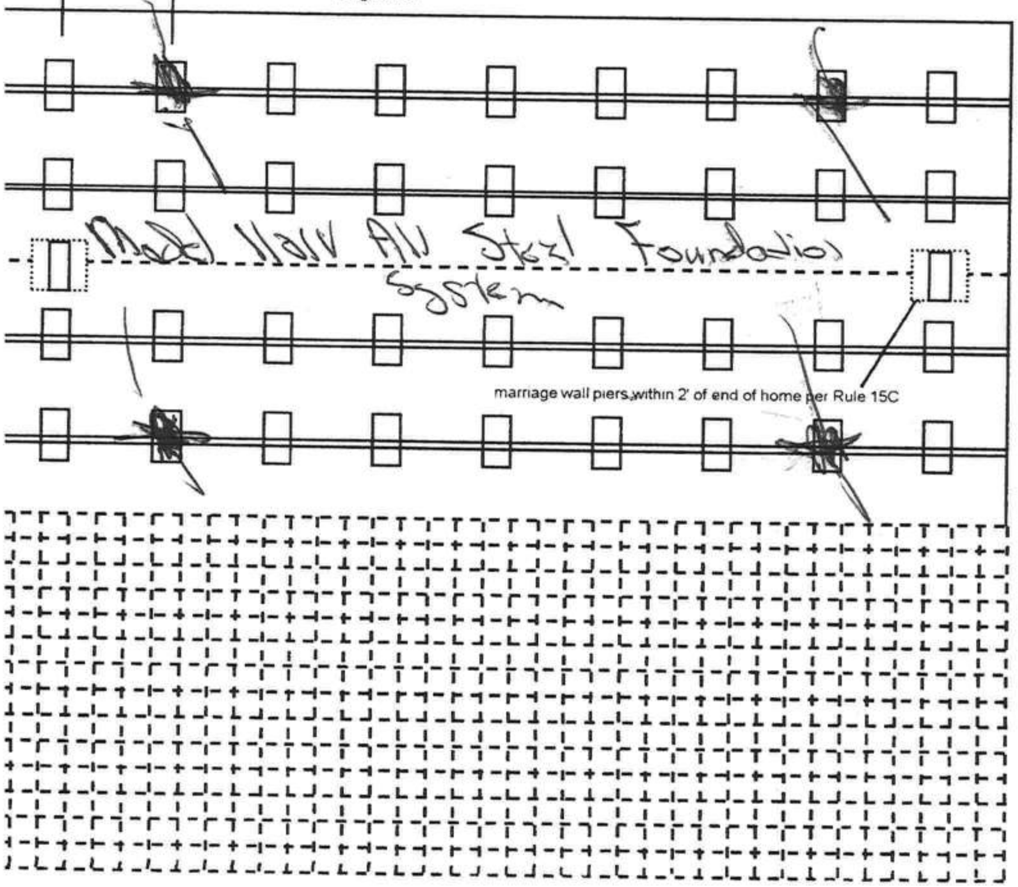
Typical pier spacing 5

2'

lateral

longitudinal

Show locations of Longitudinal and Lateral Systems
(use dark lines to show these locations)



New Home [x] Used Home [ ]

Home installed to the Manufacturer's Installation Manual [x]

Home is installed in accordance with Rule 15-C [ ]

Single wide [ ] Wind Zone II [x] Wind Zone III [ ]

Double wide [x] Installation Decal # 304328

Triple/Quad [ ] Serial # 1942AB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" X 24" (576)*	26" x 26" (676)
1000 psf		3'	4'	5'	6'	7'	8'
1500 psf		4' 6"	6'	7'	8'	8'	8'
2000 psf		6'	8'	8'	8'	8'	8'
2500 psf		7' 6"	8'	8'	8'	8'	8'
3000 psf		8'	8'	8'	8'	8'	8'
3500 psf		8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17½ x 25½

Perimeter pier pad size 16" x 16"

Other pier pad sizes (required by the mfg.) ________

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening	Pier pad size
11'-3"	17½ x 25½

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

(4 ft) circled 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver Tech

OTHER TIES

	Number
Sidewall	[illegible]
Longitudinal	[illegible]
Marriage wall	[illegible]
Shearwall	[illegible]

PERMIT WORKSHEET

PERMIT NUMBER _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 1500/285 x 1500/285 x 1500/285

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500/285 x 1500/285 x 1500/285

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing . A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

TLT Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

nstaller Name Terry L. Thrift

Date Tested 8/26/09

Electrical

nnect electrical conductors between multi-wide units, but not to the main power ırce. This includes the bonding wire between mult-wide units. Pg.

Plumbing

nnect all sewer drains to an existing sewer tap or septic tank. Pg.

nnect all potable water supply piping to an existing water meter, water tap, or other ependent water supply systems. Pg

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale (Pad) Other

Fastening multi wide units

Floor: Type Fastener: Lags + Straps Length: 2" 10" Spacing: 24", 32" oc
Walls: Type Fastener: Screws Length: #8's Spacing: 32" oc
Roof: Type Fastener: Screws Length: #8's Spacing: 32" oc
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, meldew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials TLT

Type gasket Foam Tape
Pg.

Installed:
Between Floors (Yes)
Between Walls (Yes)
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. (Yes) Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

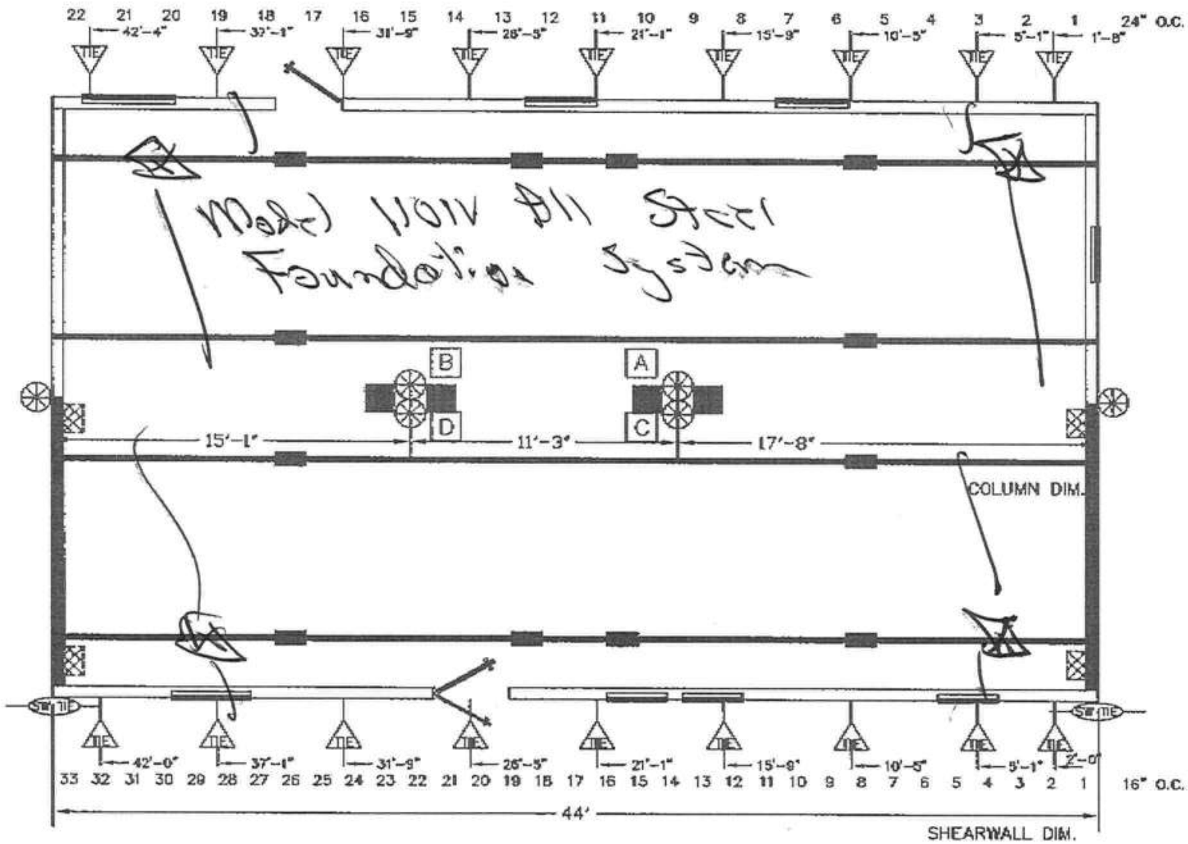
Miscellaneous

Skirting to be installed. (Yes) No
Dryer vent installed outside of skirting. Yes (N/A)
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other :

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature Terry L. Thrift **Date** 8/26/09

Lindell + Ken Ken
28' x 44'



BLOCKING LEGEND:

- I-BEAM BLOCKING — SEE SOIL BEARING CAPACITY CHARTS FOR SPACING
- COLUMN BLOCKING — SEE SOIL BEARING CAPACITY CHARTS FOR PAD SIZE
- SHEARWALL BLOCKING
- SHEARWALL FRAME TIE
- CENTER LINE TIES
- VERTICAL TIE — MAX. SPACING 9'-9" CENTER TO CENTER
- LONGITUDINAL TIES
- SHEARWALL TIE

1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED SIDEWALLS AND EXTERIOR WALL OPENINGS 48" OR GREATER. WILL REQUIRE BLOCKING ON EACH SIDE.
2) 32' WIDE HOMES REQUIRED TO BE BLOCKED MIN 8'-0" ON CENTER BETWEEN COLUMNS.

TOWNHOMES LLC
TownHomes
P.O. BOX 1059
LAKE CITY, FLORIDA 32056

Date: 1-19-09	Revisions		Cod#: 2838A
Dr'n: ROB			
Parent: NEW			
Code: T (09)			
ZONE 2	Model: 2838-215		Print: BLOCKING PLAN

BK. 3, Pg. 87

RECORDED IN PLAT BOOK 3
PAGE 87

SUWANNEE VALLEY ESTATES

File No. 69-58
STATE OF FLORIDA, COUNTY OF COLUMBIA
Filed for record on this 5th day of February 1969 and recorded in Plat Book No. 3 at page No. 87
Witness my hand and official seal the date last aforesaid.
W. E. CREWS, Clerk Circuit Court
By: [signature] D.C.

DESCRIPTION:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 16 EAST, AND RUN THENCE NORTHERLY ALONG THE WEST LINE OF SAID SECTION 22, 85.0 FEET TO THE NORTHWEST CORNER OF "SUWANNEE ACRES" ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 39, FOR A POINT OF BEGINNING, THENCE N1°07'45"E ALONG THE WEST LINE OF SECTION 22, 1234.15 FEET, TO THE SOUTHWEST CORNER OF NW1/4 OF SW1/4, SECTION 22, THENCE N70°46'E, 398.51 FEET, THENCE N19°14'W, PARALLEL TO U.S. HIGHWAY NO. 41, 15.29 FEET, THENCE N70°46'E, 50.0 FEET, THENCE S19°14'E, PARALLEL TO U.S. HIGHWAY NO. 41, 330.0 FEET, THENCE N70°46'E, 277.0 FEET, THENCE S19°14'E, ALONG THE WEST LINE OF U.S. HIGHWAY NO. 41, 1223.65 FEET, THENCE S89°01'W, ALONG THE NORTH LINE OF SAID "SUWANNEE ACRES, 1214.25 FEET TO THE POINT OF BEGINNING.

DEDICATION:

KNOW ALL MEN BY THESE PRESENT THAT ORIN D. LEE, AND HELEN J. LEE, HIS WIFE, HAVE CAUSED THE LANDS HEREON DESCRIBED TO BE SURVEYED, LAIDOUT, SUBDIVIDED, AND PLATTED TO BE KNOWN AS "SUWANNEE VALLEY ESTATES", AND DEDICATE THE STREETS AS HEREON SHOWN TO THE USE OF THE PUBLIC.

WITNESS Sam H. Hillhouse SIGNED Orin D. Lee

WITNESS Ellen Norwood SIGNED Helen J. Lee

ACKNOWLEDGEMENT:
STATE OF FLORIDA:
COUNTY OF COLUMBIA:

ON THIS 9th DAY OF JANUARY, 1969, PERSONALLY APPEARED BEFORE ME, ORIN D. LEE, AND HELEN J. LEE, HIS WIFE, TO ME WELL KNOWN AND KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING DEDICATION FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND OFFICIAL SEAL AT White Springs, STATE OF FLORIDA THIS 9th DAY OF January, 1969. SIGNED [signature]
NOTARY PUBLIC, MY COMMISSION EXPIRES 6/20/69

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT I AM A DULY QUALIFIED LAND SURVEYOR AND THAT THE LAND HEREON DESCRIBED HAS BEEN SURVEYED, LAIDOUT, SUBDIVIDED, AND PLATTED AS SHOWN ON THIS PLAT UNDER MY DIRECTION AND THAT P.R.M.'S HAVE BEEN SET.

SIGNED B. J. Moore
B. G. MOORE, LAND SURVEYOR, FLA. CERT. NO. 439

APPROVED BY BOARD OF COUNTY COMMISSIONERS, COLUMBIA COUNTY, FLORIDA

SIGNED J. B. Webster, CHAIRMAN

ATTEST W. E. Crews, CLERK

DATE Feb. 4, 1969

0908-51

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 8/27/2009 **DATE ISSUED:** 8/28/2009

ENHANCED 9-1-1 ADDRESS:

293 NW ABIGAIL LN

LAKE CITY FL 32055

PROPERTY APPRAISER PARCEL NUMBER:

22-2S-16-01719-011

Remarks:

LOT 11 BLOCK D SUWANNEE VALLEY ESTATES S/D

Address Issued By: _____
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

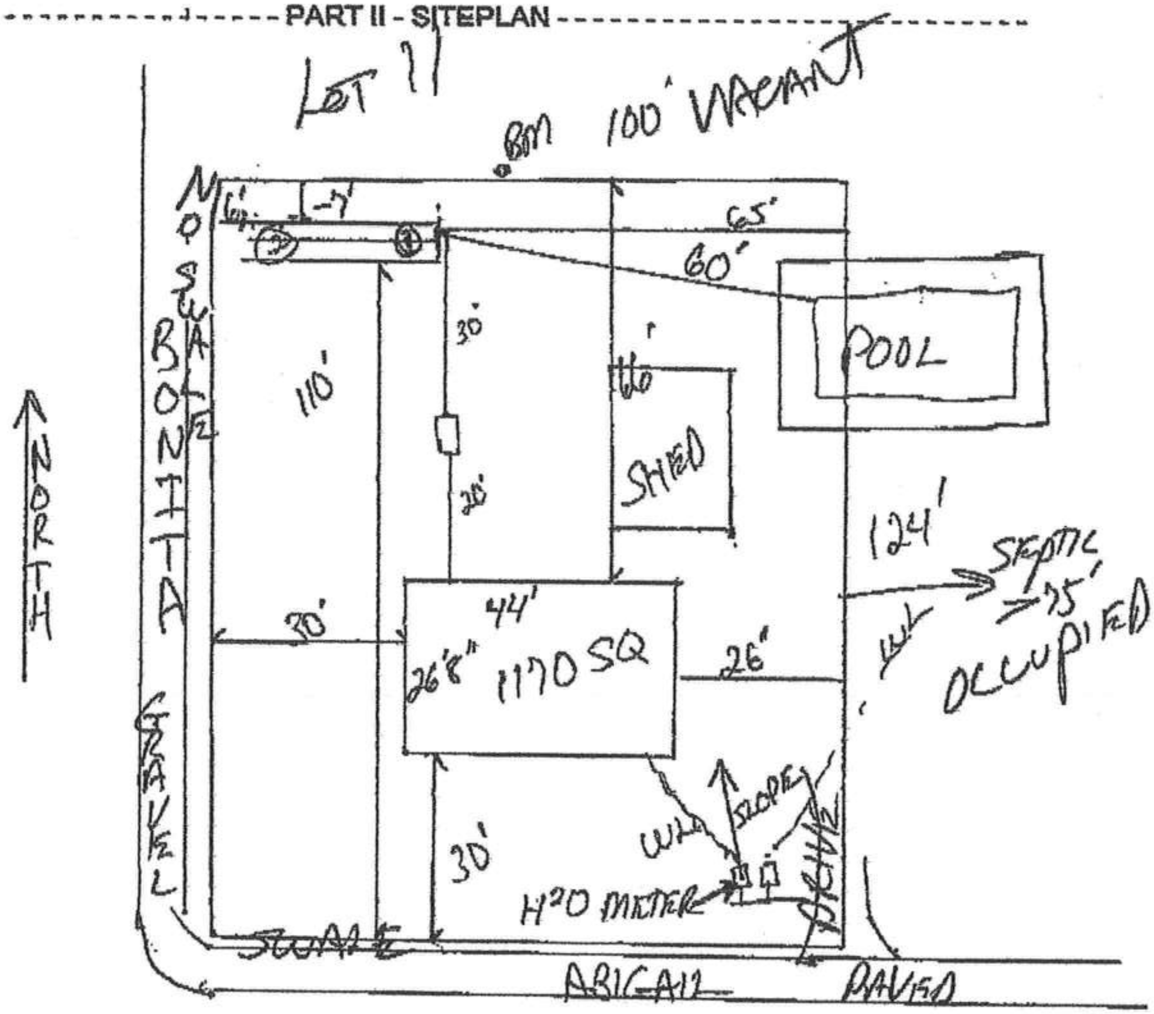
1517

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION F0R ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0458

PART II - SITEPLAN

Scale: 1 inch = 30 feet.



Notes: ____

Site Plan submitted by: Roch D 7 ______ MASTER CONTRACTOR

Plan Approved X Not Approved_____ Date_______

By Sallie Ford · EH Director · Columbia 9-10-09 County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

CERTIFICATE OF

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 22-2S-16-01719-011 **Building permit No.** 000028073

Permit Holder TERRY THRIFT

Owner of Building DON RENKEN

Location: 293 NW ABIGAIL LANE, LAKE CITY, FL

Date: 10/12/2009

Harry Dicks

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)