

LOT 88 & 89 SASAFAFRAS ACRES S/D.
972-1840, CT 1188-520, WD 1201-2
REGISTER CORIE BLOISE/REGISTER SAMANTHA R
1111 SW BOBCAT DR
FORT WHITE, FL 32038

2024

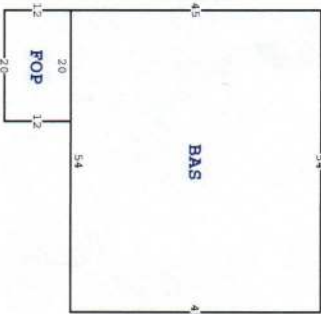
19-7S-17-10024-088

BUILDING CHARACTERISTICS

ELEMENT	CD	CONSTRUCTION
Exterior Wall	16	WD FR STUC 100
Roof Structure	03	GABLE/HIP 100
Interior Wall	05	DRYWALL 100
Interior Floor	13	LAM/VINYLK 50
Interior Floor	14	CARPET 50
Air Condition	03	CENTRAL 100
Heating Type	04	AIR DUCTED 100
Bedrooms	4	100
Bathrooms	2	100
Frame	01	NONE 100
Stories	1.1	1.100
Architectural	05	CONV 100
Units	0	100
Condition Adj	03	03 100
Kitchen Adjus	01	01 100

Quality 05 05
DOR CODE 0100 SINGLE FAMILY
MAP NUM 02

NEIGHBORHOOD/LOC 19717.010 1.00/
TOTAL GROSS AREA 2,430
TOTAL ADJ AREA 2,430
SUBAREA MARKET VALUE 169,097
BAS 2,430 100 2,430 169,097
FOP 240 30 72 5,010
UDG 576 55 317 22,059



MARKET ADJUSTMENTS

TYPE	MDL	EFF AREA	TOT ADJ PIS	EFF BASE RATE	REPL COST NEW	AVB	EVB	ECON	FNCT	NORM	% COND
0100	01	2,819	104.1600	106.24	299,491	1976	2000	0	0	0	34.50 65.50

Heated Area: 2430
HX Base Yr 2019

COLUMBIA COUNTY PROPERTY VALUATION SUMMARY

VALUATION BY	Tax Group: 3	Tax Dist:	STANDARD
BUILDING MARKET VALUE			196,167
TOTAL MARKET OBJ/F VALUE			4,090
TOTAL LAND VALUE - MARKET			20,600
TOTAL MARKET VALUE			220,857
SOH/AGL Deduction			52,507
ASSESSED VALUE			168,350
TOTAL EXEMPTION VALUE			50,000
BASE TAXABLE VALUE			118,350
TOTAL JUST VALUE			220,857
INCOME VALUE			0
PREVIOUS YEAR MKT VALUE			213,544

PERMIT NUM	DESCRIPTION	AMT	ISSUED
29120	MAINT/ALTR	40	01/06/2011
8166	GARAGE	7,000	03/15/1994

SALES DATA

OFF RECORD Number	DATE	TYPE	Q	V	I	CD	RSN	SALE PRICE
1359/2094	5/08/2018	WD	Q	I	I	01		172,000
GRANTOR: STUART HALE CORP								
GRANTEE: WILLIAM COREY & SAM								
1331/1560	2/22/2017	TD	U	I	I	18		50,000
GRANTOR: CLERK OF COURT								
GRANTEE: STUART HALE CORP								

BUILDING NOTES

BAS- W54 S45 FOP= S12 E20 N12 W20S E54 N45S PFR-N10 UDG- N24 W24 S24 E24S S30S.

BUILDING DIMENSIONS

L	OB/F	DESCRIPTION	BUD CAP	L	W	UNITS	UT	ADJ R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/F MKT VALUE	NOTES
1	0180	FPLC 1STYR	0 100	0	0			1.00 UT 2,000.00	2,000.00	100	0	0	3	100	2,000	
2	0166	CONC. PAYMT	0 100	0	0			1.00 UT 0.00	0.00	100	0	0	3	100	400	
3	0040	BARN, POLE	0 100	0	0			676.00 UT 2.50	2.50	100	0	0	3	100	1,690	

TOTAL OB/F 4,090

L	USE	CLS	LAND USE	CAP	R	LOC	FRONT	DEPTH	TOT	UNIT	D	DPH	%	TOT	UNIT	PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS	YEAR	DENSITY	DECL	FRZ	YR	CONSV
1	0100	C	SPR	100		00	0.00	0.00	2.06	AC	1.00	1.00	1.00	10,000.00	10,000.00	20,600									