

DATE 05/12/2008

Columbia County Building Permit

PERMIT
000026999

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANT JEFF HARDEE PHONE 497-5162
ADDRESS 6450 NW 72ND LANE CHIEFLAND FL 32626
OWNER RICHARD KNIGHT, TRUSTEE (N.KNIGHT'S M/H) PHONE 497-5162
ADDRESS 409 SW SPEAR PLACE FT. WHITE FL 32038
CONTRACTOR RONNIE NORRIS PHONE 386.752.3871
LOCATION OF PROPERTY 47-S TO SPEAR RD, TL 1/4 MILE ON L.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 04-7S-16-04129-003 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 18.38

IH0000049
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
PRIVATE 08-110 CFS JTH Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 9261

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
 date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
 date/app. by date/app. by
Reconnection Pump pole Utility Pole
 date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 61.05 WASTE FEE \$ 83.75
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 519.80
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County

KNIGHT CK#9261

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 6-23-05)		Zoning Official <u>OK 1/25/08</u>	Building Official <u>OK JH 1-25-08</u>
AP# <u>0801-124</u>	Date Received <u>1/24</u>	By <u>JW</u>	Permit # <u>26999</u>
Flood Zone <u>X</u>	Development Permit <u>---</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>
Comments _____			
FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____			
☐ Site Plan with Setbacks Shown ☐ EH Signed Site Plan ☒ EH Release ☐ Well letter ☐ Existing well			
☒ Copy of Recorded Deed or Affidavit from land owner ☐ Letter of Authorization from Installer			

- Property ID # 04-75-16-04129-003 Must have a copy of the property deed
- New Mobile Home NEW ✓ Used Mobile Home _____ Year 2008
- Applicant JEFF HARDEE Phone # 386-497-5162
- Address 6450 NW 72nd LN, CHIEFLAND, FL 32626
- Name of Property Owner Richard KNIGHT, Trustee Phone # 386-497-5162
- 911 Address 409 SW SPEAR PLACE, FT. WHITE, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home NANCY KNIGHT Phone # 386-438-4857
- Address P.O. Box 516, FT. WHITE, FL 32038
- Relationship to Property Owner DAUGHTER
- Current Number of Dwellings on Property 1 (owes)
- Lot Size _____ Total Acreage 18.38
- Do you : Have an Private Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property 47-50th From FT. WHITE, GO N. TAKE L ON SPEAR RD. GO 1/4 MI. PROPERTY ON LEFT.
- Name of Licensed Dealer/Installer RONNIE NORRIS Phone # 386-752-3871
- Installers Address 1004 SW CHARLES TERR, LAKE CITY, FL 32024
- License Number IH0000049 Installation Decal # 293010

spoke to Jeff
2/18/08

PERMIT WORKSHEET

page 1 of 2

PERMIT NUMBER

Installer

RONNIE NORRIS License # JH0000049

Address of home being installed

TBD (SPEAK TO)
FT. WHITE, TX 75426

Manufacturer

JACOBS & CO Length x width 28x66 box

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of homeI understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

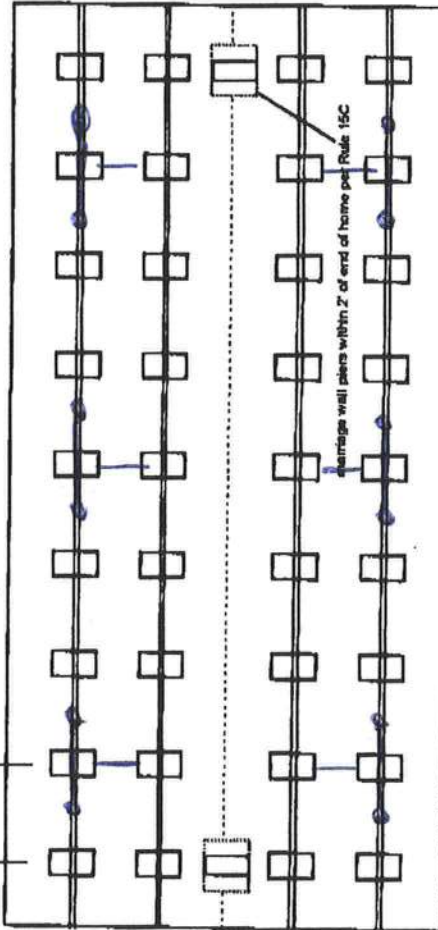
Installer's initials

RN

Typical pier spacing

lateral

longitudinal

Show locations of Longitudinal and Lateral Systems
(use dark lines to show these locations)

New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C



Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Decal #

293010

Triple/Quad



Serial #

JACFL-

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17x25

Perimeter pier pad size

16x16

Other pier pad sizes (required by the mfg.)

17x25

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

8

Pier pad size

17x25

4

16x16

4

16x16

4 ft 5 ft

4

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

OTHER TIES

Number

Sidewall

Longitudinal

Marriage wall

Shearwall

22

6

4

4

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	448
24 x 24	576
26 x 26	676

ANCHORS

PERMIT WORKSHEET

page 2 of 2

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing 4. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer lap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural ✓ Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: LAG Length: 6 Spacing: 24
Walls: Type Fastener: METAL Length: 8 Spacing: 24
Roof: Type Fastener: LAG Length: 24 Spacing: 24
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket
Pg.

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes
Dryer vent installed outside of skirting. Yes
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

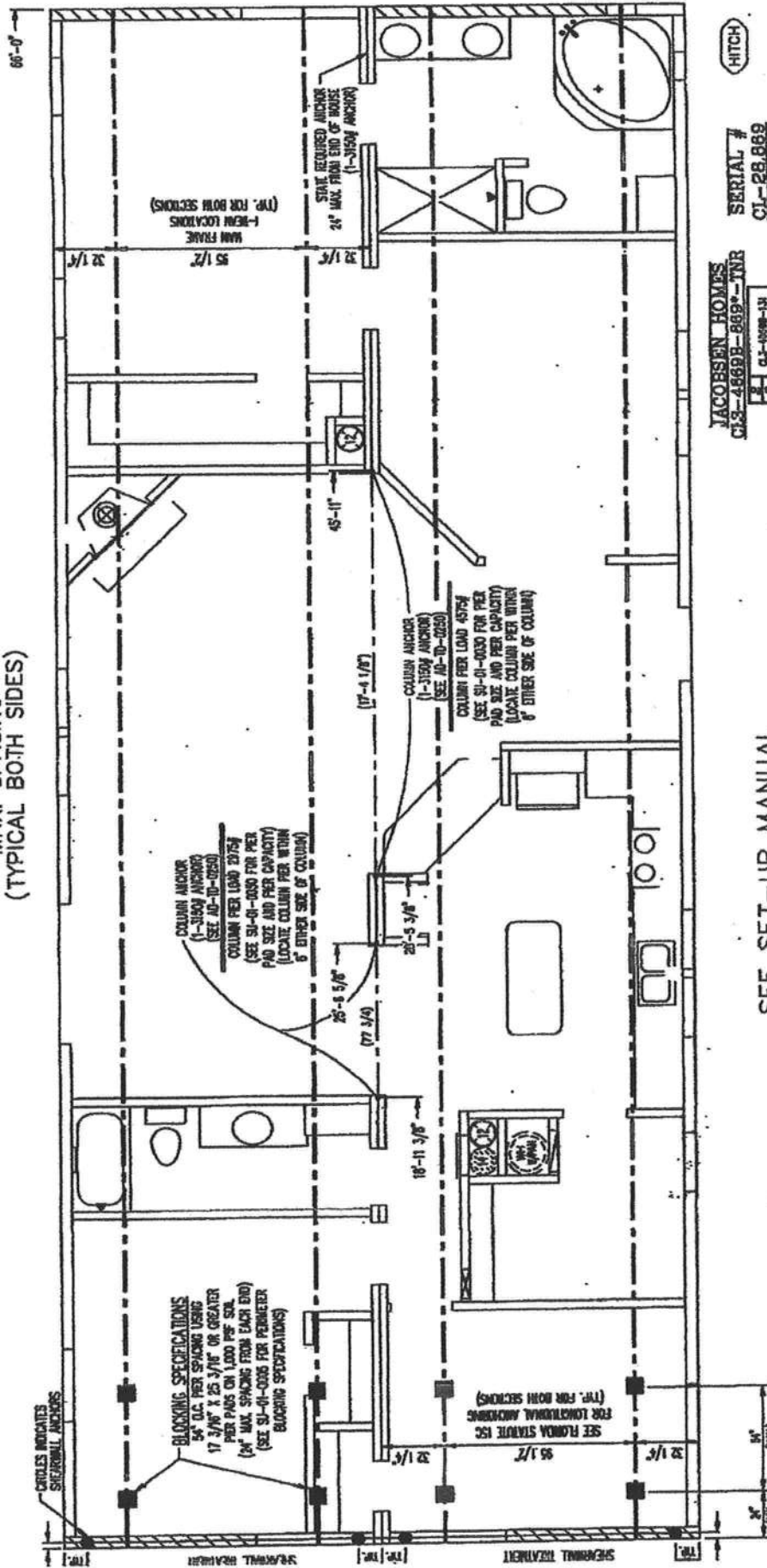
Installer Signature

Date

KNIGHT

BLOCKING DIAGRAM - TCL3-4669.B

SIDEWALL ANCHORS 64" O.C.
MAX. SPACING
(TYPICAL BOTH SIDES)



JACOBSEN HOMES
CL3-4669B-869"-TNR
SERIAL #
CL-28,869
DATE 12/1/88

SEE SET-UP MANUAL
AND ADDENDUM FOR FULL
INSTALLATION INSTRUCTIONS.

8L28869

ACTION

Pump Repair & Well Drilling

Jamie Storey, State License # 2664

Office (352) 542-7877

Fax (352) 542-7533

RESIDENTIAL WATER WELL BUILDING PERMIT INFORMATION

Building Permit # _____ Owners Name: Mr. Knight

Well Depth _____ ft. Casing Depth _____ ft. Water Level _____ ft.

PUMP INSTALLATION: Submersible XX Deep Well Jet _____ Shallow Well Jet _____Pump Make Goulds Pump Model # 18LS Pump H.P. 1System Pressure (PSI) _____ 40 On _____ 60 Off Average Pressure 50Pumping System GPM at average pressure and pumping level 18 (GPM).TANK INSTALLATION: Precharged (Bladder) XX Atmospheric (Galvanized) _____Make Well Flo Model 100WE Size 81 Gallons.Tank Draw-down per cycle at system pressure 21 Gallons.Constant flow device installed _____ Yes X No.

I hereby certify that this water well system has been installed as per above information.


State contractor signature2664
State license numberJamie Storey
print name1-24-08
Date

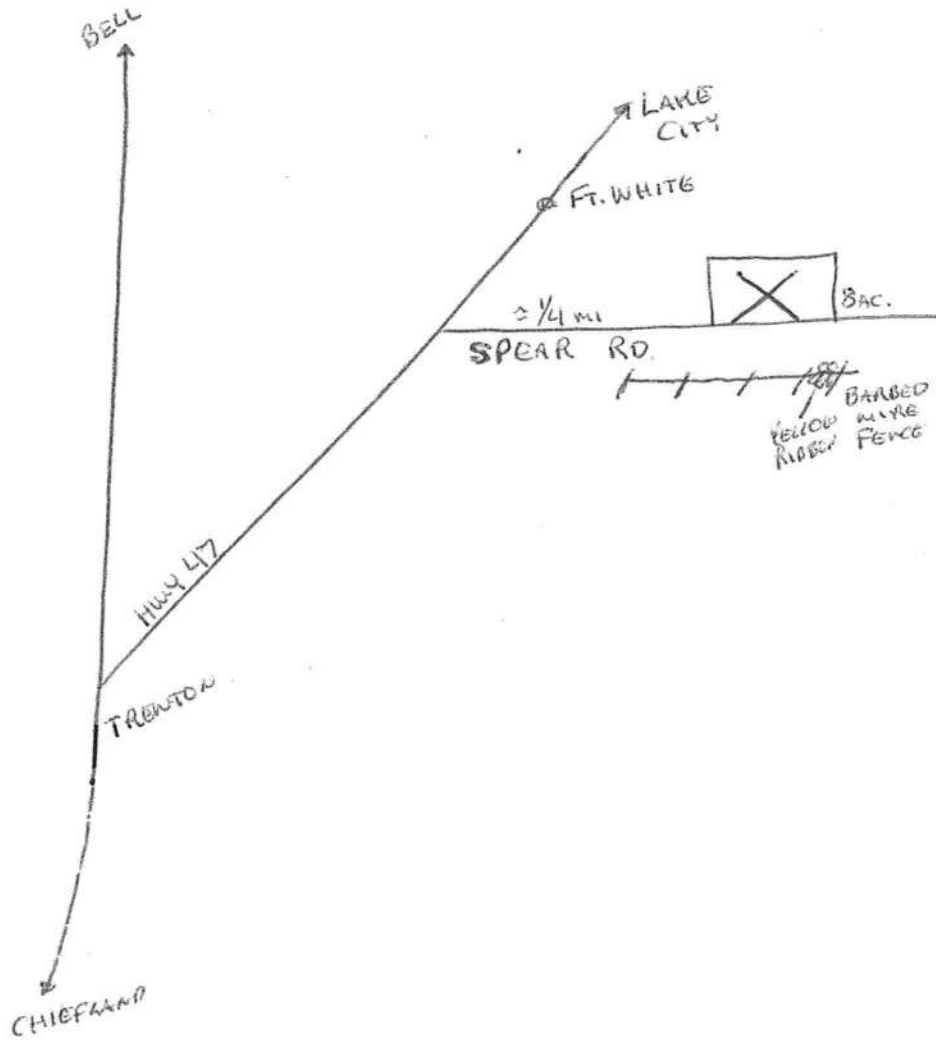
NANCY KNIGHT © 386-438-4857

PROPERTY LOCATOR

JACOBSEN 28X66 BOX

SN #

SET DATE:



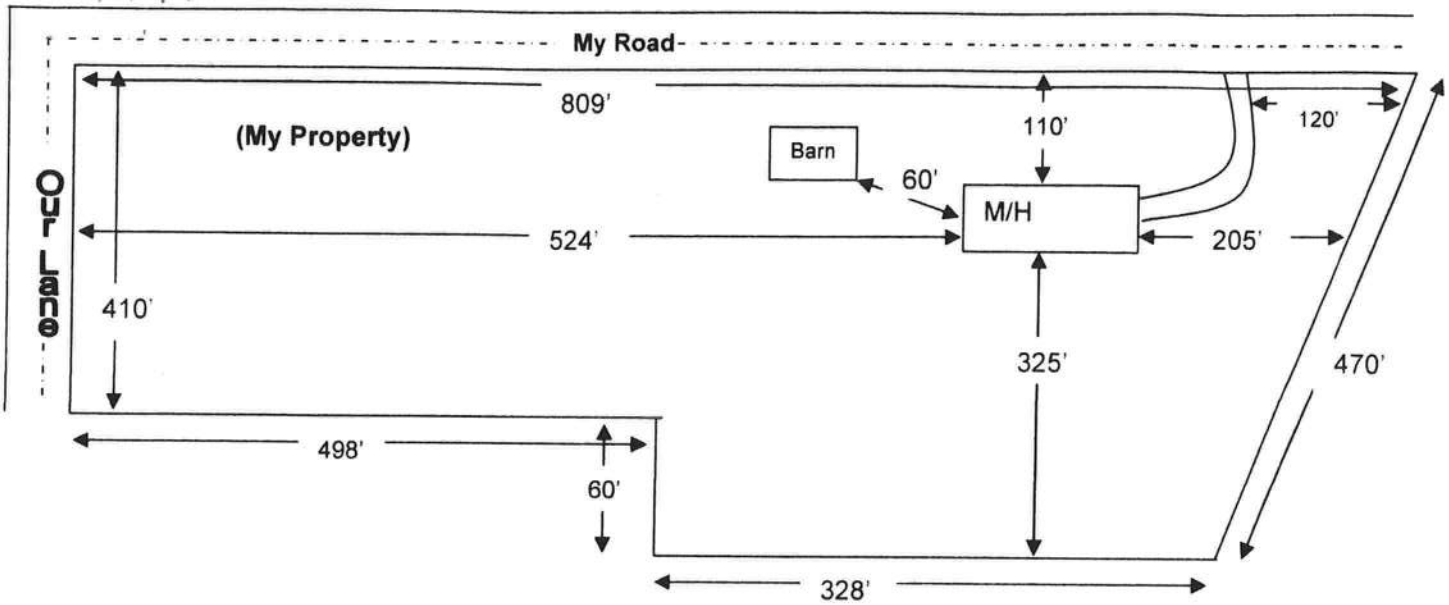
NORTH STAR HOMES

% MATT SNIDER

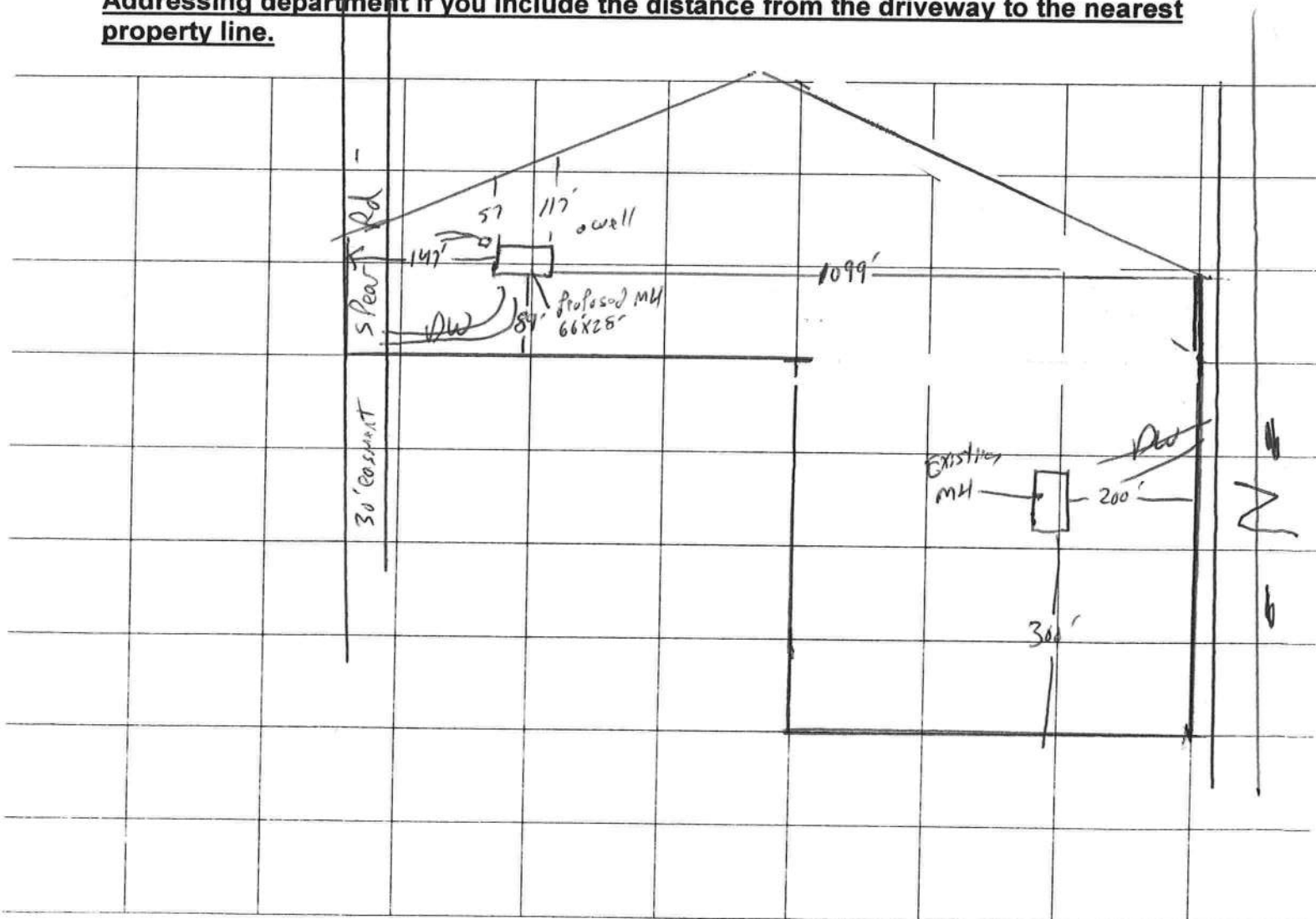
352-493-1112

FAX 352-493-1113

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



Columbia County Property Appraiser

DB Last Updated: 1/15/2008

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 04-7S-16-04129-003 HX

Owner & Property Info

Search Result: 1 of 1

Owner's Name	KNIGHT RICHARD C TRUSTEE		
Site Address	KENDRICK		
Mailing Address	P O BOX 516 FT WHITE, FL 320380516		
Use Desc. (code)	MOBILE HOM (000200)		
Neighborhood	16.00	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	18.380 ACRES		
Description	COMM SE COR OF SW1/4 OF NE1/4, RUN N 656.13 FT FOR POB, RUN W 664.34 FT, N 656.75 FT, E 664.34 FT, S 656.13 FT TO POB. ALSO COMM SE COR OF SW1/4 OF NE1/4, RUN W 664.34 FT FOR POB, CONT W 141.87 FT, N 25 DEG W 727.18 FT TO A PT ON E LINE OF LOT 4 BLOCK A SANDY ACRES, RUN N 27 DEG E 739.41 FT, E 87.96 FT, S 1313.49 FT TO POB. ORB 806-164, 836-1594, 867-2000, 888-856,894-2147, WD 1051-1016.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (2)	\$112,280.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$2,691.00
XFOB Value	cnt: (2)	\$900.00
Total Appraised Value		\$115,871.00

Just Value	\$115,871.00
Class Value	\$0.00
Assessed Value	\$31,037.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$6,037.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
6/22/2005	1051/1016	WD	V	U	01	\$100.00
6/5/1995	806/164	WD	V	Q		\$19,000.00

Building Characteristics

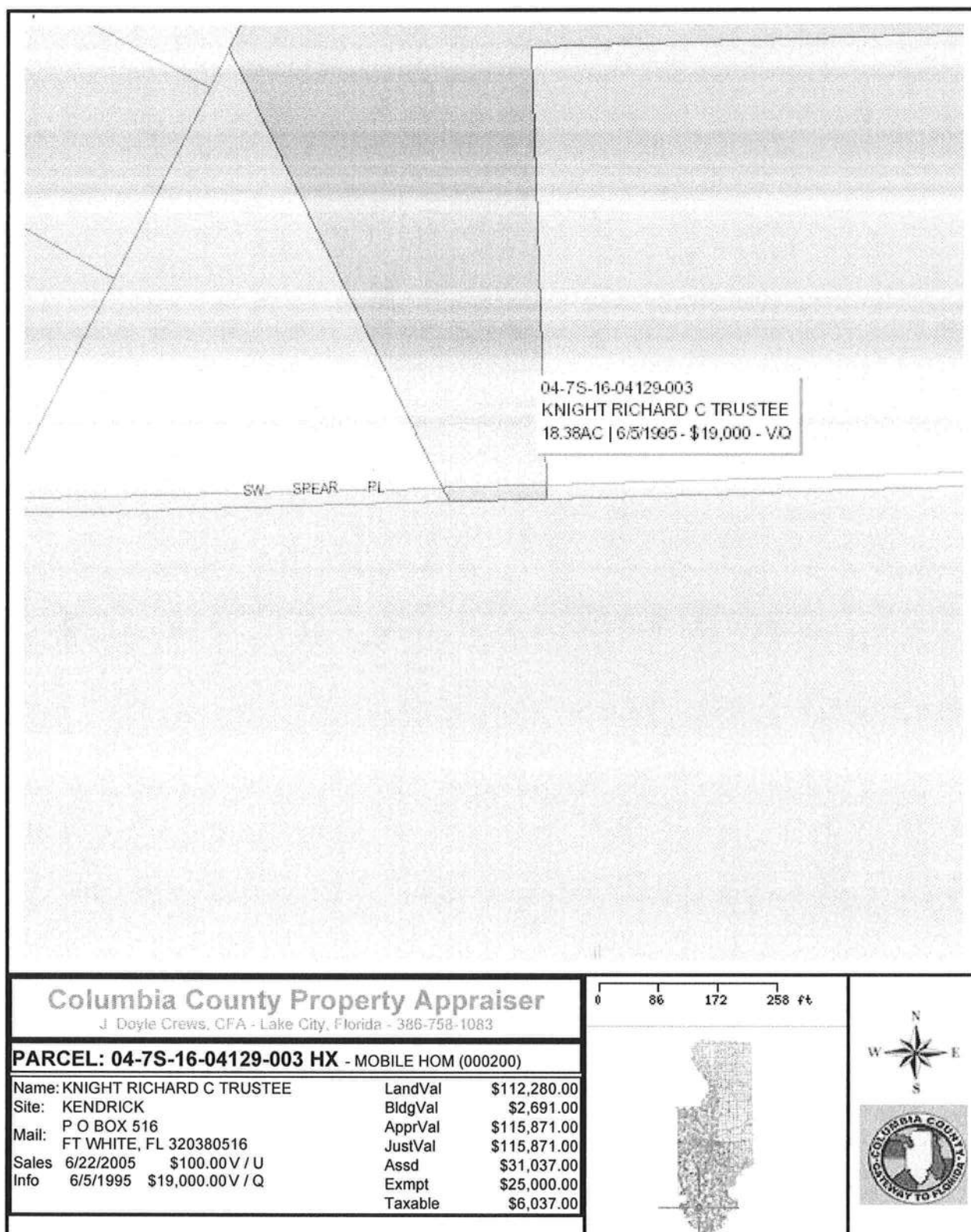
Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1973	Below Avg. (03)	672	832	\$2,691.00
Note: All S.F. calculations are based on <u>exterior</u> building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	1996	\$400.00	80.000	8 x 10 x 0	(.00)
0285	SALVAGE	1996	\$500.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

--	--	--	--	--	--	--



This information, GIS Map Updated: 1/15/2008, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000102	SFR/MH (MKT)	18.380 AC	1.00/1.00/1.00/1.00	\$6,000.00	\$110,280.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

DB Last Updated: 1/15/2008

1 of 1

Disclaimer

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Notice:

Under Florida Law, e-mail addresses are public record. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead contact this office by phone or in writing.

[Scroll to Top](#)

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Warranty Deed

This instrument prepared by and return to:

Gary D. Grunder
Attorney at Law
23349 Northwest CR 236, Suite 10
High Springs, Florida 32643

Inst: [REDACTED] Date: 07/11/2005 Time: 10:17
Doc Stamp-Deed: 0.70
[Signature] DC, P. Dewitt Cason, Columbia County B:1051 P:1016

Tax Identification # 04-7S- [REDACTED] HX

This Indenture made June 22, 2005 by

Richard C. Knight, a single person, whose post office address is P.O. Box 516, Ft. White, Florida 32038, GRANTOR, and

Richard C. Knight as Trustee of The Richard C. Knight Revocable Living Trust Dated June 27, 2005 whose post office address is P.O. Box 516, Ft. White, Florida 32038, GRANTEE.

Witnesseth that said Grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

A part of the South 1/2 of the North 1/2 of Section 4, Township 7 South, Range 16 East, more particularly described as follows: Commence at the SE corner of the SW 1/4 of the NE 1/4 of said Section 4 and run South 89 deg. 03 min. 31 sec. West, along the South line thereof, 664.34 feet for a Point of Beginning; thence continue South 89 deg. 03 min. 31 sec. West, along said South line 141.87 feet; thence North 25 deg. 00 min. 21 sec. West, 727.18 feet to a point on the East line of Lot 4 in Block "A" of Sandy Acres, as recorded in Plat Book 6, Page 132, Public Records of Columbia County, Florida, thence North 27 deg. 34 min. 47 sec. East, along the East line thereof, and its extension, 739.41 feet to a point on the North line of the South 1/2 of said North 1/2; thence North 89 deg. 09 min. 50 sec. East, along the North line thereof, 87.96 feet; thence South 0 deg. 49 min. 36 sec. East, 1313.49 feet to the Point of Beginning, Columbia County, Florida.

SUBJECT to an existing 100 foot power line easement for Florida Power Corp.

SUBJECT to an ingress and egress easement over and across the South 30 feet thereof.

TOGETHER WITH the right of ingress and egress over and across the South 30.00 feet of the SE 1/4 of the NW 1/4 of Section 4, Township 7 South, Range 16 East, lying east of State Road No. 47. TOGETHER WITH the right of ingress and egress over and across the South 30.00 feet and the East 30.00 feet of the SW 1/4 of the NE 1/4 of Section 4, Township 7 South, Range 16 East, Columbia County, Florida.

AND

A part of the SW 1/4 of the NE 1/4 of Section 4, Township 7 South, Range 16 East, more particularly described as follows: Commence at the Southeast corner of the SW 1/4 of said NE 1/4 and run North 0 deg. 49 min. 36 sec. West, along the East line thereof, 656.13 feet to a Point of Beginning; thence South 89 deg. 06 min. 40 sec. West 664.34 feet; thence North 0 deg. 49 min. 36 sec. West 656.75 feet to a point on the North line of the SW 1/4 of said NE 1/4 thence North 89 deg. 09 min. 50 sec. East, along the North line thereof, 664.34 feet to the Northeast corner of the SW 1/4 of said NE 1/4 thence South 0 deg. 49 min. 36 sec. East along the East line thereof 656.13 feet to the Point of Beginning. Columbia County, Florida.

SUBJECT TO an ingress and egress easement over and across the East 30.00 feet thereof.

TOGETHER WITH the right of ingress and egress over and across the South 30.00 feet of the SE 1/4 of the NW 1/4 of Section 4, Township 7 South, Range 16 East lying East of State Road No. 47. TOGETHER WITH the right of ingress and egress over and across the South 30.00 feet and the East 30.00 feet of the SW 1/4 of the NE 1/4 of Section 4, Township 7 South, Range 16 East, Columbia County, Florida.

SUBJECT TO an existing Power Line Easement for Florida Power Corporation. (RM)

Grantor reserves a life estate in and to the above described property.

Page 1 of 2 of Warranty Deed from Richard C. Knight to Richard C. Knight as Trustee of The Richard C. Knight Revocable Living Trust

N.B. This deed has been prepared at Grantor's request without examination or legal opinion of title.

In the event Richard C. Knight cannot continue to serve as Trustee, the successor trustee shall be Richard D. Knight. In the event that Richard D. Knight cannot serve or continue to serve as Trustee, the successor Trustee shall be Amy R. McRoberts.

The Trustee and all successor Trustees are hereby granted the power to protect, conserve, and to sell, or to lease, or to encumber, or otherwise to manage and dispose of the real property described in this deed.

Any person dealing with the Trustee shall deal with said Trustee in the order as set forth above. However, no person shall deal with a successor Trustee until one or more of the following have been received by said person or placed of record in the aforementioned county:

- A. The written resignation of the prior Trustee sworn to and acknowledge before a notary public.
- B. A certified death certificate of the prior Trustee.
- C. The order of a court of competent jurisdiction adjudicating the prior Trustee incapacitated, or removing said Trustee for any reason.
- D. The written certificates of two physicians currently practicing medicine that the Trustee is physically or mentally incapable of handling the duties of Trustee.
- E. The written removal of a successor Trustee and/or the appointment of an additional successor Trustee by the Grantor sworn to and acknowledged before a notary public; this right being reserved to the Grantor.

"Grantor" and "Grantee" are used for singular or plural, as context requires.

AND SAID GRANTOR does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Witnesses to signature(s) of Richard C. Knight

Amy R. McRoberts
Amy R. McRoberts

Richard C. Knight
Richard C. Knight

Nancy Schuler
Nancy Schuler

Gary D. Grunder

Inst: 2005016227 Date: 07/11/2005 Time: 10:17
Doc Stamp-Deed: 0.70

DC, P. Dewitt Cason, Columbia County B: 1051 P: 1017

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me JUNE 27, 2005 by Richard C. Knight who

- () is/are personally known to me.
- (☒) produced a current Florida driver's license as identification.
- () produced identification.

[Signature]
Signature of Notary
My Commission Expires:
7873



@ CAM112M01 S CamaUSA Appraisal System
 1/24/2008 13:30 Legal Description Maintenance
 Year T Property Sel
 2008 R 04-7S-16-04129-003 ...
 344 KENDRICK DR SW
 HX KNIGHT RICHARD C TRUSTEE

Columbia County
 112280 Land 002
 AG 000
 2691 Bldg 001 *
 900 Xfea 002
 115871 TOTAL B*

1	COMM SE COR OF SW1/4 OF NE1/4,	RUN N 656.13 FT FOR POB, RUN W	2
3	664.34 FT, N 656.75 FT, E	664.34 FT, S 656.13 FT TO POB.	4
5	ALSO COMM SE COR OF SW1/4 OF	NE1/4, RUN W 664.34 FT FOR	6
7	POB, CONT W 141.87 FT, N 25	DEG W 727.18 FT TO A PT ON E	8
9	LINE OF LOT 4 BLOCK A SANDY	ACRES, RUN N 27 DEG E 739.41	10
11	FT, E 87.96 FT, S 1313.49 FT	TO POB. ORB 806-164, 836-1594,	12
13	867-2000, 888-856, 894-2147,	WD 1051-1016.	14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 7/27/2005 KYLIE

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More

0801-124

AFFIDAVIT**STATE OF FLORIDA
COUNTY OF COLUMBIA**

This is to certify that I, (We), RICHARD KNIGHT, Trustee
owner of the below described property:

Tax Parcel No. 04-75-16-04129-003

Subdivision (name, lot, block, phase) _____

Give my permission to NANCY KNIGHT to place a
mobile home travel trailer/single family home (circle one) on the above mentioned
property.

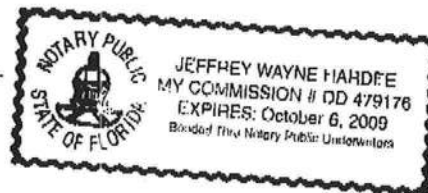
I (We) understand that this could result in an assessment for solid waste and fire
protection services levied on this property.

Richard Knight
Owner

Owner

SWORN AND SUBSCRIBED before me this 24 day of January,
2008. This (these) person(s) are personally known to me or produced
ID DL

Jeffrey Wayne Hardee
Notary Signature



0801-124

AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF COLUMBIA**

This is to certify that I, (We), RICHARD KNIGHT, Trustee
owner of the below described property:

Tax Parcel No. 04-75-16-04129-003

Subdivision (name, lot, block, phase) _____

Give my permission to NANCY KNIGHT to place a
mobile home/travel trailer/single family home (circle one) on the above mentioned
property.

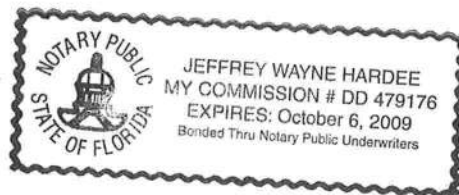
I (We) understand that this could result in an assessment for solid waste and fire
protection services levied on this property.

[Signature]
Owner

Owner

SWORN AND SUBSCRIBED before me this 24 day of January,
2008. This (these) person(s) are personally known to me or produced
ID DL.

[Signature]
Notary Signature



COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/24/2008 DATE ISSUED: 1/29/2008

ENHANCED 9-1-1 ADDRESS:

409 SW SPEAR

PL

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

04-7S-16-04129-003

Remarks:

Approved Address

MAY 12 2008

911Addressing/GIS Dept

Address Issued By: 

Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

ACTION

Pump Repair & Well Drilling

Jamie Storey, State License # 2664

Office (352) 542-7877

Fax (352) 542-7533

RESIDENTIAL WATER WELL BUILDING PERMIT INFORMATION

Building Permit # _____ Owners Name: Mr. Knight

Well Depth _____ ft. Casing Depth _____ ft. Water Level _____ ft.

PUMP INSTALLATION: Submersible XX Deep Well Jet _____ Shallow Well Jet _____

Pump Make Goulds Pump Model #18LS Pump H.P. 1

System Pressure (PSI) _____ 40 On _____ 60 Off Average Pressure 50

Pumping System GPM at average pressure and pumping level 18 (GPM).

TANK INSTALLATION: Precharged (Bladder) XX Atmospheric (Galvanized) _____

Make _____ Well Flo _____ Model 100WF Size 81 Gallons.

Tank Draw-down per cycle at system pressure 21 Gallons.

Constant flow device installed _____ Yes X No.

I hereby certify that this water well system has been installed as per above information.

Jamie Storey
State contractor signature

2664
State license number

Jamie Storey
print name

1-24-08
Date



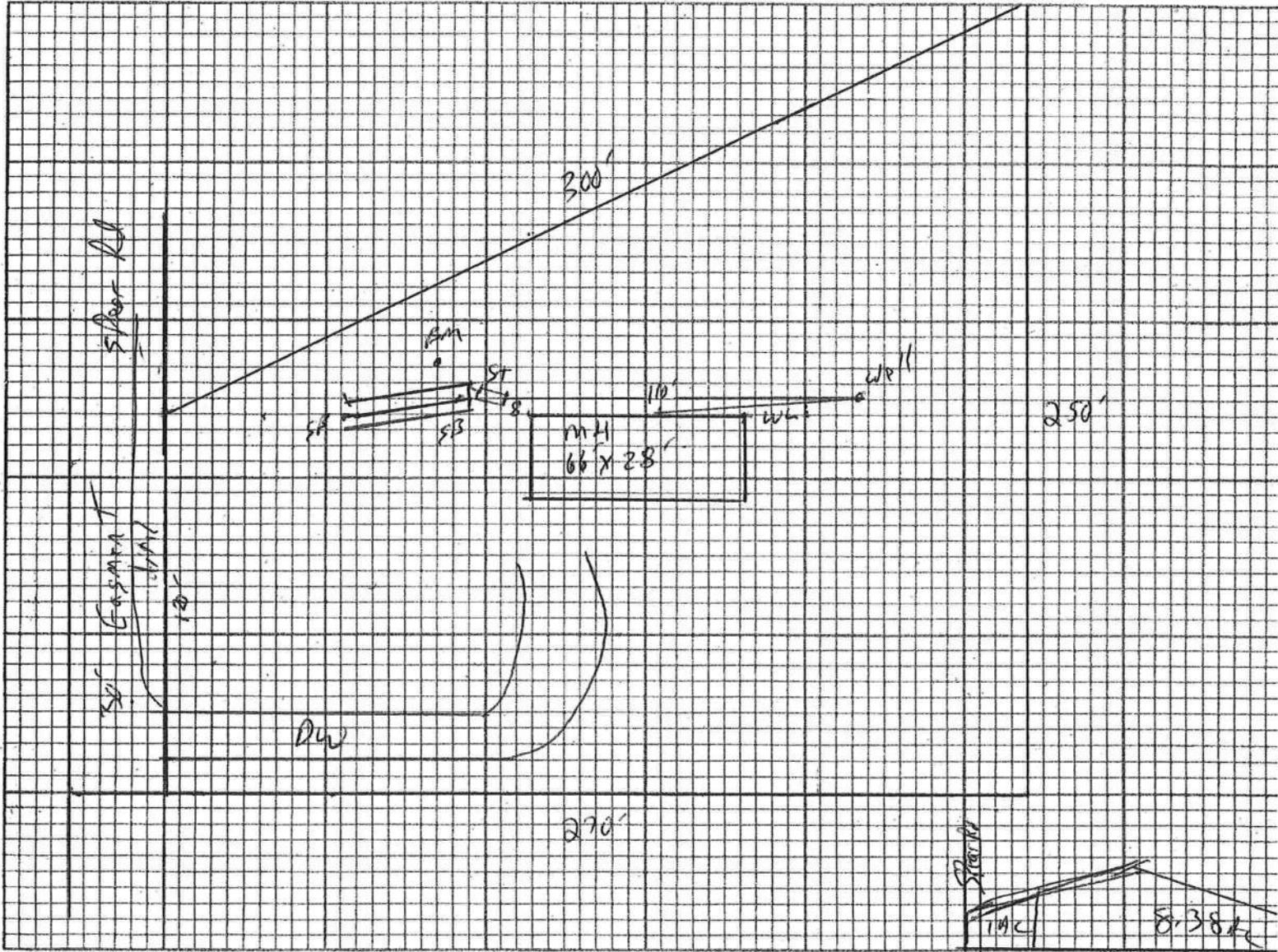
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 08-110

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: 1.54 AC out of 8.38 AC

Site Plan submitted by: JH Hader

Signature

Title

Plan Approved ☒

Not Approved ☐

Date 1/25/08

By JH

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT