# Notice of Treatment

**Applicator: Florida Pest Control & Chemical Co. (www.flapest .com)**
Address: 536 56 Boyd Dr
City Lake City Phone 752-1703

**Site Location**: Subdivision Crestpointe
Lot # _____ Block# _____ Permit # 23882
Address 125 SW Crestpoint Dr L.C.

| Product used | Active Ingredient | % Concentration |
|---|---|---|
| ☐ Premise | Imidacloprid | 0.1% |
| ☐ Termidor | Fipronil | 0.12% |
| ☐ Bora-Care | Disodium Octaborate Tetrahydrate | 23.0% |

**Type treatment:** ☑ Soil ☐ Wood

| Area Treated | Square feet | Linear feet | Gallons Applied |
|---|---|---|---|
| Garage | 1344 | 164 | 120 |
| | | | |
| | | | |
| | | | |

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

DATE 09/23/2010

# Columbia County Building Permit

**This Permit Must Be Prominently Posted on Premises During Construction**

**PERMIT**
**000028882**

APPLICANT WESLEY GAMBLE PHONE 386.719.4478

ADDRESS 125 SW CREST POINTE CT. LAKE CITY FL 32024

OWNER WESLEY & PAULA GAMBLE PHONE 386.719.4478

ADDRESS 125 SW CREST POINTE CT. LAKE CITY FL 32024

CONTRACTOR WESLEY & PAULA GAMBLE PHONE 386.719.4478

LOCATION OF PROPERTY 90-W TO SR. 247-S TO KIRBY RD,TL TO STORY PL,TL AND IT'S THE 6TH HOUSE ON L.

TYPE DEVELOPMENT GARAGE/UTILITY ESTIMATED COST OF CONSTRUCTION 99000.00

HEATED FLOOR AREA _____ TOTAL AREA 1980.00 HEIGHT 14.00 STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6'12 FLOOR CONC

LAND USE & ZONING RSF-2 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 11-4S-16-02905-407 SUBDIVISION CREST POINTE

LOT 7 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 1.77

| Culvert Permit No. | Culvert Waiver | Contractor's License Number | Applicant/Owner/Contractor |
|---|---|---|---|
| | | | Wesley L. Gamble |

| Driveway Connection | Septic Tank Number | LU & Zoning checked by | Approved for Issuance | New Resident |
|---|---|---|---|---|
| EXISTING | X-10-351 | BLK | TC | N |

COMMENTS: ACCESSORY USE.

Check # or Cash 1027

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 495.00 CERTIFICATION FEE $ 9.90 SURCHARGE FEE $ 9.90

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $ _____

FLOOD DEVELOPMENT FEE $ _____ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ _____ **TOTAL FEE** 589.80

INSPECTORS OFFICE _____ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**

# Columbia County Building Permit Application

**For Office Use Only** Application # 1009.30 Date Received 9/16 By JW Permit # 28882

Zoning Official BLK Date 22.09.10 Flood Zone X Land Use Res. Low Density Zoning RSF-2

FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 9-20-10

Comments

☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS Fire Corr Road/Code

School = TOTAL 0 N/A Accessory use ☑ VF

Septic Permit No. K-10-351 In file BY & PAULA Fax N/A

Name Authorized Person Signing Permit WESLEY GAMBLE Phone (386) 719-4478

Address 125 SW CREST POINTE CT LAKE CITY, FL 32024-4114

Owners Name WESLEY & PAULA GAMBLE Phone (386) 719-4478

911 Address 125 SW CREST POINT CT LAKE CITY, FL. 32024

Contractors Name SAME AS ABOVE Phone (386) 719-4478

Address SAME AS ABOVE

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address WILLIAM FREEMAN

Mortgage Lenders Name & Address NA - CASH

Circle the correct power company – FL Power & Light – (Clay Elec.) – Suwannee Valley Elec. – Progress Energy

Property ID Number 11-45-16-02905-407 Estimated Cost of Construction 40,000

Subdivision Name CREST POINTE Lot 7 Block Unit Phase

Driving Directions SOUTH ON 247 - LEFT ON KIRBY - LEFT ON STORY PLACE - 6TH HOUSE ON LEFT.

Number of Existing Dwellings on Property 1

Construction of GARAGE Total Acreage 1.77 Lot Size

Do you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive) Total Building Height 14'

SITE PLAN ON BLUEPRINTS

Actual Distance of Structure from Property Lines - Front ~~2025'~~ per revised site plan scale Side 10' Side 110' Rear 200'

Number of Stories Heated Floor Area 1980 Total Floor Area 1580 Roof Pitch 6'12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

CK# 1027

JW / LEFT MESSAGE 9.22.10

**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.**

**NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them.** These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

**(Owners Must Sign All Applications Before Permit Issuance.)**

Wesley L Hamble
**Owners Signature** ****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

**Contractor's Signature (Permitee)**

**Contractor's License Number**_____
**Columbia County**
**Competency Card Number**_____

**Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20___.**

**Personally known**_____ **or Produced Identification**_____

**SEAL:**

**State of Florida Notary Signature (For the Contractor)**

(10/11/2010)

**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1009-30 CONTRACTOR Wesley Gamble PHONE 719-4478

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

***Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.***

| | | |
|---|---|---|
| **ELECTRICAL** | Print Name Michael S. Conner<br>License #: ER13013192 | Signature Michael S. Conner<br>Phone #: (386) 965-9005 |
| **MECHANICAL/ A/C** _____ | Print Name<br>License #: | Signature<br>Phone #: |
| **PLUMBING/ GAS** | Print Name<br>License #: | Signature<br>Phone #: |
| **ROOFING** | Print Name<br>License #: | Signature<br>Phone #: |
| **SHEET METAL** | Print Name<br>License #: | Signature<br>Phone #: |
| **FIRE SYSTEM/ SPRINKLER** | Print Name<br>License#: | Signature<br>Phone #: |
| **SOLAR** | Print Name<br>License #: | Signature<br>Phone #: |

| Specialty License | License Number | Sub-Contractors Printed Name | Sub-Contractors Signature |
|---|---|---|---|
| MASON | | | |
| CONCRETE FINISHER | | | |
| FRAMING | | | |
| INSULATION | | | |
| STUCCO | | | |
| DRYWALL | | | |
| PLASTER | | | |
| CABINET INSTALLER | | | |
| PAINTING | | | |
| ACOUSTICAL CEILING | | | |
| GLASS | | | |
| CERAMIC TILE | | | |
| FLOOR COVERING | | | |
| ALUM/VINYL SIDING | | | |
| GARAGE DOOR | | | |
| METAL BLDG ERECTOR | | | |

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1009-30 CONTRACTOR WESLEY GAMBLE PHONE 719-4478

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

***Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.***

| | | |
|---|---|---|
| **ELECTRICAL** | Print Name Donald R. Hollingsworth Signature<br>License #: 13012377 Holly Electric Inc. Phone #: 386-755-5944 | |
| **MECHANICAL/ A/C** _____ | Print Name Signature<br>License #: Phone #: | |
| **PLUMBING/ GAS** | Print Name Signature<br>License #: Phone #: | |
| **ROOFING** | Print Name Robert Feasel Signature<br>License #: RC 0032600 Phone #: 386-755-5137 | |
| **SHEET METAL** | Print Name Signature<br>License #: Phone #: | |
| **FIRE SYSTEM/ SPRINKLER** | Print Name Signature<br>License#: Phone #: | |
| **SOLAR** | Print Name Signature<br>License #: Phone #: | |

| Specialty License | License Number | Sub-Contractors Printed Name | Sub-Contractors Signature |
|---|---|---|---|
| MASON ~~CB~~ | 000097 | Kenneth Louden | Kenneth Louden |
| CONCRETE FINISHER | 000218 | TONY E JORDAN SR | Tony E. Jordan Sr. |
| FRAMING | 000289 | John D. Norris | John D Norris |
| INSULATION owner | Self | Wesley Gamble | Wesley L. Gamble |
| STUCCO | — | — | — |
| ~~DRYWALL~~ | 000289 | John D Norris | John D Norris |
| PLASTER | — | — | — |
| CABINET INSTALLER | — | — | — |
| PAINTING | home owner | Wesley Gamble | Wesley Gamble |
| ACOUSTICAL CEILING | — | — | — |
| GLASS | — | — | — |
| CERAMIC TILE | — | — | — |
| FLOOR COVERING | 000289 | John D Norris | John D Norris |
| ALUM/VINYL SIDING | " | " | " |
| GARAGE DOOR | 000619 | CARL BOLLARD JR | Carl Bollard |
| METAL BLDG ERECTOR | — | — | — |

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

This Instrument Prepared By:
Michael H. Harrell
Abstract & Title Services, Inc.
P. O. Box 7175
Lake City, FL 32055
ATS# 2-17821

Inst:201012002357 Date:2/17/2010 Time:10:38 AM
Doc Stamp-Deed:1365.00
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1189 P:620

# GENERAL WARRANTY DEED

Individual to Individual (or Corporation/LLC)

This Warranty Deed made this 16th day of February, 2010 by

**Thomas S. Ward, and his wife, Kimberlee D. Ward**

hereinafter called the Grantor, to

**Wesley L. Gamble , and his wife, Paula L. Gamble**

whose post office address is 125 SW Crestpointe Court, Lake City, FL 32024, hereinafter called the Grantee.

*(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of Individuals, and the successors and assigns of Corporation.)*

The Grantor, for and in consideration of the sum of $10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, unto the Grantee all that certain land, situate in Columbia County, Florida, viz: TAX ID:R 02905-407 :

**Lot 7, Crest Pointe Subdivision, a subdivision according to the plat thereof recorded in Plat Book 7, Page 73, Public Records of Columbia County, Florida.**

Together with all the tenements, hereditaments, and appurtenances thereto belonging or in anyways appertaining.

To have and to hold, the same in fee simple forever.

And the Grantor hereby convenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2008.

In witness whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Donna Cox
WITNESS
Printed Name: Donna Cox

Thomas S. Ward

Traci Landry
WITNESS
Printed Name: Traci Landry

Kimberlee D. Ward
Kimberlee D. Ward

State of Florida
County of Columbia

I hereby certify that on this 16th day of February, 2010, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared Thomas S. Ward, and his wife, Kimberlee D. Ward, who is personally known to me or produced a drivers license for identification, and known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she/they executed the same, and an oath was not taken.

(SEAL)

DONNA COX
MY COMMISSION # DD 949914
EXPIRES: January 16, 2014
Bonded Thru Notary Public Underwriters

Donna Cox
NOTARY PUBLIC

My Commission Expires:

**COLUMBIA COUNTY BUILDING DEPARTMENT**
135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

## OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed $75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased with in 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address http://www.myflorida.com/dbpr/pro/cilb/index.html for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

_____.

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual of firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of $300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of $100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

**TYPE OF CONSTRUCTION**

( ) Single Family Dwelling ( ) Two-Family Residence ( ) Farm Outbuilding

( ) Addition, Alteration, Modification or other Improvement

( ) Commercial, Cost of Construction_____ Construction of_____

(✓) Other GARAGE

I Wesley L. Gamble, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Wesley L. Gamble 9.16.10

Owner Builder Signature Date

**NOTARY OF OWNER BUILDER SIGNATURE**

The above signer is personally known to me or produced identification ✓

Notary Signature Laurie Hodson Date 9.16.10

(Seal) LAURIE HODSON
MY COMMISSION # DD 805657
EXPIRES: July 14, 2012
Bonded Thru Notary Public Underwriters

**FOR BUILDING DEPARTMENT USE ONLY**

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative

Revised: 7-23-09
DISCLOSURE STATEMENT 09
Documents: B&Z Forms

# Columbia County Property Appraiser

DB Last Updated: 8/5/2010

## 2009 Tax Roll Year

Tax Collector | Tax Estimator | Property Card | Parcel List Generator | Interactive GIS Map | Print

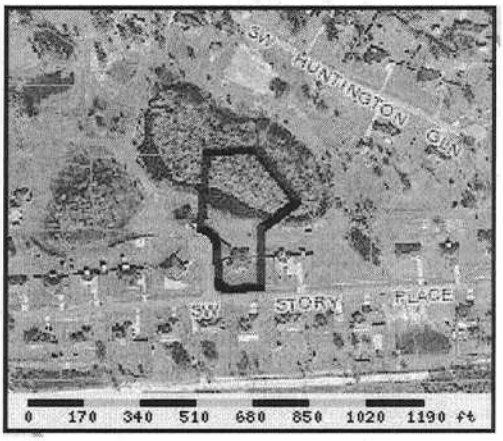
**Parcel:** 11-4S-16-02905-407

<< Next Lower Parcel | Next Higher Parcel >>

Search Result: 1 of 2 Next >>

### Owner & Property Info

| | | | |
|---|---|---|---|
| **Owner's Name** | GAMBLE WESLEY L & PAULA L | | |
| **Mailing Address** | 125 SW CRESTPOINTE CT<br>LAKE CITY, FL 32024 | | |
| **Site Address** | 125 SW CRESTPOINTE CT | | |
| **Use Desc. (code)** | SINGLE FAM (000100) | | |
| **Tax District** | 2 (County) | **Neighborhood** | 11416 |
| **Land Area** | 1.770 ACRES | **Market Area** | 06 |
| **Description** | NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. | | |
| LOT 7 CREST POINTE S/D. ORB 961-2235,WD 1189-620 | | | |




### Property & Assessment Values

| 2009 Certified Values | | |
|---|---|---|
| **Mkt Land Value** | cnt: (0) | $29,000.00 |
| **Ag Land Value** | cnt: (1) | $0.00 |
| **Building Value** | cnt: (1) | $110,866.00 |
| **XFOB Value** | cnt: (2) | $3,744.00 |
| **Total Appraised Value** | | $143,610.00 |
| **Just Value** | | $143,610.00 |
| **Class Value** | | $0.00 |
| **Assessed Value** | | $120,107.00 |
| **Exempt Value** | (code: HX) | $50,000.00 |
| **Total Taxable Value** | | Cnty: $70,107<br>Other: $70,107 \| Schl: $95,107 |

**2010 Working Values**

NOTE:
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

### Sales History

Show Similar Sales within 1/2 mile

| Sale Date | OR Book/Page | OR Code | Vacant / Improved | Qualified Sale | Sale RCode | Sale Price |
|---|---|---|---|---|---|---|
| 2/16/2010 | 1189/620 | WD | I | Q | 01 | $195,000.00 |
| 9/5/2002 | 961/2235 | WD | V | Q | | $19,900.00 |

### Building Characteristics

| Bldg Item | Bldg Desc | Year Blt | Ext. Walls | Heated S.F. | Actual S.F. | Bldg Value |
|---|---|---|---|---|---|---|
| 1 | SINGLE FAM (000100) | 2002 | COMMON BRK (19) | 1761 | 2529 | $107,401.00 |
| | **Note:** All S.F. calculations are based on exterior building dimensions. | | | | | |

### Extra Features & Out Buildings

| Code | Desc | Year Blt | Value | Units | Dims | Condition (% Good) |
|---|---|---|---|---|---|---|
| 0190 | FPLC PF | 2002 | $1,200.00 | 0000001.000 | 0 x 0 x 0 | (000.00) |
| 0166 | CONC,PAVMT | 2002 | $2,144.00 | 0001072.000 | 0 x 0 x 0 | (000.00) |
| 0169 | FENCE/WOOD | 2009 | $2,970.00 | 0000220.000 | 0 x 0 x 0 | (000.00) |

### Land Breakdown

**COLUMBIA COUNTY BUILDING DEPARTMENT**
**RESIDENTIAL CHECK LIST REQUIRMENTS**

**MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL** (Florida Wind speed map) **SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE -------- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE --------110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

| | **GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL** | | | **Items to Include- Each Box shall be Circled as Applicable** | | |
|---|---|---|---|---|---|---|
| | | | | **Yes** | **No** | **N/A** |
| 1 | Two (2) complete sets of plans containing the following: | | | ✓ | | |
| 2 | All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void | | | ✓ | | |
| 3 | Condition space (Sq. Ft.) | | Total (Sq. Ft.) under roof | IIIIIIII | IIIIIIII | IIIII |

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

**Site Plan information including:**

| | | | | |
|---|---|---|---|---|
| 4 | Dimensions of lot or parcel of land | ✓ | | |
| 5 | Dimensions of all building set backs | ✓ | | |
| 6 | Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements. | ✓ | | |
| 7 | Provide a full legal description of property. | ✓ | | |

## Wind-load Engineering Summary, calculations and any details required

| | GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL | Items to Include- Each Box shall be Circled as Applicable | | |
|---|---|---|---|---|
| 8 | Plans or specifications must show compliance with FBCR Chapter 3 | IIIIII | IIIII | IIIIII |
| | | YES | NO | N/A |
| 9 | Basic wind speed (3-second gust), miles per hour | ✓ | | |
| 10 | (Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated) | ✓ | | |
| 11 | Wind importance factor and nature of occupancy | | | |
| 12 | The applicable internal pressure coefficient, Components and Cladding | | | |
| 13 | The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component, cladding materials not specifally designed by the registered design professional. | ✓ | | |
| | | | | |
| | | | | |
| | | | | |

## Elevations Drawing including:

| | | | | |
|---|---|---|---|---|
| 14 | All side views of the structure | ✓ | | |
| 15 | Roof pitch | ✓ | | |
| 16 | Overhang dimensions and detail with attic ventilation | ✓ | | |
| 17 | Location, size and height above roof of chimneys | ✓ | | |
| 18 | Location and size of skylights with Florida Product Approval | | ✓ | |
| 18 | Number of stories | ✓ | | |
| 20A | Building height from the established grade to the roofs highest peak | ✓ | | |

## Floor Plan including:

| | | | | |
|---|---|---|---|---|
| 20 | Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies | ✓ | | |
| 21 | Raised floor surfaces located more than 30 inches above the floor or grade | ✓ | | |
| 22 | All exterior and interior shear walls indicated | ✓ | | |
| 23 | Shear wall opening shown (Windows, Doors and Garage doors) | ✓ | | |
| 24 | Emergency escape and rescue opening shown in each bedroom (net clear opening shown) | | | ✓ |
| 25 | Safety glazing of glass where needed | | | |
| 26 | Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR) | | | ✓ |
| 27 | Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311) | | | ✓ |
| 28 | Identify accessibility of bathroom (see FBCR SECTION 322) | | | ✓ |

**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)**

| GENERAL REQUIREMENTS:<br>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL | Items to Include- Each Box shall be Circled as Applicable |
|---|---|

## FBCR 403: Foundation Plans

| | | YES | NO | N/A |
|---|---|---|---|---|
| 29 | Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing. | ✓ | | |
| 30 | All posts and/or column footing including size and reinforcing | ✓ | | |
| 31 | Any special support required by soil analysis such as piling. | | ✓ | |
| 32 | Assumed load-bearing valve of soil_____ Pound Per Square Foot | | | |
| 33 | Location of horizontal and vertical steel, for foundation or walls (include # size and type) | ✓ | | |

## FBCR 506: CONCRETE SLAB ON GRADE

| | | | | |
|---|---|---|---|---|
| 34 | Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed) | ✓ | | |
| 35 | Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports | ✓ | | |

## FBCR 320: PROTECTION AGAINST TERMITES

| | | | | |
|---|---|---|---|---|
| 36 | Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods.<br>**Protection shall be provided by registered termiticides** | ✓ | | |

## FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

| | | | | |
|---|---|---|---|---|
| 37 | Show all materials making up walls, wall height, and Block size, mortar type | ✓ | | |
| 38 | Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement | ✓ | | |

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

**Floor Framing System: First and/or second story**

| | | | | |
|---|---|---|---|---|
| 39 | Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer | | | |
| 40 | Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or priers | | | |
| 41 | Girder type, size and spacing to load bearing walls, stem wall and/or priers | | | |
| 42 | Attachment of joist to girder | | | |
| 43 | Wind load requirements where applicable | | | |
| 44 | Show required under-floor crawl space | | | |
| 45 | Show required amount of ventilation opening for under-floor spaces | | | |
| 46 | Show required covering of ventilation opening | | | |
| 47 | Show the required access opening to access to under-floor spaces | | | |
| | Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & | | | |

| | | | | |
|---|---|---|---|---|
| 48 | intermediate of the areas structural panel sheathing | | | |
| 49 | Show Draftstopping, Fire caulking and Fire blocking | | | |
| 50 | Show fireproofing requirements for garages attached to living spaces, per FBCR section 309 | | | |
| 51 | Provide live and dead load rating of floor framing systems (psf). | | | |

## FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

| | GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL | Items to Include- Each Box shall be Circled as Applicable YES | NO | N/A |
|---|---|---|---|---|
| 52 | Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls | ✓ | | |
| 53 | Fastener schedule for structural members per table FBCR 602.3 are to be shown | ✓ | | |
| 54 | Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing | ✓ | | |
| 55 | Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems | ✓ | | |
| 56 | Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1) | | | |
| 57 | Indicate where pressure treated wood will be placed | ✓ | | |
| 58 | Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas | ✓ | | |
| 59 | A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail | ✓ | | |

## FBCR :ROOF SYSTEMS:

| | | | | |
|---|---|---|---|---|
| 60 | Truss design drawing shall meet section FBCR 802.10 Wood trusses | ✓ | | |
| 61 | Include a layout and truss details, signed and sealed by Florida Professional Engineer | ✓ | | |
| 62 | Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters | ✓ | | |
| 63 | Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details | ✓ | | |
| 64 | Provide dead load rating of trusses | ✓ | | |

## FBCR 802:Conventional Roof Framing Layout

| | | | | |
|---|---|---|---|---|
| 65 | Rafter and ridge beams sizes, span, species and spacing | ✓ | | |
| 66 | Connectors to wall assemblies' include assemblies' resistance to uplift rating | ✓ | | |
| 67 | Valley framing and support details | ✓ | | |
| 68 | Provide dead load rating of rafter system | ✓ | | |

## FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

| | | | | |
|---|---|---|---|---|
| 69 | Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness | ✓ | | |
| 70 | Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas | ✓ | | |

## FBCR ROOF ASSEMBLIES FRC Chapter 9

| | | | | |
|---|---|---|---|---|
| 71 | Include all materials which will make up the roof assembles covering | | | |
| 72 | Submit Florida Product Approval numbers for each component of the roof assembles covering | | | |

## FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

| | GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL | Items to Include- Each Box shall be Circled as Applicable | | |
|---|---|---|---|---|
| | | YES | NO | N/A |
| 73 | Show the insulation R value for the following areas of the structure | | | |
| 74 | Attic space | | | |
| 75 | Exterior wall cavity | ✓ | | |
| 76 | Crawl space | | | |

## HVAC information

| | | | | |
|---|---|---|---|---|
| 77 | Submit two copies of a Manual J sizing equipment or equivalent computation study | | | |
| 78 | Exhaust fans locations in bathrooms | | | |
| 79 | Show clothes dryer route and total run of exhaust duct | | | |

## Plumbing Fixture layout shown

| | | | | |
|---|---|---|---|---|
| 80 | All fixtures waste water lines shall be shown on the foundation plan | | | |
| 81 | Show the location of water heater | | | |

## Private Potable Water

| | | | | |
|---|---|---|---|---|
| 82 | Pump motor horse power | | | |
| 83 | Reservoir pressure tank gallon capacity | | | |
| 84 | Rating of cycle stop valve if used | | | |

## Electrical layout shown including

| | | | | |
|---|---|---|---|---|
| 85 | Switches, outlets/receptacles, lighting and all required GFCI outlets identified | ✓ | | |
| 86 | Ceiling fans | | ✓ | |
| 87 | Smoke detectors & Carbon dioxide detectors | | ✓ | |
| 88 | Service panel, sub-panel, location(s) and total ampere ratings | | | |
| 89 | On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. | | | |

| | | | | |
|---|---|---|---|---|
| 90 | Appliances and HVAC equipment and disconnects | | | ✓ |
| 91 | Arc Fault Circuits (AFCI) in bedrooms | | | ✓ |

**Disclosure Statement for Owner Builders** *If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

**Notice Of Commencement**

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

| GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL | Items to Include- Each Box shall be Circled as Applicable |
|---|---|

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

| | | YES | NO | N/A |
|---|---|---|---|---|
| 92 | **Building Permit Application** A current Building Permit Application form is to be completed and submitted for all residential projects | ✓ | | |
| 93 | **Parcel Number** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested | | | |
| 94 | **Environmental Health Permit or Sewer Tap Approval** A copy of a approved Columbia County Environmental Health (386) 758-1058 | | | ✓ |
| 95 | **City of Lake City** A permit showing an approved waste water sewer tap | | | ✓ |
| 96 | **Toilet facilities shall be provided for all construction sites** | | | ✓ |
| 97 | **Town of Fort White** (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit. | | | |
| 98 | **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations | | | |
| 99 | CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established | | | |
| 100 | A development permit will also be required. Development permit cost is **$50.00** | | | |
| 101 | **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. | | | |
| 102 | **911 Address:** If the project is located in an area where a 911 address has not been issued, then application for a 911address must be applied for and **received** through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125 | | | |

**Section R101.2.1 of the Florida Building Code Residential:**

**The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.**

**Section 105 of the Florida Building Code defines the:**

**Time limitation of application.**

**An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.**

**Single-family residential dwelling.**

**Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the applicati or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.**

**Permit intent.**

**Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.**

**If work has commenced.**

**Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.**

**New Permit.**

**Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became nu and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date if issuance of the new permit.**

**Work Shall Be:**

**Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.**

**The Fee:**

**Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.**

**When the submitted application is approved for permitting the applican will be notified by phone as to the date and time a building permit will b prepared and issued by the Columbia County Building & Zoning Department**

# PRODUCT APPROVAL SPECIFICATION SHEET

**Location:** 125 SW Crest Pointe CT **Project Name:** Detached Garage

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are **applying for a building permit on or after April 1, 2004**. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

| Category/Subcategory | Manufacturer | Product Description | Approval Number(s) |
|---|---|---|---|
| **A. EXTERIOR DOORS** | | | |
| 1. Swinging | Masonite | | FL 4940 |
| 2. Sliding | | | |
| 3. Sectional | | | |
| 4. Roll up | Lakecity Glass | | |
| 5. Automatic | | | |
| 6. Other | | | |
| **B. WINDOWS** | | | |
| 1. Single hung | M.I. | | FL 11825-R1 |
| 2. Horizontal Slider | | | |
| 3. Casement | | | |
| 4. Double Hung | | | |
| 5. Fixed | | | |
| 6. Awning | | | |
| 7. Pass -through | | | |
| 8. Projected | | | |
| 9. Mullion | | | |
| 10. Wind Breaker | | | |
| 11 Dual Action | | | |
| 12. Other | | | |
| **C. PANEL WALL** | | | |
| 1. Siding | Kaycan | | FL 4899 |
| 2. Soffits | Kaycan | | FL 4899 |
| 3. EIFS | | | |
| 4. Storefronts | | | |
| 5. Curtain walls | | | |
| 6. Wall louver | | | |
| 7. Glass block | | | |
| 8. Membrane | | | |
| 9. Greenhouse | | | |
| 10. Other | | | |
| **D. ROOFING PRODUCTS** | | | |
| 1. Asphalt Shingles | Certainteed | | FL 250-R0 |
| 2. Underlayments | Woodland | | FL 1814 |
| 3. Roofing Fasteners | | | |
| 4. Non-structural Metal Rf | | | |
| 5. Built-Up Roofing | | | |
| 6. Modified Bitumen | | | |
| 7. Single Ply Roofing Sys | | | |
| 8. Roofing Tiles | | | |
| 9. Roofing Insulation | | | |
| 10. Waterproofing | | | |
| 11. Wood shingles /shakes | | | |
| 12. Roofing Slate | | | |

| Category/Subcategory (cont.) | Manufacturer | Product Description | Approval Number(s) |
|---|---|---|---|
| 13. Liquid Applied Roof Sys | | | |
| 14. Cements-Adhesives – Coatings | | | |
| 15. Roof Tile Adhesive | | | |
| 16. Spray Applied Polyurethane Roof | | | |
| 17. Other | | | |
| **E. SHUTTERS** | | | |
| 1. Accordion | | | |
| 2. Bahama | | | |
| 3. Storm Panels | | | |
| 4. Colonial | | | |
| 5. Roll-up | | | |
| 6. Equipment | | | |
| 7. Others | | | |
| **F. SKYLIGHTS** | | | |
| 1. Skylight | | | |
| 2. Other | | | |
| **G. STRUCTURAL COMPONENTS** | | | |
| 1. Wood connector/anchor | | | |
| 2. Truss plates | | | |
| 3. Engineered lumber | | | |
| 4. Railing | | | |
| 5. Coolers-freezers | | | |
| 6. Concrete Admixtures | | | |
| 7. Material | | | |
| 8. Insulation Forms | | | |
| 9. Plastics | | | |
| 10. Deck-Roof | | | |
| 11. Wall | | | |
| 12. Sheds | | | |
| 13. Other | | | |
| **H. NEW EXTERIOR ENVELOPE PRODUCTS** | | | |
| 1. | | | |
| 2. | | | |

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspectic

Contractor or Contractor's Authorized Agent Signature

Print Name

Date

Permit # (FOR STAFF USE ONLY)

Inst:201012015420 Date:9/23/2010 Time:4:21 PM
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1201 P:2502

## NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 11-4S-16-02905-407

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT.**

1. Description of property *(legal description)*: LOT 7 CRESTPOINTE Unit
   a) Street *(job)* Address: 125 SW CRESTPOINTE CT LAKE CITY, FL 32024
2. General description of improvements: GARAGE
3. Owner Information
   a) Name and address: 125 SW CrestPointe CT \ Wesley Gamble
   b) Name and address of fee simple titleholder (if other than owner) —
   c) Interest in property 100%
4. Contractor Information
   a) Name and address: Wesley Gamble
   b) Telephone No.: 386-719-4498 Fax No. (Opt.) —
5. Surety Information
   a) Name and address:
   b) Amount of Bond:
   c) Telephone No.: Fax No. (Opt.)
6. Lender
   a) Name and address: N/A
   b) Phone No.
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
   a) Name and address:
   b) Telephone No.: Fax No. (Opt.)
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b). Florida Statutes:
   a) Name and address:
   b) Telephone No.: Fax No. (Opt.)
9. Expiration date of Notice of Commencement **(the expiration date is one year from the date of recording unless a different date is specified)**:

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Wesley L. Gamble
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Wesley L. Gamble
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 16th day of September, 20 10, by:
Wesley Gamble as owner **(type of authority, e.g. officer, trustee, attorney fact) for** **(name of party on behalf of whom instrument was executed).**

Personally Known ____ OR Produced Identification ✓ Type Fla License

Notary Signature Jody M. Goble Notary Stamp or Seal:

Notary Public State of Florida
Jody M Goble
My Commission DD860171
Expires 02/10/2013

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Wesley L. Gamble
Signature of Natural Person Signing (in line #10 above.)

# Columbia County, Florida
# Planning & Zoning Department

**Review of Building Permit for compliance with the County's Comprehensive Plan and Land Development Regulations**

21 September 2010

Wesley and Paula Gamble
125 Southwest Crest Pointe Court
Lake City, FL 32024

RE: Building Permit Application 1009-30, Detached Garage

Dear Mr. and Mrs. Gamble:

The above referenced building permit application for a detached garage to be located at the above referenced address is located in a Residential Single Family-2 (RSF-2) zoning district. In accordance with the Columbia County Land Development Regulations (LDR's), the required front setback is 25 feet from the front property line. The site plan submitted with the plans shows a distance of 20 feet from the front property line. If you wish to leave the detached garage as indicated on the application, a variance will have to be approved by the Board of Adjustment. Variances require a public hearing before the Board of Adjustment and there is a $750.00 fee involved. Applications are available here at the Building and Zoning Department. If you wish to reconfigure the location of the detached garage on the property, a new site plan will need to be submitted showing such with the required setback distance.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

xc: Bill Freeman Design Group, Inc. via facsimile 758.4290

TRANSMISSION VERIFICATION REPORT

TIME : 09/21/2010 16:19
NAME : BUILDING AND ZONING
FAX : 3867582160
SER.# : BROA8F779906

| | |
|---|---|
| DATE,TIME | 09/21 16:19 |
| FAX NO./NAME | 97584290 |
| DURATION | 00:00:21 |
| PAGE(S) | 01 |
| RESULT | OK |
| MODE | STANDARD ECM |

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# Planning & Zoning Department

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21 September 2010

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RE: Building Permit Application 1009-30, Detached Garage

Dear Mr. and Mrs. Gamble:

The above referenced building permit application for a detached garage to be located at the above referenced address is located in a Residential Single Family-2 (RSF-2) zoning district. In accordance with the Columbia County Land Development Regulations (LDR's), the required front setback is 25 feet from the front property line. The site plan submitted with the plans shows a distance of 20 feet from the front property line. If you wish to leave the detached garage as indicated on the application, a variance will have to be approved by the Board of Adjustment. Variances require a public hearing before the Board of Adjustment and there is a $750.00 fee involved. Applications are available here at the Building and Zoning Department. If you wish to reconfigure the location of the detached garage on the property, a new site plan will need to be submitted showing such with the required setback distance.

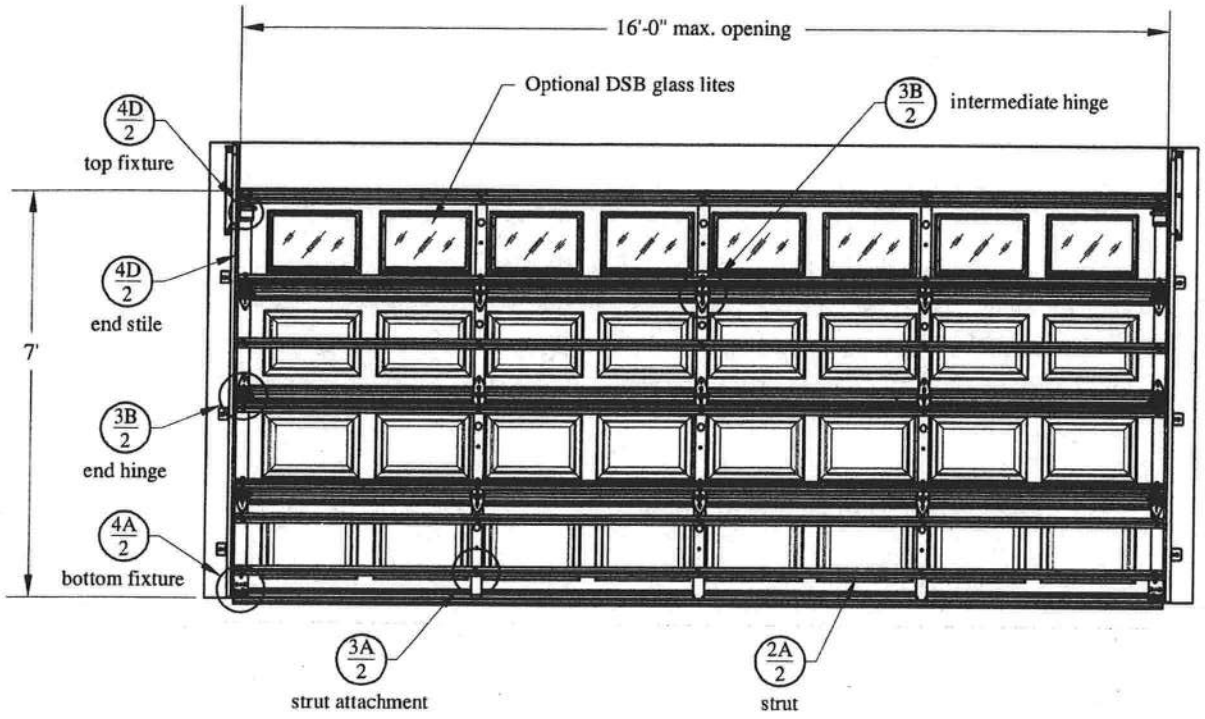
If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

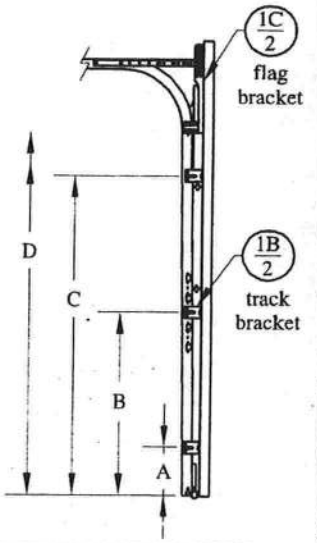
xc: Bill Freeman Design Group, Inc. via facsimile 758.4290

| Door Model | Gauge | Decimal |
|---|---|---|
| 2250/2251 | 25 | .0185 |
| 4250/4251 | 25 | .0185 |
| 2240/2241 | 24 | .0225 |
| 4240/4241 | 24 | .0225 |
| 5240/5241 | 24 | .0225 |




| door height | section quantity | strut quantity | trk brkt per side |
|---|---|---|---|
| 6'-6" to 7'-0" | 4 | 7 | 3 |
| 7'-6" to 8'-0" | 5 | 8 | 4 |
| 8'-3" to 8'-9" | 5 | 9 | 4 |
| 9'-0" to 10'-6" | 6 | 11 | 5 |
| 10'-9" to 12'-3" | 7 | 13 | 6 |
| 12'-6" to 14'-0" | 8 | 15 | 7 |

Refer to Supplemental Instructions for strut placement on doors over 7'-0" high




| Track Bracket Chart | | door height | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|
| | | 6'-6" | 6'-9" | 7'-0" | 7'-6" | 7'-9" | 8'-0" | 8'-3" | 8'-6" | 8'-9" |
| track brackets | D | n/a | n/a | n/a | 72" | 69" | 72" | 81" | 84" | 87" |
| | C | 60" | 63" | 66" | 58" | 55" | 58" | 60" | 63" | 66" |
| | B | 35" | 35" | 38" | 34" | 31" | 34" | 32" | 35" | 38" |
| | A | 10" | 7" | 10" | 10" | 7" | 10" | 4" | 7" | 10" |

Track bracket locations shown above are for doors up to five sections high. Additional door sections may be added for a maximum door height of 14'-0". One track bracket (per track) must be added for each section and spaced at a distance not greater than the corresponding section height.

This door has been tested in accordance with ANSI/DASMA 108-2002
Design Pressure (DP): 18.5 pos / 20.7 neg
Test Pressure (TP): 27.8 pos / 31.1 neg

Per 2004 FBC Table 1609.6E, DP meets or exceeds basic wind speed of;
V = 110 MPH for Exposure B and mean roof height of 30' or less
V = 93 MPH for Exposure C and mean roof height of 30' or less

Maximum door size: 16'-0" wide by 14'-0" tall

Glazing and door have not been tested for windborne debris.

Wood buck and supporting structural elements shall be designed by a registered professional engineer for wind loads shown on this drawing.

If door is not electrically operated, a lock must be installed.

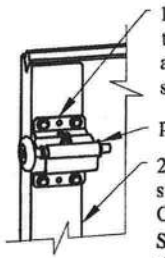
Professional Engineer's seal provided only for verification of windload construction details

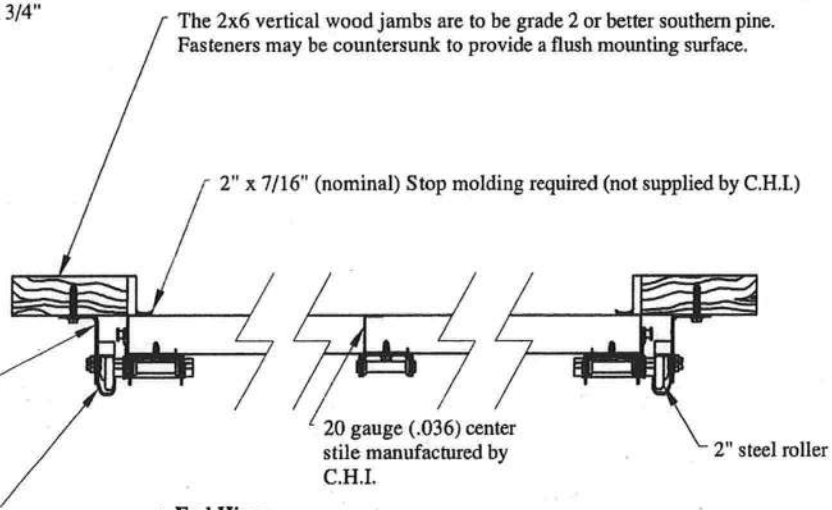
John E. Scates, P.E.
1411 LeMay Street #205
Carrollton, Texas 75007
Florida P.E. # 51737

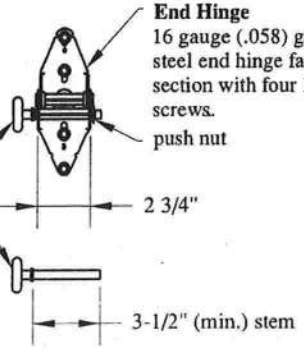


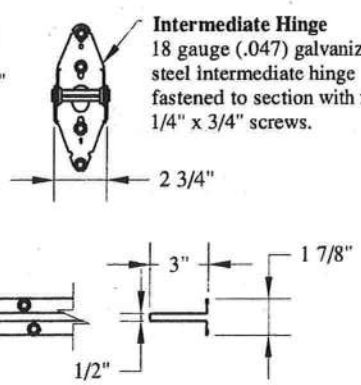
FL 5519

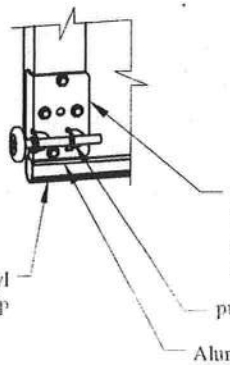
C.H.I. OVERHEAD DOORS
SCALE nts
DATE 10-25-2005
Model 2250/51 (16'-0" wide)
C.H.I. Drawing: Z3-1607-01100



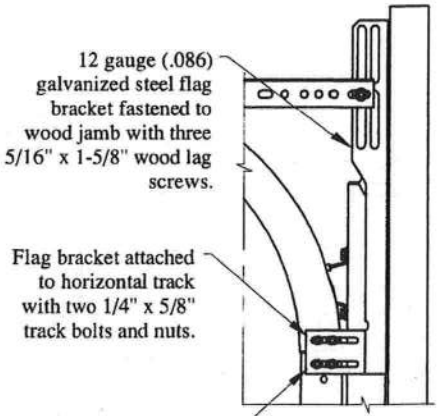



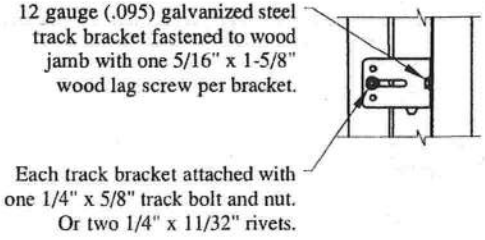




Details on some views may have been omitted for clarity.



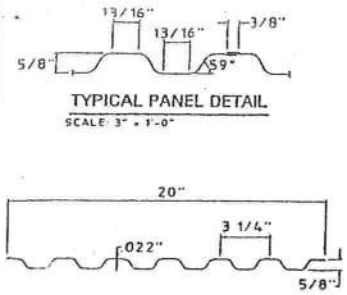




Design Load: 18.5 pos / 20.7 neg
Test Load: 27.8 pos / 31.1 neg
page 2 of 2

Professional Engineer's seal provided only for verification of windload construction details

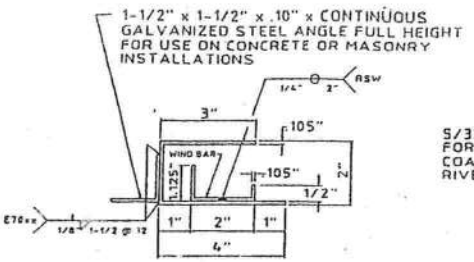
John E. Scates, P.E.
1411 LeMay Street #205
Carrollton, Texas 75007
Florida P.E. # 51737

C.H.I. OVERHEAD DOORS
SCALE nts
DATE 10-25-2005
Model 2250/51 (16'-0" wide)
C.H.I. Drawing: Z3-1607-01100

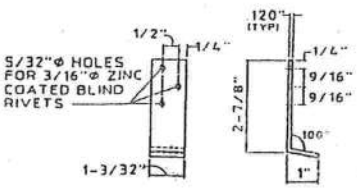



TYPICAL PANEL DETAIL
SCALE: 3" = 1'-0"

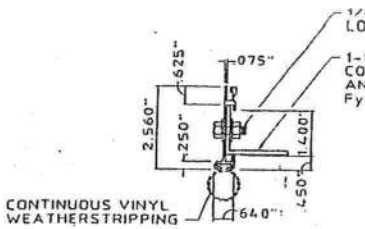
① TYPICAL OVERALL PANEL
SCALE: 1-1/2" = 1'-0"




② WINDLOCK CHANNEL GUIDE
SCALE: 3" = 1'-0"



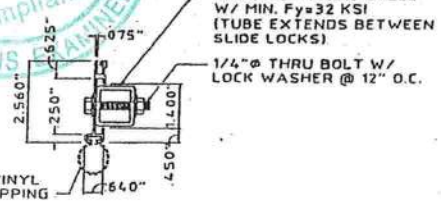

③ WINDLOCK
SCALE: 3" = 1'-0"




STIFFENER SHALL BE 6063-T6 AL. ALLOY

④ BOTTOM STIFFENER & ANGLE (TYPE A)
SCALE: 3" = 1'-0"

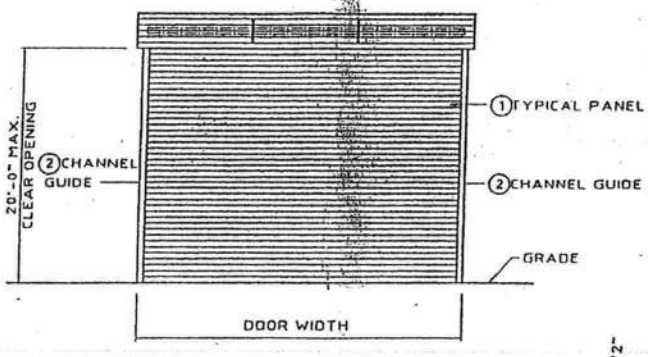
ASTM A792 GR 80 ALUM. ZINC ALLOY COATED STEEL.



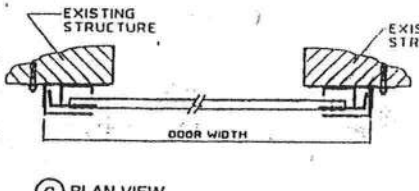

STIFFENER SHALL BE 6063-T6 AL. ALLOY

ALL COMPONENTS SHALL BE ASTM A526 STEEL W/ MIN. Fy=33 KSI GALVANIZED PER ASTM A525 G-90

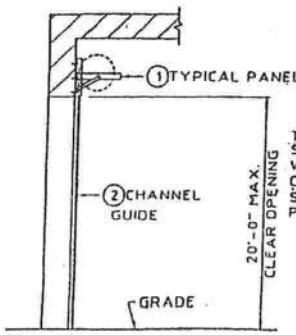
ASTM A526 STEEL W/ MIN. Fy=33 KSI GALVANIZED PER ASTM A525 G-90




Ⓐ INTERIOR ELEVATION
N.T.S.

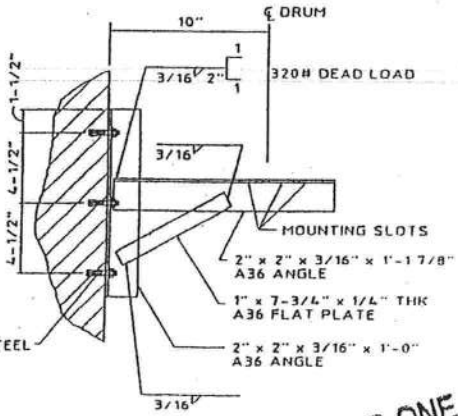



Ⓒ PLAN VIEW
SCALE: 1-1/2" = 1'-0"




Ⓑ SIDE ELEVATION
N.T.S.

THREE 3/8"Φ U.S. KINGPIN SLEEVE ANCHORS AS SHOWN W/ MIN. 1-1/2" EMBEDMENT IN CONCRETE OR THREE 3/8"Φ STEEL SCREWS AS SHOWN W/ PENETRATION INTO MIN. 1/8" STEEL




Ⓓ DOOR MOUNTING BRACKET DETAIL
SCALE: 1-1/2" = 1'-0"

## ⑤ BOTTOM STIFFENER & TUBE (TYPE B)
SCALE: 3" = 1'-0"

**GENERAL NOTES:**

1. THIS ROLL-UP DOOR IS DESIGNED IN ACCORDANCE WITH THE STANDARD BUILDING CODE, 1991, 1994 & 1997 EDITION, INCLUDING THE 1995 PALM BEACH COUNTY AMENDMENTS.
2. THIS ROLL-UP DOOR HAS BEEN TESTED IN ACCORDANCE WITH THE STANDARD BUILDING CODE AND ASTM E-330 TO SAFELY RESIST A POSITIVE OR NEGATIVE WIND LOAD AS NOTED IN THE DOOR SCHEDULE. A TEST LOAD OF 1.5 x DESIGN LOAD HAS BEEN USED.
3. WIND LOADS FOR BUILDING OPENINGS SHALL BE DETERMINED BY A PROFESSIONAL ENGINEER USING APPROPRIATE WIND SPEED AND DESIGN CRITERIA. THIS DOOR MAY BE USED WHERE THE DESIGN LOAD MEETS OR EXCEEDS THE DESIGN LOAD FOR THE BUILDING OPENING.
4. SUPERIMPOSED LOADS ON THE JAMBS FROM THIS DOOR ARE DESIGNATED AS Vx AND Vy HEREIN. CONTRACTORS SHALL HAVE BUILDING ENGINEER VERIFY ADEQUACY OF BUILDING STRUCTURE TO RESIST SUPERIMPOSED LOADS Vx, Vy AND BRACKET LOADS SHOWN.
5. ALL WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS IN ACCORDANCE WITH A.W.S. SPECIFICATIONS, LATEST EDITION. ALL WELDING ELECTRODES SHALL CONFORM TO A.W.S. A5.1 GRADE E-70.
6. DOORS SHALL BE PROVIDED WITH SLIDE LOCK MECHANISMS AT EACH SIDE OF BOTTOM OF DOOR ENGAGING CHANNEL GUIDES IN THE LOCKED POSITION.





STANDARD BUILDING CODE

KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS • PRODUCT TESTING
1200 N. UNIVERSITY DRIVE, SUITE 110 • FORT LAUDERDALE, FL. 33322
TEL: (954) 353-1200 • FAX: (954) 353-3088 • FLORIDA COA #3205
WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: KA@KNEZEVICH.COM


ROLL - UP DOOR

4318 Industrial Lane, Coconut Creek, FL
Douglasville, GA. 30134
(770) 942-8881

| REVISIONS | | |
|---|---|---|
| No. | date | description |
| 1 | 9/17/98 | PER PREV. DRAWING No. 95-432 |
| 2 | 10/28/98 | GENERAL REVISIONS |

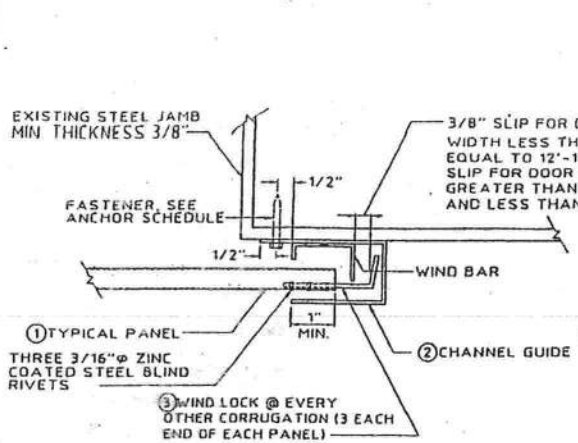
V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FLORIDA REG. NO.
P.E. SEAL

date: 07/17/98
scale: AS NOTED
drawn by: MC
design by: MO
checked by: VJK
drawing no.: 98-176S
sheet 1 of 2

08/31/99 09:35

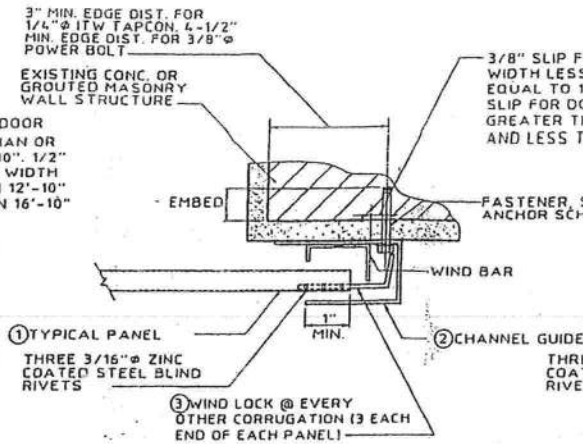
5000 Series Roll up Door

26 ga.



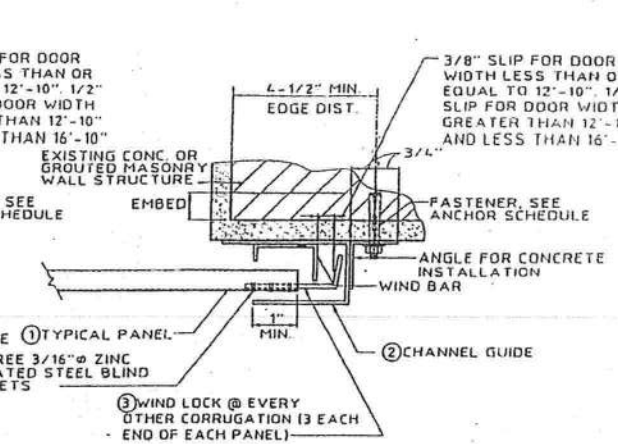

(E1) WINDLOCK GUIDE CONNECTION TO STEEL JAMB DETAIL

SCALE: 3" = 1'-0"




(E2) WINDLOCK GUIDE CONNECTION TO CONCRETE OR GROUTED MASONRY DETAIL (INSIDE GUIDE)

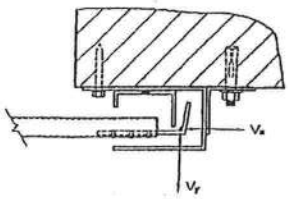
SCALE: 3" = 1'-0"




(E3) WINDLOCK GUIDE CONNECTION TO CONCRETE OR GROUTED MASONRY DETAIL (OUTSIDE GUIDE)

SCALE: 3" = 1'-0"

| DOOR SCHEDULE | | | | ANCHOR SCHEDULE - (FASTENER MAXIMUM SPACING) | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|
| | | | | DETAIL (E1) | DETAIL (E2) | | DETAIL (E2) | | DETAIL (E3) | |
| MAX. DOOR WIDTH | MAX. DESIGN PRESSURE (P.S.F.) | Vx (P.L.F.) | Vy (P.L.F.) | 3/8"ø -12 x 1" HEX WASHER HEAD TYPE B THREAD FORMING ZINC PLATED STEEL SCREW PLUS A 3/8"ø FLAT WASHER | 3/8"ø POWER BOLT ANCHOR WITH MINIMUM 2" EMBEDMENT | | 1/4"ø ITW TAPCON ANCHOR WITH MINIMUM 1-3/4" EMBEDMENT | | 3/8"ø U.S. KINGPIN SLEEVE ANCHOR WITH MINIMUM 1-7/8" EMBEDMENT | |
| | | | | STEEL STRUCTURE | CONCRETE STRUCTURE | GROUTED MASONRY STRUCTURE (SEE NOTE No. 2 ) | CONCRETE STRUCTURE | GROUTED MASONRY STRUCTURE (SEE NOTE No. 2 ) | CONCRETE STRUCTURE | GROUTED MASONRY STRUCTURE (SEE NOTE No. 2 ) |
| ≤ 12'-10" | ± 35.0 | 810 | 223 | 12" | 12" | 12" | 6" | 4" | 12" | 7" |
| | ± 26.0 | 478 | 165 | 14" | 14" | 14" | 11" | 6" | 14" | 11" |
| > 12'-10" | ± 30.3 | 1169 | 255 | 8" | 12" | 9" | 4" | N/A | 8" | 5" |
| ≤ 16'-10" | ± 26.0 | 962 | 218 | 8" | 14" | 11" | 5" | 3" | 10" | 6" |




(E) SUPERIMPOSED LOAD DIAGRAM

SCALE: 3" = 1'-0"

ANCHOR NOTES:

1. EMBEDMENT LENGTH DOES NOT INCLUDE STUCCO FINISH.
2. FOR HOLLOW MASONRY, FILL ALL CELLS WITHIN 8" OF THE ANCHOR W/ 2500 PSI GROUT.
3. ANCHORS SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURERS SPECIFICATIONS.

FOR ONE PERMIT ONLY
VALID ONLY WITH ORIGINAL SIGNATURE & SEAL

JAN 10 2001

STANDARD BUILDING CODE

KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS - PRODUCT TESTING
12180 N. UNIVERSITY DRIVE, SUITE 180 • FORT LAUDERDALE, FL 33322
TEL: (954) 305-2500 • FAX: (954) 382-2660 • FLORIDA CA #2225
WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: KA@KNEZEVICH.COM



ROLL - UP DOOR

Doors & Building Components, Inc.
4318 Industrial Access Rd.
Douglasville, GA 30134
(770) 942-6981

revisions

V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No.
PE 0047908
STATE OF FLORIDA
PROFESSIONAL ENGINEER SEAL

date 01/17/96
scale AS NOTED
drawn by MC
design by MD
checked by VJK

drawing no. 98-176S

sheet 2 of 2

08/31/99 09:38

26 ga.

CONSTRUCTION TESTING CORPORATION
13873 N.W. 19th Ave. Miami, Florida 33054
Phone: (305) 685-6657 Fax: (305) 685-6659

Report No: 95-029

23 August 1995

Test Date: 17 August 1995

# TESTS ON ROLL DOWN DOORS

Client:

## Door & Building Components, Inc.
4310 Industrial Access Road
Douglasville, Georgia 30134

General : Uniform Static Air Pressure Loading, per ASTM E-330

Testing witnessed by:

John W. Knezevich, P.E. Knezevich & Ass.
Don Mills, Product Engineer for D.B.C.I.
Bill Mathews, President J. B. Mathews
George Dotzler, CTC Test Engineer

Statement of Conformance : This is a general statement and does not supersede the specific product descriptions in this report. The specimens are in conformance with drawings provided by the manufacturer, labeled:

## ROLL - UP DOOR
D.B.C.I.

Door & Building Components, Inc.
4310 Industrial Access Road
Douglasville, Georgia 30134

Date : 8 - 23 - 95 Drawing # 95 - 430

Description of Test Specimen: The specimen was a roll down door manufactured by Door & Building Components, Inc. . This door was installed covering a nominal opening 16'-0" wide by 16'-0" high. The door was constructed of painted galvanized steel sheet (mic'd @ 0.0240" w/ galvanized, w/o paint). The specimens channel guides were secured to the steel jamb (1/4" steel plate) of the test chamber with 9/16" hex head self threading 3/8" x 1" screws at 4" on center. These channel guides were as shown in detail 2 "Windlock Channel Guide" of the manufacturers supplied drawings. The left guide fastenings were secured through the 1-1/2" x 1-1/2" angle typically used for concrete installations. The right channel guide did not include this feature (the 1-1/2" x 1-1/2" angle) and the fastenings were secured through the center of the 1" protruding flange as shown detail 2. The door's bottom bar was as shown in detail 5 "Bottom Stiffener & Angle (Type B)" in the manufacturers drawings. Before testing this door was fully functional.

CONSTRUCTION TESTING CORPORATION
13873 N.W. 19th Ave. Miami, Florida 33054
Phone: (305) 685-6657 Fax: (305) 685-6659

## Static Wind Loading / Manner of Testing:

Loads applied to the specimen (10 seconds durations in loading cycles greater than 40 seconds) were at levels specified by the client's Consulting Engineer. Polyethylene film (2 mil) and tape were used to seal air leakage during loads. The film and tape were used in a manner that did not influence the results. Deflection gauges were mounted at each jamb to record deflections along the center line of the door. The deflection readings are as follows:

| | | Left | | Center | | Right | | Net @ Center Line | | |
|---|---|---|---|---|---|---|---|---|---|---|
| Load | Load | Delta | Delta | Delta | Delta | Delta | Delta | Delta | Delta | Percent |
| PSF | In. H2O | .@ Load | .@ Rec'y | .@ Load | .@ Rec'y | .@ Load | .@ Rec'y | .@ Load | .@ Rec'y | Recovery |
| 0.0 | 0.0 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | NA |
| 15.6 | 3.0 | 0.500 | 0.063 | 11.438 | 0.188 | 0.500 | 0.016 | 10.938 | 0.148 | 98.6 |
| 20.8 | 4.0 | 0.531 | 0.063 | 12.063 | 0.125 | 0.516 | 0.156 | 11.539 | 0.016 | 99.9 |
| 26.0 | 5.0 | 0.531 | 0.031 | 13.000 | 0.063 | 0.563 | 0.031 | 12.453 | 0.031 | 99.7 |
| 31.2 | 6.0 | 0.563 | 0.031 | 13.750 | 0.125 | 0.625 | 0.063 | 13.156 | 0.078 | 99.4 |
| 38.5 | 7.4 | 0.625 | 0.125 | 14.938 | 0.313 | 0.750 | 0.063 | 14.250 | 0.219 | 98.5 |
| 45.5 | 8.8 | 0.688 | 0.156 | 16.250 | 0.750 | 0.875 | 0.063 | 15.469 | 0.641 | 95.9 |
| 52.5 | 10.1 | NR | NR | NR | NR | NR | NR | NR | NR | NR |

As loading was initiated it momentarily rose to approximately 55 PSF then imediately reduced to the desired level.

The correct load was held for approximately 4 seconds when the windlocks failed at the center of the right jamb.

## SUMMARY

One roll down door specimen manufactured by DBCI was wind loaded in accordance with **ASTM E-330** under the supervision of the clients consulting engineer. Loads were chosen to prove the adequacy of the product to sustain a design load of 25.5 PSF. In fact the sustained test load of 45.5 PSF proved the product to a design load of 30.3 PSF.

**Respectfully submitted,**

**CONSTRUCTION TESTING CORPORATION.**
**(Dade County Certification # 95-0419.02 )**

*Report by George Dotzler :* George Dotzler

*Test witnessed & report reviewed by John W. Knezevich, P.E. :* _____

15675 N.W. 15th Ave. Miami, Florida 33054
Phone: (305) 685-6657 Fax: (305) 685-6659

## Static Wind Loading / Manner of Testing:

Loads applied to the specimen (10 seconds durations in loading cycles greater than 40 seconds) were at levels specified by the client's Consulting Engineer. Polyethylene film (2 mil) and tape were used to seal air leakage during loads. The film and tape were used in a manner that did not influence the results. Deflection gauges were mounted at each jamb to record deflections along the center line of the door. The deflection readings are as follows:

| | | Left | | Center | | Right | | Net @ Center Line | | |
|---|---|---|---|---|---|---|---|---|---|---|
| Load | Load | Delta | Delta | Delta | Delta | Delta | Delta | Delta | Delta | Percent |
| PSF | In. H2O | @ Load | @ Rec'y | @ Load | @ Rec'y | @ Load | @ Rec'y | @ Load | @ Rec'y | Recovery |
| 0.0 | 0.0 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | 0.000 | NA |
| 15.6 | 3.0 | 0.313 | 0.000 | 7.625 | 0.094 | 0.406 | 0.000 | 7.266 | 0.094 | 98.7 |
| 20.8 | 4.0 | 0.313 | 0.016 | 8.063 | 0.094 | 0.438 | 0.000 | 7.688 | 0.086 | 98.9 |
| 26.0 | 5.0 | 0.313 | 0.016 | 8.625 | 0.188 | 0.500 | 0.000 | 8.219 | 0.180 | 97.8 |
| 31.2 | 6.0 | 0.375 | 0.016 | 9.125 | 0.219 | 0.531 | 0.000 | 8.672 | 0.211 | 97.6 |
| 38.5 | 7.4 | 0.375 | 0.016 | 9.750 | 0.125 | 0.594 | 0.031 | 9.266 | 0.102 | 98.9 |
| 45.5 | 8.8 | 0.406 | 0.016 | 10.531 | 0.172 | 0.688 | 0.063 | 9.984 | 0.133 | 98.7 |
| 52.5 | 10.1 | 0.469 | 0.031 | 11.266 | 0.563 | 0.813 | 0.188 | 10.625 | 0.453 | 95.7 |
| 61.1 | 11.8 | 0.938 | NR | 14.875 | NR | 1.250 | NR | 13.781 | NR | NR |

Load was held for 9 seconds at this level when the wind locks failed at the left center jamb.

Phone: (305) 685-6657 Fax: (305) 685-6659

**Impact Manner of Testing:** In accordance with Dade County Test Protocol PA 201-94 (rev 2) IMPACT TEST PROCEDURE.

This testing was performed as an experiment for the research and development of this product for Dade County Product Approval. One door assembly was tested, this was installed as previously described. It was impacted twice with a 9.0 lb. 2x4 of No. 2 **Southern Pine** in locations as indicated in the document "Answers to questions most frequently asked about the new impact test" (by Jaime Gascon of DCPC) and a third time in a location specified by the clients engineer.

## Impact Test Results

| Shot | Impact Location | Impact Coordinates Rt(in), Up(in) | Firing Pressure in Hg | Impact Velocity Ft / Sec | Results |
|---|---|---|---|---|---|
| 1 | Right Bottom Corner | 140, 12 | 9.88 | 49.6 | No Penetration |
| 2 | Panel center @ Midspan | 72, 33.5 | 10.00 | 50.2 | No Penetration |
| 3 | Panel seam @ Midspan | 73, 42.5 | 10.00 | 49.5 | No Penetration |

## SUMMARY

One roll down door specimen manufactured by DBCI was wind loaded in accordance with **ASTM E-330** under the supervision of the clients consulting engineer. Loads were chosen to prove the adequacy of the product to sustain a design load of 25.5 PSF. In fact the product sustained a test load of 52.5 PSF adequate to prove a design load of 35 PSF.

Following wind loading undamaged portions of the specimen were subjected to three impacts in accordance with **Dade County Test Protocol PA 201-94 (ver 2.0)**. None of these impacts resulted in the penetration of the specimen.

**Respectfully submitted,**

**CONSTRUCTION TESTING CORPORATION.**
**(Dade County Certification # 95-0419.02 )**

*Report by George Dotzler :* 8-23-95

*Test witnessed & report reviewed by John W. Knezevich, P.E. :*

# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
 Document ID:1U57487-Z0114141509

| | |
|---|---|
| Truss Fabricator: | Anderson Truss Company |
| Job Identification: | 10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** |
| Truss Count: | 13 |
| Model Code: | Florida Building Code 2007 and 2009 Supplement |
| Truss Criteria: | FBC2007Com/TPI-2002(STD) |
| Engineering Software: | Alpine Software,Version 9.05. |
| Structural Engineer of Record: | The identity of the structural EOR did not exist as of |
| Address: | the seal date per section 61G15-31.003(5a) of the FAC |
| Minimum Design Loads: | Roof - 40.0 PSF @ 1.25 Duration |
| | Floor - N/A |
| | Wind - 110 MPH ASCE 7-05 -Closed |

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Details: -

| # | Ref Description | Drawing# | Date |
|---|---|---|---|
| 1 | 20014--H9A1 | 10257006 | 09/14/10 |
| 2 | 20015--H9A | 10257001 | 09/14/10 |
| 3 | 20016--H11A | 10257002 | 09/14/10 |
| 4 | 20017--H11A1 | 10257007 | 09/14/10 |
| 5 | 20018--H7A1 | 10257010 | 09/14/10 |
| 6 | 20019--H7A | 10257011 | 09/14/10 |
| 7 | 20020--AV | 10257012 | 09/14/10 |
| 8 | 20021--H13AV | 10257003 | 09/14/10 |
| 9 | 20022--EJ7 | 10257008 | 09/14/10 |
| 10 | 20023--CJ5 | 10257004 | 09/14/10 |
| 11 | 20024--CJ3 | 10257005 | 09/14/10 |
| 12 | 20025--CJ1 | 10257009 | 09/14/10 |
| 13 | 20026--HJ7 | 10257013 | 09/14/10 |

Seal Date: 09/14/2010

-Truss Design Engineer-
Walter P. Finn
Florida License Number: 22839
1950 Marley Drive
Haines City, FL 33844

COLUMBIA COUNTY BUILDING DEPARTMENT
Received for FILE COPY
Code Compliance
PLANS EXAMINER

COLUMBIA COUNTY BUILDING DEPARTMENT
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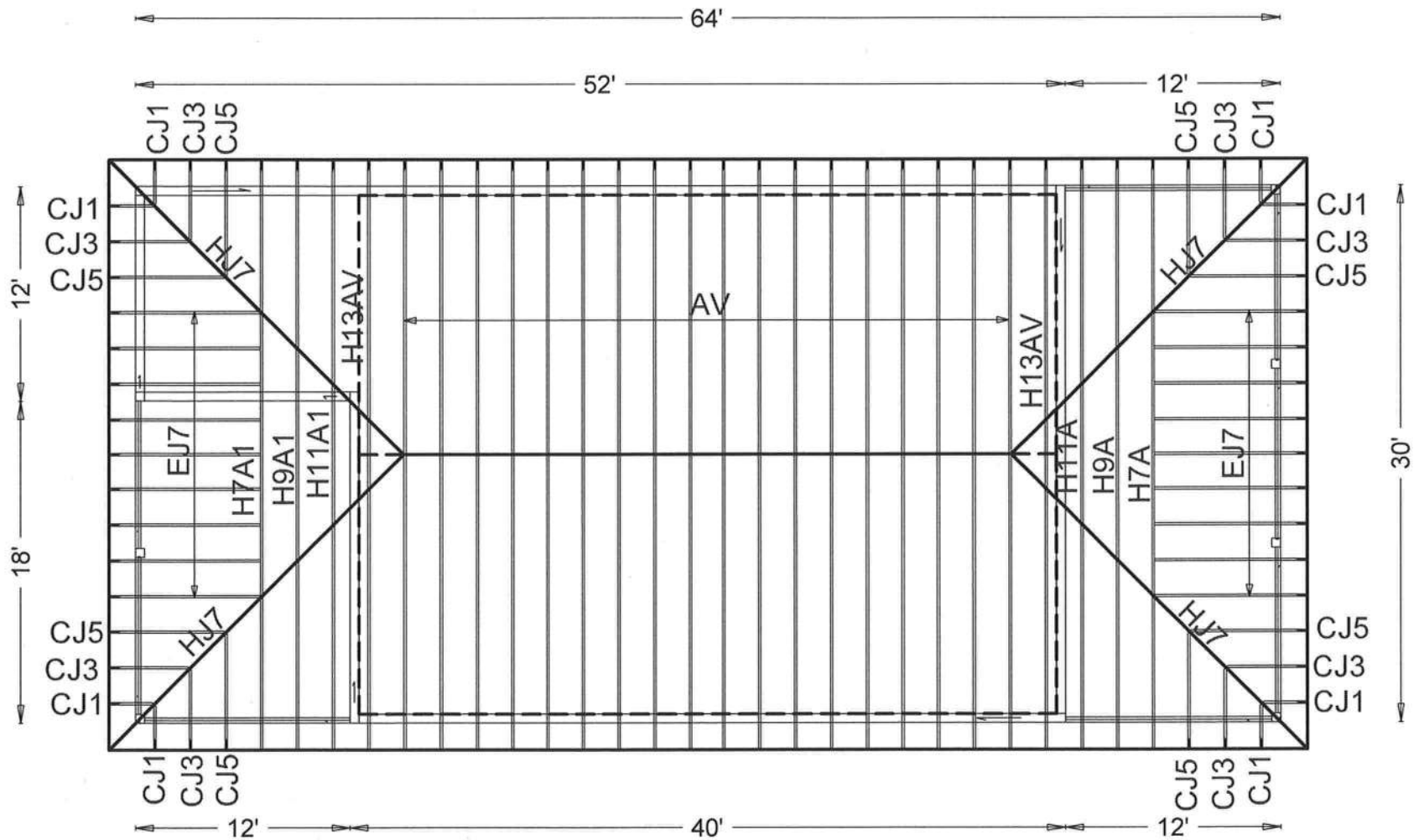
Code Compliance
PLANS EXAMINER

Roof Plane Sheathing Area = 2472 sq. ft




WESLEY GAMBLE/ GARAGE

JOB DESCRIPTION:: Fill in later
/: WESLEY GAMBLE/GARAGE

JOB NO:
10-182

PAGE NO:
1 OF 1

(10-182--Fill in later WESLEY GAMBLE/GARAGE --, ** - H9A1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

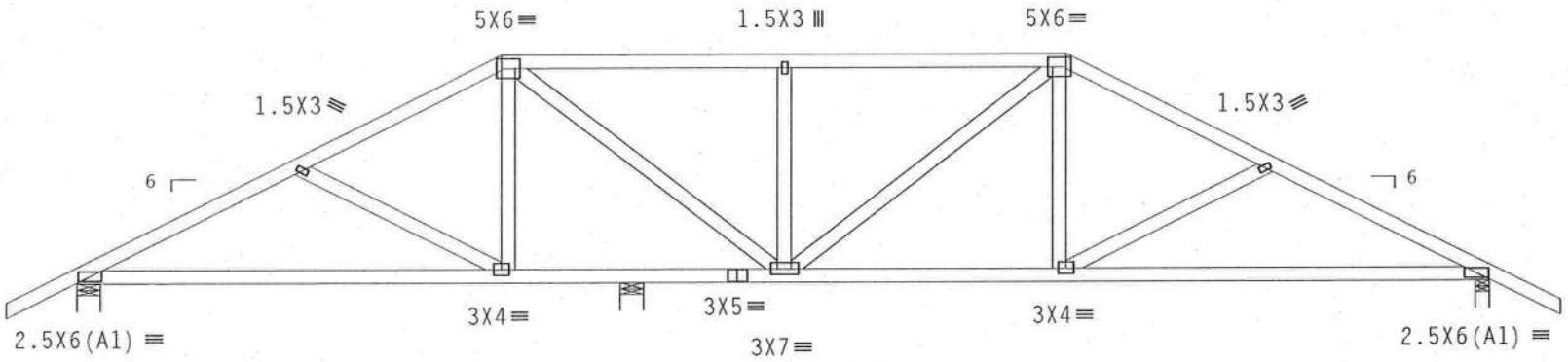
Deflection meets L/240 live and L/180 total load.

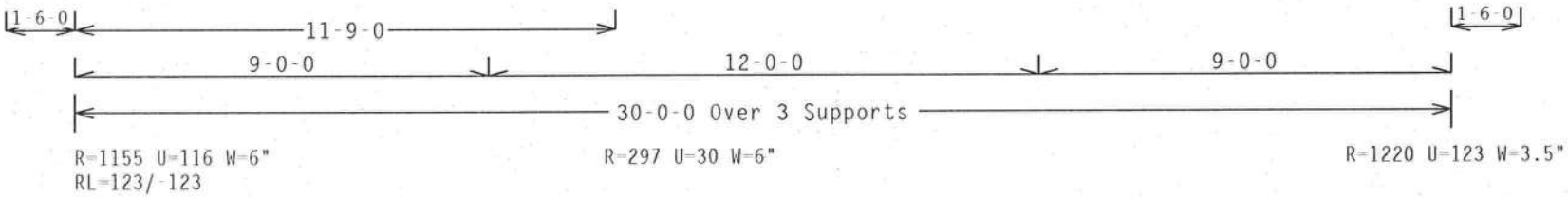
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.




R=1155 U=116 W=6"
RL=123/-123

R=297 U=30 W=6"

R=1220 U=123 W=3.5"

Design Crit: FBC2007Com/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

PLT TYP. Wave

9.05.03.0 I

QTY:1 FL/-/4/-/-/R/-

Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

**WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET!
**IMPORTANT** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WTCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This job's general notes page; ITW-BCG: www.itwbcg.com; TPI: www.tpinst.org; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

| | | | |
|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20014 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257006 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145242 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182 Fill in later WESLEY GAMBLE/GARAGE -- , ** H9A)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

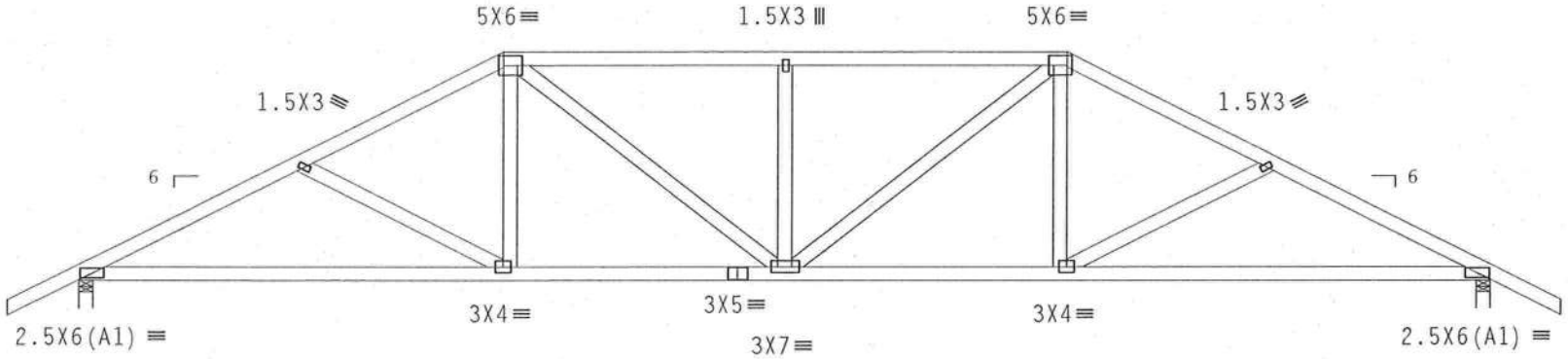
Deflection meets L/240 live and L/180 total load.

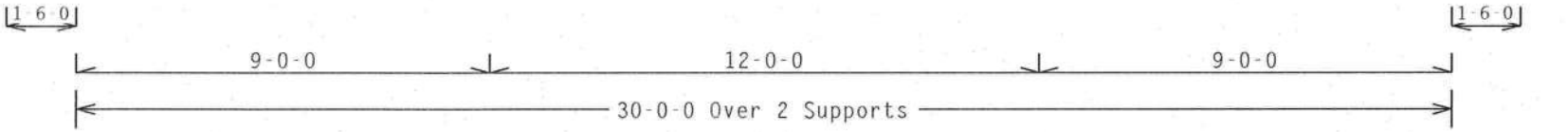
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.




R=1336 U=135 W=3.5"
RL=123/-123

R=1336 U=135 W=3.5"

Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03 QTY:1 FL/-/4/-/-/R/- Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

| | | | |
|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20015 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257001 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP * |
| TOT.LD. | 40.0 PSF | SEQN- | 145253 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE --, ** - HIIA)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

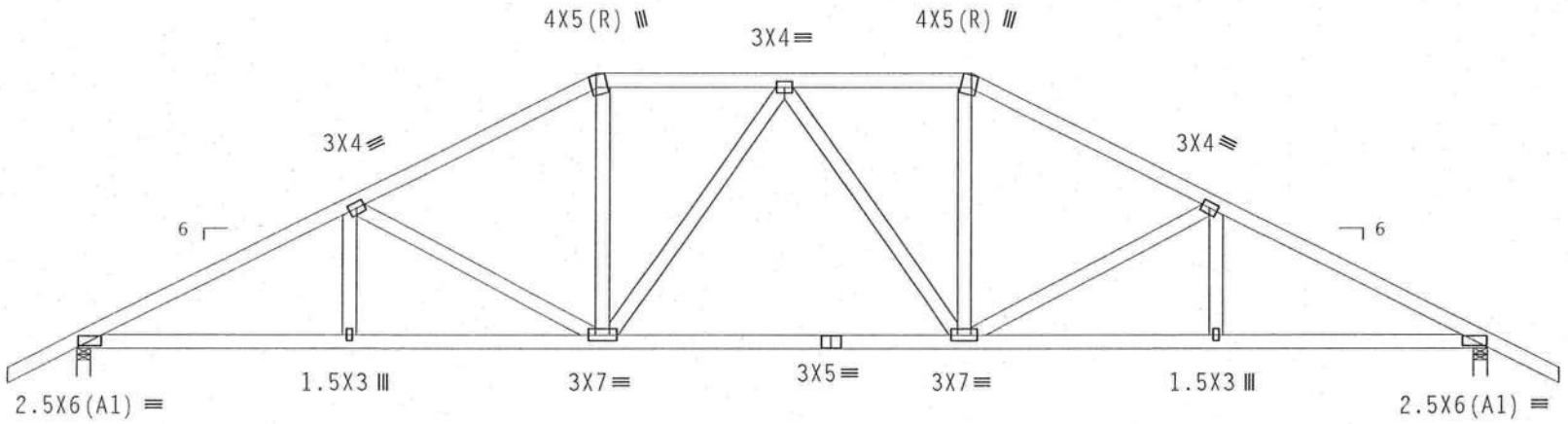
Deflection meets L/240 live and L/180 total load.

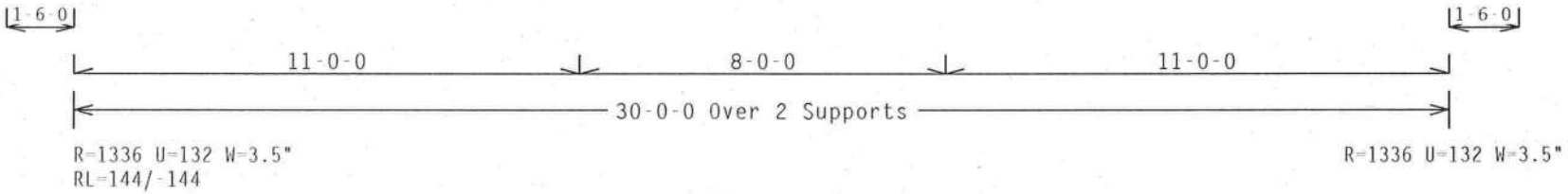
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.




Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.00 QTY:1 FL/-/4/-/-/R/- Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22889 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

| | | | |
|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20016 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257002 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP * |
| TOT.LD. | 40.0 PSF | SEQN- | 145258 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--FIT in later WESLEY GAMBLE/GARAGE -- , ** -- H11A1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

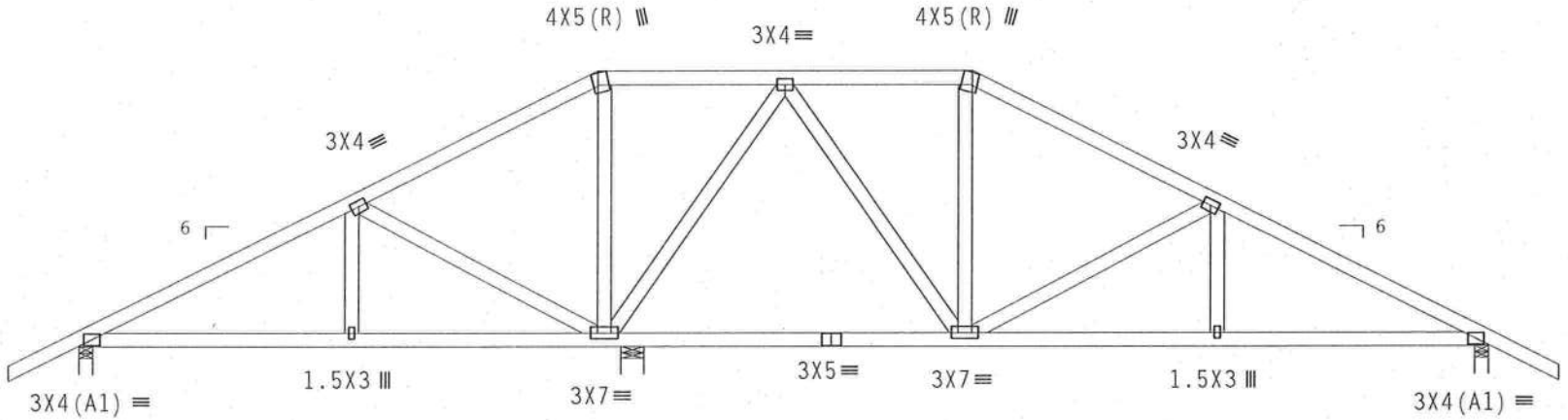
Deflection meets L/240 live and L/180 total load.

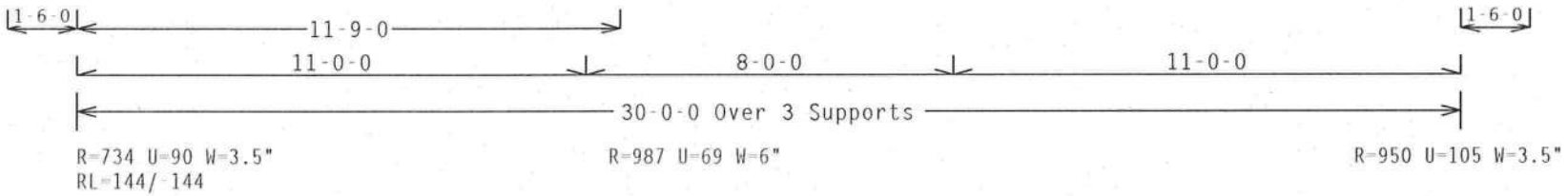
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.




R=734 U=90 W=3.5"
RL=144/-144

R=987 U=69 W=6"

R=950 U=105 W=3.5"

Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave | FT/RT=10%(0%)/0(0) | 9.05.03.03 | QTY:1 | FL/-/4/-/-/R/- | Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

| | | | |
|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20017 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257007 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145245 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE - - , ** - H7A1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

(A) 1x4 #3SRB SPF-S or better "T" brace. 80% length of web member. Attach with 8d Box or Gun (0.113"x2.5",min.)nails @ 6" OC.

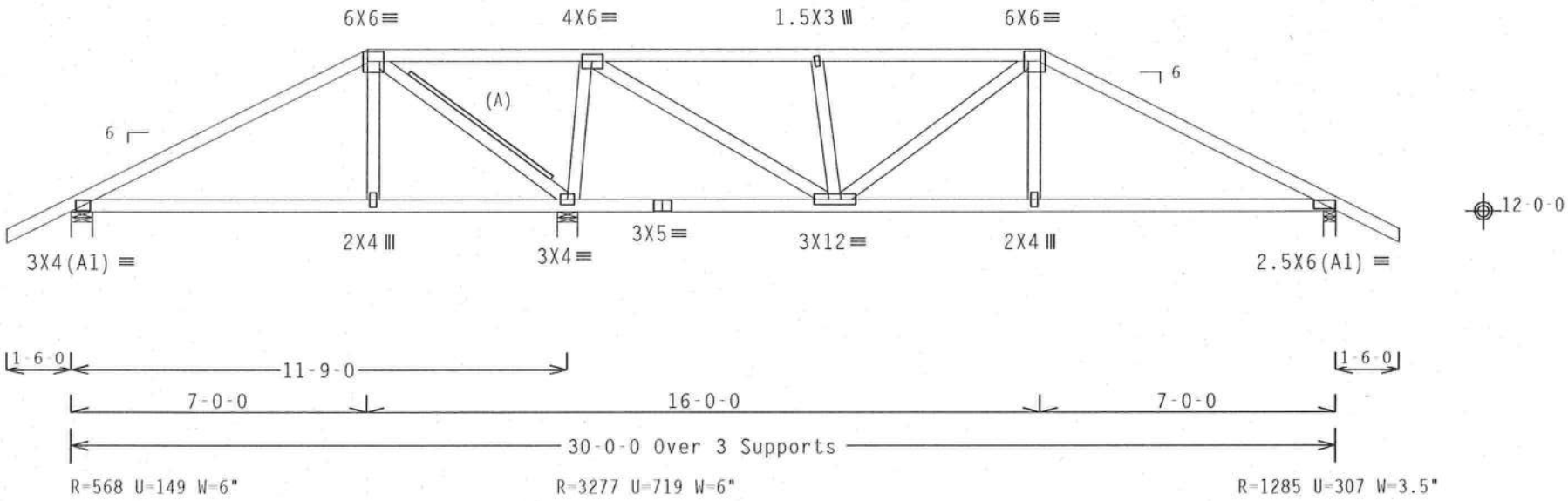
#1 hip supports 7-0-0 jacks with no webs.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.




Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave | FT/RT=10%(0%)/0(0) | 9.05.03.03 | QTY:1 | FL/-/4/-/-/R/- | Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

| | | | |
|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20018 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257010 |
| BC LL | 0.0 PSF | | HC-ENG JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145237 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** -- H7A)

Top chord 2x4 SP #2 Dense
Bot chord 2x6 SP #2
Webs 2x4 SP #3
:Rt Splice Block 2x4 SP #3:

Roof overhang supports 2.00 psf soffit load.

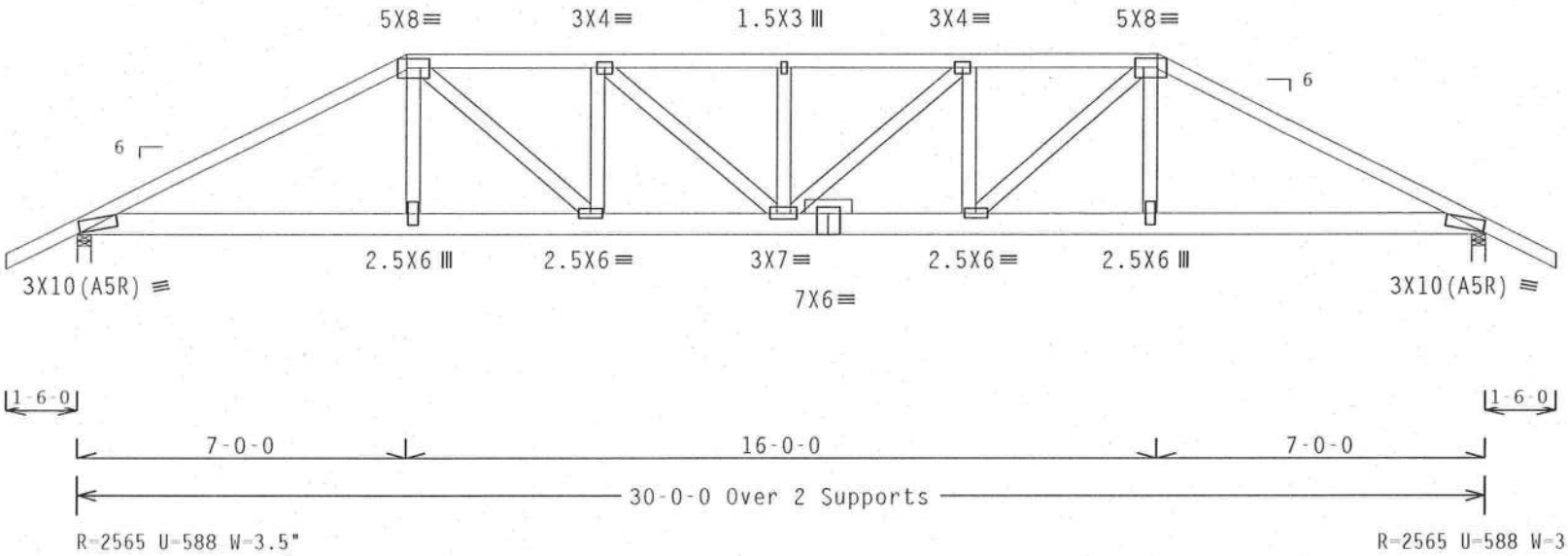
#1 hip supports 7-0-0 jacks with no webs.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.




Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.031 QTY:1 FL/-/4/-/-/R/- Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

**WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET!
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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 10

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|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20019 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257011 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145248 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** - AV)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Special loads
------(Lumber Dur.Fac.=1.25 / Plate Dur.Fac.=1.25)
TC- From 62 plf at -1.50 to 62 plf at 15.00
TC- From 62 plf at 15.00 to 62 plf at 31.50
BC- From 4 plf at -1.50 to 4 plf at 0.00
BC- From 21 plf at 0.00 to 21 plf at 15.00
BC- From 21 plf at 15.00 to 21 plf at 30.00
BC- From 4 plf at 30.00 to 4 plf at 31.50
BC- 100.00 lb Conc. Load at 2.50,27.50

Wind reactions based on MWFRS pressures.

110 mph wind, 15.72 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

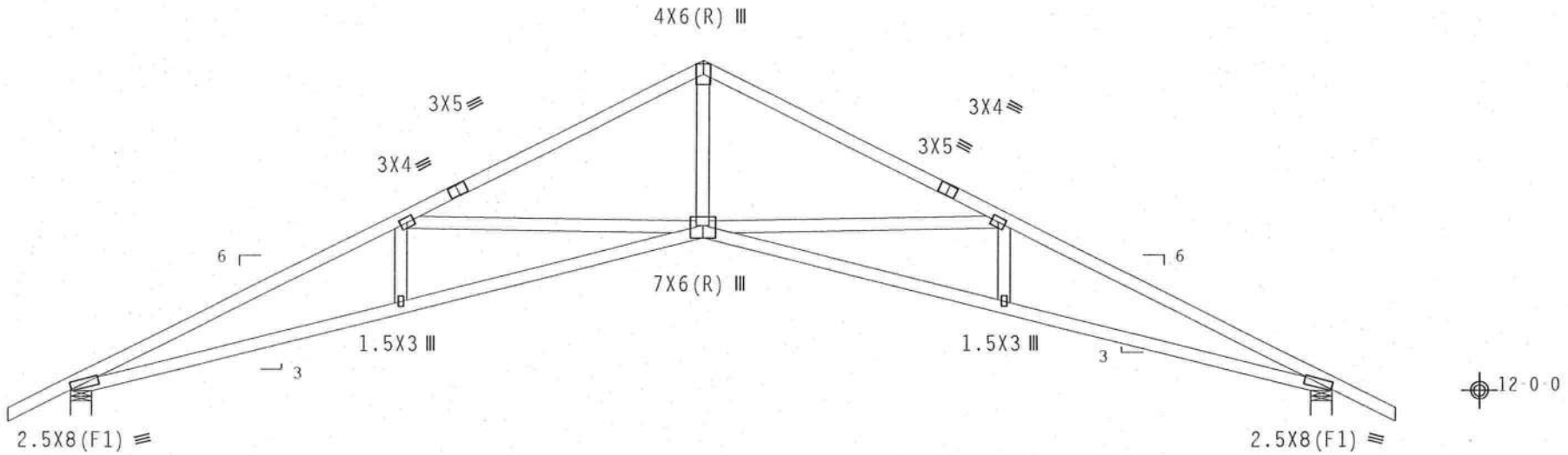
Roof overhang supports 2.00 psf soffit load.

Calculated horizontal deflection is 0.23" due to live load and 0.23" due to dead load.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

MWFRS loads based on trusses located at least 7.86 ft. from roof edge.




Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.031 QTY:18 FL/-/4/-/-/R/- Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 10

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|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20020 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257012 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145281 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** - H13AV)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

Calculated horizontal deflection is 0.22" due to live load and 0.23" due to dead load.

Bottom chord checked for 10.00 psf non-concurrent live load.

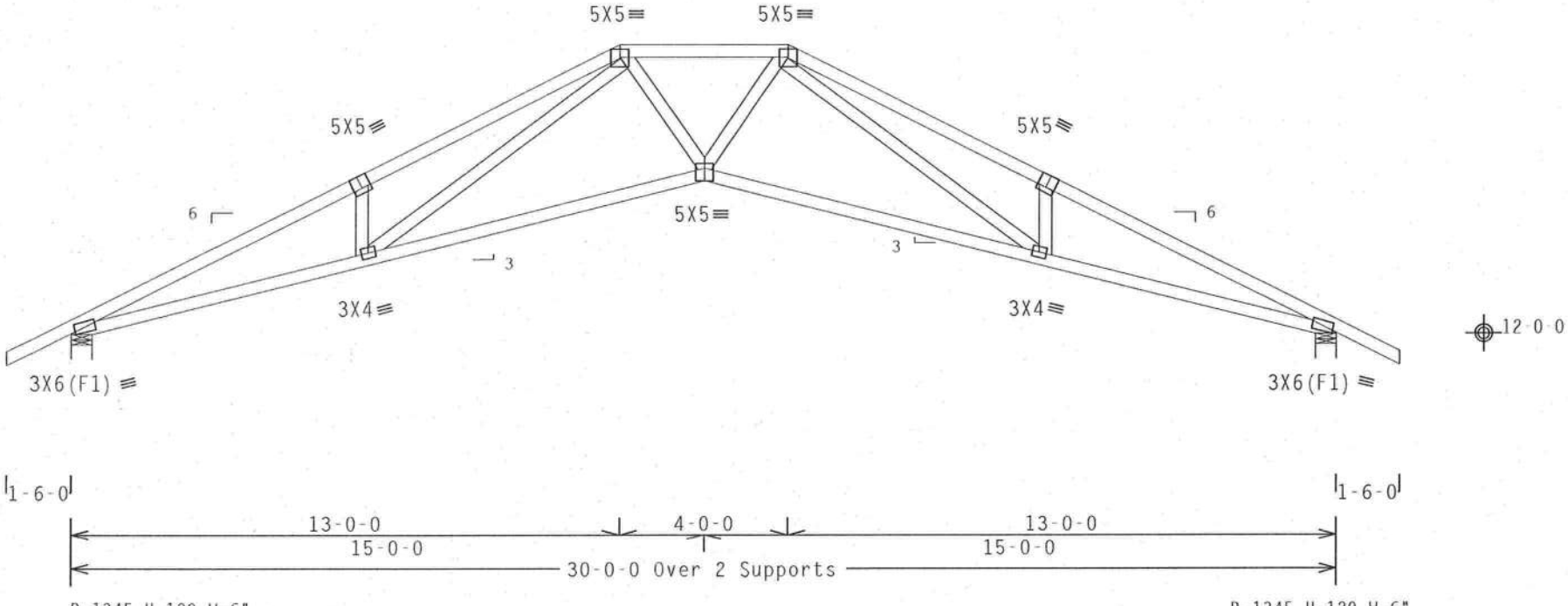
MWFRS loads based on trusses located at least 7.61 ft. from roof edge.

110 mph wind, 15.22 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/ )=0.18

Wind reactions based on MWFRS pressures.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.




Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.03 QTY:2 FL/-/4/-/-/R/- Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22823 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

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|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20021 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257003 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP * |
| TOT.LD. | 40.0 PSF | SEQN- | 145270 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** - EJ/)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense

Roof overhang supports 2.00 psf soffit load.

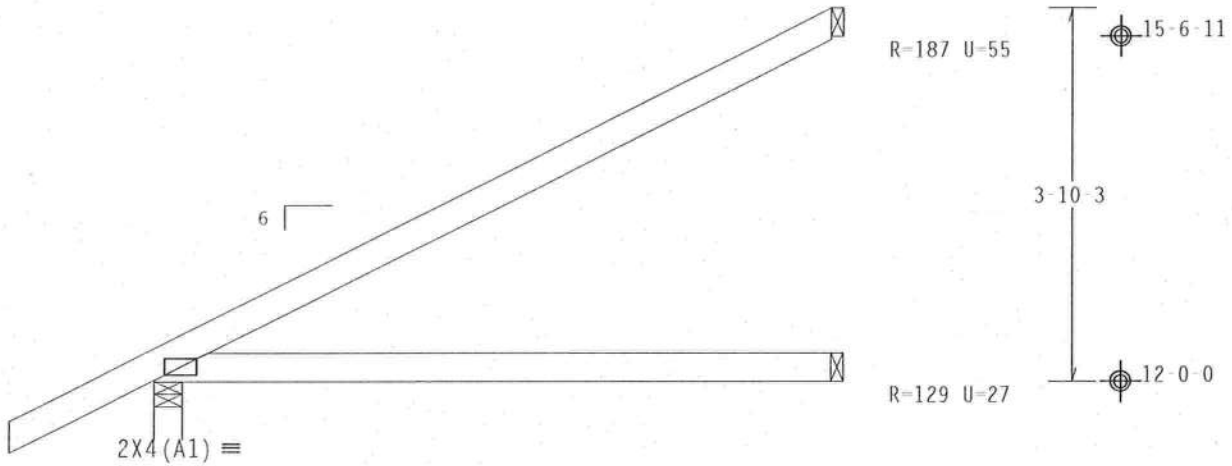
Bottom chord checked for 10.00 psf non-concurrent live load.

Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Bot chord.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, PART._ENC. bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.55

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.





R=408 U=63 W=3.5"
RL=98/-37

Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0 QTY:18 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

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|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20022 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257008 |
| BC LL | 0.0 PSF | | HC-ENG JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145229 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** - CJ5)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense

Roof overhang supports 2.00 psf soffit load.

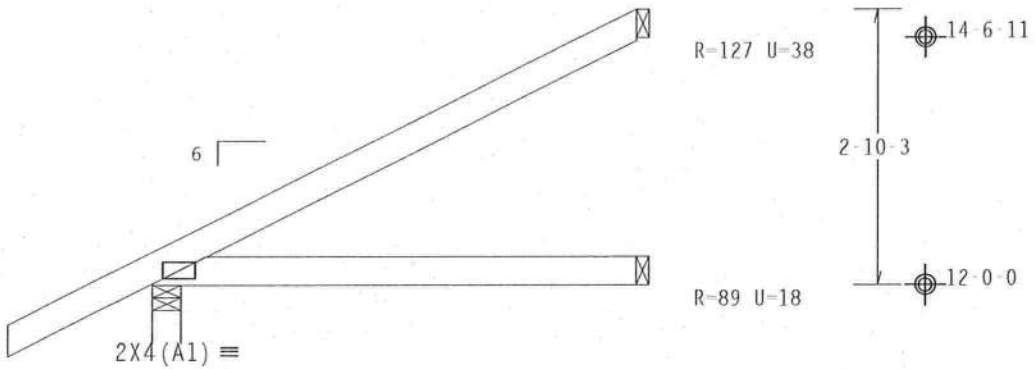
Bottom chord checked for 10.00 psf non-concurrent live load.

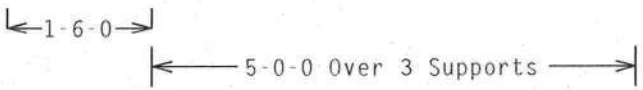
Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Bot chord.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, PART._ENC. bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.55

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.




R=331 U=52 W=3.5"
RL=75/-32

Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0 QTY:8 FL/-/4/-/-/R/- Scale =.5"/Ft.

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Haines City, FL 33844
FL COA #0 278

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Sep 14 '10

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| TC LL | 20.0 PSF | REF | R487-- 20023 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257004 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP * |
| TOT.LD. | 40.0 PSF | SEQN- | 145226 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** -- CJ3)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense

Roof overhang supports 2.00 psf soffit load.

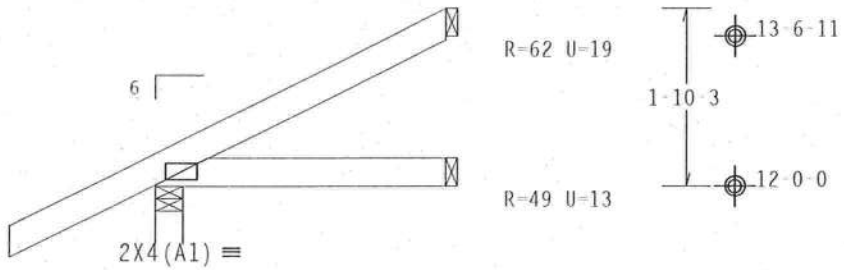
Bottom chord checked for 10.00 psf non concurrent live load.

Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Bot chord.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, PART._ENC. bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.55

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.





R=262 U=42 W=3.5"
RL=52/-27

Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0 QTY:8 FL/-/4/-/-/R/- Scale =.5"/Ft.

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Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

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|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20024 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257005 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP * |
| TOT.LD. | 40.0 PSF | SEQN- | 145223 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182 Fill in later WESLEY GAMBLE/GARAGE -- , ** CJ1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense

Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non concurrent live load.

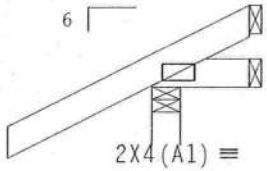
Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Bot chord.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, PART._ENC. bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.55

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.

R=-56 Rw=26 U=42




12-6-11
12-0-0

0-10-3

R=5 Rw=18 U=17

1-6-0
1-0-0 Over 3 Supports

R=254 U=54 W=3.5"
RL=28/-22

Design Crit: FBC2007Com/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.02 1 QTY:8 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

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WALTER P. FINN LICENSE No. 22889 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 10

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|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20025 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257009 |
| BC LL | 0.0 PSF | | HC-ENG JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145220 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |

(10-182--Fill in later WESLEY GAMBLE/GARAGE -- , ** - HJ7)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

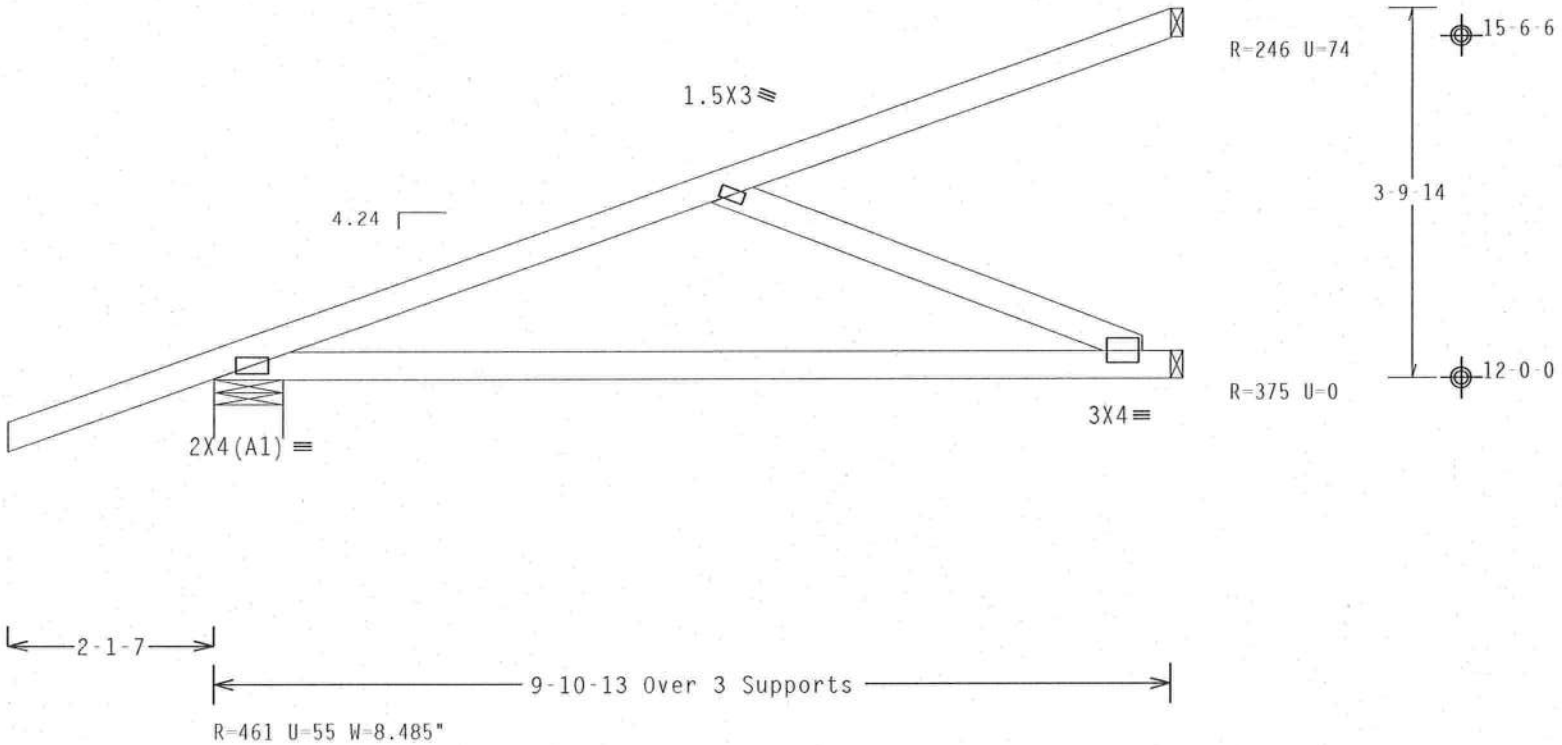
Hipjack supports 7-0-0 setback jacks with no webs.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Provide ( 2 ) 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide ( 3 ) 16d common nails(0.162"x3.5"), toe nailed at Bot chord.




Design Crit: FBC2007Com/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

PLT TYP. Wave | 9.05.03.0 | QTY:4 | FL/-/4/-/-/R/- | Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSED No.22833 STATE OF FLORIDA PROFESSIONAL ENGINEER
Sep 14 '10

| | | | |
|---|---|---|---|
| TC LL | 20.0 PSF | REF | R487-- 20026 |
| TC DL | 10.0 PSF | DATE | 09/14/10 |
| BC DL | 10.0 PSF | DRW | HCUSR487 10257013 |
| BC LL | 0.0 PSF | HC-ENG | JB/AP |
| TOT.LD. | 40.0 PSF | SEQN- | 145234 |
| DUR.FAC. | 1.25 | | |
| SPACING | 24.0" | JREF- | 1U57487_Z01 |