

**Columbia County Property Appraiser**

Jeff Hampton

**2022 Working Values**

updated: 1/20/2022

Parcel: &lt;&lt; 10-3S-16-02055-033 (6763) &gt;&gt;

Aerial Viewer Pictometry Google Maps

**Owner & Property Info**

Result: 1 of 1

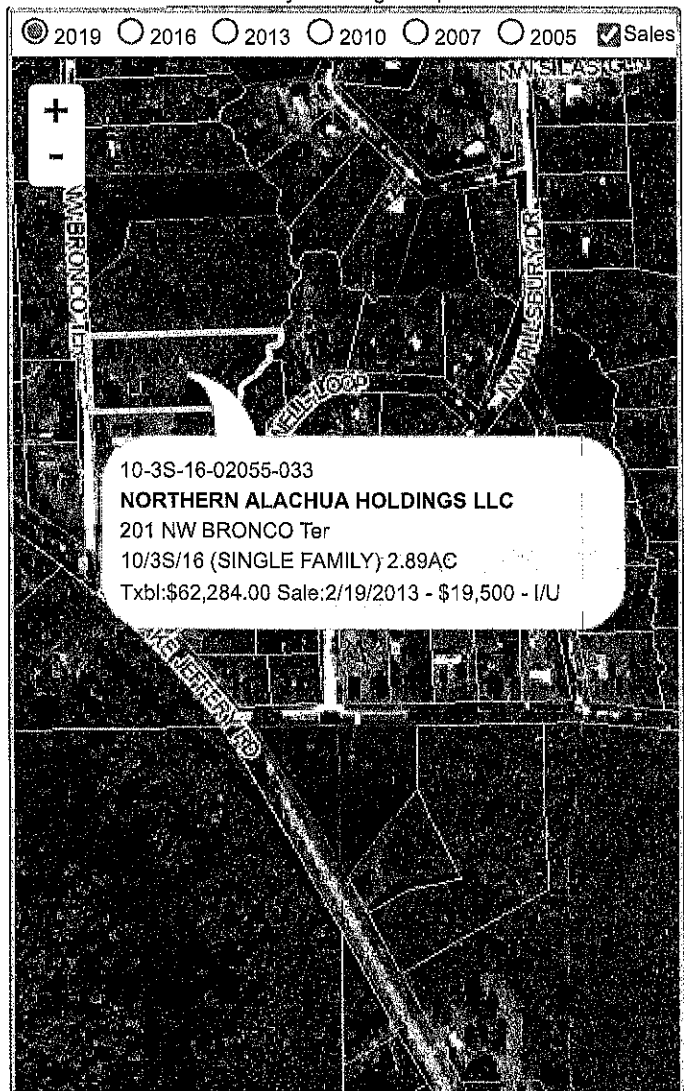
|              |   |              |          |
|--------------|---|--------------|----------|
| Owner        | <b>NORTHERN ALACHUA HOLDINGS LLC</b><br>20638 NW 78 AVE<br>ALACHUA, FL 32615  |              |          |
| Site         | 201 NW BRONCO Ter, LAKE CITY  |              |          |
| Description* | LOT 33 PARNELL HILLS S/D UNIT 1. ORB 457-555,473-693, 745-580,763-2170, (DC 1097-343 NANCY JO LOVETTE), TD 1249- 1930, ORB 1279-1432, |              |          |
| Area         | 2.89 AC   | S/T/R        | 10-3S-16 |
| Use Code**   | SINGLE FAMILY (0100)  | Tax District | 3        |

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning &amp; Zoning office for specific zoning information.

**Property & Assessment Values**

| 2021 Certified Values |   | 2022 Working Values |   |
|-----------------------|---|---------------------|---|
| Mkt Land              | \$17,340  | Mkt Land            | \$17,340  |
| Ag Land               | \$0   | Ag Land             | \$0   |
| Building              | \$39,044  | Building            | \$39,044  |
| XFOB                  | \$5,900   | XFOB                | \$5,900   |
| Just                  | \$62,284  | Just                | \$62,284  |
| Class                 | \$0   | Class               | \$0   |
| Appraised             | \$62,284  | Appraised           | \$62,284  |
| SOH Cap [?]           | \$0   | SOH Cap [?]         | \$0   |
| Assessed              | \$62,284  | Assessed            | \$62,284  |
| Exempt                | \$0   | Exempt              | \$0   |
| Total Taxable         | county:\$62,284<br>city:\$0<br>other:\$0<br>school:\$62,284 | Total Taxable       | county:\$62,284<br>city:\$0<br>other:\$0<br>school:\$62,284 |

**▼ Sales History**

| Sale Date | Sale Price | Book/Page | Deed | V/I | Qualification (Codes) | RCode                         |
|-----------|------------|-----------|------|-----|-----------------------|-------------------------------|
| 2/19/2013 | \$19,500   | 1249/1930 | TD   | I   | U                     | 18                            |
| 8/19/1992 | \$0        | 0763/2170 | WD   | V   | U                     | 02 (Multi-Parcel Sale) - show |

**▼ Building Characteristics**

| Bldg Sketch | Description*      | Year Blt | Base SF | Actual SF | Bldg Value |
|-------------|-------------------|----------|---------|-----------|------------|
| Sketch      | SINGLE FAM (0100) | 1992     | 810     | 890       | \$39,044   |

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

**▼ Extra Features & Out Buildings (Codes)**

| Code | Desc              | Year Blt | Value      | Units | Dims    |
|------|-------------------|----------|------------|-------|---------|
| 0020 | BARN,FR           | 1993     | \$5,000.00 | 1.00  | 24 x 30 |
| 0166 | CONC,PAVMT        | 1993     | \$100.00   | 1.00  | 0 x 0   |
| 0294 | SHED WOOD/VINYL   | 2018     | \$400.00   | 1.00  | 0 x 0   |
| 0252 | LEAN-TO W/O FLOOR | 2018     | \$400.00   | 1.00  | 0 x 0   |

**▼ Land Breakdown**