

SHEET LIST - CONSTRUCTION	
SHEET NUMBER	SHEET NAME
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E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION
F-1.1	MONOSLAB FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
H-1	FIRST FLOOR ELEC & HVAC
S-1	MONOSLAB WALL SECTIONS
S-2	COLUMN DETAILS
S-3	FL-COLUMN HOLD DOWN DETAILS
S-4	FL- HOLD DOWN DETAILS
S-5	MONOSLAB GARAGE DOOR FRAMING



1 ORTHOGRAPHIC

GENERAL NOTES


- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE-68"
DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AN LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- FRAMER TO INSTALL DRYWALL CLIPS IN LIEU OF DEADWOOD ON ALL WALLS
- PORCH, STOOP, & DECK HARDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

Revision Schedule	
Revision Number	Revision Description

AREAS:	
FIRST FLOOR HEATED GARAGE	2,576 SF
FRONT PORCH	504 SF
TOTAL UNDER ROOF	126 SF
PATIO	3,206 SF
TOTAL UNCOVERED	20 SF
	20 SF

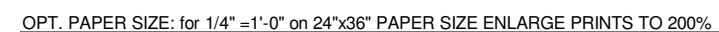
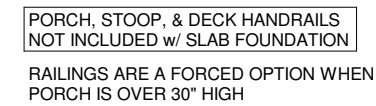
THE: BRIDGEWATER 'A'	FOR: ROB FALLER
	COLUMBIA, FL
OFFICE: VALDOSTA	SOLD BY: BD


JOB# 66-21-047	2x4 EXTERIOR WALLS
FOUNDATION TYPE: MONOSLAB	
DRAWN BY: J. GENCHUR	CHECKED BY: B. TOOMBS
PRINT DATE: 10/26/2021 8:05:49 AM	

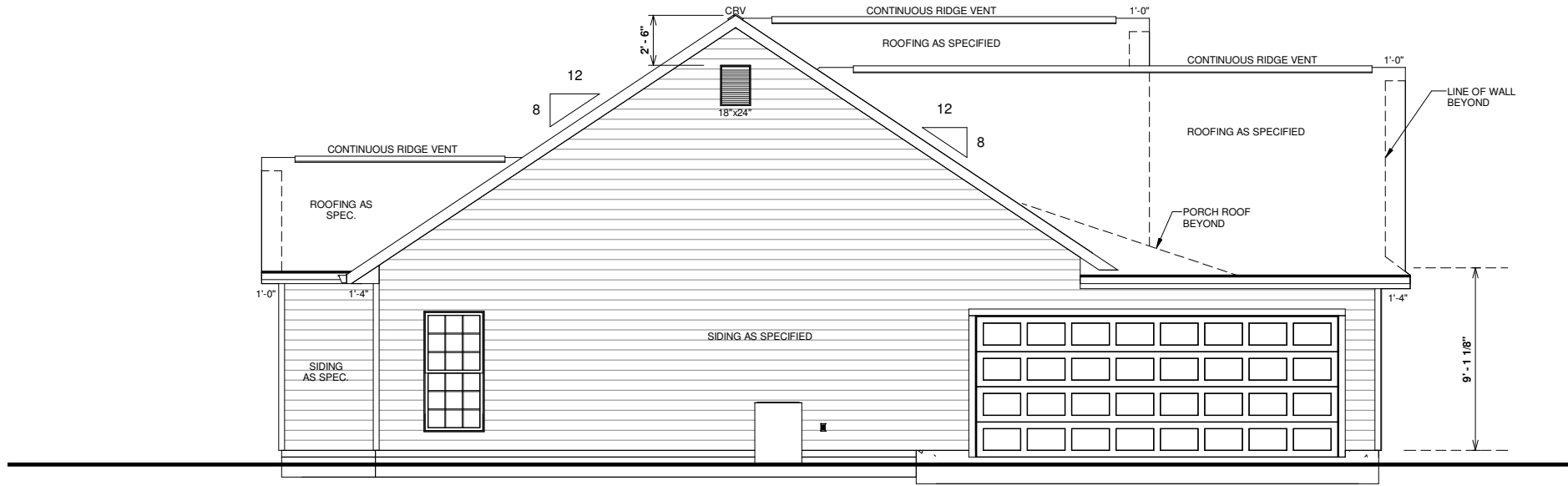
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SHEET NUMBER: **E-0**

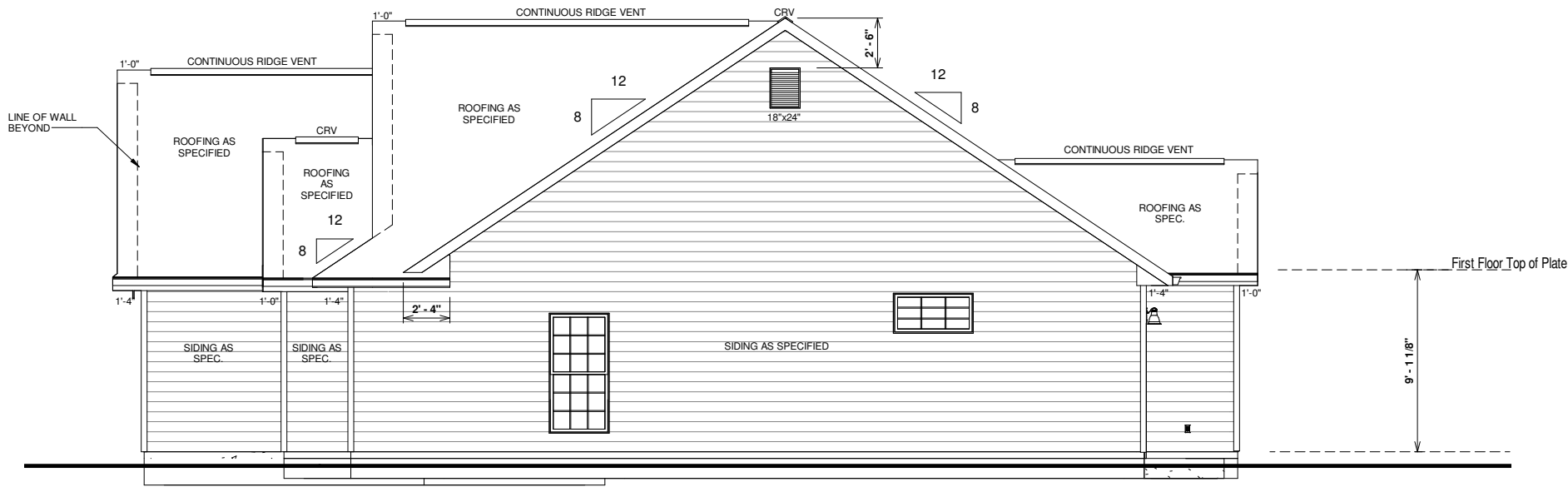
COVER SHEET



=	SHEET NUMBER: <div>E-1</div>		PROPERTY OF: <div></div> <div>© COPYRIGHT - 2021</div>		DRAWN BY: J. GENCHUR		JOB# 66-21-047	THE: BRIDGEWATER 'A'	AREAS:		Revision Schedule		
	SCALE: 1/8" = 1'-0"		© COPYRIGHT - 2021		CHECKED BY: B. TOOMBS		2x4 EXTERIOR WALLS	FOR:	FIRST FLOOR HEATED	2,576 SF	Revision Number	Revision Description	Revision Date
					PRINT DATE: 10/26/2021 8:05:50 AM		FOUNDATION TYPE: MONOSLAB		GARAGE	504 SF			
									FRONT PORCH	126 SF			
									TOTAL UNDER ROOF	3,206 SF			
									PATIO	20 SF			
						TOTAL UNCOVERED	20 SF						
FRONT & REAR ELEVATIONS													



3 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

PORCH, STOOP, & DECK HANDRAILS
NOT INCLUDED w/ SLAB FOUNDATION

RAILINGS ARE A FORCED OPTION WHEN
PORCH IS OVER 30" HIGH

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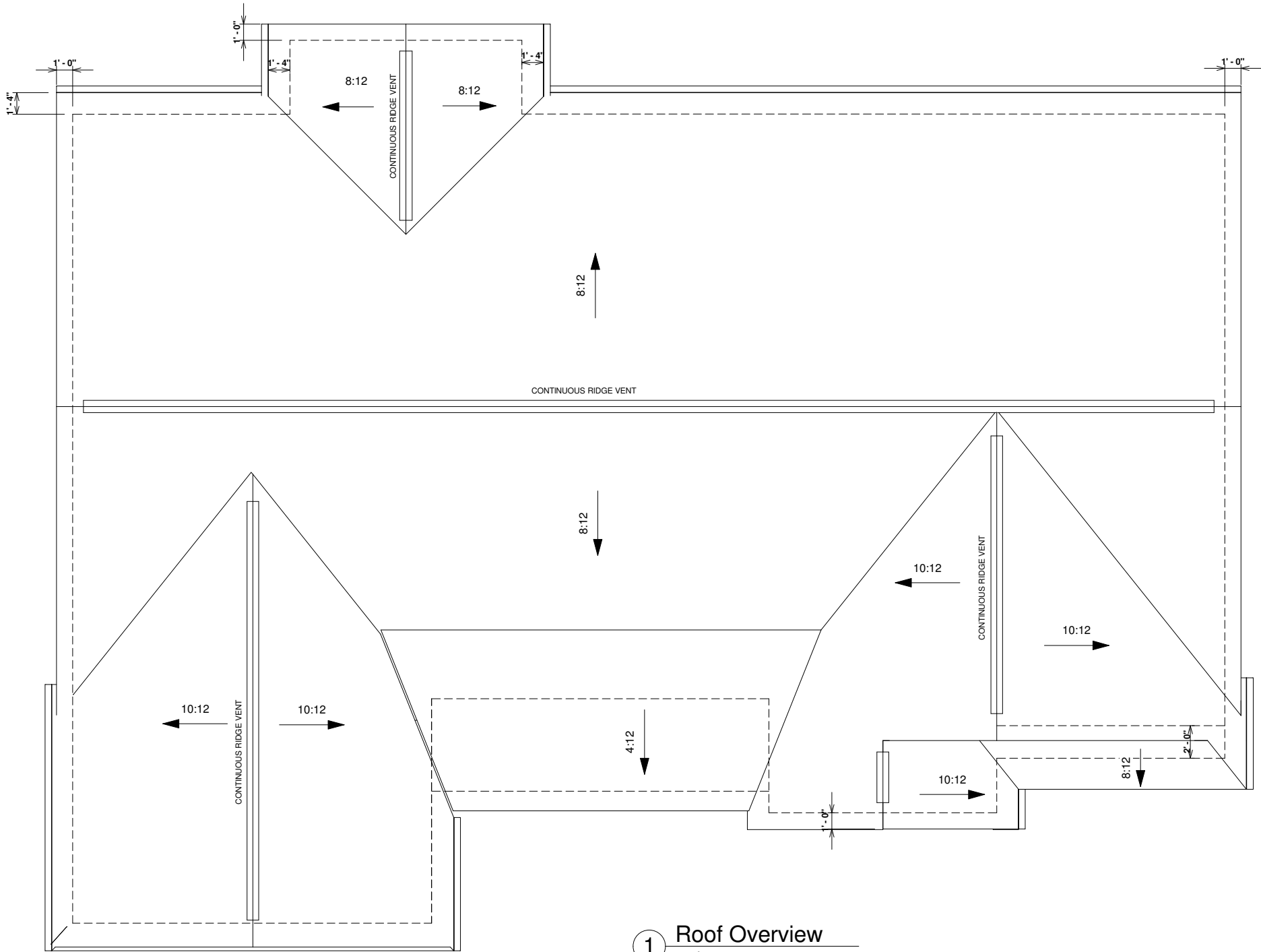
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DRAWN BY: J. GENCHUR	CHECKED BY: B. TOOMBS	PRINT DATE: 10/26/2021 8:05:51 AM

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SHEET NUMBER: **E-2**

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LEFT & RIGHT ELEVATION



1 Roof Overview
1/8" = 1'-0"

4:12 O.W.H. = LINE UP WITH MAIN FASCIA
8:12 O.W.H.= 5 31/32"
10:12 O.W.H. = 7 11/16" (LINE WITH 8:12)

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
PERMIT CONSTRUCTION PLANS

Revision Schedule		
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FRONT PORCH	126 SF	3,206 SF
TOTAL UNDER ROOF		
PATIO	20 SF	20 SF
TOTAL UNCOVERED		

THE: BRIDGEWATER 'A'	FOR: ROB FALLER
OFFICE: VALDOSTA	SOLD BY: BD
COLUMBIA, FL	

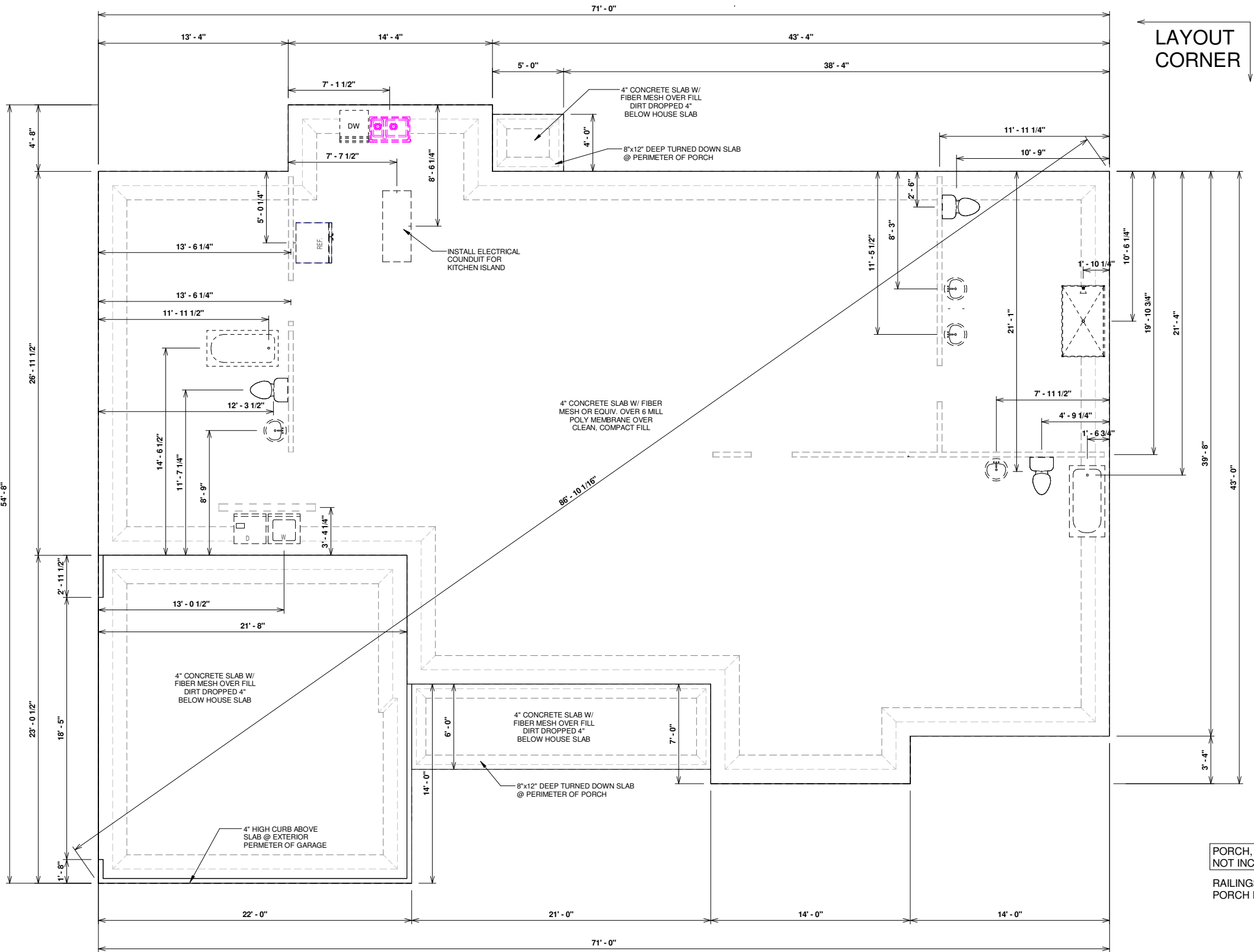
JOB# 66-21-047	2x4 EXTERIOR WALLS
FOUNDATION TYPE: MONOSLAB	

PROPERTY OF: 

E-3

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ROOF OVERVIEW



FOUNDATION NOTES

- SEE ENGINEERING PLAN DETAIL FOR FINAL CONSTRUCTION METHOD
- TURN OUT REBAR AT THE POWER METER FOR ELECTRICAL GROUNDING AS REQUIRED BY CODE

FOUNDATION INSPECTION NOTE:

A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS TO USE OR ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING STRETCHED FROM MARKER TO MARKER TO VERIFY REQUIRED SETBACKS.

PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED w/ SLAB FOUNDATION

RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

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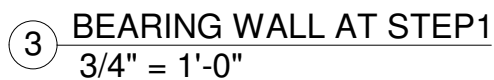
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FOR:	ROB FALLER
OFFICE:	VALDOSTA
SOLD BY:	BD
COLUMBIA, FL	

JOB#	66-21-047
DRAWN BY:	J. GENCHUR
CHECKED BY:	B. TOOMBS
PRINT DATE:	10/26/2021 8:05:52 AM
FOUNDATION TYPE:	MONOSLAB
2x4 EXTERIOR WALLS	



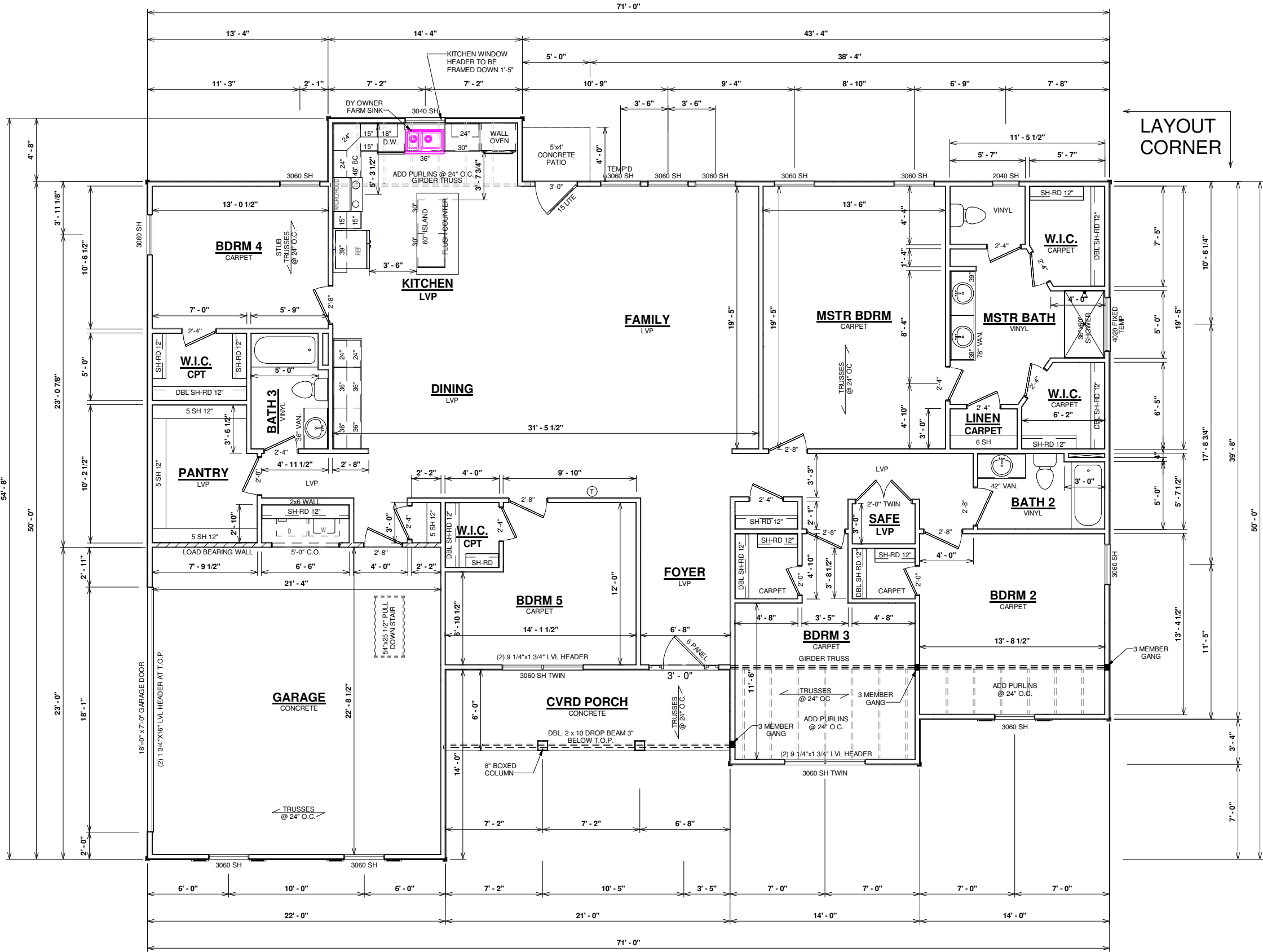
FOUNDATION

F-1



MONOSLAB FOUNDATION DETAILS

PERMIT CONSTRUCTION PLANS



GENERAL NOTES

- MINIMUM 9'-1" CEILING HEIGHT ON FIRST FLOOR.
- ALL LOAD BEARING WALLS & EXTERIOR OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED ON STRUCTURAL PLAN.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 1'-1 1/8" FROM T.O.P. EXCEPT AS NOTED.
- 7/16" OSB AND HOUSEWRAP REQUIRED.
- SUBFLOOR IS EDGE GOLD 3/4" DECKING, GLUED AND SCREWED.
- DIMENSIONS ARE TO SHEATHING EXTERIORS: SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION.
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R/O/ STARTED A MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED.
- IRA IS REQUIRED TO USE W SQUARE WASHERS ON EITHER SIDE OF ANY GARAGE DOOR.
- ALL GARAGE DOOR HEADERS ARE TO BE PORTAL FRAMED.
- NUMBER OF STAIR TREADS AND RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE - 66"
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STILE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION.
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE.
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE FLATWORM.
- ALL WINDOWS WITH SILL HEIGHTS LESS THAN 18" FROM FINISHED FLOOR REQUIRE SAFETY LATCHES.
- WINDOW SILLS CAN BE NO CLOSER TO THE FLOOR THAN 18" FOR ALL LIVING AREAS WHEN THE GRADE IS OVER 6'-0".

SPECIAL NOTES

- FARM SINK IN KITCHEN BY OWNER

1 First Floor
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

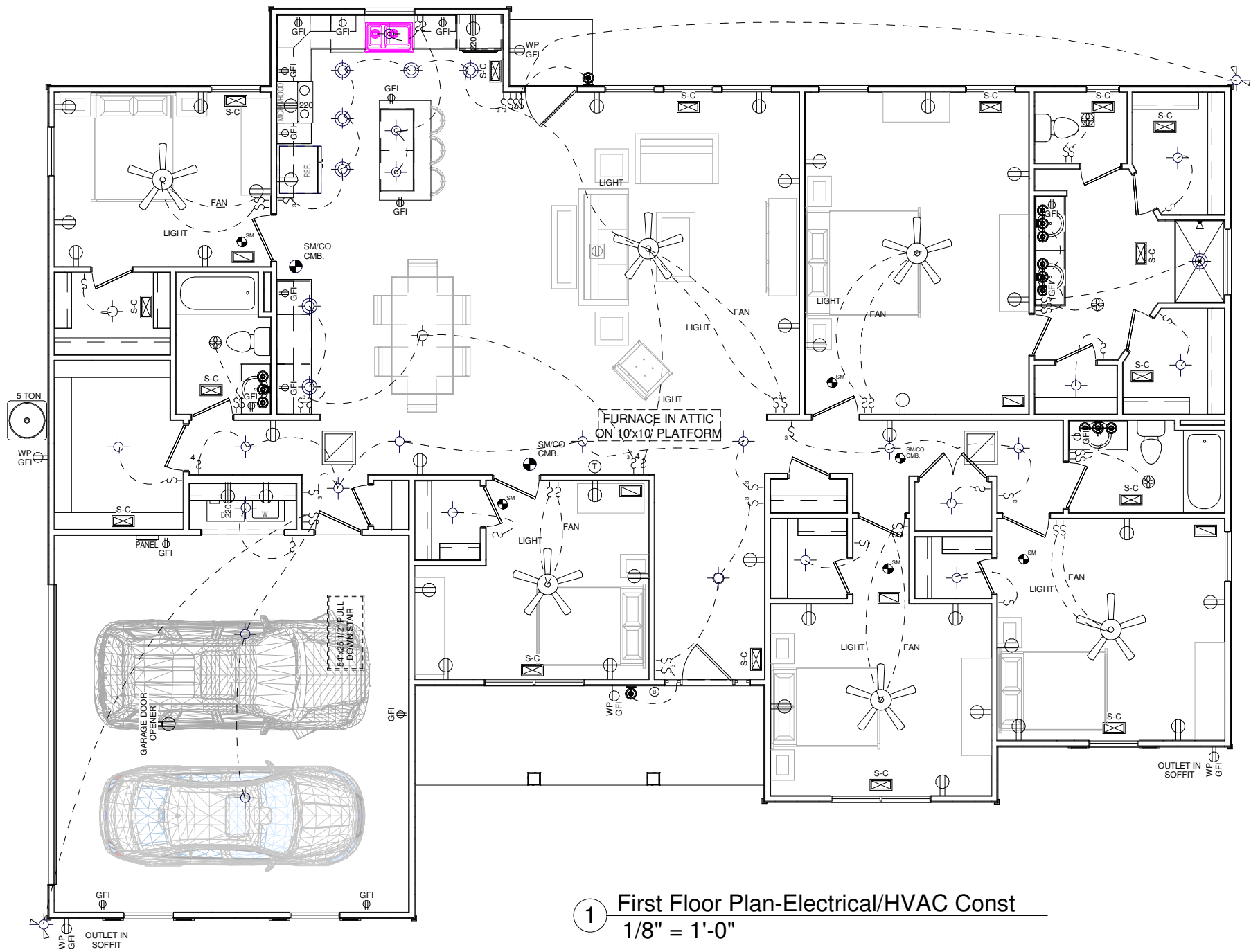
Revision Schedule		Revision Schedule	
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THE: BRIDGEWATER 'A'	FOR: ROB FALLER	COLUMBIA, FL	SOLD BY: BD
OFFICE: VALDOSTA			

JOB# 66-21-047	FOUNDATION TYPE: MONOSLAB
DRAWN BY: J. GENCHUR	CHECKED BY: B. TOOMBS
PRINT DATE: 10/26/2021 8:05:52 AM	

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SHEET NUMBER: F-2	FIRST FLOOR PLAN



1 First Floor Plan-Electrical/HVAC Const
1/8" = 1'-0"

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MIN. FROM DRYER VENT

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER. ART. 210-12(b) 1999 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE

- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluourescent	
Light - Fluourescent - Wall Mnt	
Light - Pendant	
Light - Wall	
Light - Wall Ext Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext.	
Outlet - Sngl 220	
Panel	
Switch	
Switch - 3 Way	
Switch - 4 Way	

HVAC SYMBOLS (TYPICAL)	
	RETURN AIR - CEILING
	RETURN AIR - WALL
	SUPPLY - CEILING
	SUPPLY - FLOOR
	SUPPLY - WALL

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

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THE: BRIDGEWATER 'A'

FOR: ROB FALLER

COLUMBIA, FL

SOLD BY: BD

OFFICE: VALDOSTA

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FOUNDATION TYPE:	MONOSLAB
2x4 EXTERIOR WALLS	


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SHEET NUMBER:	H-1
© COPYRIGHT - 2021 FIRST FLOOR ELEC & HVAC	



3 CORNER T FRAMING DETAIL
1" = 1'-0"

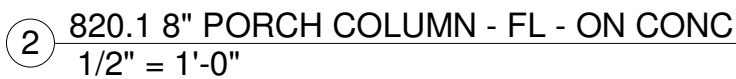


PERMIT CONSTRUCTION PLANS

<p>SHEET NUMBER:</p>	<p>PROPERTY OF:</p>		<p>© COPYRIGHT - 2021</p>
<p>S-1</p>			
<p>NOSLAB WALL SECTIONS</p>			

PAPER SIZE:	11" x 17"	SCALE:	As indicated
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© 2011 TITUS
MONOSLAB WALL SECTIONS



COLUMN DETAILS FOR AREAS 43, 53, 59, 66, & 73

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

PAPER SIZE: 11" x 17"

SCALE: As indicated

COLUMN DETAILS

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BRIDGEWATER 'A'

ROB FALLER

COLUMBIA, FL

SOLD BY: BD

OFFICE:
VALDOSTA

66-21-047

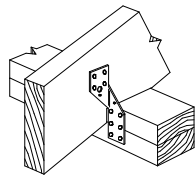
2x4 EXTERIOR WALLS

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MONOSLAB

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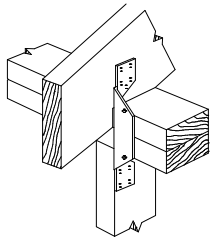
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COLUMN DETAILS



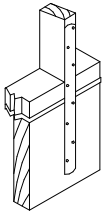
Simpson Strong-Tie
H2.5

RAFTER WITH NO STUD BELOW
WHEN H2 ARE NOT USED PROVIDE
SIMPSON CS16 @ 48" O.C. STRAP OVER
TOP PLATE AND MIN. 10" LAP ON STUDS U.N.O.

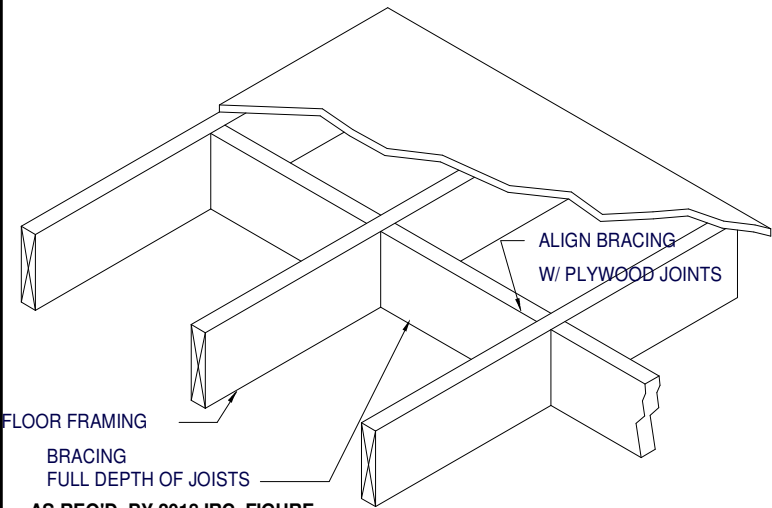


Simpson Strong-Tie
H2

RAFTER ABOVE STUD
WHEN H2 ARE USED EVERY OTHER JOIST
SIMPSON CS16 STRAP OVER TOP PLATE
& MIN. 10" LAP ON STUDS ARE NOT REQUIRED U.N.O.

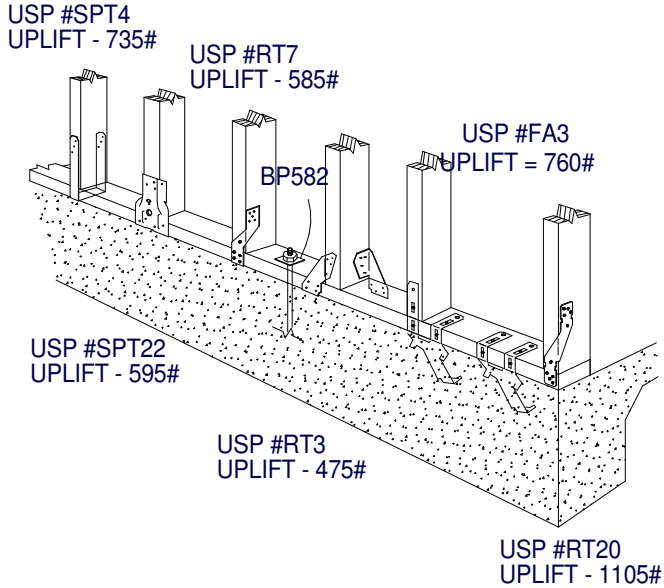


20" SIMPSON CS 16 TIE STRAP CONNECTS STUDS TO
FLOOR SYSTEM @ 48" O.C., 10d NAILS ALL HOLES
AND WOOD COLUMNS TO PORCH HEADERS
AND WOOD COLUMNS TO FLOOR RIM JOIST U.N.O.



AS REQ'D. BY 2018 IRC, FIGURE
R502.2 & SECTION R502.7

OPTIONAL RAFTER OR STUD/POST
TO DBL PLATE/HEADER CONNECTION:
6" FASTENMASTER TIMBERLOK
INSTALLED AT 22.5 DEGREE
MIN. 2.5" FROM CONNECTION
WWW.FASTENMASTER.COM



OPTIONAL SLAB/BOTTOM PLATE/WALL CONNECTIONS
SIMPSON H2.5, H3, OR SSP OR DSP BOTTOM PLATE TO STUDS

FULL DEPTH BLOCKING @ 4'-0"
O.C. FIRST (4) SPACES FROM
END. NOTCH FIRST BLOCK
AROUND NAILER

1/2" GYPSUM DRYWALL
(SEE GENERAL NOTES)

2x4 CONTINUOUS NAILER

1-1/4" TYPE S OR W #6 DRYWALL
SCREWS @ 7" (TYP. THROUGHOUT)

8d COMMON NAILS @ 4" O.C.

TRUSS/RAFTER
(SHOWN @ 16" oc)
1/2" MIN. PLYWOOD:
MAINTAIN 2'-0" DISTANCE
BETWEEN CENTER OF TOP
PLATE AND SHEATHING
JOINT (SEE DETAIL B)

USP RS200 STRAP--WRAP AROUND TOP
PLATES AND 4TH CEILING JOIST/TRUSS
FROM END. NAIL WITH MIN. (8) 8d
NAILS EACH END AND (2) 8d NAILS AT
EACH INTERMEDIATE JOIST. TYP.
WITHIN 6" OF EACH ROW OF BLOCKING.
STRAP MAY BE PLACED ABOVE OR
BELOW BLOCKING

CONTINUOUS STUD. FLOOR TO PLATE
BELOW GABLE END TRUSS/RAFTER/JOIST
(BALLOON FRAME VAULTED GABLE END)

ENDWALL CEILING CONNECTION

RAFTER/TRUSS

USP RS200 ON EACH RAFTER PAIR, 12" MIN.
END LENGTH ON EACH RAFTER, (11)
8d FASTENERS REQ'D EACH END.

ALT: 1x6 COLLAR TIE EVERY OTHER RAFTER,
MIN. (9) 8d NAILS EACH END.

NOTE: DETAIL ABOVE NOT REQUIRED
FOR CONTINUOUS TRUSSES.

USP RT16 STRAP AT
ALL BEARING POINTS

RT16 MUST BE INSTALLED ON OUTSIDE OF
STUD WALL. IF INSTALLED ON INSIDE OF
WALL, STUDS ON EITHER SIDE OF RT16
MUST BE ANCHORED TO TOP PLATE USING
RT7 STRAPS.

INTERIOR LOAD BEARING WALLS--
STRAP TRUSS/RAFTERS TO TOP PLATES
WITH USP RT16. ANCHOR TOP PLATES TO
STUDS WITH USP SPT24 STRAPS ON SAME
SIDE AS RT16 STRAPS. CONNECT 2ND
FLOOR WALL STUDS TO 1ST FLOOR WALL
STUDS OR BEAMS USING USP RS200
STRAPS @ 48" O.C. (MIN. 11 8d NAILS EACH
END). ATTACH 1ST FLOOR STUDS TO
SUPPORTING GIRDERS IN SIMILAR MANNER.
ANCHOR FLOOR JOISTS TO DROPPED
GIRDERS WITH USP RT 17. SEE DETAIL I
FOR DROPPED GIRDER ANCHORING.

OPTIONAL TIEDOWN IS THE QUICK TIE SYSTEM
WWW.QUICKTIEPRODUCTS.COM
CONTRACTOR SHALL SUBMIT TIEDOWN PLAN
FOR ENGINEER'S APPROVAL

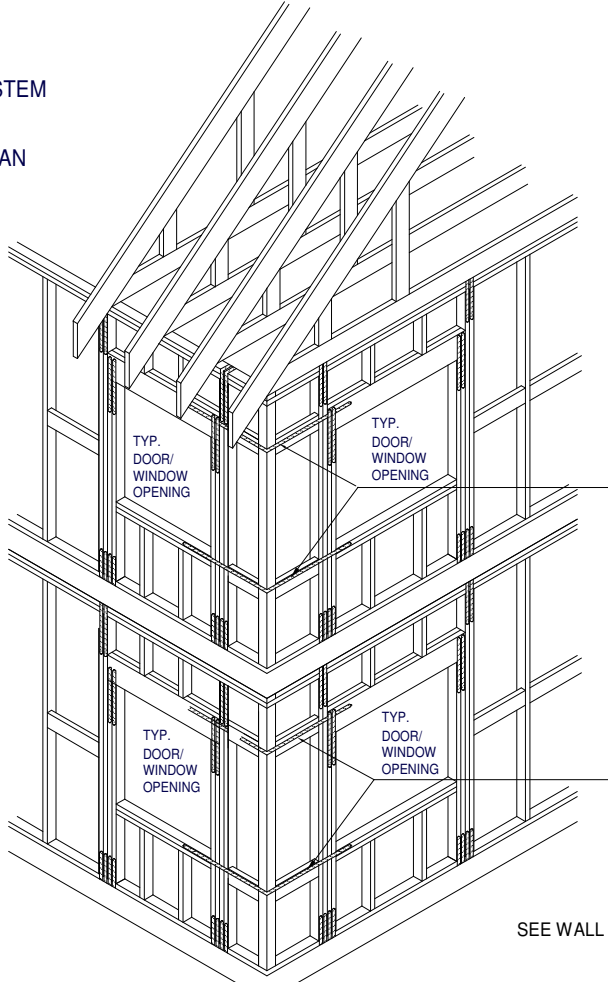
STRAP OVERBUILT VALLEY
SET) TRUSSES/RAFTERS OVER
MAIN TRUSSES/RAFTERS WITH
USP MTW12 OR MTW18

USP STRAP RS200 -- WRAP
OVER TOP OF EVERY PIGGY
BACK RAFTER/TRUSS AND FASTEN
WITH (4) 8d COMMON NAILS
AT EACH MEMBER

OPTIONAL RAFTER TIEDOWN IS:
6" FASTENMASTER TIMBERLOK
2'-3" IN TOP AND 3'-4" IN BOTTOM

MIN. (4) 8d COMMON NAILS
ON EACH SIDE OF 2 MEMBER
CONNECTION

RAFTER TO HIP CONNECTION:
SIMPSON LS50 OR
(2) 1/4"x3.5" WOOD SCREWS PLACED
AT 1/3 DEPTH POINTS AND PASS
THROUGH THE INSIDE CORNER OF CONNECTION



USP RS200 STRAP--OVERLAP
TOP AND BOTTOM HEADER (USE
BLOCKING BETWEEN STUDS WHERE
HEADERS DON'T ALIGN) 12" MIN.
EACH SIDE. TYP. WITH CORNER
WALLS SHEATHED LESS THAN 3'-6"
EITHER WAY AND ALL BAY WINDOWS.

SEE WALL SECTIONS FOR VERICAL TIEDOWN

HORIZONTAL STRAPPING DETAIL @ CORNERS

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PATIO	TOTAL UNCOVERED						

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SHEET NUMBER: S-4	FL- HOLD DOWN DETAILS

