

DATE 08/11/2008

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000027256

APPLICANT PAM SMITH PHONE 786 295-9296  
ADDRESS 377 SW MAULDIN AVE LAKE CITY FL 32024  
OWNER BRJ VENTURES PHONE 786 229-9638  
ADDRESS 798 SW UTAH ST FT. WHITE FL 32038  
CONTRACTOR CATALINA CASTSTONE CREATIONS PHONE 305 542-9193  
LOCATION OF PROPERTY 47S, TR ON 27, TL ON UTAH, .7 MILES ON LEFT

TYPE DEVELOPMENT SFD,UTILITY ESTIMATED COST OF CONSTRUCTION 89700.00  
HEATED FLOOR AREA 1326.00 TOTAL AREA 1794.00 HEIGHT STORIES 1  
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB  
LAND USE & ZONING A-3 MAX. HEIGHT 18  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 24-6S-15-01438-002 SUBDIVISION THREE RIVERS EST  
LOT 2 BLOCK 4 PHASE UNIT 23 TOTAL ACRES 0.02

000001655

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
WAIVER 08-137 BK WR Y  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE, ELEVATION CONFIRMATION LETTER REQUIRED REFERRING  
TO HIGHLIGHTED PORTION OF ENGINEER LETTER, FLOOR HEIGHT

LETTER RECEIVED Check # or Cash 1010

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 450.00 CERTIFICATION FEE \$ 8.97 SURCHARGE FEE \$ 8.97  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 542.94  
INSPECTORS OFFICE Hale Tedder CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



**Columbia County Building Permit Application**

**For Office Use Only** Application # 0807-15 Date Received 7/30 By JW Permit # 1655/27256  
 Zoning Official BLK Date 09.08.08 Flood Zone X Land Use A-3 Zoning A-3  
 FEMA Map # N/A Elevation N/A MFE 16 ft River N/A Plans Examiner WE Date 8/6/8  
 Comments Elevation Confirms Letter Regional re: highlighted portion of Eng. letter  
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
 IMPACT FEES: EMS \$29.88 Fire \$78.63 Corr \$409.16 Road/Code \$1,046.00 / 210  
 School \$1,500.00 = TOTAL \$3,063.67

Septic Permit No. 08-0137 Fax 386-755-6824  
 Name Authorized Person Signing Permit John or Pam Smith Phone 786-295-9296  
 Address 377 SW Mauldin Ave Lake City, FL. 32024  
 Owners Name BRT Ventures Phone 786-229-9638  
 911 Address 798 SW Utah St. Fort White, FL. 32038  
 Contractors Name Catalina Caststone Creations, Inc Phone 305-542-9193  
 Address 9801 SW 121 St. Miami, FL. 33176  
 Fee Simple Owner Name & Address BRT Ventures, LLC 830 North Krome Ave Homestead, FL 33030  
 Bonding Co. Name & Address \_\_\_\_\_  
 Architect/Engineer Name & Address Architect Mark Haddox - 755-2411 / Engineer MARK DISOSWAY  
 Mortgage Lenders Name & Address CASH

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 00-00-00-01438-002 Estimated Cost of Construction 85,000.  
 Subdivision Name Three Rivers Estates Lot 2 Block 4 Unit 23 Phase \_\_\_\_\_  
 Driving Directions  Hwy 47 south to 27 (FORT WHITE) Turn Right at light 1.5 miles to Utah turn left, 7 mile to lot on left  
 Number of Existing Dwellings on Property 0

Construction of Residential Total Acreage 0.918 Acres Lot Size \_\_\_\_\_  
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 18' 3 1/4"  
 Actual Distance of Structure from Property Lines - Front 55' Side 30' Side 30' Rear 298"  
 Number of Stories 1 Heated Floor Area 1324 Total Floor Area 1794 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

*Spoke to Pam  
8/8/08*



**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**


According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.


  
 Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

  
 Contractor's Signature (Permittee)

Contractor's License Number CAC 1253816  
 Columbia County  
 Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 29 day of July 2006.  
 Personally known ☒ or Produced Identification \_\_\_\_\_

  
 State of Florida Notary Signature (For the Contractor)

SEAL:



MATTHEW CUTLER  
 Notary Public, State of Florida  
 Commission #DD790343  
 My Commission Expires May, 20, 2012



GTC Design Group, LLC  
176 NW Lake Jeffery Road  
Lake City, FL 32643  
(Phone) 386.719.9985  
(Fax) 386.719.8828  
cwilliams@gtcdesigngroup.com

## **Residential Finish Floor Elevation Letter**

**Contractor: Catalina Caststone Creations**

**Owner: Pam Smith**

**Parcel Number: 00-00-00-01438-002**

For protection against water damage, the minimum finish floor elevation of the proposed structure shall be 12 inches above the existing ground at any point along the perimeter of the proposed structure. In no case shall the finish floor elevation be more than 12 inches below the centerline of the adjacent county road.

The ground around the proposed structure shall be graded such as to convey all stormwater runoff away from the proposed structure.

The above elevations are based on the structure's proposed location, approximately +/-50 feet South from SW Utah Street.

---

Chad Williams  
P.E. License Number: 63144  
July 28, 2008





## Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

### PARCEL: 00-00-00-01438-002 - VACANT (000000)

Name: A & I LAND CORP INC &

Site:

GIT PROPERTIES & INVESTMENTS

INC & IGN INVESTMENTS CORP

Mail:

1516 SW 150 AVE

MIAMI, FL 33194

12/20/2005 \$100.00 /

V

Q

Sales  
Info

10/5/2005 \$22,500.00 /

V

Q

10/3/1988 \$5,995.00 /

V

Q

LandVal \$21,000.00

BldgVal \$0.00

ApprVal \$21,000.00

JustVal \$21,000.00

Assd \$21,000.00

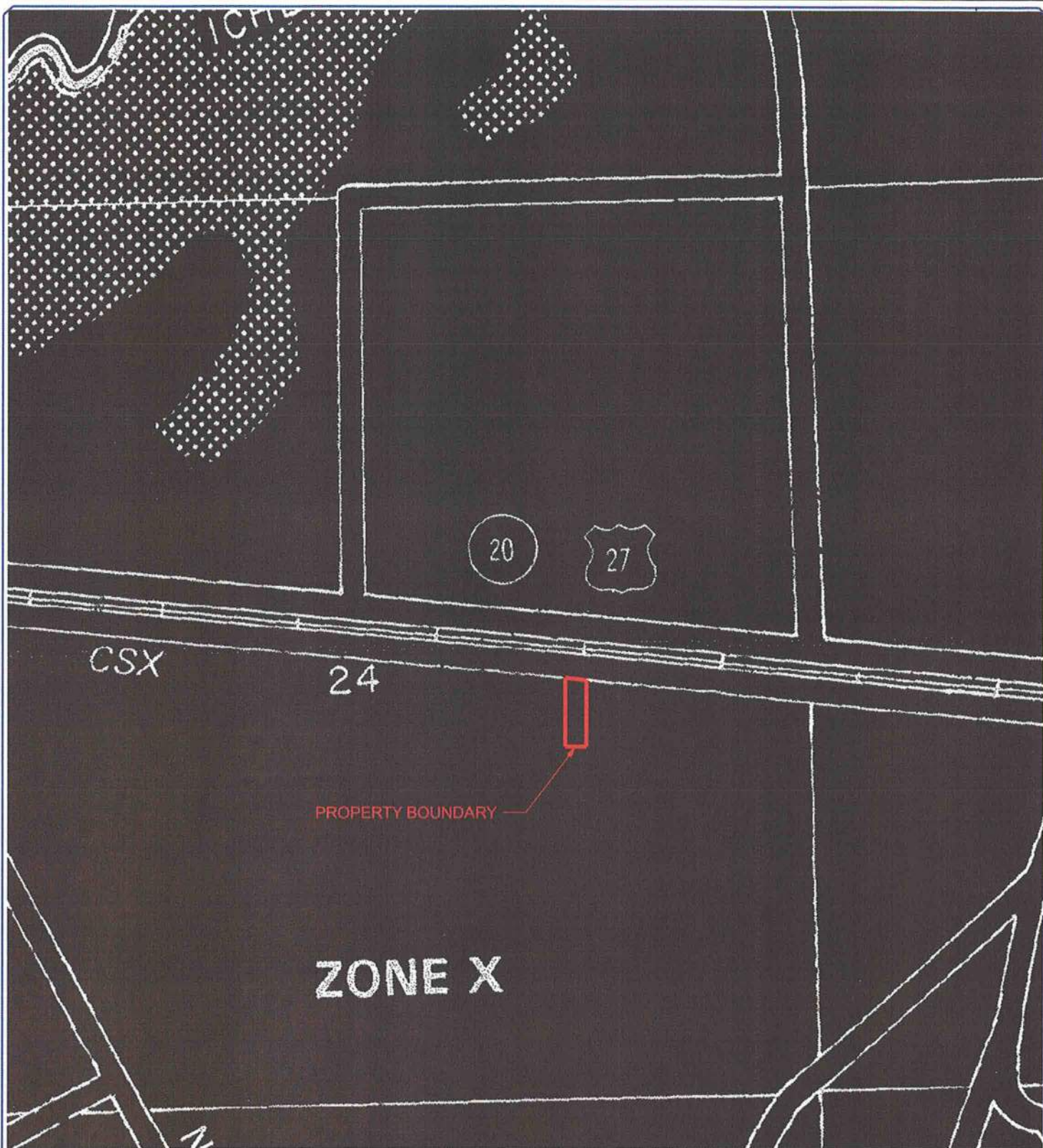
Exmpt \$0.00

Taxable \$21,000.00

0 120 240 360 ft







0 400 800 1600



**SMITH**  
**FEMA MAP**



STRUCTURAL/CIVIL ENGINEERS

P.O. Box 187  
130 West Howard Street  
Live Oak FL, 32064  
Phone: (386) 362-3678  
Fax: (386) 362-6133

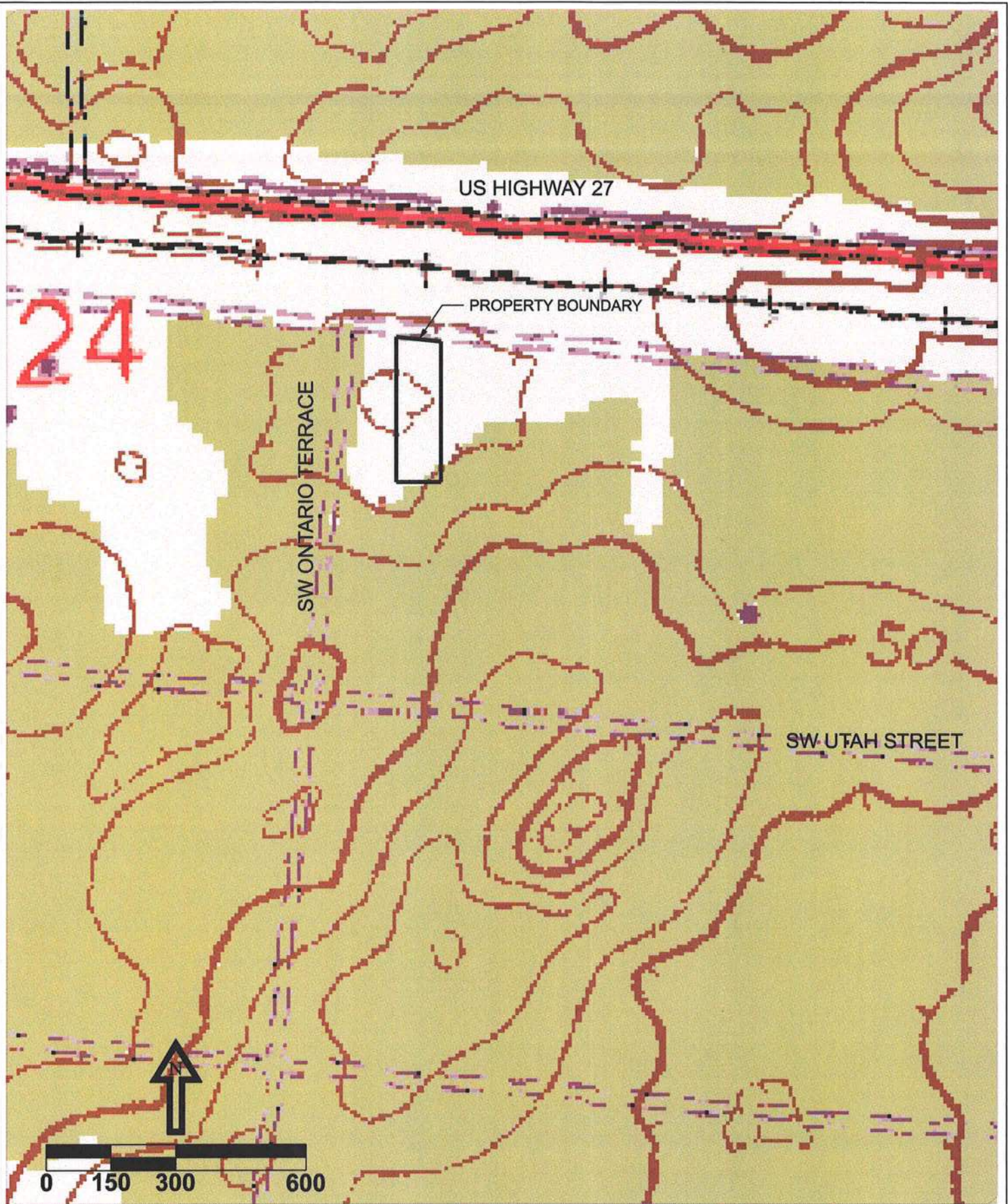
PROJECT NUMBER

**PF08-138**

SHEET

**F1**





STRUCTURAL/CIVIL ENGINEERS

P.O. Box 187  
130 West Howard Street  
Live Oak FL, 32064  
Phone: (386) 362-3678  
Fax: (386) 362-6133

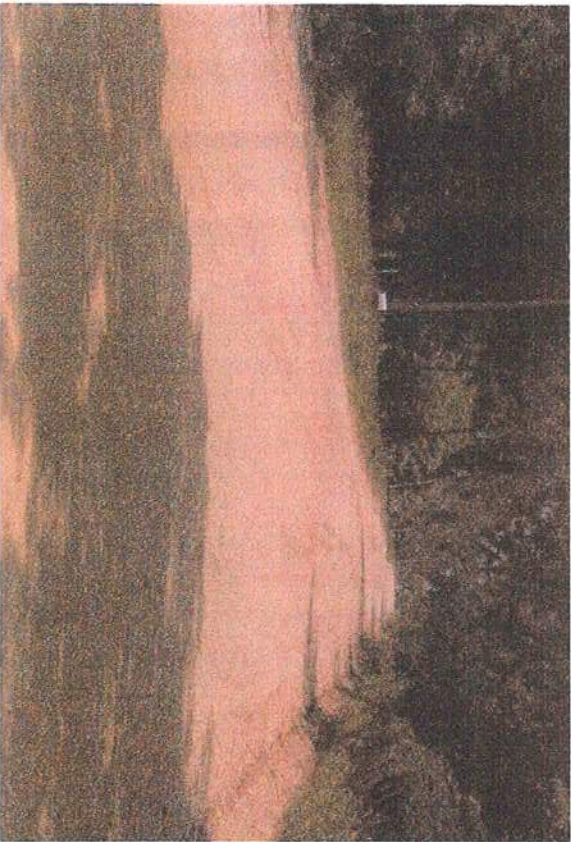
PROJECT NUMBER

SHEET

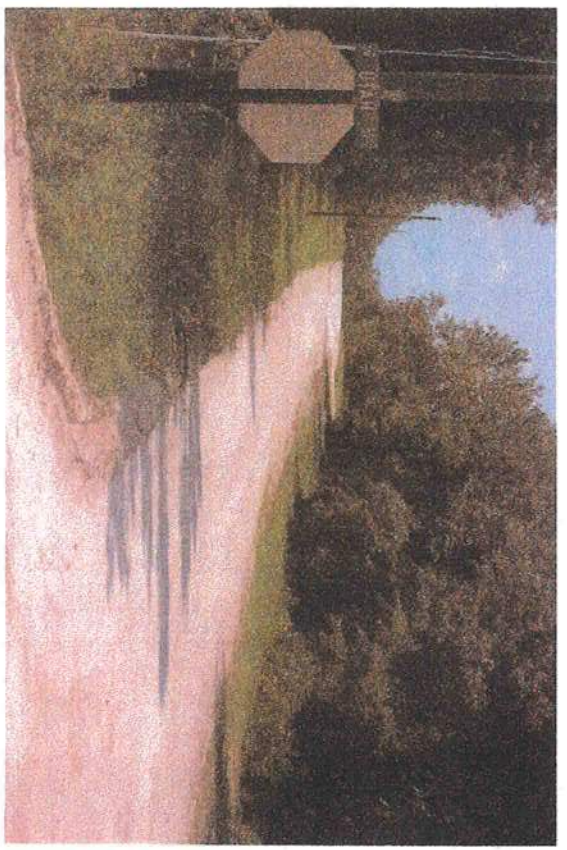




Utah East



Utah West



Ontario South

All Pictures were taken from the  
intersection of SW Utah Street and  
SW Ontario Terrace







Prepared by and return to:

Sandra T. Lynn, Esq.

Attorney at Law

Turner & Lynn, P.A.

830 North Krome Avenue

Homestead, FL 33030

305-247-6521

Inst: 200812012933 Date: 7/10/2008 Time: 12:07 PM

Doc Stamp-Deed: 164.50

✓ DC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1154 P: 684

[Space Above This Line For Recording Data]

### Quit Claim Deed

This Quit Claim Deed made this 9 day of July, 2008 between Catalina Caststone Creations, LLC, a Florida limited liability company, whose post office address is 9801 SW 121<sup>st</sup> Street, Miami, FL 33176, grantor, and BRJ Ventures, LLC, a Florida limited liability company, whose post office address is 830 North Krome Avenue, Homestead, FL 33030, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Columbia County, Florida to-wit:

Lot 2, Block 4 THREE RIVERS ESTATES, UNIT 23, according to the map of plat thereof, as recorded in Plat Book 4, at Pages 80 and 80A, of the Public Records of Columbia County, Florida.

Parcel Identification Number: 00-00-00-01438-002

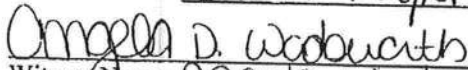
To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



Witness Name: Sandra T. Lynn



Witness Name: Angela Wadsworth

Catalina Caststone Creations, LLC

By: Louis R. Schwartz  
Louis R. Schwartz, President



State of Florida  
County of Miami-Dade

The foregoing instrument was acknowledged before me this 9 day of July, 2008 by Louis R. Schwartz, as President of Catalina Caststone Creations, LLC, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]



Angela D. Wadsworth  
Notary Public

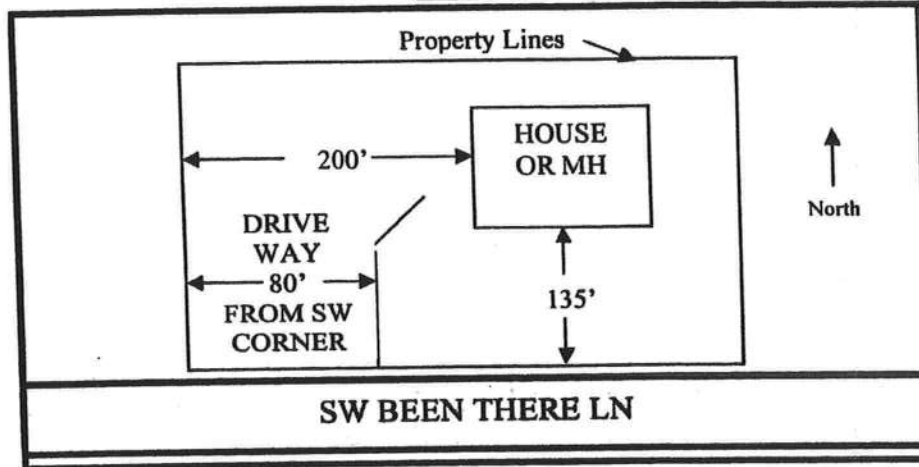
Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

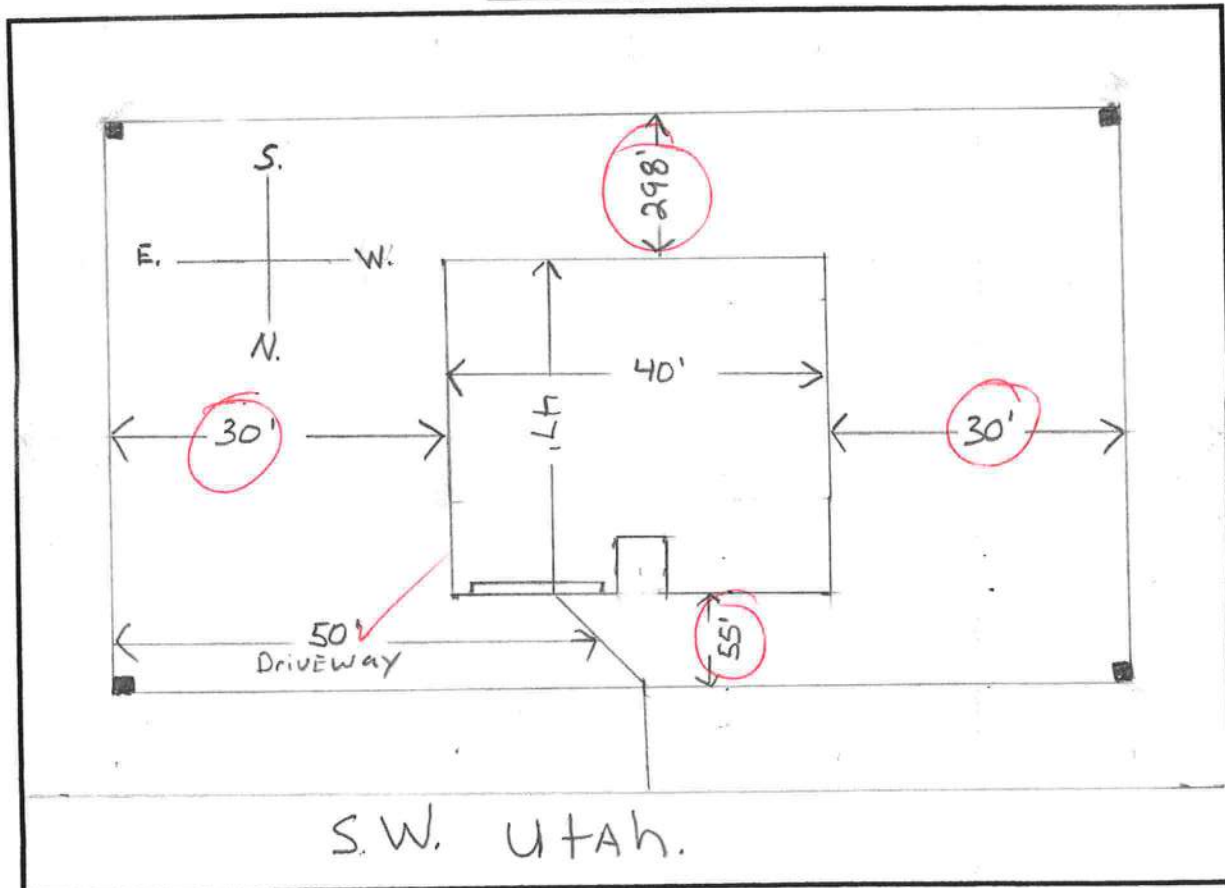


1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

**SAMPLE:**



**SITE PLAN BOX:**





# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 6/9/2008 DATE ISSUED: 6/10/2008

### ENHANCED 9-1-1 ADDRESS:

798 SW UTAH ST

FORT WHITE FL 32038

### PROPERTY APPRAISER PARCEL NUMBER:

00-00-00-01438-002

### Remarks:

LOT 2 BLOCK 4 UNIT 23 THREE RIVERS ESTATES

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

1217



# **HALL'S PUMP & WELL SERVICE, INC.**

SPECIALIZING IN 4"-6" WELLS



DONALD AND MARY HALL  
OWNERS

PHONE (386) 752-1854  
FAX (386) 755-7022  
904 NW MAIN BLVD.  
LAKE CITY, FLORIDA 32055

February 19, 2008

## **Notice To All Contractors:**

Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results. All wells will have a pump & tank combination that will be sufficient enough for each situation.

If you have any questions please feel free to call our office.

Thank You ,

Donald D. Hall



NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

THIS DOCUMENT MUST BE RECORDED AT THE COUNTY  
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and  
in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of  
Commencement.  
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE  
RECORDING YOUR NOTICE OF COMMENCEMENT.

Tax Parcel ID Number 00-00-00-01438-002

Permit Number \_\_\_\_\_

1. Description of property: (legal description of the property and street address or 911 address)

798 SW Utah St. Fort White, FL 32038

Inst: 200812013301 Date: 7/16/2008 Time: 11:00 AM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1154 P: 1808

2. General description of improvement: Single Family Home

3. Owner Name & Address BRT Ventures, LLC 830 North Krome Ave  
Interest in Property Homestead FL 33036

4. Name & Address of Fee Simple Owner (if other than owner):

5. Contractor Name Catalina Caststone Creations Inc. Phone Number 305-542-9193  
Address 9801 SW 121 St Miami, FL 33176

6. Surety Holders Name \_\_\_\_\_ Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

Amount of Bond \_\_\_\_\_

7. Lender Name \_\_\_\_\_ Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be  
served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name \_\_\_\_\_ Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

9. In addition to himself/herself the owner designates John or Pam Smith of  
377 SW Mauldin Ave Lake City 32024 to receive a copy of the Lien Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee 786-295-9296

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of  
recording, (Unless a different date is specified) \_\_\_\_\_

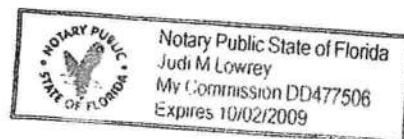
THE OWNER MUST SIGN THE NOTICE OF COMMENCEMENT AND NO ONE ELSE MAY BE PERMITTED TO SIGN  
IN HIS/HER STEAD.

B.R.T VENTURES L.L.C  
J. Smith managing member  
Signature of Owner

Sworn to (or affirmed) and subscribed before day of July 16, 2008

[Signature]  
Signature of Notary

NOTARY STAMP/SEAL



Louis R. Schwartz  
Catalina Caststone Creations  
Lake City Office  
377 SW Mauldin Ave  
Lake City, FL 32024  
License Number: 7001785

**To Whom It May Concern:**

This letter is to inform you that I give permission to John J. or Pamela T. Smith to authorize work done in my name at my property located at 798 SW Utah in Fort White, Fl. County of Columbia. Parcel Id # 00-00-00-01438-002. Mr Smith will be the site supervisor at this location and can be reached at 786.299.9638.

Signature of Affiant: \_\_\_\_\_

*Louis R. Schwartz*

**CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC**

Sworn to (or affirmed) and subscribed before me this 16 day of June, 2007<sup>3</sup>

By Louis R. Schwartz. The affiant is ☒ personally known to me,

Or \_\_\_\_\_ produced the following identification: \_\_\_\_\_

Notary Seal:

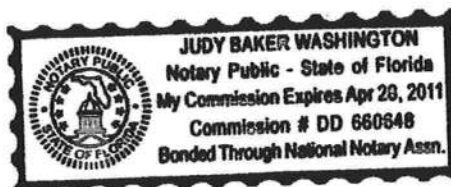
*Judy Baker Washington*

Signature of Notarial Officer

JUDY BAKER WASHINGTON

Notary Public for the State of Florida

My commission expires: 4-28-2011





**STATE OF FLORIDA****DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION****CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783****(850) 487-1395****CATALINA CASTSTONE CREATIONS INC  
9801 SW 121 STREET  
MIAMI FL 33176**

		STATE OF FLORIDA	AC# 3230661
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION			
QB45382	05/23/07 068190750		
QUALIFIED BUSINESS ORGANIZATION CATALINA CASTSTONE CREATIONS INC			
(NOT A LICENSE TO PERFORM WORK. ALLOWS COMPANY TO DO BUSINESS IF IT HAS A LICENSED QUALIFIER.)			
IS QUALIFIED under the provisions of Ch. 489 FS.			
Expiration date: AUG 31, 2009		L07052300635	

DETACH HERE

# 3230661

**STATE OF FLORIDA****DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD****SEQ# L07052300635**

DATE	BATCH NUMBER	LICENSE NBR
05/23/2007	068190750	QB45382

**The BUSINESS ORGANIZATION****Named below IS QUALIFIED****Under the provisions of Chapter 489 FS.****Expiration date: AUG 31, 2009****(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS  
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)****CATALINA CASTSTONE CREATIONS INC  
9801 SW 121 STREET  
MIAMI FL 33176****CHARLIE CRIST  
GOVERNOR**

DISPLAY AS REQUIRED BY LAW

**HOLLY BENSON  
SECRETARY**



AC# 2602644

## STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L060601001

DATE	BATCH NUMBER	LICENSE NBR
06/01/2006	058088240	CBC1253816

The BUILDING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2008

SCHWARTZ, LOUIS R.  
CATALINA CASTSTONE CREATIONS INC  
9801 SW 121 STREET  
MIAMI FL 33176

JEB BUSH  
GOVERNOR

SIMONE MARSTILLER  
SECRETARY

DISPLAY AS REQUIRED BY LAW



2007-08

**COLUMBIA COUNTY BUSINESS TAX RECEIPT**  
**RONNIE BRANNON, TAX COLLECTOR**  
**RECEIPT EXPIRES 09/30/2008**

RECEIPT NUMBER:  
7001785

MACHINES      ROOMS      SEATS      EMPLOYEES

BUSINESS TYPE: 000102

BUILDING CONTRACTOR

CATALINA CASTSTONE CREATIONS  
LOUIS R SCHWARTZ  
9801 SW 121 STREET  
MIAMI, FL 33176-0000

RONNIE BRANNON TAX C  
2606624.0001 of 0001  
DATE 08/10/2007  
Oper LYC  
Till 026  
Paid 18.00

SUPPLEMENTAL  
X RENEWAL 18.00  
NEW RECEIPT  
TRANSFER  
  
PENALTY 0.00  
TOTAL 18.00

LOCATION 377 SW MAULDIN AVE  
ADDRESS: LAKE CITY FL 32024-0000

x L. R. Schwartz, Pres

SIGN AND RETURN WITH PAYMENT

I SWEAR THAT THIS APPLICATION FOR RECEIPT IS MADE FOR THE BUSINESS OR  
PROFESSION INDICATED HEREON AND IS TRUE AND CORRECT.  
THE APPLICATION MUST COMPLY WITH STATE AND LOCAL ORDINANCE INCLUDING ZONING

0000001800 0000001800 00000000000003359 1001 7

FLORIDA DEPARTMENT OF STATE  
DIVISION OF CORPORATIONS[Home](#)[Contact Us](#)[E-Filing Services](#)[Document Searches](#)[Forms](#)[Help](#)[Previous on List](#)[Next on List](#)[Return To List](#)[Events](#)[No Name History](#)  
Entity Name Search

## Detail by Entity Name

### Florida Limited Liability Company

BRJ VENTURES, LLC

### Filing Information

**Document Number** L08000066453  
**FEI Number** NONE  
**Date Filed** 07/09/2008  
**State** FL  
**Status** ACTIVE  
**Effective Date** 07/09/2008  
**Last Event** LC AMENDMENT  
**Event Date Filed** 07/24/2008  
**Event Effective Date** NONE

### Principal Address

830 NORTH KROME AVENUE  
HOMESTEAD FL 33030 US

### Mailing Address

830 NORTH KROME AVENUE  
HOMESTEAD FL 33030 US

### Registered Agent Name & Address

LYNN, SANDRA T  
830 NORTH KROME AVENUE  
HOMESTEAD FL 33030 US

### Manager/Member Detail

#### **Name & Address**

Title MGR

SCHWARTZ, LOUIS R  
9801 SW 121ST STREET  
MIAMI FL 33176 US

Title MGR

SMITH, JOHN J  
377 SW MAULDIN AVENUE  
LAKE CITY FL 32024



p. 5



STATE OF FLORIDA  
DEPARTMENT OF HEALTH

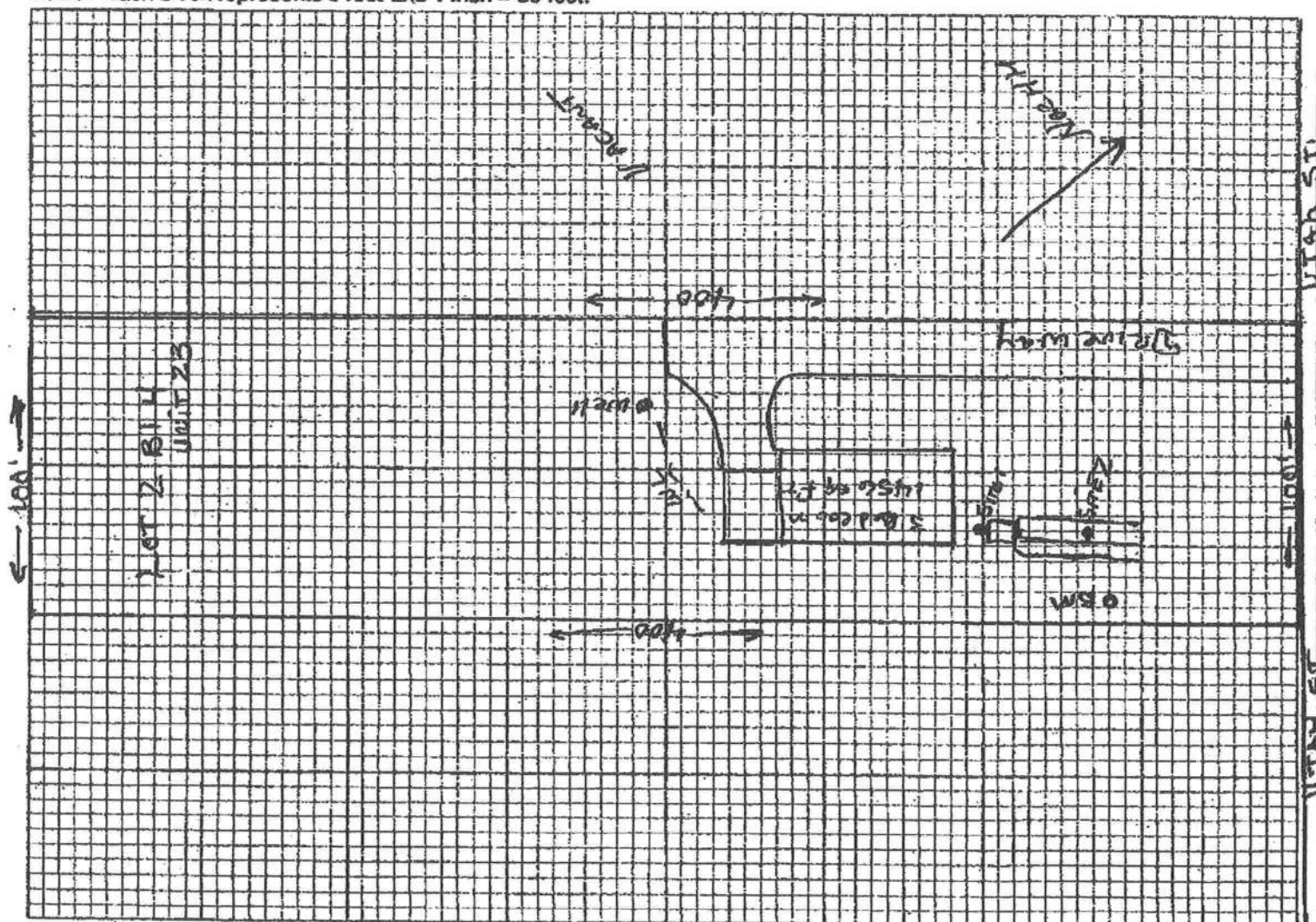
# APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

08-0137

## PART II - SITE PLAN

**Scale:** Each block represents 5 feet and 1 inch = 50 feet.



Notes: AdI Land Corp Inc. (Pam Smith)

LOT 2 BIK 4 UNIT 23 THREE RIVES ESTATES

00-00-00-01438-602

Site Plan submitted by: Robert W. Jack Jr

Signature \_\_\_\_\_

Plan Approved ☒

**Not Approved**

By Mrs S Zander

Columbia

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

FORM 600A-2004

EnergyGauge® 4.21

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: **798 SW Utah St**  
Address: **798 SW Utah St.**  
City, State: **Fort White, fl 32038**  
Owner: **798 SW Utah**  
Climate Zone: **North**

Builder: **Glenn I. Jones Inc.**  
Permitting Office: **Columbia**  
Permit Number: **27256**  
Jurisdiction Number: **221000**

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 3 ☐
5. Is this a worst case? No ☐
6. Conditioned floor area (ft<sup>2</sup>) 1326 ft<sup>2</sup> ☐
7. Glass type<sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)  
a. U-factor: Description Area  
(or Single or Double DEFAULT) 7a. (Dble, U=0.7) 45.0 ft<sup>2</sup> ☐  
b. SHGC:  
(or Clear or Tint DEFAULT) 7b. (Clear) 153.0 ft<sup>2</sup> ☐
8. Floor types  
a. Slab-On-Grade Edge Insulation R=0.0, 0.0(p) ft ☐  
b. N/A ☐  
c. N/A ☐
9. Wall types  
a. Frame, Wood, Exterior R=13.0, 1289.3 ft<sup>2</sup> ☐  
b. Frame, Wood, Adjacent R=13.0, 324.7 ft<sup>2</sup> ☐  
c. N/A ☐  
d. N/A ☐  
e. N/A ☐
10. Ceiling types  
a. Under Attic R=30.0, 1325.0 ft<sup>2</sup> ☐  
b. N/A ☐  
c. N/A ☐
11. Ducts  
a. Sup: Unc. Ret: Unc. AH(Sealed):Garage Sup. R=6.0, 142.0 ft ☐  
b. N/A ☐

12. Cooling systems  
a. Central Unit Cap: 34.2 kBtu/hr  
SEER: 14.00 ☐  
b. N/A ☐  
c. N/A ☐
13. Heating systems  
a. Electric Heat Pump Cap: 34.8 kBtu/hr  
HSPF: 8.10 ☐  
b. N/A ☐  
c. N/A ☐
14. Hot water systems  
a. Electric Resistance Cap: 40.0 gallons  
EF: 0.92 ☐  
b. N/A ☐  
c. Conservation credits  
(HR-Heat recovery, Solar  
DHP-Dedicated heat pump) ☐
15. HVAC credits  
(CF-Ceiling fan, CV-Cross ventilation,  
HF-Whole house fan,  
PT-Programmable Thermostat,  
MZ-C-Multizone cooling,  
MZ-H-Multizone heating) ☐

Glass/Floor Area: 0.12

Total as-built points: 19935

Total base points: 24832

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*

DATE: 7-14-08

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_



<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.



**Project Summary**  
**Entire House**  
 Glenn L. Jones Inc.

Job: 798 SW Utah  
 Date:  
 By:

**Project Information**

For: 798 SW Utah  
 798 SW Utah St., Fort White, FL 32038

Notes:

**Design Information**

Weather: Jacksonville Cecil Field NAS, FL, US

**Winter Design Conditions**

Outside db	34 °F
Inside db	68 °F
Design TD	35 °F

**Summer Design Conditions**

Outside db	94 °F
Inside db	75 °F
Design TD	19 °F
Daily range	M
Relative humidity	50 %
Moisture difference	41 gr/lb

**Heating Summary**

Structure	23498 Btuh
Ducts	1175 Btuh
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	24673 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure	22171 Btuh
Ducts	2217 Btuh
Central vent (0 cfm)	0 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	0.99
Equipment sensible load	24242 Btuh

**Infiltration**

Method	Simplified
Construction quality	Average
Fireplaces	0

**Latent Cooling Equipment Load Sizing**

Structure	3085 Btuh
Ducts	0 Btuh
Central vent (0 cfm)	0 Btuh
Equipment latent load	3085 Btuh
Equipment total load	27327 Btuh
Req. total capacity at 0.70 SHR	2.9 ton

	<b>Heating</b>	<b>Cooling</b>
Area (ft²)	1326	1326
Volume (ft³)	13253	13253
Air changes/hour	1.00	0.50
Equiv. AVF (cfm)	221	110

**Heating Equipment Summary**

Make	Carrier
Trade	Base 13 Puron HP
Model	25HBA336A32
ARI ref no.	0
Efficiency	8.1 HSPF
Heating input	
Heating output	34800 Btuh @ 47 °F
Temperature rise	28 °F
Actual air flow	1140 cfm
Air flow factor	0.046 cfm/Btuh
Static pressure	0.50 in H2O
Space thermostat	

**Cooling Equipment Summary**

Make	Carrier
Trade	Base 13 Puron HP
Cond	25HBA336A32
Coil	FX4CNF036
ARI ref no.	0
Efficiency	14 SEER
Sensible cooling	23940 Btuh
Latent cooling	10260 Btuh
Total cooling	34200 Btuh
Actual air flow	1140 cfm
Air flow factor	0.047 cfm/Btuh
Static pressure	0.50 in H2O
Load sensible heat ratio	0.89

*Bold/italic values have been manually overridden*

Printout certified by ACCA to meet all requirements of Manual J 7th Ed.

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 86.3**

**The higher the score, the more efficient the home.**

798 SW Utah, 798 SW Utah St., Fort White, fl, 32038

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 34.2 kBtu/hr
3. Number of units, if multi-family	1	___		SEER: 14.00
4. Number of Bedrooms	3	___	b. N/A	___
5. Is this a worst case?	No	___	c. N/A	___
6. Conditioned floor area (ft <sup>2</sup> )	1326 ft <sup>2</sup>	___		___
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		___	13. Heating systems	
a. U-factor:	Description Area	___	a. Electric Heat Pump	Cap: 34.8 kBtu/hr
(or Single or Double DEFAULT) 7a. (Dble, U=0.7)	45.0 ft <sup>2</sup>	___		HSPF: 8.10
b. SHGC:		___	b. N/A	___
(or Clear or Tint DEFAULT) 7b. (Clear)	153.0 ft <sup>2</sup>	___	c. N/A	___
8. Floor types		___	14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 0.0(p) ft	___	a. Electric Resistance	Cap: 40.0 gallons
b. N/A	___	___		EF: 0.92
c. N/A	___	___	b. N/A	___
9. Wall types		___	c. Conservation credits	___
a. Frame, Wood, Exterior	R=13.0, 1289.3 ft <sup>2</sup>	___	(HR-Heat recovery, Solar	___
b. Frame, Wood, Adjacent	R=13.0, 324.7 ft <sup>2</sup>	___	DHP-Dedicated heat pump)	___
c. N/A	___	___	15. HVAC credits	___
d. N/A	___	___	(CF-Ceiling fan, CV-Cross ventilation,	___
e. N/A	___	___	HF-Whole house fan,	___
10. Ceiling types		___	PT-Programmable Thermostat,	___
a. Under Attic	R=30.0, 1325.0 ft <sup>2</sup>	___	MZ-C-Multizone cooling,	___
b. N/A	___	___	MZ-H-Multizone heating)	___
c. N/A	___	___		___
11. Ducts		___		___
a. Sup: Unc. Ret: Unc. AH(Sealed):Garage Sup. R=6.0, 142.0 ft	___	___		___
b. N/A	___	___		___

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar<sup>TM</sup> designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLRCSB v4.21)



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: 798 SW Utah St., Fort White, FL 32038

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq. ft. window area; .5 cfm/sq. ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked air breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

FORM 600A-2004

EnergyGauge® 4.21

## WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: 798 SW Utah St., Fort White, fl, 32038

PERMIT #:

BASE				AS-BUILT					
<b>WATER HEATING</b>									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit = Total Multiplier
3		2635.00	7905.0	40.0	0.92	3		1.00	2635.00 1.00 7905.0
				<b>As-Built Total:</b>					
				<b>7905.0</b>					

## CODE COMPLIANCE STATUS

BASE						AS-BUILT					
Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points
9875		7052		7905	24832	6602		5428		7905	19935

# PASS





# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 798 SW Utah St., Fort White, fl, 32038

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	1326.0	12.74	3040.8	Double,U=0.73,Clear	N	1.5	6.5	15.0	20.70	1.00	311.1
				Single,U=1.21,Clear	N	1.6	8.6	42.0	31.54	1.00	1325.9
				Double,U=0.73,Clear	E	1.5	4.5	6.0	14.99	1.06	95.3
				Double,U=0.73,Clear	E	1.5	6.5	45.0	14.99	1.03	695.2
				Double,U=0.73,Clear	S	1.5	6.5	30.0	9.51	1.09	311.9
				Double,U=0.73,Clear	W	1.5	6.5	15.0	16.87	1.02	257.9
				As-Built Total:			153.0			2997.4	
WALL TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Exterior	1289.3	3.70	4770.4	Frame, Wood, Exterior	13.0			1289.3	3.40	4383.6	
Adjacent	324.7	3.60	1168.9	Frame, Wood, Adjacent	13.0			324.7	3.30	1071.5	
Base Total: 1614.0 5939.3				As-Built Total:			1614.0			5465.1	
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points						
Exterior	21.0	8.40	176.4	Exterior Wood				21.0	12.30	258.3	
Adjacent	18.7	8.00	149.6	Adjacent Wood				18.7	11.50	215.1	
Base Total: 39.7 326.0				As-Built Total:			39.7			473.4	
CEILING TYPES Area X BWPM = Points				Type	R-Value			Area X WPM X WCM = Points			
Under Attic	1325.0	2.05	2716.3	Under Attic	30.0			1325.0	2.05 X 1.00	2716.3	
Base Total: 1325.0 2716.3				As-Built Total:			1325.0			2716.3	
FLOOR TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Slab	146.3(p)	8.9	0.0	Slab-On-Grade Edge Insulation	0.0			146.3(p)	18.80	0.0	
Raised	0.0	0.00	0.0								
Base Total: 0.0				As-Built Total:			0.0			0.0	
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
1326.0 -0.59 -782.3				1326.0 -0.59 -782.3							

FORM 600A-2004

EnergyGauge® 4.21

**WINTER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: 798 SW Utah St., Fort White, fl, 32038

PERMIT #:

BASE			AS-BUILT						
Winter Base Points: 11240.0			Winter As-Built Points: 10859.8						
Total Winter X Points	System = Multiplier	Heating Points	Total X Cap X Component Ratio (System - Points)	Duct X Multiplier (DM x DSM x AHU)	System X Multiplier	Credit = Multiplier	Heating Points		
11240.0	0.6274	7052.0	(sys 1: Electric Heat Pump 34800 btuh ,EFF(8.1) Ducts:Unc(S),Unc(R),Gar(AH),R6.0 10859.8 1.000 (1.069 x 1.169 x 0.95) 0.421 1.000 5427.6						
11240.0	0.6274	7052.0	10859.8	1.00	1.187	0.421	1.000	5427.6	



# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 798 SW Utah St., Fort White, FL 32038

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	1326.0	20.04	4783.1	Double,U=0.73,Clear	N	1.5	6.5	15.0	19.85	0.95	282.2
				Single,U=1.21,Clear	N	1.6	8.6	42.0	21.85	0.97	886.5
				Double,U=0.73,Clear	E	1.5	4.5	6.0	42.64	0.85	217.6
				Double,U=0.73,Clear	E	1.5	6.5	45.0	42.64	0.93	1778.9
				Double,U=0.73,Clear	S	1.5	6.5	30.0	36.45	0.88	959.8
				Double,U=0.73,Clear	W	1.5	6.5	15.0	39.12	0.93	544.4
				As-Built Total:				153.0		4669.4	
WALL TYPES				Area X BSPM = Points		Type	R-Value		Area X SPM = Points		
Exterior	1289.3	1.70	2191.8			Frame, Wood, Exterior	13.0		1289.3	1.50	1934.0
Adjacent	324.7	0.70	227.3			Frame, Wood, Adjacent	13.0		324.7	0.60	194.8
Base Total:		1614.0	2419.1			As-Built Total:		1614.0		2128.8	
DOOR TYPES				Area X BSPM = Points		Type	Area X SPM = Points				
Exterior	21.0	4.10	86.1			Exterior Wood			21.0	6.10	128.1
Adjacent	18.7	1.60	29.9			Adjacent Wood			18.7	2.40	44.9
Base Total:		39.7	116.0			As-Built Total:		39.7		173.0	
CEILING TYPES				Area X BSPM = Points		Type	R-Value		Area X SPM X SCM = Points		
Under Attic	1325.0	1.73	2292.3			Under Attic	30.0		1325.0	1.73 X 1.00	2292.3
Base Total:		1325.0	2292.3			As-Built Total:		1325.0		2292.3	
FLOOR TYPES				Area X BSPM = Points		Type	R-Value		Area X SPM = Points		
Slab	146.3(p)	-37.0	0.0			Slab-On-Grade Edge Insulation	0.0		146.3(p)	-41.20	0.0
Raised	0.0	0.00	0.0								
Base Total:		0.0	0.0			As-Built Total:		0.0		0.0	
INFILTRATION				Area X BSPM = Points				Area X SPM = Points			
		1326.0	10.21	13538.5				1326.0		10.21	13538.5

FORM 600A-2004

EnergyGauge® 4.21

**SUMMER CALCULATIONS****Residential Whole Building Performance Method A - Details**ADDRESS: **798 SW Utah St., Fort White, fl, 32038**

PERMIT #:

BASE				AS-BUILT						
<b>Summer Base Points: 23149.0</b>				<b>Summer As-Built Points: 22801.8</b>						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	=	Cooling Points
				(sys 1: Central Unit 34200 btuh, SEER/EFF(14.0) Ducts:Unc(S),Unc(R),Gar(AH),R6.0(INS)						
				22802	1.00	(1.09 x 1.147 x 0.95)	0.244	1.000		6602.2
<b>23149.0</b>	<b>0.4266</b>		<b>9875.4</b>	<b>22801.8</b>	<b>1.00</b>	<b>1.188</b>	<b>0.244</b>	<b>1.000</b>		<b>6602.2</b>





**ANSI/AAMA/NWDA 101/LS-2-97  
TEST REPORT**

**Rendered to:**

**MI WINDOWS AND DOORS, INC**

**SERIES/MODEL: 420/430/440**

**PRODUCT TYPE: Aluminum Sliding Glass Door**

Title	Summary of Results		
	Test Specimen #1	Test Specimen #2	Test Specimen #3
Rating	SGD-R25 182 x 96	SGD-R35 182 x 80	SGD-R40 144 x 96
Operating Force	17 lbf max.	17 lbf max.	N/A
Air Infiltration	0.23 cfm/ft <sup>2</sup>	0.27 cfm/ft <sup>2</sup>	N/A
Water Resistance Test Pressure	3.75/6.0/9.0 psf	6.0 psf	N/A
Uniform Load Deflection Test Pressure	±35.0 psf	±35.0 psf	+40.0 psf/-40.1 psf
Uniform Load Structural Test Pressure	±37.5 psf	±52.5 psf	+60.0 psf/-60.2 psf
Forced Entry Resistance	Grade 10	Grade 10	N/A

Reference should be made to ATI Report No. 52112.01-122-47 for complete test specimen description and data.



## **ANSI/AAMA/NWWDA 101/I.S.2-97 TEST REPORT**

Rendered to:

MI WINDOWS AND DOORS, INC  
P.O. Box 370  
Gratz, Pennsylvania 17030-0370

Report No.: 52112.01-122-47  
Revision 2: 09/14/05  
Test Dates: 06/30/04  
Through: 08/12/04  
Report Date: 08/30/04  
Expiration Date: 07/02/08

**Project Summary:** Architectural Testing, Inc. (ATI) was contracted by MI Windows and Doors, Inc. to witness testing on three Series/Model 420/430/440, aluminum sliding glass doors at MI Windows and Doors, Inc. test facility in Elizabethtown, Pennsylvania. The samples tested successfully met the performance requirements for the following ratings: Test Specimen #1: SGD-R25 182 x 96; Test Specimen #2: SGD-R35 182 x 80; Test Specimen #3: SGD-R40 144 x 96. Test specimen description and results are reported herein.

**Test Specification:** The test specimens were evaluated in accordance with ANSI/AAMA/NWWDA 101/I.S.2-97, *Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors*.

### **Test Specimen Description:**

**Series/Model:** 420/430/440

**Product Type:** Aluminum Sliding Glass Door

**Test Specimen #1:** SGD-R25 182 x 96 (XXO)

**Overall Size:** 15' 1-3/4" wide by 8' 0" high

**Active Door Panel Size (2):** 5' 0-1/2" wide by 7' 11" high

**Fixed Door Panel Size:** 5' 1" wide by 7' 11" high

**Screen Size:** 5' 0-3/8" wide by 7' 11" high

**Overall Area:** 121.2 ft<sup>2</sup>

**Reinforcement:** The active and fixed interlocking stile utilized a steel U-shaped reinforcement (Drawing #9917525). The fixed intermediate jamb utilized a steel reinforcement (Drawing #9917520).



**Test Specimen Description: (Continued)**

**Test Specimen #2: SGD-R35 182 x 80 (OXX)**

**Overall Size:** 15' 1-3/4" wide by 6' 8" high

**Active Door Panel Size (2):** 5' 0-1/2" wide by 6' 7" high

**Fixed Door Panel Size:** 4' 8-7/8" wide by 6' 2-5/8" high

**Screen Size:** 5' 0-3/8" wide by 6' 7" high

**Overall Area:** 101 ft<sup>2</sup>

**Reinforcement:** No reinforcement was utilized.

**Test Specimen #3: SGD-R40 144 x 96 (OXO)**

**Overall Size:** 12' 0" wide by 8' 0" high

**Active Door Panel Size:** 3' 8-1/4" wide by 7' 10-1/2" high

**Fixed Door Panel Size (2):** 3' 8-3/4" wide by 7' 6-1/2" high

**Screen Size:** 3' 11-1/2" wide by 7' 11-3/8" high

**Overall Area:** 96 ft<sup>2</sup>

**Reinforcement:** The active and fixed interlocking stile utilized a steel U-shaped reinforcement (Drawing #9917525). The fixed intermediate jamb utilized a steel reinforcement (Drawing #9917520). The interlock utilized an aluminum reinforcement (Drawing #SECT4237).

*The following descriptions apply to all specimens.*

**Finish:** All aluminum was painted.

**Glazing Details:** All glazing consisted of a single sheet of 3/16" thick clear tempered glass that was channel glazed with a wrap around rubber gasket.

**Test Specimen Description: (Continued)**

**Weatherstripping:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
0.187" backed by 0.270" high polypile with center fin	2 Rows	Stiles
1/2" wide by 1" long polypile dust plug	2 Pieces	Corner of head, jamb, and top and bottom of panel retainer
0.187" backed by 0.250" high polypile with center fin	2 Rows	Top rail
0.187" backed by 0.350" high polypile with center fin	2 Rows	Bottom rail
0.187" backed by 0.230" high polypile with center fin	1 Row	Panel interlock, screen stiles

**Frame Construction:** The frame was constructed of extruded aluminum. Corners were coped, butted, sealed, and fastened with two #8 x 5/8" screws. An aluminum panel adaptor was added to the screen adaptor and secured with #6 x 3/8" pan head screws located 3-1/2" from the ends and 14" on center through the screen adaptor into the panel adaptor. The jambs utilized a panel jamb retainer on the fixed panels secured to the jambs with two #6 x 1/2" screws through the retainer into the jambs. The panels were placed in the retainer and secured to the frame with two #8 x 1/2" screws located through the retainers into the panels. Three panel jamb retainers were utilized to secure the fixed panels, located at panel top and bottom and one midspan. The fixed panels also utilized an aluminum sill retainer clip located at the sill. The sill utilized an optional aluminum sill extender.

**Door Panel Construction:** The door panels were constructed of extruded aluminum members. Corners were coped, butted, and fastened with one 1/4" x 3/4" screw at the bottom and two #8 x 3/4" screws at the top.

**Screen Construction:** The screen was constructed of extruded aluminum members. Corners were coped, butted, and fastened with one 1/4" x 3/4" screw and one #8 x 1" screw at the bottom and one #8 x 1" screw at the top.



**Test Specimen Description: (Continued)**

**Hardware:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Locking handle	1	44" from active panel bottom
Roller assembly	2	3" from bottom rail ends
Screen locking handle	1	46" from screen bottom rail
Screen rollers	2	Corners of bottom rail

**Drainage:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Sloped sill	1	Sill
1/2" long drain off notches	6	Ends of vertical sill legs

**Installation:** The units were installed into a #2 Spruce-Pine-Fir wood test buck. The units were fastened to the test buck with two rows of #8 x 1-1/4" screws, 8" from each end and 23" on center. The exterior perimeter was sealed with silicone.

## Test Results:

The results are tabulated as follows:

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #1:</u></b> SGD-R25 182 x 96 (XXO)			
2.2.1.6.1	Operating Force Breakaway force	17 lbf 24 lbf	20 lbf max. 30 lbf max.
2.1.2	Air Infiltration per ASTM E 283 1.57 psf (25 mph)	0.23 cfm/ft <sup>2</sup>	0.3 cfm/ft <sup>2</sup> max.
<i>Note #1: The tested specimen meets (or exceeds) the performance levels specified in ANSI/AAMA/NWDA 101/I.S.2-97 for air infiltration.</i>			
2.1.3	Water Resistance per ASTM E 547 (with and without screen) 2.86 psf	No leakage	No leakage
2.1.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting rail) (Loads were held for 52 seconds) 15.0 psf (positive) 15.0 psf (negative)	0.56" 0.57"	See Note #2 See Note #2
<i>Note #2: The Uniform Load Deflection test is not a requirement of ANSI/AAMA/NWDA 101/I.S.2-97 for this product designation. The deflection data is recorded in this report for special code compliance and information only.</i>			
2.1.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds) 22.5 psf (positive) 22.5 psf (negative)	0.02" 0.03"	0.30" max. 0.30" max.
2.2.1.6.2	Deglazing Test per ASTM E 987 In operating direction - 70 lbs Locking stile Interlock stile	0.12"/24% 0.12"/24%	0.50"/100% 0.50"/100%

**Test Results: (Continued)**

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #1: SGD-R25 182 x 96 (XXO) (Continued)</u></b>			
2.2.1.6.2	Deglazing Test per ASTM E 987 In remaining direction - 50 lbs		
	Top rail	0.06"/12%	0.50"/100%
	Bottom rail	0.06"/12%	0.50"/100%
2.1.8	Forced Entry Resistance per ASTM F 842		
	Type: A	Grade: 10	
	Lock Manipulation Test	No entry	No entry
	Test A1 through A6	No entry	No entry
	Lock Manipulation Test	No entry	No entry
<b><u>Optional Performance</u></b>			
4.3	Water Resistance per ASTM E 547 (with and without screen) 3.75 psf	No leakage	No leakage
4.3	Water Resistance per ASTM E 547 (with and without screen) (with sill riser) 6.0 psf	No leakage	No leakage
4.3	Water Resistance per ASTM E 547 (with and without screen) (with 2-5/8" Dade County sill extension) 9.0 psf	No leakage	No leakage
4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting stile) (Loads were held for 10 seconds)		
	35.0 psf (positive)	2.98"	See Note #2
	35.0 psf (negative)	2.52"	See Note #2



**Test Results: (Continued)**

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #1: SGD-R25 182 x 96 (XXO) (Continued)</u></b>			
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds)		
	37.5 psf (positive)	0.20"	0.36" max.
	37.5 psf (negative)	0.19"	0.36" max.
<b><u>Test Specimen #2: SGD-R35 182 x 80 (OXX)</u></b>			
2.2.1.6.1	Operating Force	17 lbf	20 lbf max.
	Breakaway force	21 lbf	30 lbf max.
2.1.2	Air Infiltration per ASTM E 283 1.57 psf (25 mph)	0.27 cfm/ft <sup>2</sup>	0.3 cfm/ft <sup>2</sup> max.
<i>Note #1: The tested specimen meets (or exceed) the performance levels specified in ANSI/AAMA/NWDA 101/I.S.2-97 for air infiltration.</i>			
2.1.3	Water Resistance per ASTM E 547 (with and without screen)		
	2.86 psf	No leakage	No leakage
2.2.1.6.2	Deglazing Test per ASTM E 987 In operating direction - 70 lbs		
	Locking stile	0.12"/24%	0.50"/100%
	Interlock stile	0.12"/24%	0.50"/100%
	In remaining direction - 50 lbs		
	Top rail	0.06"/12%	0.50"/100%
	Bottom rail	0.06"/12%	0.50"/100%
2.1.8	Forced Entry Resistance per ASTM F 842		
	Type: A	Grade: 10	
	Lock Manipulation Test	No entry	No entry
	Test A1 through A6	No entry	No entry
	Lock Manipulation Test	No entry	No entry

**Test Results: (Continued)**

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #2: SGD-R35 182 x 80 (OXX) (Continued)</u></b>			
<b><u>Optional Performance</u></b>			
4.3	Water Resistance per ASTM E 547 (with and without screen) (with sill riser) 6.0 psf	No leakage	No leakage
4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting stile) (Loads were held for 52 seconds) 35.0 psf (positive) 35.0 psf (negative)	1.28" 1.33"	See Note #2 See Note #2
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds) 52.5 psf (positive) 52.5 psf (negative)	0.13" 0.15"	0.30" max. 0.30" max.

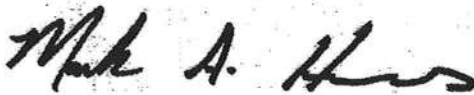
**Test Specimen #3: SGD-R40 144 x 96 (OXO)**

**Optional Performance**

4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting stile) (Loads were held for 52 seconds) 40.0 psf (positive) 40.1 psf (negative)	1.42" 1.28"	See Note #2 See Note #2
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds) 60.0 psf (positive) 60.2 psf (negative)	0.27" 0.30"	0.37" max. 0.37" max.

Detailed drawings, representative samples of the test specimen, and a copy of this report will be retained by ATI for a period of four years from the original test date. The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specification. This report does not constitute certification of this product, which may only be granted by the certification program administrator. This report may not be reproduced, except in full, without approval of Architectural Testing, Inc.

For ARCHITECTURAL TESTING, INC:



Digitally Signed by: Mark A. Hess

Mark A. Hess  
Technician



Digitally Signed by: Steven M. Urich

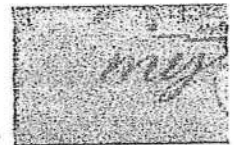
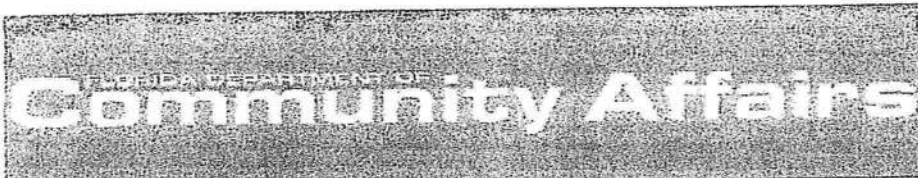
Steven M. Urich, P.E.  
Senior Project Engineer

MH:vlm



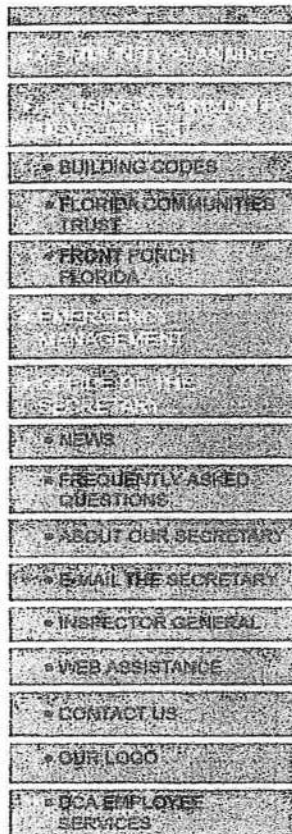
**Revision Log**

<u>Rev. #</u>	<u>Date</u>	<u>Page(s)</u>	<u>Revision(s)</u>
0	08/30/04	N/A	Original report issue
1	09/13/04	Cover page	Switch Specimens 1 and 2 / Added 430/440 to Series/Model
1	09/13/04	Page 1 and 2	Switch Specimen 1 and 2 sizes Added 430/440 to Series/Model on Page 1
1	09/13/04	Pages 4 through 7	Switch Specimen 1 and 2 test results / Specimen 2 optional performance water resistance from 3.75 psf to 6.00 psf with sill riser.
2	09/14/05	Page 2	Corrected configuration of Test Specimen #3
2	09/14/05	Page 3	Added additional Weatherstripping


[BCA Home](#) | [About BCA](#) | [Contact Us](#)

[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [B](#)
**Product Approval**


USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)
**Search Criteria**

Code Version	2004	FL#	ALL
Application Type	ALL	Product Manufacturer	MI Windo
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL

**Search Results - Applications**Go to Page  

FL#	Type	Manufacturer	Validat
<a href="#">FL5100</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Fixed	
<a href="#">FL5104</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Double Hung	
<a href="#">FL5108</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	
<a href="#">FL5418</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Fixed	
<a href="#">FL5438</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	
<a href="#">FL5447</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Double Hung	
<a href="#">FL5451</a>	New	MI Windows and Doors <b>Category:</b> Windows <b>Subcategory:</b> Horizontal Slider	
<a href="#">FL5483-R1 History</a>	Revision	MI Windows and Doors <b>Category:</b> Exterior Doors <b>Subcategory:</b> Sliding Exterior Door Assemblies	
<a href="#">FL5513</a>	New	MI Windows and Doors <b>Category:</b> Windows	Steven

		<b>Subcategory: Mullions</b>	(717) 7
<u>FL6023</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Casement</b>	
<u>FL6024</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Horizontal Slider</b>	
<u>FL6028</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Fixed</b>	
<u>FL6029</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Single Hung</b>	
<u>FL6489</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Mullions</b>	Steven (717) 7
<u>FL6499</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Single Hung</b>	
<u>FL6501</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Double Hung</b>	
<u>FL6502</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Horizontal Slider</b>	
<u>FL6503</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Fixed</b>	
<u>FL6679</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Fixed</b>	
Go to Page <input type="text"/> 			

## DCA Administration

**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**

2555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

© 2000-2005 The State of Florida. All rights reserved. Copyright and Discl.

**Product Approval Accepts:**



# Community Affairs



[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [B](#)



## Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

### Search Criteria

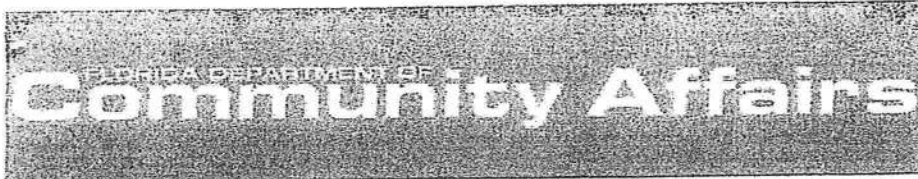
Code Version	2004 FL#	ALL
Application Type	ALL Product Manufacturer	JORDAN WINDO
Category	ALL Subcategory	ALL
Application Status	ALL Compliance Method	ALL

### Search Results - Applications

FL#	Type	Manufacturer	Validat
FL1378-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	
FL1384-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Horizontal Slider	
FL1385-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Fixed	
FL1386-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Exterior Doors <b>Subcategory:</b> Sliding Exterior Door Assemblies	
FL2685-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Mullions	Steven (717) 7
FL2946-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Awning	
FL2949-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Casement	

[DCA Administration](#)

Department of Community Affairs  
Florida Building Code Online  
Codes and Standards  
2555 Shumard Oak Boulevard


[GO HOME](#) | [ABOUT DCA](#) | [DCA PRESS](#)

[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [B](#)
**Product Approval**

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > **Application List**
**Search Criteria**

Code Version	2004	FL#	ALL
Application Type	ALL	Product Manufacturer	Masonit
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL

**Search Results - Applications**

FL#	Type	Manufacturer	Validated By
<a href="#">FL4242-R1</a> <a href="#">History</a>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4334-R1</a> <a href="#">History</a>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4668-R1</a> <a href="#">History</a>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4904</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4940</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL5114</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL5465</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door	

		Assemblies	
<u>FL5507</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL5508</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL6015</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL6506-R1 History</u>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL6509</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL7050</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL7091</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	

DCA Administration

**Department of Community Affairs  
Florida Building Code Online  
Codes and Standards**

2555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

© 2000-2005 The State of Florida. All rights reserved. Copyright and Discl.

**Product Approval Accepts:**





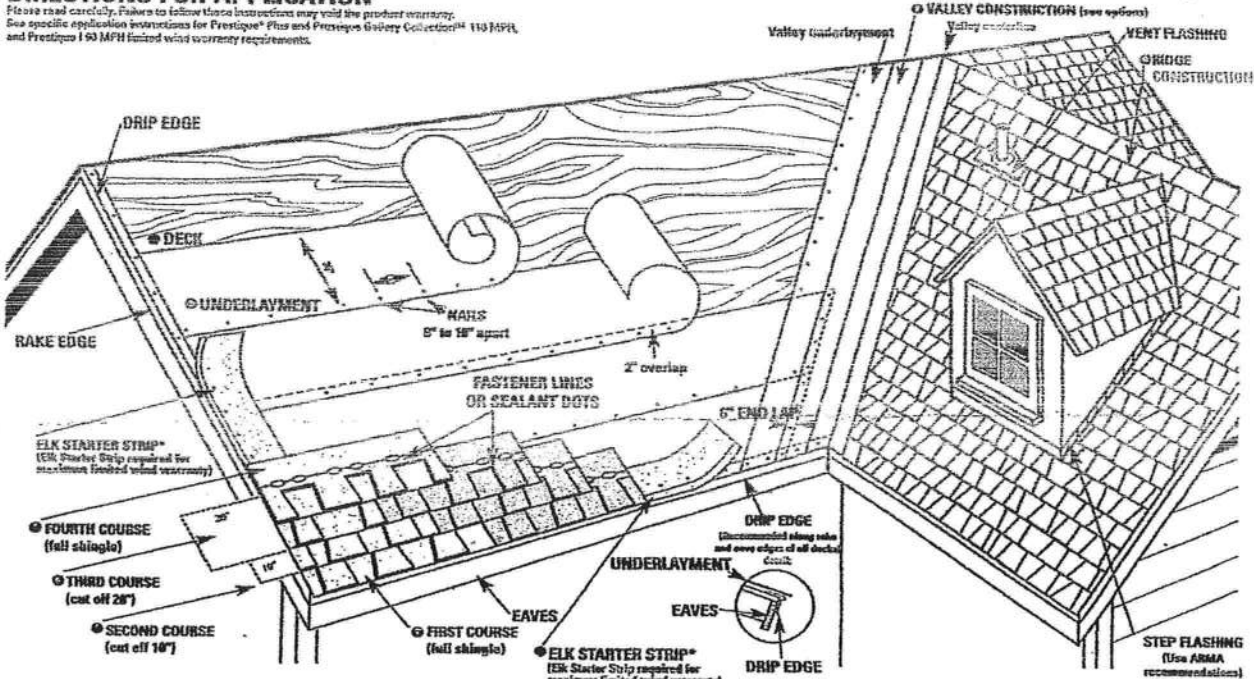




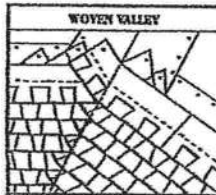
## DIRECTIONS FOR APPLICATION

Please read carefully. Failure to follow these instructions may void the product warranty. See specific application instructions for Prestige® Plus and Prestige Gallery Collection™ 110 MPH and Prestige 150 MPH limited wind warranty requirements.

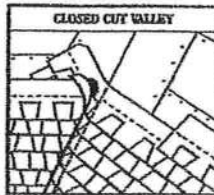
TUSCALOOSA, AL



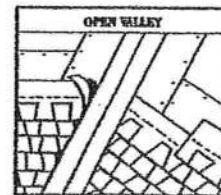
A VALLEY CONSTRUCTION OPTION (California Roof and California Flooded are also acceptable). NOTE: For complete ARMA valley construction details, see ARMA Residential Asphalt Shingle Manual.



VALLEY CENTER LINE



VALLEY CENTER LINE



VALLEY CENTER LINE

## DIRECTIONS FOR APPLICATION

These application instructions are the minimum required to meet Elk's application requirements. Your failure to follow these instructions may void the product warranty. In some areas, the building codes may require additional application techniques or methods beyond our instructions. In those cases, the local code must be followed. Under no circumstances will Elk accept application requirements that are less than those printed here. Shingles should not be jammed tightly together. All seams should be properly ventilated. Note: It is not necessary to remove tape on back of shingle.

### DECK PREPARATION

Roof decks should be dry, well-seasoned 1" x 6" boards or exterior grade plywood minimum 3/8" thick and conform to the specifications of the American Plywood Association or 7/16" oriented strandboard, or 7/16" chipboard.

### UNDERLAYMENT

Apply underlayment (Non-Perforated No. 15 or 30 asphalt saturated felt. Cover drip edge at eaves only.

For low slope 1/12 up to 4/12, completely cover the deck with two plies of underlayment overlapping a minimum of 12". Begin by fastening a 15" wide strip of underlayment placed along the eaves. Place a full 36" wide sheet over the starter, horizontally placed along the eaves and completely overlapping the starter strip.

**EAVE FLASHING FOR ICE DAMS (ASK A ROOFING CONTRACTOR, REFER TO ARMA MANUAL OR CHECK LOCAL CODES)**

For standard slope 4/12 to less than 21/12, use coated roll roofing of no less than 50 pounds over the felt underlayment extending from the eave edge to a point at least 24" beyond the inside wall of the living space below or one layer of a self-adhered eave and flashing membrane.

For low slope 1/12 up to 4/12, use a continuous layer of asphalt plastic cement between the two plies of underlayment from the eave edge up roof to a point at least 24" beyond the inside wall of the living space below or one layer of a self-adhered eave and flashing membrane.

Consult the Elk Field Service Department for application specifications over other decks and other slopes.

### STARTER SHINGLE COURSE

USE AN ELK STARTER STRIP OR A STRIP SHINGLE INVERTED WITH THE HEADLAP APPLIED AT THE EAVE EDGE. With at least 4" trimmed from the end of the first shingle, start at the rake edge overhanging the eave 1/2" to 3/4". Fasten 2" from the lower edge and 1" from each side.

### FIRST COURSE

Start at rake and continue course with full shingles laid flush with the starter course. Shingles may be applied with a course alignment of 45° on the roof.

### SECOND COURSE

Start at the rake with the shingle having 10" trimmed off and continue across roof with full shingles.

### THIRD COURSE

Start at the rake with the shingle having 20" trimmed off and continue across roof with full shingles.

### FOURTH COURSE

Start at the rake and continue with full shingles across roof.

### FIFTH AND SUCCEEDING COURSES

Repeat application as shown for second, third, and fourth courses. Do not rack shingles straight up the roof.

### VALLEY CONSTRUCTION

Open, woven and closed cut valleys are acceptable when applied by Asphalt Roofing Manufacturers Association (ARMA) recommended procedure. For metal valleys, use 36" wide vertical underlayment prior to applying 15" metal flashing (secure edge with nails). No nails are to be within 6" of valley center.

### RIDGE CONSTRUCTION

For ridge construction use Class "A" Self-A-Ridge™ with formula FLX™ (See ridge package for installation instructions.)

### FASTENERS

While nailing is the preferred method for Elk shingles, Elk will accept fastening methods according to the following instructions.

Always nail or staple through the fastener line or on products without fastener lines, nail or staple between and in line with sealant dots.

**NAILS:** Corrosive resistant, 36" head, minimum 12-gauge roofing nails. Elk recommends 1-1/4" for new roofs and 1-1/2" for re-roofs. In cases where you are applying shingles to a roof that has an exposed overhang, for new roofs only, 3/4" ring shank nails are allowed to be used from the eave's edge to a point up the roof that is past the outside wall line. 1" ring shank nails allowed for re-roof.

**STAPLES:** Corrosive resistant, 16-gauge minimum, crown width minimum of 15/16". Note: An improperly adjusted staple gun can result in raised staples that can cause a fish-mouthed appearance and can prevent sealing.

Fasteners should be long enough to obtain 3/4" deck penetration or penetration through deck, whichever is less.

### MANSARD APPLICATIONS

Correct fastening is critical to the performance of the roof. For slopes exceeding 60° for 21/12 use six fasteners per shingle. Locate fasteners in the fastener area 1" from each side edge with the remaining four fasteners equally spaced along the length of the double thickness (laminated) area. All fastening methods according to the above instructions are acceptable.

### LIMITED WIND WARRANTY

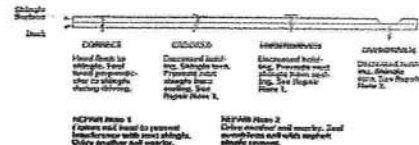
For a Limited Wind Warranty, all Prestige and Raised Profile™ shingles must be applied with 4 properly placed fasteners, or in the case of mansard applications, 6 properly placed fasteners per shingle.

For a Limited Wind Warranty up to 110 MPH for Prestige Gallery Collection or Prestige Plus or 90 MPH for Prestige I, shingles must be applied with 6 properly placed NAILS per shingle. SHINGLES APPLIED WITH STAPLES WILL NOT QUALIFY FOR THIS ENHANCED LIMITED WIND WARRANTY. Also, Elk Starter Strip shingles must be applied at the eaves and rake edges to qualify Prestige Plus, Prestige Gallery Collection and Prestige I shingles for this enhanced Limited Wind Warranty. Under no circumstances should the Elk Shingles or the Elk Starter Strip overhang the eaves or rake edge more than 3/4" of an inch.



### HELP STOP BLOW-OFFS AND CALL-BACKS

A minimum of four fasteners must be driven into the DOUBLE THICKNESS (laminated) area of the shingle. Nails or staples must be placed along - and through - the "fastener line" or on products without fastener lines, nail or staple between and in line with sealant dots. CAUTION: Do not use fastener line for shingle alignment.



Refer to local codes which in some areas may require specific application techniques beyond those Elk has specified. All Prestige and Raised Profile shingles have a UL® Wind Resistance Rating when applied in accordance with these instructions using nails or staples on re-roofs as well as new construction.

**CAUTION TO WHOLESALE:** Careless and improper storage or handling can harm fiberglass shingles. Keep these shingles completely covered, dry, reasonably cool, and protected from the weather. Do not store near various sources of heat. Do not store in direct sunlight until applied. DO NOT DOUBLE STACK. Systematically rotate all stock so that the material that has been stored the longest will be the first to be moved out.

© 2002 Elk Corporation of Dallas.

All trademarks, ®, are registered trademarks of Elk Corporation of Dallas, an ELCOR company. Raised Profile, RidgeVent, Gallery Collection and FLX are trademarks pending registration of Elk Corporation of Dallas. UL is a registered trademark of Underwriters Laboratories, Inc.

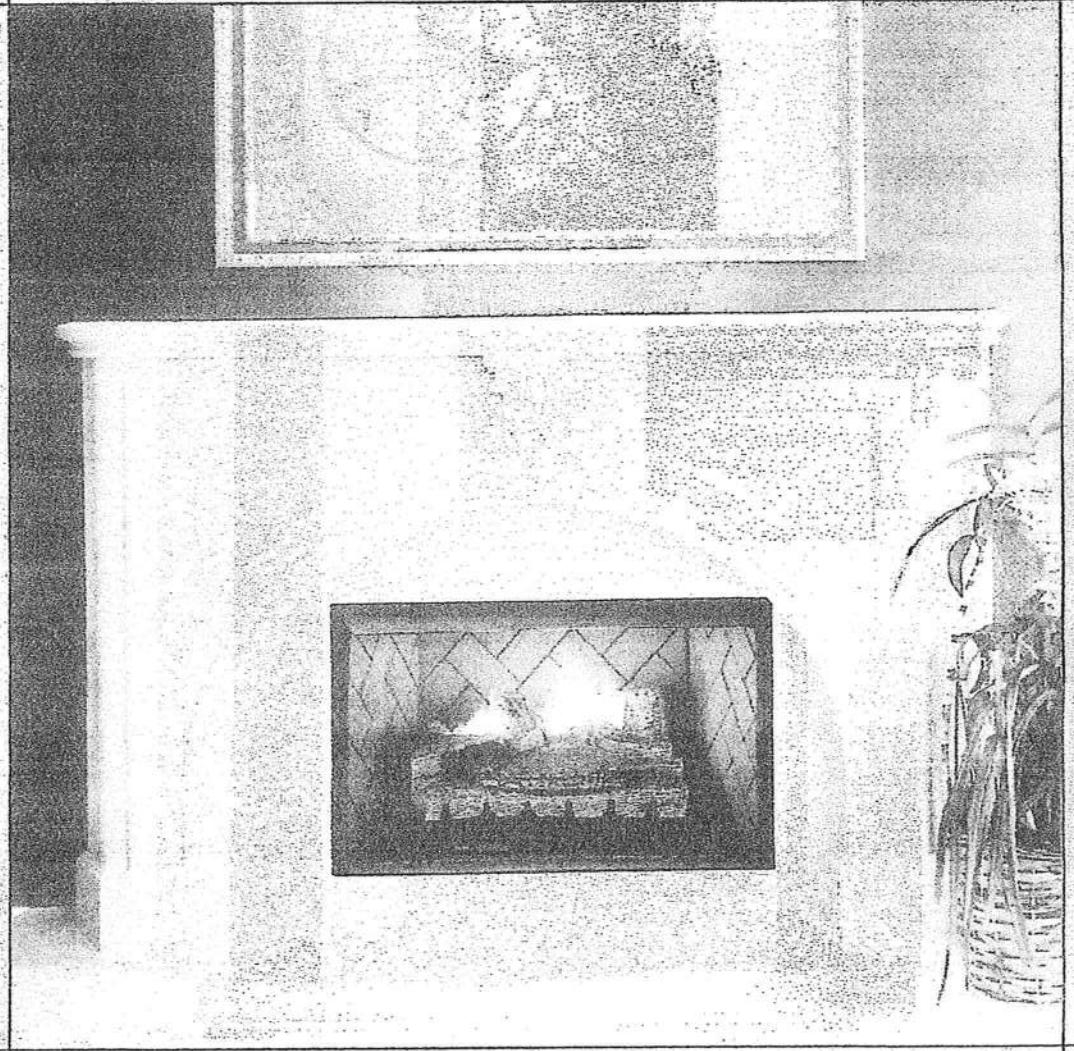
**ELK**  
www.elkcorp.com



THE RENAISSANCE SERIES

Colonial

VENT-FREE GAS FIREPLACES  
V32/36/42/50 Model Series



for Builders

FIREPLACES  
FOR BUILDERS

Fmi

## Warm Up To A High-Efficiency Colonial

There's a growing demand for vent-free gas fireplaces because they're 99 percent energy-efficient and can be installed virtually anywhere. FMI's Colonial vent-free models deliver these benefits and more. They're part of our exciting new Renaissance Series, which offers a consistent look, sizing and construction across the entire line...plus beautiful new features homeowners will love!

### Homeowner Highlights:

- **Visual appeal**—The industry's finest textured refractory brick liner (except 32") offers the attractive look of a true masonry fireplace.
- **Many luxury features are standard**—The Colonial comes standard with a heat deflection hood, hidden screen pockets (except 50"), stamped steel louvered panels, and other distinctive features.
- **Dollar-saving efficiency**—Paired with an Fmi vent free gas log heater, the systems 99% energy efficiency can provide dramatic energy savings.

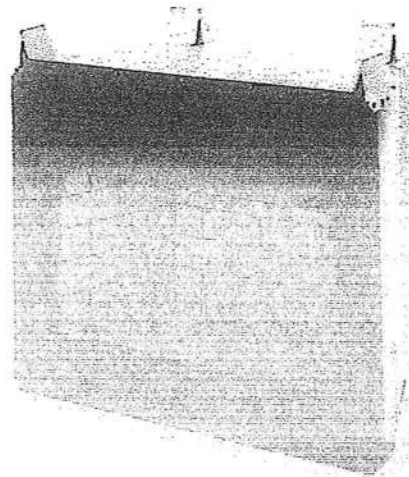
### Builder Benefits:

- **Straight, secure installation**—We've added full-length nailing flanges, and drywall stops.
- **Flexibility in the field**—You can quickly convert from louvered to clean face at any time (except 50").
- **Economical and versatile**—There's no chimney required. Can be installed virtually anywhere.

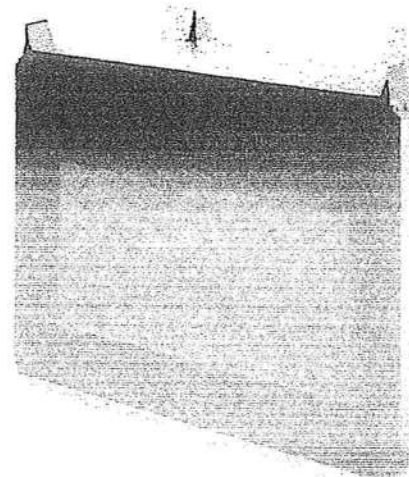


Fmi Hearth Industries  
www.fmifireplace.com

For more information, call (866) 328-4537



V36 is our louver-faced 36" fireplace with textured refractory brick-lined interior.



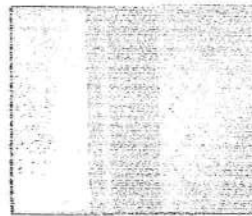
V42 is FMI's 42" louver-faced fireplace shown with optional herringbone textured refractory brick-lined interior.

### 32", 36", 42" & 50" Vent-Free Fireplace Models Available With The Following:

- Clean or Louver (Circulating) Faced Models Available (Clean Faced only on 50")
- Traditional Stacked and Herringbone Pattern Refractory Brick-Lined Interiors
- Solid wrap or Outside Air Ready Models

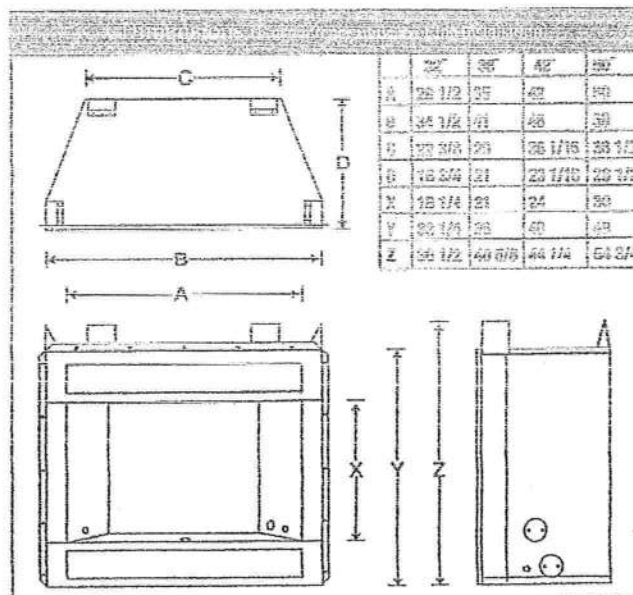


The Colonial features the industry's finest textured refractory brick lining.



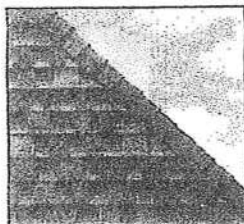
You get straight, solid installation, thanks to our full-length nailing flanges and drywall stops.

- Rolled Black Louver Panels
- Louver Trim (Brushed Brass & Platinum)
- Decorative Filigree Panels (Black, Brushed Brass & Platinum)
- Perimeter Trim Kits (Black, Brushed Brass & Platinum)
- Heat Deflection Hoods (Brushed Brass & Platinum)
- Fan Kits
- Standard & Herringbone Refractory Brick Liners

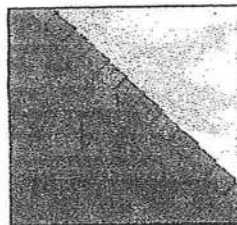




## ROOFING PRODUCTS SPECIFICATIONS - TUSCALOOSA, AL



**PRESTIQUE®  
HIGH DEFINITION®**



**RAISED PROFILE™**

### Prestique Plus High Definition and Prestique Gallery Collection™

Product size.....13⅞"x 39⅞"  
Exposure.....5⅞"  
Pieces/Bundle.....16  
Bundles/Square.....4/98.5 sq.ft.  
Squares/Pallet.....11

30-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

### Raised Profile

Product size.....13⅞"x 38⅞"  
Exposure.....5⅞"  
Pieces/Bundle.....22  
Bundles/Square.....3/100 sq.ft.  
Squares/Pallet.....16

30-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

### Prestique I High Definition

Product size.....13⅞"x 39⅞"  
Exposure.....5⅞"  
Pieces/Bundle.....16  
Bundles/Square.....4/98.5 sq.ft.  
Squares/Pallet.....14

40-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

### HIP AND RIDGE SHINGLES

#### Seal-A-Ridge® w/FLX™

Size: 12"x 12"  
Exposure: 6⅞"  
Pieces/Bundle: 45  
Coverage: 4 Bundles = 100 linear feet

### Prestique High Definition

Product size.....13⅞"x 38⅞"  
Exposure.....5⅞"  
Pieces/Bundle.....22  
Bundles/Square.....3/100 sq.ft.  
Squares/Pallet.....16

30-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

#### Elk Starter Strip

52 Bundles/Pallet  
18 Pallets/Truck  
936 Bundles/Truck  
19 Pieces/Bundle  
1 Bundle = 120.33 linear feet

Available Colors: Antique Slate, Weatheredwood, Shakeswood, Sablewood, Hickory, Barkwood™, Forest Green, Wedgewood™, Birchwood™, Sandalwood, Gallery Collection: Behnken Forest™, Weathered Sage™, Sierra Sunset™.

All Prestique, Raised Profile and Seal-A-Ridge roofing products contain Elk WindGuard® sealant. WindGuard activates with the sun's heat, bonding shingles into a wind and weather resistant cover that resists blow-offs and leaks.

Check for availability with built-in StainGuard® treatment to inhibit the discoloration of roofing granules caused by the growth of certain types of algae. Not available in Sablewood.

All Prestique and Raised Profile shingles meet UL® Wind Resistant (UL 997) and Class "A" Fire Ratings (UL 790); and ASTM Specifications D 3018, Type-I; D 3161, Type-I; E 108 and the requirements of ASTM D 3462.

All Prestique and Raised Profile shingles meet the latest Miami Dade building code requirements.

\*See actual limited warranty for details and restrictions.

## SPECIFICATIONS

**Scope:** Work includes furnishing all labor, materials and equipment necessary to complete installation of (name) shingles specified herein. Color shall be (name of color). Hip and ridge type to be Elk Seal-A-Ridge with formula FLX.

All exposed metal surfaces (fastening, vents, etc.) to be painted with matching Elk roof accessory paint.

**Preparation of New Deck:** Roof deck to be dry, well-seasoned 1" x 6" (25.4mm x 152.4mm) boards; exterior-grade plywood (exposure 1 rated sheathing) at least 3/8" (9.5mm) thick conforming to the specifications of the American Plywood Association; 7/16" (11.3mm) oriented strandboard; or chipboard. Most fire-retardant plywood decks are still approved substrates for Elk shingles. Consult Elk Field Service for application specifications over other decks and other slopes.

**MATERIALS:** Underlayment for standard roof slopes, 4" per foot (101.6/304.8mm) or greater, apply non-perforated No. 15 or 30 asphalt-saturated felt underlayment. For low slopes 4" per foot (101.6/304.8mm) to a minimum of 2" per foot (50.8/203.2mm), use two piles of underlayment overlapped a minimum of 18". Fasteners shall be of sufficient length and holding power for securing material as required by the application instructions printed on shingle wrapup.

For areas where algae is a problem, shingles shall be treated with StainGuard treatment, as manufactured by the Elk Tuscaloosa plant. Hip and ridge type to be Seal-A-Ridge with formula FLX with StainGuard treatment.

Complete application instructions are published by Elk and printed on the back of every shingle bundle. All

warranties are contingent upon the correct installation as shown on the instructions. These instructions are the minimum required to meet Elk application requirements. In some areas, building codes may require additional application techniques or methods beyond our instructions. In these cases, the local code must be followed. Under no circumstance will Elk accept application requirements less than those contained in its application instructions.

For specifications in CSI format, call 800.364.NPEU (7739) or e-mail [special@elkcorp.com](mailto:special@elkcorp.com).

SOUTHEAST &  
ATLANTIC OFFICE:  
800.945.5551

CORPORATE HEADQUARTERS:  
800.354.7732

PLANT LOCATION:  
800.945.5545

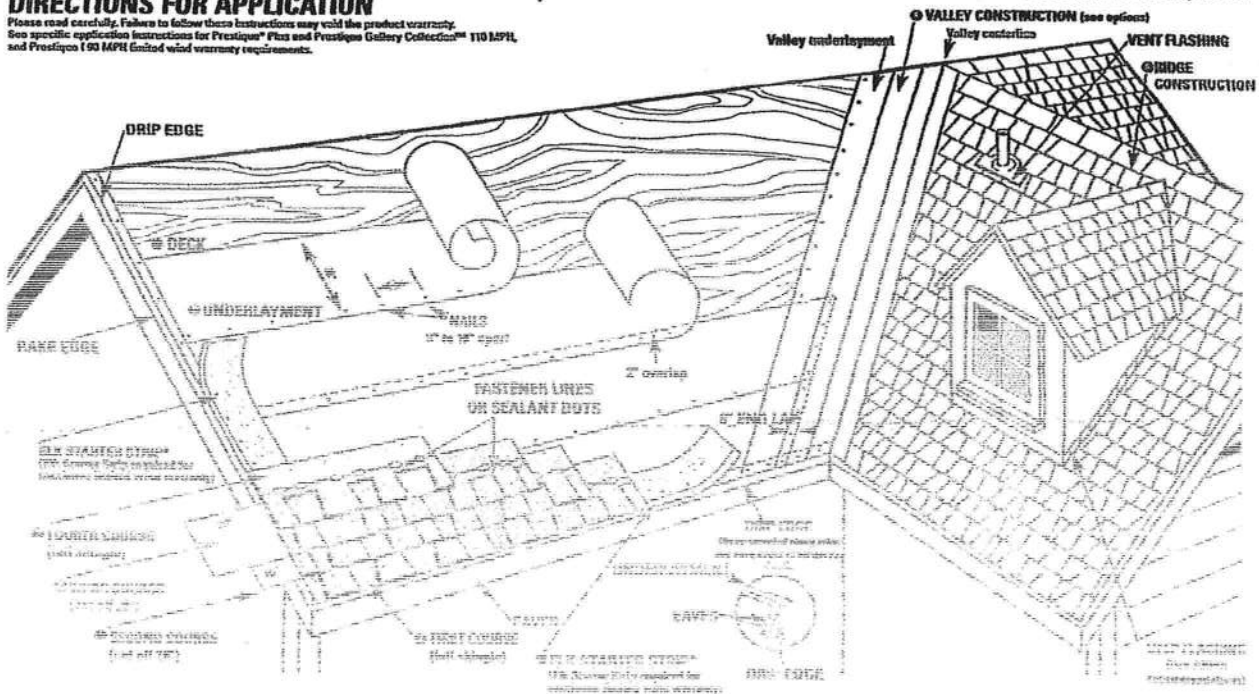
**ELK**  
www.elkcorp.com



# DIRECTIONS FOR APPLICATION

Please read carefully. Failure to follow these instructions may void the product warranty. See specific application instructions for Prestige® Plus and Prestige Gallery Collection™ 110 MPH and Prestige 100 MPH Limited wind warranty requirements.

TUSCALOOSA, AL



ELK CORPORATION, 10000 W. 10TH AVENUE, DENVER, CO 80231-1000, TEL: 303.440.1000, FAX: 303.440.1001, WWW.ELKCORP.COM

## DIRECTIONS FOR APPLICATION

These application instructions are the minimum required to meet ELK's application requirements. Your failure to follow these instructions may void the product warranty. In some areas, the building codes may require additional application techniques or methods beyond our instructions. In those cases, the local code must be followed. Under no circumstances will ELK accept application requirements that are less than those stated here. Shingles should not be jammed tightly together. All shingles should be properly installed. Note: It is not necessary to remove tape on back of shingle.

### DECK PREPARATION

Roof decks should be dry, well-seasoned 1"x6" boards or exterior grade plywood minimum 3/8" thick and conform to the specifications of the American Plywood Association or 1/2" oriented strandboard, or 1/2" chipboard.

### UNDERLAYMENT

Apply underlayment (Non-perforated No. 15 or 30 asphalt saturated felt, lower slope edge of eaves only).

For low slope (1/2" to 4/12), completely cover the deck with two pieces of underlayment overlapping a minimum of 18" by fastening a 1" wide strip of underlayment placed along the eaves. Place a full 24" wide sheet over the eaves horizontally placed along the eaves and completely overlapping the starter strip.

**SAVE FLASHING FOR ICE DAMS (ASK A ROOFING CONTRACTOR, REFER TO ASMA MANUAL, OR CHECK LOCAL CODES)**

For standard slope (4/12 to less than 12/12), use coated felt roofing of no less than 50 pounds over the felt underlayment extending from the eave edge to a point at least 24" beyond the brick wall of the living space below or one layer of a self-adhered eave and flashing membrane.

For low slope (1/2" to 4/12), use a continuous layer of asphalt plastic cement between the two pieces of underlayment from the eave edge up roof to a point at least 24" beyond the brick wall of the living space below or one layer of a self-adhered eave and flashing membrane.

Consult the ELK Field Service Department for application applications over other decks and other slopes.

### STARTER SHINGLE COURSE

USE AN ELK STARTER STRIP OR A STRIP SHINGLE INVERTED WITH THE HEADLY APPLIED AT THE EAVE EDGE. With at least 4" beyond the end of the first shingle, start at the side edge overlapping the eave 12" to 36". Fasten 2" from the lower edge and 1" from each side.

### FIRST COURSE

Start at rake and continue course with full shingles laid flush with the starter course. Shingles may be applied with a course alignment of 1/2" on the roof.

### SECOND COURSE

Start at the rake with the shingles having 16" shingled off and continue across roof with full shingles.

### THIRD COURSE

Start at the rake with the shingles having 24" shingled off and continue across roof with full shingles.

### FOURTH COURSE

Start at the rake and continue with full shingles across roof.

### FIFTH AND SUCCEEDING COURSES

Repeat application as shown for second, third, and fourth courses. Do not rack shingles straight up the roof.

### VALLEY CONSTRUCTION

Open, woven and closed cut valleys are acceptable when applied by Asphalt Roofing Manufacturers Association (ARMA) recommended procedures. For metal valleys, use 36" wide vertical underlayment prior to applying 18" metal flashing (eave edge with nails). No nails are to be within 6" of valley center.

### RIDGE CONSTRUCTION

For ridge construction use Class "A" Seal-A-Ridge® with formula FLX™ (See ridge package for installation instructions.)

### FASTENERS

While nailing is the preferred method for ELK shingles, ELK will accept fastening methods according to the following instructions.

Always nail or staple through the fastener line or on products without fastener lines, nail or staple between and in line with eave edge.

**NAILS:** Use minimum 3/8" head, minimum 17-gauge galvanized nails. ELK recommends 1-1/4" for eave edge and 1-1/2" for roof. In cases where you are applying shingles to a roof that has an existing underlayment, for new roofs only, 17-gauge nails are allowed to be used from the eave edge to a point up the roof that is just the outside wall line. 1" long shank nails allowed for re-roof.

**STAPLES:** Corrosive resistant, 16-gauge stainless, crown width minimum of 12/16". Note: An improperly selected staple gun can result in failed shingles that can cause a full-roofed application and can prevent sealing.

Fasteners should be long enough to obtain 3/8" deck penetration or penetration through deck, whichever is less.

### STANDARD APPLICATIONS

Correct fastening is critical to the performance of the roof. For shingles meeting 110 MPH or 110 MPH use 24 fasteners per shingle. Less fasteners in the fastener line 1" from eave edge with the remaining four fasteners equally spaced along the length of the double thickness (horizontal) area. Only fastening methods according to the above instructions are acceptable.

### LIMITED WIND WARRANTY

For a Limited Wind Warranty, all Prestige and Balanced Profile® shingles must be applied with 4 properly placed fasteners, or in the case of mansard applications, 6 properly placed fasteners per shingle.

For a Limited Wind Warranty up to 110 MPH for Prestige Gallery Collection or Prestige Plus and 100 MPH for Prestige 1, shingles must be nailed with 8 properly placed NAILS per shingle. SHINGLES APPLIED WITH STAPLES WILL NOT QUALIFY FOR THE LIMITED WIND WARRANTY. Also, ELK Starter Strip shingles must be applied at the eave and rake edges to qualify Prestige Plus, Prestige Gallery Collection and Prestige 1 shingles for this enhanced Limited Wind Warranty. Under no circumstances should the 10, 12, or 14 inch Starter Strip overlapping the eave or rake edge more than 24" on the roof.

### HELP STOP BLOW-OUTS AND CALL-BACKS

A minimum of four fasteners must be driven into the DOUBLE THICKNESS (horizontal) area of the shingle. Nails or staples must be placed along - and through - the 'fastener line' or on products without fastener lines, nail or staple between and in line with eave edge. CAUTION: Do not use fastener line for shingle alignment.

Shingle	Deck	Fasteners	Fasteners	Fasteners	Fasteners
Standard	Standard	Standard	Standard	Standard	Standard
Standard	Standard	Standard	Standard	Standard	Standard
Standard	Standard	Standard	Standard	Standard	Standard
Standard	Standard	Standard	Standard	Standard	Standard

Refer to local codes which in some areas may require specific application techniques beyond those ELK has specified. All Fasteners and Shingles must be applied in accordance with these instructions using nails or staples on re-roof as well as new construction.

**CAUTION TO WHOLESALE:** Careless and improper storage or handling can cause shingles to become damaged. Keep these shingles extremely dry, reasonably cool, and protected from the weather. Do not store near various sources of heat. Do not store in direct sunlight until applied. DO NOT DOUBLE STACK. Systematically rotate all stock so that the material that has been stored the longest will be the first to be moved out.

© 2002 ELK Corporation of Dallas.

All trademarks are the registered trademarks of ELK Corporation of Dallas, or ELK's subsidiary, Dallas Profile, RidgePro, Gallery Collection and ELK are trademarks pending registration of ELK Corporation of Dallas. ELK is a registered trademark of The American Shingles Institute, Inc.

**ELK**  
www.elkcorp.com

**WILLIAM N. KITCHEN**

PROFESSIONAL SURVEYOR AND MAPPER

152 N. MARION AVENUE

LAKE CITY, FLORIDA 32055

PHONE (386) 755-7786 FAX (386) 755-5506

E-MAIL BSSK@BELLSOUTH.NET



DATE : 8/13/2008

TO WHOM IT MAY CONCERN:

RE: CATALINA CASTSTRONE CREATIONS

SUBJECT **Parcel:** 00-00-00-01438-002, LOT 2, BLOCK 4, UNIT 23, THREE RIVERS ESTATES, 798 SW UTAH STREET, FT. WHITE, FL.

IS NOT IN A FLOOD ZONE ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 120070 0225 B DATED JANUARY 6, 1988.

THE TOP OF FORMS ARE 8 INCHES BELOW THE CENTERLINE OF ADJACENT COUNTY GRADED ROAD.

THE TOP OF FORMS ARE 12 INCHES ABOVE THE EXSITING GROUND AT ANY POINT.

REFERENCE; RESIDENTAIL FINISH FLOOR ELEVATION LETTER PER GTC DESIGN GROUP, DATED JULY 28, 2008, CHAD WILLIAMS, PE 63144.

THANK YOU

WILLIAM N. KITCHEN PSM # 5490

*William N. Kitchen*  
8-13-2008



GTC Design Group, LLC  
176 NW Lake Jeffery Road  
Lake City, FL 32643  
(Phone) 386.719.9985  
(Fax) 386.719.8828  
cwilliams@gtcdesigngroup.com

## **Residential Finish Floor Elevation Letter**

**Contractor: Catalina Caststone Creations**

**Owner: Pam Smith**

**Parcel Number: 00-00-00-01438-002**

For protection against water damage, the minimum finish floor elevation of the proposed structure shall be 12 inches above the existing ground at any point along the perimeter of the proposed structure. In no case shall the finish floor elevation be more than 12 inches below the centerline of the adjacent county road.

The ground around the proposed structure shall be graded such as to convey all stormwater runoff away from the proposed structure.

The above elevations are based on the structure's proposed location, approximately +/-50 feet South from SW Utah Street.

---

Chad Williams  
P.E. License Number: 63144  
July 28, 2008





## Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

0 0.06 0.12 0.18 mi

### PARCEL: 00-00-00-01438-002 - VACANT (000000)

Name: A & I LAND CORP INC &  
Site:

GIT PROPERTIES & INVESTMENTS  
INC & IGN INVESTMENTS CORP  
Mail: 1516 SW 150 AVE  
MIAMI, FL 33194

12/20/2005 \$100.00 /

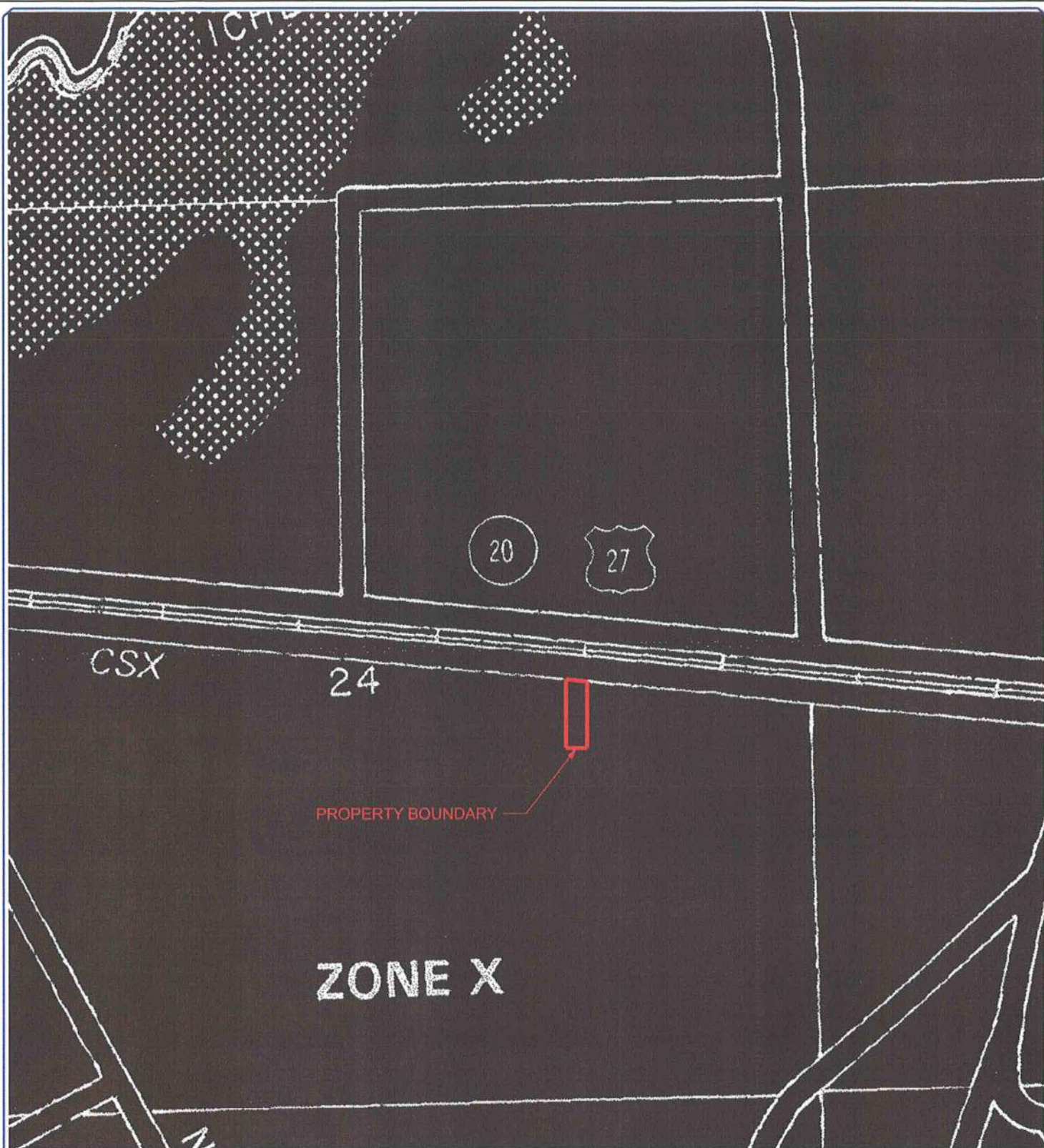
Sales Info 10/5/2005 \$22,500.00 /

10/3/1988 \$5,995.00 /

LandVal	\$21,000.00
BldgVal	\$0.00
ApprVal	\$21,000.00
JustVal	\$21,000.00
Assd	\$21,000.00
Exmpt	\$0.00
Taxable	\$21,000.00







0 400 800 1600



**SMITH**  
**FEMA MAP**



P.O. Box 187  
130 West Howard Street  
Live Oak FL, 32064  
Phone: (386) 362-3678  
Fax: (386) 362-6133

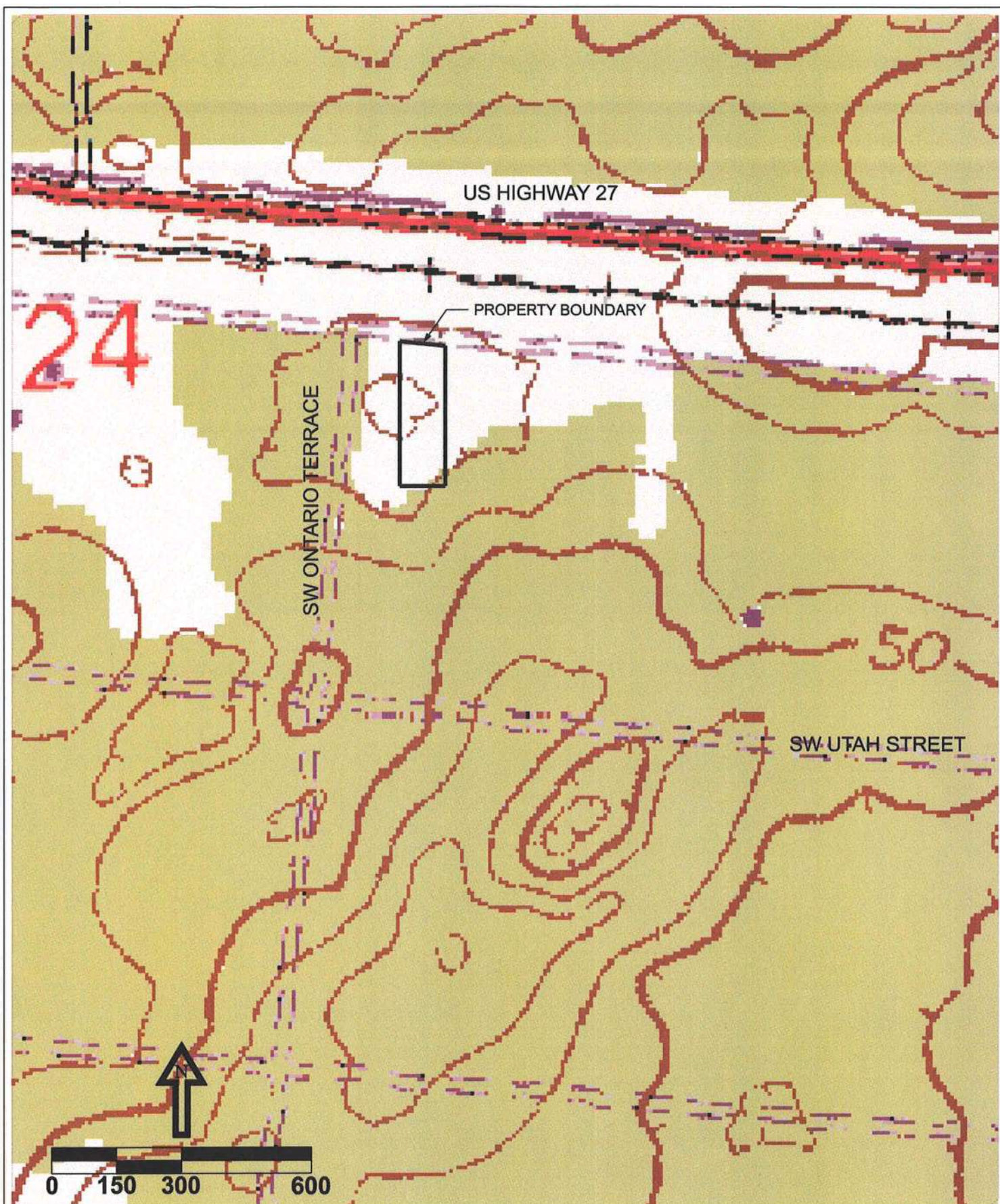
PROJECT NUMBER

**PF08-138**

SHEET

**F1**





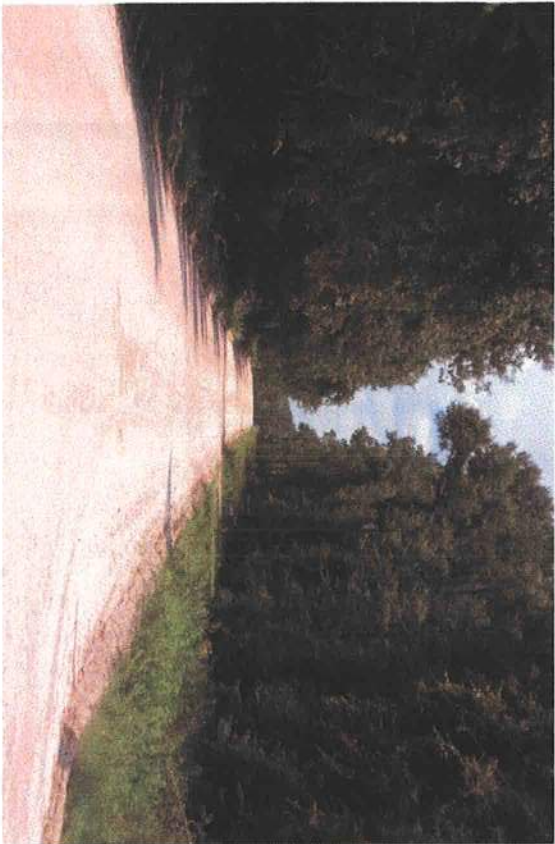
STRUCTURAL/CIVIL ENGINEERS

P.O. Box 187  
130 West Howard Street  
Live Oak FL, 32064  
Phone: (386) 362-3678  
Fax: (386) 362-6133

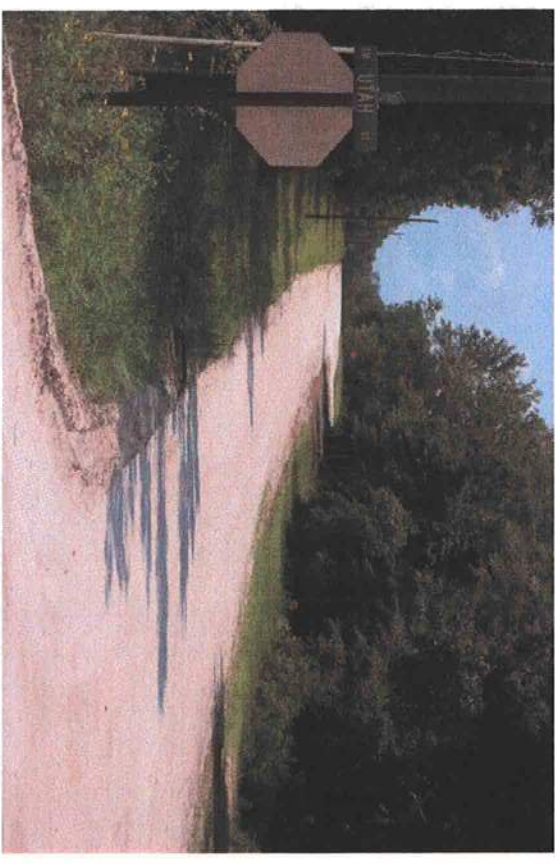
PROJECT NUMBER

SHEET

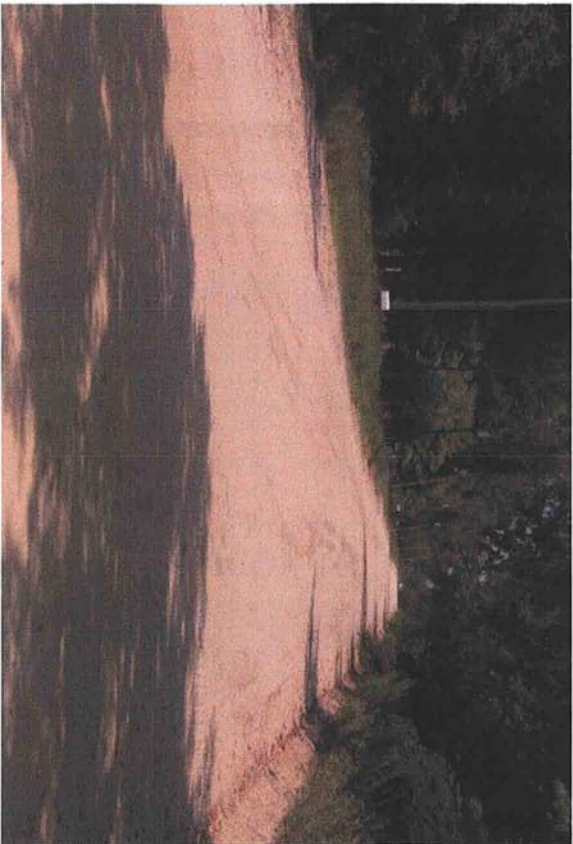




Utah East



Ontario South



Utah West

All Pictures were taken from the  
intersection of SW Utah Street and  
SW Ontario Terrace

ATN: webbie

**Columbia County Building Department  
Culvert Waiver**

**Culvert Waiver No.  
000001655**

DATE: 08/11/2008

BUILDING PERMIT NO. 27256

APPLICANT PAM SMITH

PHONE 786 295-9296

ADDRESS 377 SW MAULDIN AVE LAKE CITY FL 32024

OWNER BRJ VENTURES PHONE 786 229-9638

ADDRESS 798 SW UTAH ST FT. WHITE FL 32038

CONTRACTOR CATALINA CASTSTONE CREATIONS PHONE 305 542-9193

LOCATION OF PROPERTY 47S, TR ON 27, TL ON UTAH, .7 MILES ON LEFT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT THREE RIVERS EST 2 4 23

PARCEL ID # 24-6S-15-01438-002

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: *Pamela Smith*

A SEPARATE CHECK IS REQUIRED  
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

**PUBLIC WORKS DEPARTMENT USE ONLY**

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

☒ APPROVED ☐ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: Per Ken Sweet THIS DOES NOT require a culvert

SIGNED: *[Signature]* DATE: 08-14-08

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160







## Cal-Tech Testing, Inc.

- Engineering
  - Geotechnical
  - Environmental
- Laboratories

P.O. Box 1625 • Lake City, FL 32056-1625 • Tel(386)755-3633 • Fax(386)752-5456

4784 Rosselle St., Jacksonville, FL 32254 • Tel(904)381-8901 • Fax(904)381-8902

27256

### REPORT OF IN-PLACE DENSITY TEST

JOB NO.: 08-00418-01

DATE TESTED: 8/14/08

DATE REPORTED: 8/15/08

PROJECT:	Utah Street Project, Ft. White
CLIENT:	Catalina Caststone Creations, 377 SW Mauldin Ave., Lake City, FL 32024
GENERAL CONTRACTOR:	Catalina Caststone Creations
EARTHWORK CONTRACTOR:	Catalina Caststone Creations
INSPECTOR:	Richard Kramer
ASTM METHOD (D-2922) Nuclear	SOIL USE BUILDING FILL
SPECIFIED REQUIREMENTS: 95%	

TEST NO.	TEST LOCATION	TEST DEPTH	WET DENSITY (lb/ft <sup>3</sup> )	MOISTURE PERCENT	DRY DENSITY (lb/ft <sup>3</sup> )	PROCTOR TEST NO.	PROCTOR VALUE	MAXIMUM DENSITY
1	8' South of NW Corner x 8' East of NW Corner	12"	109.7	7.1	102.4	2	107.0	96%
2	8' East of SW Corner x 10' North of SW Corner	12"	113.6	8.0	105.2	2	107.0	98%
3	12' North of SE Corner x 6' West of SE Corner	12"	115.1	9.7	104.9	2	107.0	98%

REMARKS: The Above Tests Meet Specified Requirements.

PROCTORS				
PROCTOR NO.	SOIL DESCRIPTION	MAXIMUM DRY UNIT WEIGHT (lb/ft <sup>3</sup> )	OPT. MOIST.	TYPE
2	an Sand Trace of Clayey Sand (Dan Register F	107.0	11.2	MODIFIED (ASTM D-1557) ▼

Respectfully Submitted,  
CAL-TECH TESTING, INC.

Linda M. Creamer  
President - CEO

Reviewed By:

Date: 8/15/08  
Licensed, Florida No: 57842

The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.



# GENERAL PUBLIC WORKS

## OCCUPANCY

COLUMBIA COUNTY, FLORIDA

### Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 24-6S-15-01438-002

Building permit No. 000027256

Use Classification SFD, UTILITY

Fire: 19.26

Permit Holder CATALINA CASTSTONE CREATIONS

Waste: 50.25

Owner of Building BRJ VENTURES

Total: 69.51

Location: 798 SW UTAH ST., FT. WHITE, FL

Date: 07/09/2009

*Wayne A. Reed*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)



**ANSI/AAMA/NWDA 101/I.S.2-97  
TEST REPORT**

**Rendered to:**

**MI WINDOWS AND DOORS, INC**

**SERIES/MODEL: 420/430/440**

**PRODUCT TYPE: Aluminum Sliding Glass Door**

Title	Summary of Results		
	Test Specimen #1	Test Specimen #2	Test Specimen #3
Rating	SGD-R25 182 x 96	SGD-R35 182 x 80	SGD-R40 144 x 96
Operating Force	17 lbf max.	17 lbf max.	N/A
Air Infiltration	0.23 cfm/ft <sup>2</sup>	0.27 cfm/ft <sup>2</sup>	N/A
Water Resistance Test Pressure	3.75/6.0/9.0 psf	6.0 psf	N/A
Uniform Load Deflection Test Pressure	±35.0 psf	±35.0 psf	+40.0 psf/-40.1 psf
Uniform Load Structural Test Pressure	±37.5 psf	±52.5 psf	+60.0 psf/-60.2 psf
Forced Entry Resistance	Grade 10	Grade 10	N/A

Reference should be made to ATI Report No. 52112.01-122-47 for complete test specimen description and data.

130 Derry Court  
York, PA 17402-9405  
phone: 717-764-7700  
fax: 717-764-4129  
www.archtest.com



## **ANSI/AAMA/NWWDA 101/I.S.2-97 TEST REPORT**

Rendered to:

MI WINDOWS AND DOORS, INC  
P.O. Box 370  
Gratz, Pennsylvania 17030-0370

Report No.: 52112.01-122-47  
Revision 2: 09/14/05  
Test Dates: 06/30/04  
Through: 08/12/04  
Report Date: 08/30/04  
Expiration Date: 07/02/08

**Project Summary:** Architectural Testing, Inc. (ATI) was contracted by MI Windows and Doors, Inc. to witness testing on three Series/Model 420/430/440, aluminum sliding glass doors at MI Windows and Doors, Inc. test facility in Elizabethtown, Pennsylvania. The samples tested successfully met the performance requirements for the following ratings: Test Specimen #1: SGD-R25 182 x 96; Test Specimen #2: SGD-R35 182 x 80; Test Specimen #3: SGD-R40 144 x 96. Test specimen description and results are reported herein.

**Test Specification:** The test specimens were evaluated in accordance with ANSI/AAMA/NWWDA 101/I.S.2-97, *Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors*.

### **Test Specimen Description:**

**Series/Model:** 420/430/440

**Product Type:** Aluminum Sliding Glass Door

**Test Specimen #1:** SGD-R25 182 x 96 (XXO)

**Overall Size:** 15' 1-3/4" wide by 8' 0" high

**Active Door Panel Size (2):** 5' 0-1/2" wide by 7' 11" high

**Fixed Door Panel Size:** 5' 1" wide by 7' 11" high

**Screen Size:** 5' 0-3/8" wide by 7' 11" high

**Overall Area:** 121.2 ft<sup>2</sup>

**Reinforcement:** The active and fixed interlocking stile utilized a steel U-shaped reinforcement (Drawing #9917525). The fixed intermediate jamb utilized a steel reinforcement (Drawing #9917520).



**Test Specimen Description: (Continued)**

**Test Specimen #2:** SGD-R35 182 x 80 (OXX)

**Overall Size:** 15' 1-3/4" wide by 6' 8" high

**Active Door Panel Size (2):** 5' 0-1/2" wide by 6' 7" high

**Fixed Door Panel Size:** 4' 8-7/8" wide by 6' 2-5/8" high

**Screen Size:** 5' 0-3/8" wide by 6' 7" high

**Overall Area:** 101 ft<sup>2</sup>

**Reinforcement:** No reinforcement was utilized.

**Test Specimen #3:** SGD-R40 144 x 96 (OXO)

**Overall Size:** 12' 0" wide by 8' 0" high

**Active Door Panel Size:** 3' 8-1/4" wide by 7' 10-1/2" high

**Fixed Door Panel Size (2):** 3' 8-3/4" wide by 7' 6-1/2" high

**Screen Size:** 3' 11-1/2" wide by 7' 11-3/8" high

**Overall Area:** 96 ft<sup>2</sup>

**Reinforcement:** The active and fixed interlocking stile utilized a steel U-shaped reinforcement (Drawing #9917525). The fixed intermediate jamb utilized a steel reinforcement (Drawing #9917520). The interlock utilized an aluminum reinforcement (Drawing #SECT4237).

*The following descriptions apply to all specimens.*

**Finish:** All aluminum was painted.

**Glazing Details:** All glazing consisted of a single sheet of 3/16" thick clear tempered glass that was channel glazed with a wrap around rubber gasket.

**Test Specimen Description: (Continued)**

**Weatherstripping:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
0.187" backed by 0.270" high polypile with center fin	2 Rows	Stiles
1/2" wide by 1" long polypile dust plug	2 Pieces	Corner of head, jamb, and top and bottom of panel retainer
0.187" backed by 0.250" high polypile with center fin	2 Rows	Top rail
0.187" backed by 0.350" high polypile with center fin	2 Rows	Bottom rail
0.187" backed by 0.230" high polypile with center fin	1 Row	Panel interlock, screen stiles

**Frame Construction:** The frame was constructed of extruded aluminum. Corners were coped, butted, sealed, and fastened with two #8 x 5/8" screws. An aluminum panel adaptor was added to the screen adaptor and secured with #6 x 3/8" pan head screws located 3-1/2" from the ends and 14" on center through the screen adaptor into the panel adaptor. The jambs utilized a panel jamb retainer on the fixed panels secured to the jambs with two #6 x 1/2" screws through the retainer into the jambs. The panels were placed in the retainer and secured to the frame with two #8 x 1/2" screws located through the retainers into the panels. Three panel jamb retainers were utilized to secure the fixed panels, located at panel top and bottom and one midspan. The fixed panels also utilized an aluminum sill retainer clip located at the sill. The sill utilized an optional aluminum sill extender.

**Door Panel Construction:** The door panels were constructed of extruded aluminum members. Corners were coped, butted, and fastened with one 1/4" x 3/4" screw at the bottom and two #8 x 3/4" screws at the top.

**Screen Construction:** The screen was constructed of extruded aluminum members. Corners were coped, butted, and fastened with one 1/4" x 3/4" screw and one #8 x 1" screw at the bottom and one #8 x 1" screw at the top.

**Test Specimen Description: (Continued)**

**Hardware:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Locking handle	1	44" from active panel bottom
Roller assembly	2	3" from bottom rail ends
Screen locking handle	1	46" from screen bottom rail
Screen rollers	2	Corners of bottom rail

**Drainage:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Sloped sill	1	Sill
1/2" long drain off notches	6	Ends of vertical sill legs

**Installation:** The units were installed into a #2 Spruce-Pine-Fir wood test buck. The units were fastened to the test buck with two rows of #8 x 1-1/4" screws, 8" from each end and 23" on center. The exterior perimeter was sealed with silicone.



## Test Results:

The results are tabulated as follows:

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #1:</u></b> SGD-R25 182 x 96 (XXO)			
2.2.1.6.1	Operating Force Breakaway force	17 lbf 24 lbf	20 lbf max. 30 lbf max.
2.1.2	Air Infiltration per ASTM E 283 1.57 psf (25 mph)	0.23 cfm/ft <sup>2</sup>	0.3 cfm/ft <sup>2</sup> max.
<i>Note #1: The tested specimen meets (or exceeds) the performance levels specified in ANSI/AAMA/NWDA 101/I.S.2-97 for air infiltration.</i>			
2.1.3	Water Resistance per ASTM E 547 (with and without screen) 2.86 psf	No leakage	No leakage
2.1.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting rail) (Loads were held for 52 seconds) 15.0 psf (positive) 15.0 psf (negative)	0.56" 0.57"	See Note #2 See Note #2
<i>Note #2: The Uniform Load Deflection test is not a requirement of ANSI/AAMA/NWDA 101/I.S.2-97 for this product designation. The deflection data is recorded in this report for special code compliance and information only.</i>			
2.1.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds) 22.5 psf (positive) 22.5 psf (negative)	0.02" 0.03"	0.30" max. 0.30" max.
2.2.1.6.2	Deglazing Test per ASTM E 987 In operating direction - 70 lbs  Locking stile Interlock stile	  0.12"/24% 0.12"/24%	  0.50"/100% 0.50"/100%

**Test Results: (Continued)**

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #1: SGD-R25 182 x 96 (XXO) (Continued)</u></b>			
2.2.1.6.2	Deglazing Test per ASTM E 987 In remaining direction - 50 lbs		
	Top rail	0.06"/12%	0.50"/100%
	Bottom rail	0.06"/12%	0.50"/100%
2.1.8	Forced Entry Resistance per ASTM F 842		
	Type: A	Grade: 10	
	Lock Manipulation Test	No entry	No entry
	Test A1 through A6	No entry	No entry
	Lock Manipulation Test	No entry	No entry
<b><u>Optional Performance</u></b>			
4.3	Water Resistance per ASTM E 547 (with and without screen) 3.75 psf	No leakage	No leakage
4.3	Water Resistance per ASTM E 547 (with and without screen) (with sill riser) 6.0 psf	No leakage	No leakage
4.3	Water Resistance per ASTM E 547 (with and without screen) (with 2-5/8" Dade County sill extension) 9.0 psf	No leakage	No leakage
4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting stile) (Loads were held for 10 seconds)		
	35.0 psf (positive)	2.98"	See Note #2
	35.0 psf (negative)	2.52"	See Note #2

**Test Results: (Continued)**

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #1: SGD-R25 182 x 96 (XXO) (Continued)</u></b>			
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds)		
	37.5 psf (positive)	0.20"	0.36" max.
	37.5 psf (negative)	0.19"	0.36" max.
<b><u>Test Specimen #2: SGD-R35 182 x 80 (OXX)</u></b>			
2.2.1.6.1	Operating Force	17 lbf	20 lbf max.
	Breakaway force	21 lbf	30 lbf max.
2.1.2	Air Infiltration per ASTM E 283 1.57 psf (25 mph)	0.27 cfm/ft <sup>2</sup>	0.3 cfm/ft <sup>2</sup> max.
<i>Note #1: The tested specimen meets (or exceed) the performance levels specified in ANSI/AAMA/NWDA 101/I.S.2-97 for air infiltration.</i>			
2.1.3	Water Resistance per ASTM E 547 (with and without screen)		
	2.86 psf	No leakage	No leakage
2.2.1.6.2	Deglazing Test per ASTM E 987 In operating direction - 70 lbs		
	Locking stile	0.12"/24%	0.50"/100%
	Interlock stile	0.12"/24%	0.50"/100%
	In remaining direction - 50 lbs		
	Top rail	0.06"/12%	0.50"/100%
	Bottom rail	0.06"/12%	0.50"/100%
2.1.8	Forced Entry Resistance per ASTM F 842		
	Type: A	Grade: 10	
	Lock Manipulation Test	No entry	No entry
	Test A1 through A6	No entry	No entry
	Lock Manipulation Test	No entry	No entry



**Test Results: (Continued)**

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<b><u>Test Specimen #2: SGD-R35 182 x 80 (OXX) (Continued)</u></b>			
<b><u>Optional Performance</u></b>			
4.3	Water Resistance per ASTM E 547 (with and without screen) (with sill riser) 6.0 psf	No leakage	No leakage
4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting stile) (Loads were held for 52 seconds) 35.0 psf (positive) 35.0 psf (negative)	1.28" 1.33"	See Note #2 See Note #2
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds) 52.5 psf (positive) 52.5 psf (negative)	0.13" 0.15"	0.30" max. 0.30" max.

**Test Specimen #3: SGD-R40 144 x 96 (OXO)**

**Optional Performance**

4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the meeting stile) (Loads were held for 52 seconds) 40.0 psf (positive) 40.1 psf (negative)	1.42" 1.28"	See Note #2 See Note #2
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the meeting stile) (Loads were held for 10 seconds) 60.0 psf (positive) 60.2 psf (negative)	0.27" 0.30"	0.37" max. 0.37" max.



52112.01-122-47  
Page 9 of 10  
Revision 2: 09/14/05

Detailed drawings, representative samples of the test specimen, and a copy of this report will be retained by ATI for a period of four years from the original test date. The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specification. This report does not constitute certification of this product, which may only be granted by the certification program administrator. This report may not be reproduced, except in full, without approval of Architectural Testing, Inc.

For ARCHITECTURAL TESTING, INC:

Digitally Signed by: Mark A. Hess

Mark A. Hess  
Technician

Digitally Signed by: Steven M. Urich

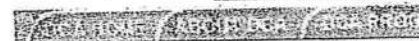
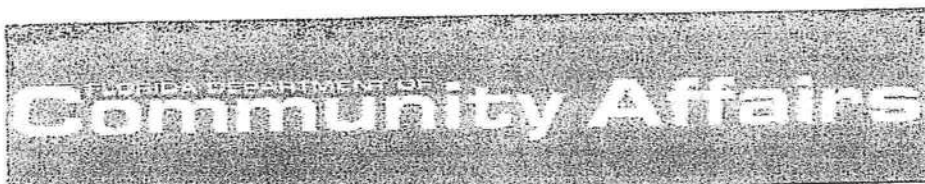
Steven M. Urich, P.E.  
Senior Project Engineer

MH:vlm

### Revision Log

<u>Rev. #</u>	<u>Date</u>	<u>Page(s)</u>	<u>Revision(s)</u>
0	08/30/04	N/A	Original report issue
1	09/13/04	Cover page	Switch Specimens 1 and 2 / Added 430/440 to Series/Model
1	09/13/04	Page 1 and 2	Switch Specimen 1 and 2 sizes Added 430/440 to Series/Model on Page 1
1	09/13/04	Pages 4 through 7	Switch Specimen 1 and 2 test results / Specimen 2 optional performance water resistance from 3.75 psf to 6.00 psf with sill riser.
2	09/14/05	Page 2	Corrected configuration of Test Specimen #3
2	09/14/05	Page 3	Added additional Weatherstripping





[BCIS Home](#) | 
 [Log In](#) | 
 [Hot Topics](#) | 
 [Submit Surcharge](#) | 
 [Stats & Facts](#) | 
 [Publications](#) | 
 [FBC Staff](#) | 
 [B](#)



## Product Approval

USER: Public User

[Product Approval Menu](#) > 
 [Product or Application Search](#) > 
 [Application List](#)

### Search Criteria


Code Version	2004	FL#	ALL
Application Type	ALL	Product Manufacturer	MI Windo
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL

### Search Results - Applications

Go to Page



FL#	Type	Manufacturer	Validat
<a href="#">FL5100</a>	New	MI Windows and Doors Category: Windows Subcategory: Fixed	
<a href="#">FL5104</a>	New	MI Windows and Doors Category: Windows Subcategory: Double Hung	
<a href="#">FL5108</a>	New	MI Windows and Doors Category: Windows Subcategory: Single Hung	
<a href="#">FL5418</a>	New	MI Windows and Doors Category: Windows Subcategory: Fixed	
<a href="#">FL5438</a>	New	MI Windows and Doors Category: Windows Subcategory: Single Hung	
<a href="#">FL5447</a>	New	MI Windows and Doors Category: Windows Subcategory: Double Hung	
<a href="#">FL5451</a>	New	MI Windows and Doors Category: Windows Subcategory: Horizontal Slider	
<a href="#">FL5483-R1 History</a>	Revision	MI Windows and Doors Category: Exterior Doors Subcategory: Sliding Exterior Door Assemblies	
<a href="#">FL5513</a>	New	MI Windows and Doors Category: Windows	Steven

		<b>Subcategory: Mullions</b>	(717) 7
<u>FL6023</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Casement</b>	
<u>FL6024</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Horizontal Slider</b>	
<u>FL6028</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Fixed</b>	
<u>FL6029</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Single Hung</b>	
<u>FL6489</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Mullions</b>	Steven (717) 7
<u>FL6499</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Single Hung</b>	
<u>FL6501</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Double Hung</b>	
<u>FL6502</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Horizontal Slider</b>	
<u>FL6503</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Fixed</b>	
<u>FL6679</u>	New	MI Windows and Doors <b>Category: Windows</b> <b>Subcategory: Fixed</b>	
Go to Page <input type="text"/> 			

## DCA Administration

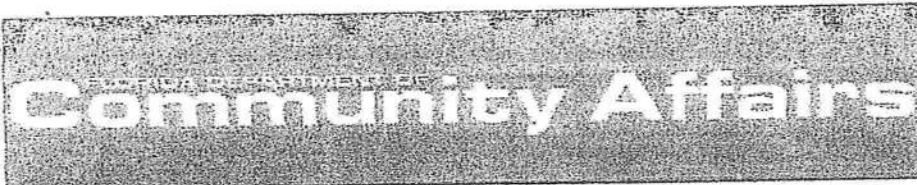
**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**

2555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

© 2000-2005 The State of Florida. All rights reserved. Copyright and Discl.

**Product Approval Accepts:**



[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [B](#)



**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

### Search Criteria

Code Version	2004 FL#	ALL
Application Type	ALL Product Manufacturer	JORDAN WINDO
Category	ALL Subcategory	ALL
Application Status	ALL Compliance Method	ALL

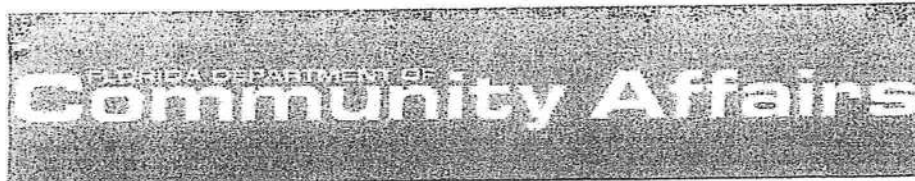
### Search Results - Applications

FL#	Type	Manufacturer	Validat
FL1378-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	
FL1384-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Horizontal Slider	
FL1385-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Fixed	
FL1386-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Exterior Doors <b>Subcategory:</b> Sliding Exterior Door Assemblies	
FL2685-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Mullions	Steven (717) 7
FL2946-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Awning	
FL2949-R1 <a href="#">History</a>	Revision	JORDAN WINDOWS and DOORS <b>Category:</b> Windows <b>Subcategory:</b> Casement	

DCA Administration

Department of Community Affairs  
Florida Building Code Online  
Codes and Standards  
2555 Shumard Oak Boulevard




[FLCA HOME](#) | [ABOUT FLCA](#) | [FLCA PROS](#)

[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [B](#)
**Product Approval**

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)
**Search Criteria**

Code Version	2004	FL#	ALL
Application Type	ALL	Product Manufacturer	Masonit
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL

**Search Results - Applications**

FL#	Type	Manufacturer	Validated By
<a href="#">FL4242-R1</a> <a href="#">History</a>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4334-R1</a> <a href="#">History</a>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4668-R1</a> <a href="#">History</a>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4904</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL4940</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL5114</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<a href="#">FL5465</a>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door	

		Assemblies	
<u>FL5507</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL5508</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL6015</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL6506-R1</u> <u>History</u>	Revision	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL6509</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL7050</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	
<u>FL7091</u>	New	Masonite International <b>Category:</b> Exterior Doors <b>Subcategory:</b> Swinging Exterior Door Assemblies	

DCA Administration

Department of Community Affairs  
Florida Building Code Online  
Codes and Standards

2555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

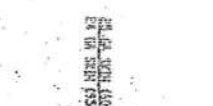
© 2000-2005 The State of Florida. All rights reserved. Copyright and Discl.

Product Approval Accepts:

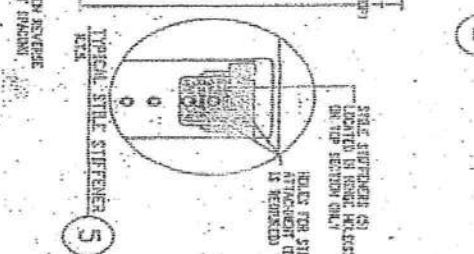




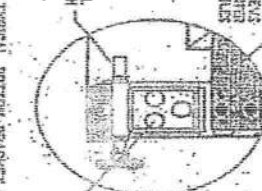




SECTION 10.00



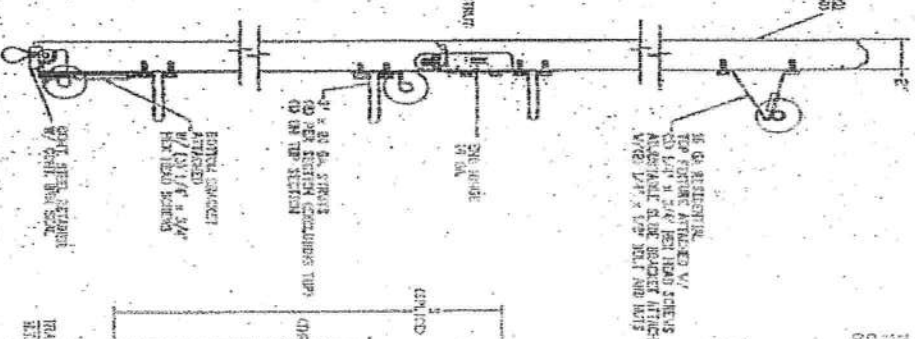
5  
H. V. S.  
H. V. S.



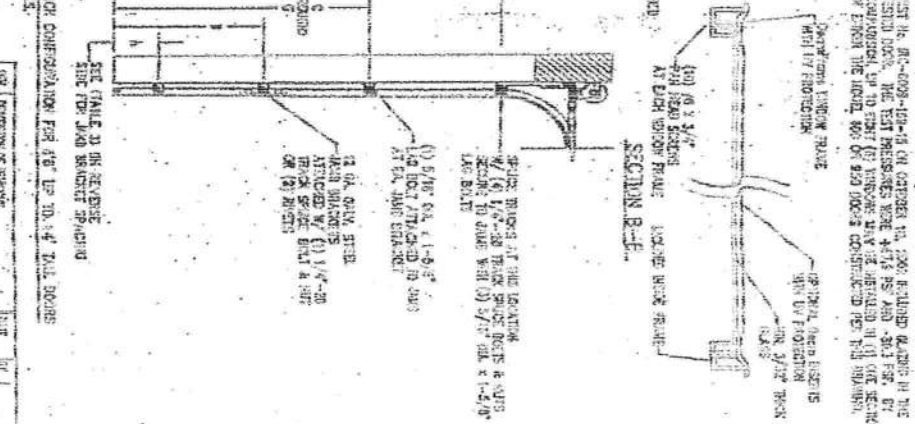
100



WOOD: WHITE: ATTACK: 10:5 STRUCTURE

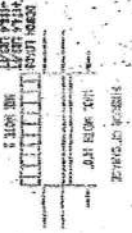


TO FORMER ATTORNEY V/  
AD LAY N 364 BEN HEND SCHEIS  
ALLEGEDLY BLUE BRACKET ATTOR  
VYDZ LAY X 107 BELL AND HATS



TEST NO. 84-6008-150-14 ON OCTOBER 18, 2004, RETURNED RESULTS OF THE TESTED DOSE. THE TEST RESULTS WERE 4.1% PS AND 30.1% FET. BY COMPARISON TO 10 OTHER 10% VINCENONE LAY-UP MATERIALS IN 10 CUBIC CENTIMETER DOSE OF 250 DOSE CONCENTRATED PER TUBS DRYDOWN, IT GAVE THE MOST DOSE OF 250 DOSE CONCENTRATED PER TUBS DRYDOWN.

8475



NOT FOR  
OFFICIAL USE

[illegible]

143 PARKWAY COURT - WINDYBROOK, N. DAK.  
 MODEL 1600 STEELCASE w/Drawer-Set  
 MODEL 800 HERITAGE w/Drawer-Set  
 Short Pouch Case - Special 1st. Third Party  
 SEE DRAWING TO THE RIGHT  
 O CREDIT USE ONE YEAR/1YR  
 (800-806-120)

WAX 522  
19 - 12  
DESIGN LOADS  
+ 21.6 PSF  
- 24.8 PSF  
BEST LOADS  
+ 132.7 PSF  
- 172 PSF

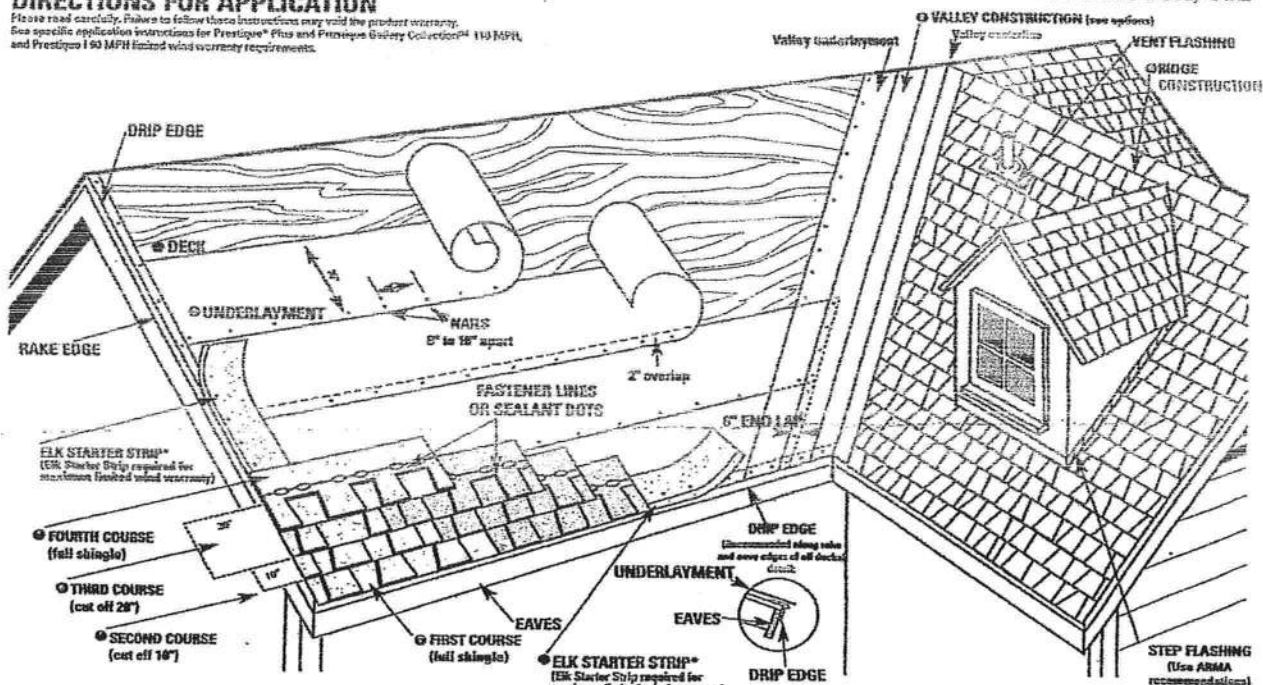
INTERNATIONAL CERTIFICATE OF ANALYSIS  
NO. 48574  
DATE OF ANALYSIS  
JUN 09 1966

JUN 03 1966

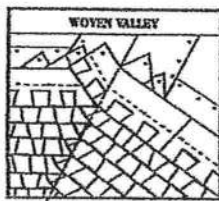
## DIRECTIONS FOR APPLICATION

Please read carefully. Failure to follow these instructions may void the product warranty. See specific application instructions for Prestige® Plus and Prestige Gallery Collection® 110 MPH and Prestige I 90 MPH limited wind warranty requirements.

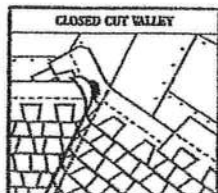
TUSCALOOSA, AL



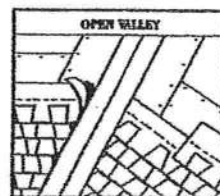
VALLEY CONSTRUCTION: BOTH Woven Valley and Closed Cut Valley are also acceptable. NOTE: For complete ARMA valley installation details, see ARMA Recommended Practice: Roofing Manual.



VALLEY CENTER LINE



VALLEY CENTER LINE



VALLEY CENTER LINE

## DIRECTIONS FOR APPLICATION

These application instructions are the minimum required to meet Elk's application requirements. Your failure to follow these instructions may void the product warranty. In some areas, the building codes may require additional application techniques or methods beyond our instructions. In those cases, the local code must be followed. Under no circumstances will Elk accept application requirements that are less than those printed here. Shingles should not be jammed tightly together. All attics should be properly ventilated. Note: It is not necessary to remove tape on back of shingle.

### DECK PREPARATION

Roof decks should be dry, well-seasoned 1" x 6" boards or exterior grade plywood minimum 3/4" thick and conform to the specifications of the American Plywood Association or 7/16" oriented strandboard, or 7/16" chipboard.

### UNDERLAYMENT

Apply underlayment (Non-Perforated No. 15 or 30 asphalt saturated felt). Cover drip edge at eaves only.

For low slope (2/12 up to 4/12), completely cover the deck with two pieces of underlayment overlapping a minimum of 15". Begin by fastening a 15" wide strip of underlayment placed along the eaves. Place a full 36" wide sheet over the starter, horizontally placed along the eaves and completely overlapping the starter strip.

**EAVE FLASHING FOR ICE DAMS (ASK A ROOFING CONTRACTOR, REFER TO ARMA MANUAL OR CHECK LOCAL CODES)**

For standard slope (4/12 to less than 21/12), use coated roll roofing of no less than 50 pounds over the felt underlayment extending from the eave edge to a point at least 24" beyond the inside wall of the living space below or one layer of a self-adhered eave and flashing membrane.

For low slope (2/12 up to 4/12), use a continuous layer of asphalt plastic cement between the two pieces of underlayment from the eave edge up to a point at least 24" beyond the inside wall of the living space below or one layer of a self-adhered eave and flashing membrane.

Consult the Elk Field Service Department for application specifications over other decks and other slopes.

### STARTER SHINGLE COURSE

USE AN ELK STARTER STRIP OR A STRIP SHINGLE INVERTED WITH THE HEADLAP APPLIED AT THE EAVE EDGE. With at least 4" trimmed from the end of the first shingle, start at the rake edge overhanging the eave 1/2" to 3/4". Fasten 2" from the lower edge and 1" from each side.

### FIRST COURSE

Start at rake and continue course with full shingles laid flush with the starter course. Shingles may be applied with a course alignment of 45° on the roof.

### SECOND COURSE

Start at the rake with the shingle having 10" trimmed off and continue across roof with full shingles.

### THIRD COURSE

Start at the rake with the shingle having 20" trimmed off and continue across roof with full shingles.

### FOURTH COURSE

Start at the rake and continue with full shingles across roof.

### FIFTH AND SUCCEEDING COURSES

Repeat application as shown for second, third, and fourth courses. Do not rack shingles straight up the roof.

### VALLEY CONSTRUCTION

Open, woven and closed cut valleys are acceptable when applied by Asphalt Roofing Manufacturers Association (ARMA) recommended procedures. For metal valleys, use 36" wide vertical underlayment prior to applying 15" metal flashing (secure edge with nails). No nails are to be within 6" of valley center.

### RIDGE CONSTRUCTION

For ridge construction use Class "A" Seal-A-Ridge® with formula FLX™ (See ridge package for installation instructions.)

### FASTENERS

While nailing is the preferred method for Elk shingles, Elk will accept fastening methods according to the following instructions. Always nail or staple through the fastener line or on products without fastener lines, nail or staple between and in line with sealant dots.

**NAILS:** Corrosive resistant, 36" head, minimum 12-gauge roofing nails. Elk recommends 1-1/4" for new roofs and 1-1/2" for re-roofs. In cases where you are applying shingles to a roof that has an exposed overhang, for new roofs only, 3/4" ring shank nails are allowed to be used from the eave's edge to a point up the roof that is past the outside wall line. 1" ring shank nails allowed for re-roof.

**STAPLES:** Corrosive resistant, 16-gauge minimum, crown width minimum of 15/16". Note: An improperly adjusted staple gun can result in raised staples that can cause a fish-mouthed appearance and can prevent sealing.

Fasteners should be long enough to obtain 3/4" deck penetration or penetration through deck, whichever is less.

### MANSARD APPLICATIONS

Correct fastening is critical to the performance of the roof. For slopes exceeding 60° (or 21/12) use six fasteners per shingle. Locate fasteners in the fastener area 1" from each side edge with the remaining four fasteners equally spaced along the length of the double thickness (butt joint) area. Only fastening methods according to the above instructions are acceptable.

### LIMITED WIND WARRANTY

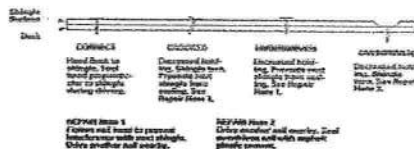
For a Limited Wind Warranty, all Prestige and Raised Profile® shingles must be applied with 4 properly placed fasteners, or in the case of mansard applications, 6 properly placed fasteners per shingle.

For a Limited Wind Warranty up to 110 MPH for Prestige Gallery Collection or Prestige Plus or 90 MPH for Prestige I, shingles must be applied with 6 properly placed NAILS per shingle. SHINGLES APPLIED WITH STAPLES WILL NOT QUALIFY FOR THIS ENHANCED LIMITED WIND WARRANTY. Also, Elk Starter Strip shingles must be applied at the eaves and rake edges to qualify Prestige Plus, Prestige Gallery Collection and Prestige I shingles for this enhanced Limited Wind Warranty. Under no circumstances should the Elk Shingles or the Elk Starter Strip overhang the eaves or rake edges more than 3/4" of an inch.



### HELP STOP BLOW-OFFS AND CALL-BACKS

A minimum of four fasteners must be driven into the DOUBLE THICKNESS (butt joint) area of the shingle. Nails or staples must be placed along - and through - the "fastener line" or on products without fastener lines, nail or staple between and in line with sealant dots. CAUTION: Do not use fastener line for shingle alignment.



Refer to local codes which in some areas may require specific application techniques beyond those Elk has specified.

All Prestige and Raised Profile shingles have a U.L.® Wind Resistance Rating when applied in accordance with these instructions using nails or staples on re-roofs as well as new construction.

**CAUTION TO WHOLESALER:** Careless and improper storage or handling can harm fiberglass shingles. Keep these shingles completely covered, dry, reasonably cool, and protected from the weather. Do not store near various sources of heat. Do not store in direct sunlight until applied. DO NOT DOUBLE STACK. Systematically rotate all stock so that the material that has been stored the longest will be the first to be moved out.

© 2002 Elk Corporation of Dallas.

All trademarks, ®, are registered trademarks of Elk Corporation of Dallas, or ELCOB company, Raised Profile, Ridgecrest, Gallery Collection and FLX are trademarks pending registrations of Elk Corporation of Dallas. U.L. is a registered trademark of Underwriters Laboratories, Inc.

**ELK**  
www.elkcorp.com

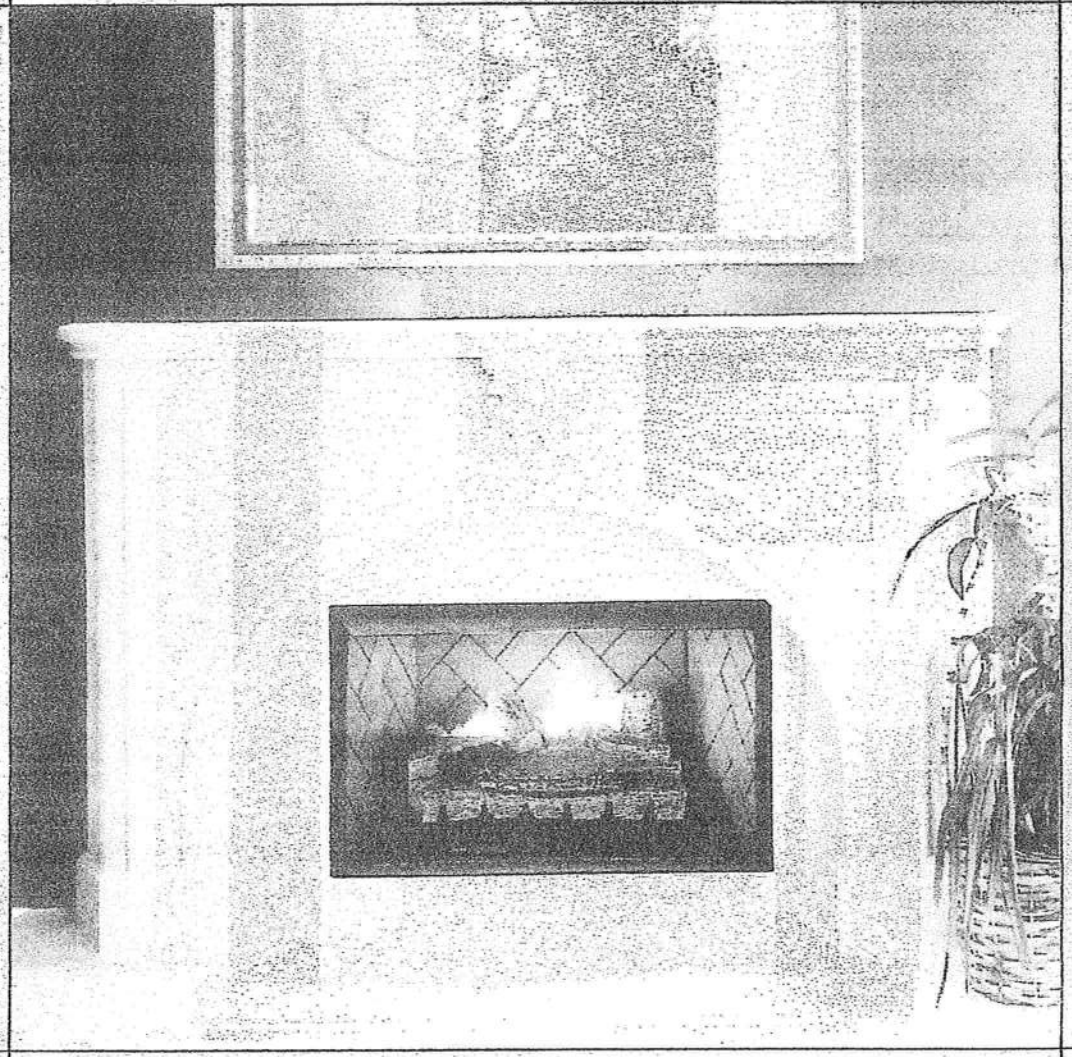


THE RENAISSANCE SERIES

Colonial

VENT-FREE GAS FIREPLACES

V32/36/42/50 Model Series



for builders

FIREPLACES  
FOR BUILDERS

Fmi



## VENT-FREE GAS FIREPLACES

V32/36/42/50 Model Series

## Warm Up To A High-Efficiency Colonial

There's a growing demand for vent-free gas fireplaces because they're 99 percent energy-efficient and can be installed virtually anywhere. FMI's Colonial vent-free models deliver these benefits and more. They're part of our exciting new Renaissance Series, which offers a consistent look, sizing and construction across the entire line...plus beautiful new features homeowners will love!

### Homeowner Highlights:

- **Visual appeal**—The industry's finest textured refractory brick liner (except 32") offers the attractive look of a true masonry fireplace.
- **Many luxury features are standard**—The Colonial comes standard with a heat deflection hood, hidden screen pockets (except 50"), stamped steel louvered panels, and other distinctive features.
- **Dollar-saving efficiency**—Paired with an Fmi vent free gas log heater, the systems 99% energy efficiency can provide dramatic energy savings.

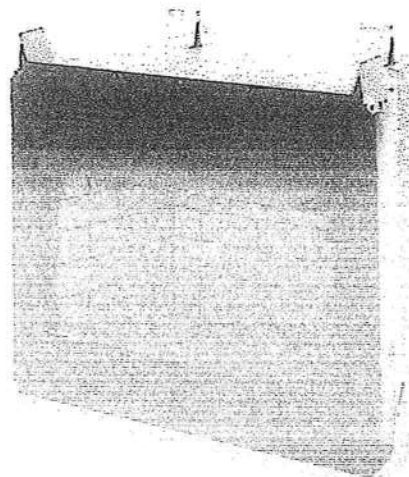
### Builder Benefits:

- **Straight, secure installation**—We've added full-length nailing flanges, and drywall stops.
- **Flexibility in the field**—You can quickly convert from louvered to clean face at any time (except 50").
- **Economical and versatile**—There's no chimney required. Can be installed virtually anywhere.

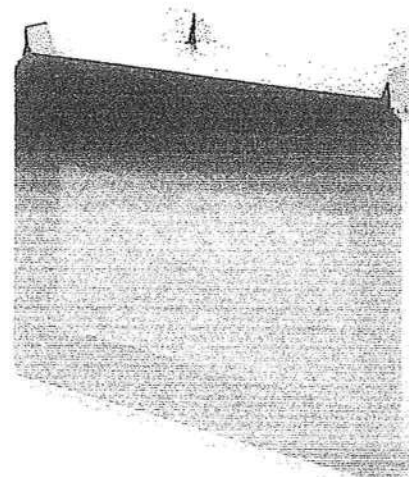


Fmi Hearth Industries  
www.fmifireplace.com

For more information, call (866) 328-4537



V36 is our louver-faced 36" fireplace with textured refractory brick-lined interior.



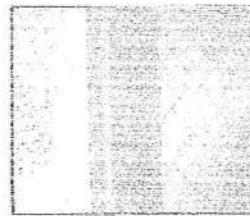
V42 is FMI's 42" louvered-face fireplace shown with optional herringbone textured refractory brick-lined interior.

### 32", 36", 42" & 50" Vent-Free Fireplace Models Available With The Following:

- Clean or Louver (Circulating) Faced Models Available (Clean Faced only on 50")
- Traditional Stacked and Herringbone Pattern Refractory Brick-Lined Interiors
- Solid wrap or Outside Air Ready Models

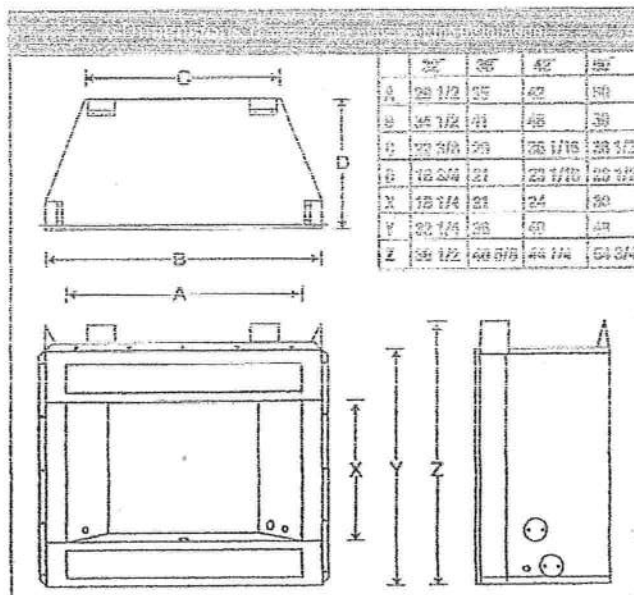


The Colonial features the industry's finest textured refractory brick lining.



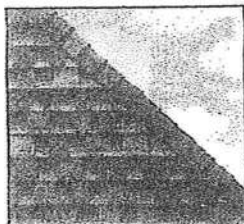
You get straight, solid installation, thanks to our full-length nailing flanges and drywall stops.

- Rolled Black Louver Panels
- Louver Trim (Brushed Brass & Platinum)
- Decorative Filigree Panels (Black, Brushed Brass & Platinum)
- Perimeter Trim Kits (Black, Brushed Brass & Platinum)
- Heat Deflection Hoods (Brushed Brass & Platinum)
- Fan Kits
- Standard & Herringbone Refractory Brick Liners

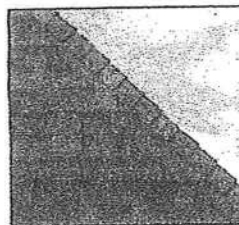




# ROOFING PRODUCTS SPECIFICATIONS - TUSCALOOSA, AL



**PRESTIQUE®  
HIGH DEFINITION®**



**RAISED PROFILE™**

## Prestique Plus High Definition and Prestique Gallery Collection™

Product size.....13⅞"x 39⅝"  
Exposure.....5⅞"  
Pieces/Bundle.....16  
Bundles/Square.....4/99.5 sq.ft.  
Squares/Pallet.....11

50-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

## Raised Profile

Product size.....13⅞"x 38⅝"  
Exposure.....5⅞"  
Pieces/Bundle.....22  
Bundles/Square.....3/100 sq.ft.  
Squares/Pallet.....16

30-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

## Prestique I High Definition

Product size.....13⅞"x 39⅝"  
Exposure.....5⅞"  
Pieces/Bundle.....16  
Bundles/Square.....4/99.5 sq.ft.  
Squares/Pallet.....11

40-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

## HIP AND RIDGE SHINGLES

### Seal-A-Ridge® w/FLX™

Size: 12"x 12"  
Exposure: 6⅞"  
Pieces/Bundle: 45  
Coverage: 1 Bundle = 100 linear feet

## Prestique High Definition

Product size.....13⅞"x 38⅝"  
Exposure.....5⅞"  
Pieces/Bundle.....22  
Bundles/Square.....3/100 sq.ft.  
Squares/Pallet.....16

30-year limited warranty period:  
non-prorated coverage for  
shingles and application labor for  
the initial 5 years, plus an option  
for transferability\*; prorated  
coverage for application labor and  
shingles for balance of limited  
warranty period; 5-year limited  
wind warranty\*.

### Elk Starter Strip

52 Bundles/Pallet  
18 Pallets/Truck  
936 Bundles/Truck  
19 Pieces/Bundle  
1 Bundle = 120.33 linear feet

Available Colors: Antique Slate, Weatheredwood, Shakerwood, Sablewood, Hickory, Burkywood™, Forest Green, Wedgewood™, Birchwood™, Sandalwood.  
Gallery Collection: Balsam Forest™, Weathered Sage™, Sierra Sunset™.

All Prestique, Raised Profile and Seal-A-Ridge roofing products contain Elk WindGuard® sealant. WindGuard activates with the sun's heat, bonding shingles into a wind and weather resistant cover that resists blow-offs and leaks.

Check for availability with built-in SteinGuard® treatment to inhibit the discoloration of roofing granules caused by the growth of certain types of algae. Not available in Sablewood.

All Prestique and Raised Profile shingles meet UL® Wind Resistant (UL 997) and Class "A" Fire Ratings (UL 790); and ASTM Specifications D 3019, Type-I; D 3161, Type-I; E 108 and the requirements of ASTM D 3462.

All Prestique and Raised Profile shingles meet the latest Metro Deck building code requirements.

\*Elk applied limited warranty for transferability and coverage.

## SPECIFICATIONS

**Scope:** Work includes furnishing all labor, materials and equipment necessary to complete installation of (name) shingles specified herein. Color shall be (name of color). Hip and ridge type to be Elk Seal-A-Ridge with formula FLX.

All exposed metal surfaces (flashing, vents, etc.) to be painted with matching Elk roof necessary paint.

**Preparation of New Deck:** Roof deck to be dry, well-seasoned 1" x 6" (25.4mm x 152.4mm) boards; exterior-grade plywood (exposure 1 rated sheathing) in least 2/3" (15.9mm) thick conforming to the specifications of the American Plywood Association; 7/16" (11.3mm) oriented strandboard; or chipboard. Most new residential plywood decks are fully approved substrates for Elk shingles. Consult Elk Field Service for application specifications over other decks and other slopes.

**MATERIALS:** Underlayment for standard roof slopes, 4" per foot (101.6/304.8mm) or greater; apply non-perforated No. 15 or 30 asphalt saturated felt underlayment. For low slopes 1/4" per foot (101.6/304.8mm) to a minimum of 2" per foot (50.8/204.8mm), use two plies of underlayment overlapped a minimum of 18". Fasteners shall be of sufficient length and holding power for securing material as required by the application instructions printed on shingle wrapper.

For areas where slope is a problem, shingles shall be (name) with SteinGuard treatment, as manufactured by the Elk Resincoat plant. Hip and ridge type to be Seal-A-Ridge with formula FLX with SteinGuard treatment.

Complete application instructions are published by Elk and printed on the back of every shingle bundle. All

warranties are contingent upon the correct installation as shown on the instructions. These instructions are the minimum required to meet Elk application requirements. In some areas, building codes may require additional application techniques or methods beyond our instructions. In these cases, the local code must be followed. Under no circumstances will Elk accept application requirements less than those contained in its application instructions.

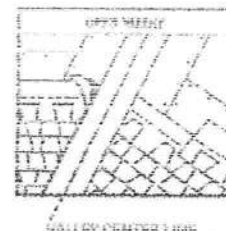
For specifications in CSI format, call 800.945.5545 (7/37) or a local specialist@elkcorp.com.

SOUTHEAST &  
ATLANTIC OFFICE:  
800.945.5545

CORPORATE HEADQUARTERS:  
800.354.7732

PLANT LOCATION:  
800.945.5545

**ELK**  
www.elkcorp.com



**EIK**  
www.eikcorp.com



BEARING HEIGHT SCHEDULE

8'-1 1/8"

HANGER SCHEDULE  
3 - HTU26

NOTES:

- 1) REFER TO HB 91 RECOMMENDATIONS FOR HANGING INSTALLATION AND TEMPORARY BRACING. REFER TO ENGINEERED DRAWINGS FOR PERMANENT BRACING REQUIRED.
- 2) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEY FRAMING) MUST BE COMPLETELY DECKED OR REFER TO DETAIL V05 FOR ALTERNATE BRACING REQUIREMENTS.
- 3) ALL VALLEYS ARE TO BE CONVENTIONALLY FRAMED BY BUILDER.
- 4) ALL TRUSSES ARE DESIGNED FOR 2' o.c. MAXIMUM SPACING, UNLESS OTHERWISE NOTED.
- 5) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.
- 6) 5x42 TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.
- 7) ALL ROOF TRUSS HANGERS TO BE SWPSON HTU26 UNLESS OTHERWISE NOTED. ALL FLOOR TRUSS HANGERS TO BE SWPSON THW42Z UNLESS OTHERWISE NOTED.
- 8) BEARING/NOTES/INTEL (NOR) TO BE FURNISHED BY BUILDER.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VIDS. ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS, REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Request Permit Size \_\_\_\_\_

Approved By \_\_\_\_\_ Date \_\_\_\_\_

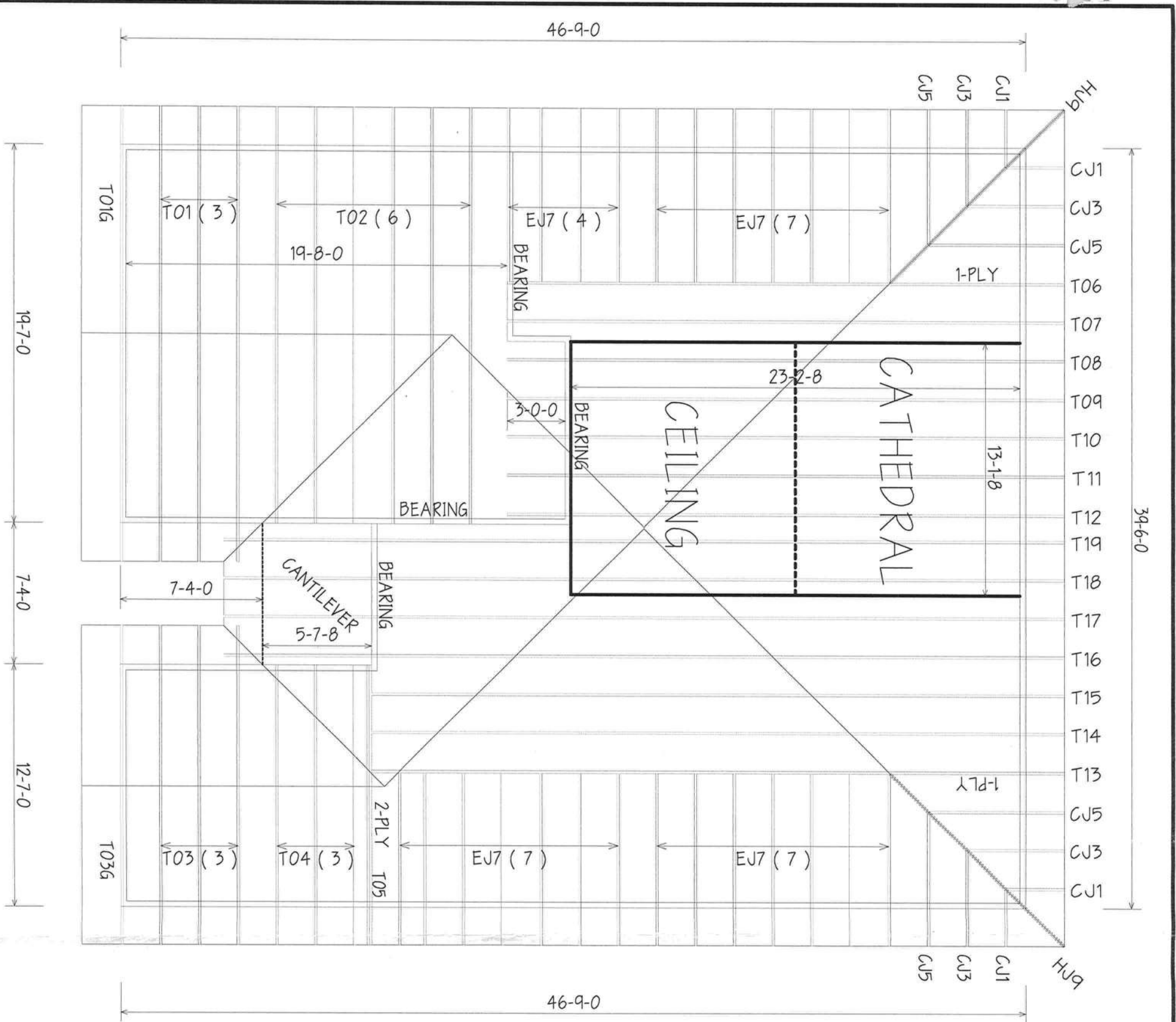


**Bunnell**  
PHONE: 904-437-5549 FAX: 904-437-3404  
**Jacksonville**  
PHONE: 904-772-6000 FAX: 904-772-1973  
**Lake City**  
PHONE: 386-795-6894 FAX: 386-795-7675  
**Sanford**  
PHONE: 407-322-0094 FAX: 407-322-5953

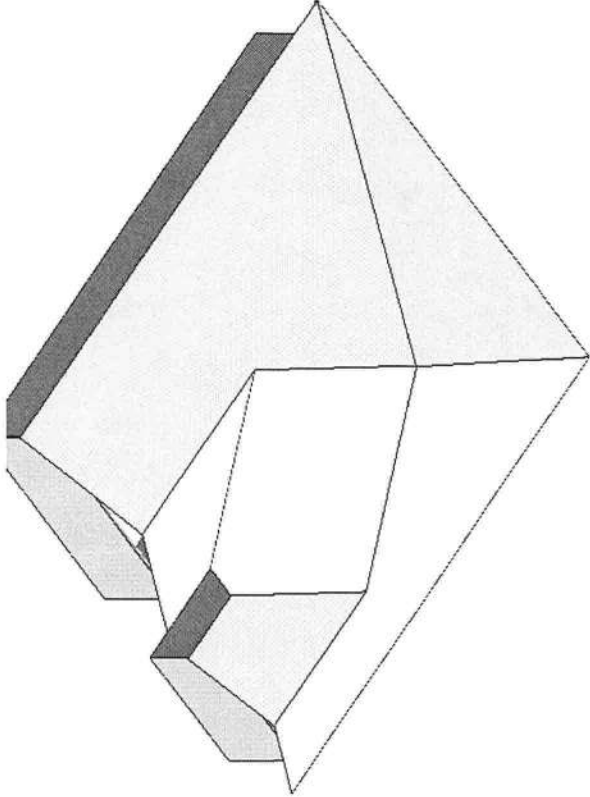
**JOHN & PAM SMITH**

LEGAL ADDRESS:

**CUSTOM**  
DATE: 6-16-08  
PROJECT: K.L.H.  
JOB # L280800



6/12 PITCH  
2'0" O/H



BEARING HEIGHT SCHEDULE

8'-1 1/8"

HANGER SCHEDULE  
3 - HTU26

NOTES:

- 1) REFER TO HIR 91 RECOMMENDATIONS FOR TRUSSES AND VALLEYS AND TEMPORARY BRACING. REFER TO ENGINEER DRAWINGS FOR PERMANENT BRACING REQUIRED.
- 2) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEY FRAMING) MUST BE COMPLETELY DECKED OR REFER TO DETAIL W05 FOR ALTERNATE BRACING REQUIREMENTS.
- 3) ALL VALLEYS ARE TO BE CONVENTIONALLY FRAMED BY BUILDER.
- 4) ALL TRUSSES ARE DESIGNED FOR 2' o.c. MAXIMUM SPACING, UNLESS OTHERWISE NOTED.
- 5) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.
- 6) SY42 TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.
- 7) ALL 800F TRUSS HANGERS TO BE SWS%ON HTU26 UNLESS OTHERWISE NOTED. ALL FLOOR TRUSS HANGERS TO BE SWS%ON THA422 UNLESS OTHERWISE NOTED.
- 8) BEAMWEDGE/RELINTEL (W08) TO BE FURNISHED BY BUILDER.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND WALLS. ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS, REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Request Bearing Size: \_\_\_\_\_

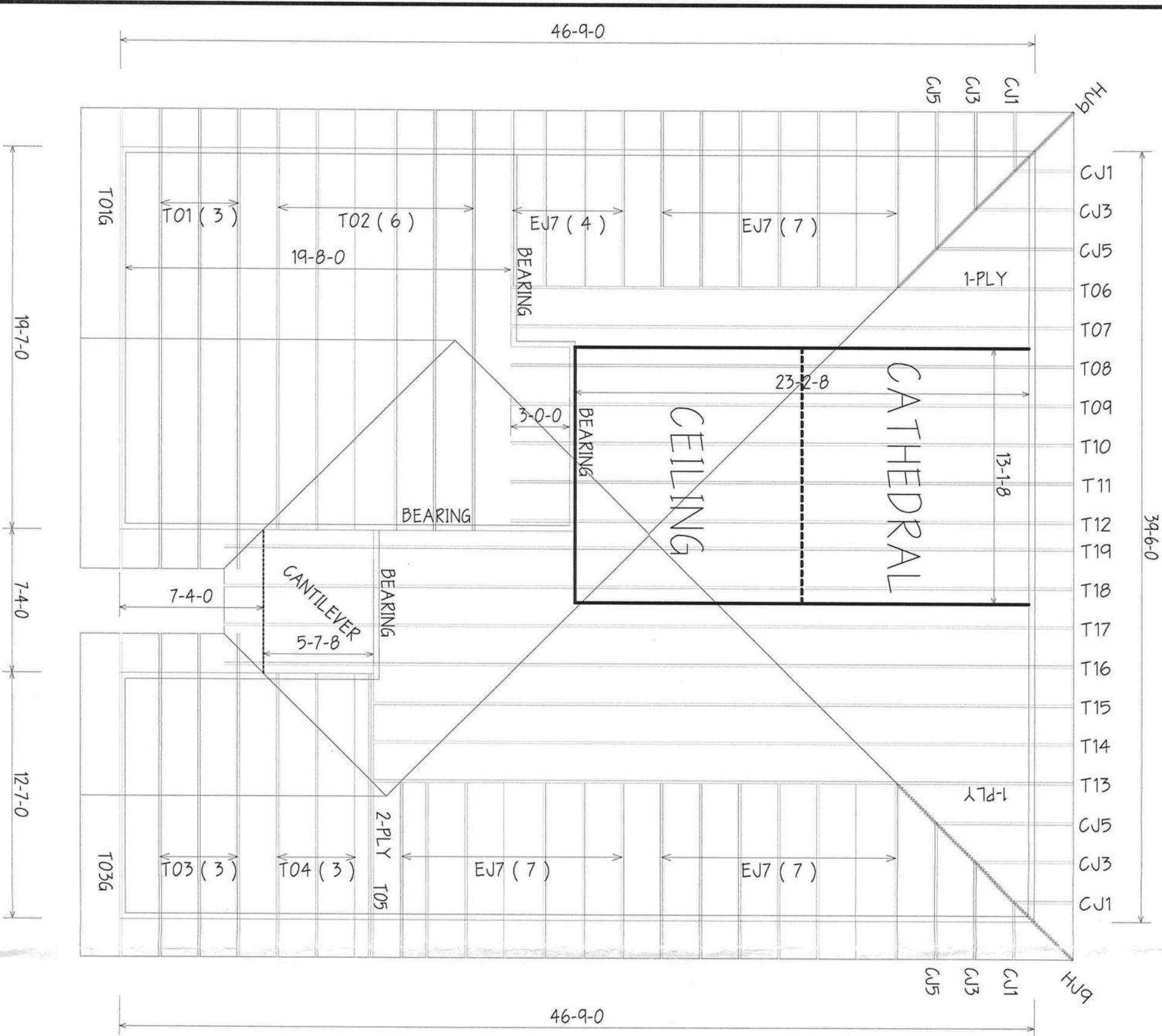
Approved By: \_\_\_\_\_ Date: \_\_\_\_\_



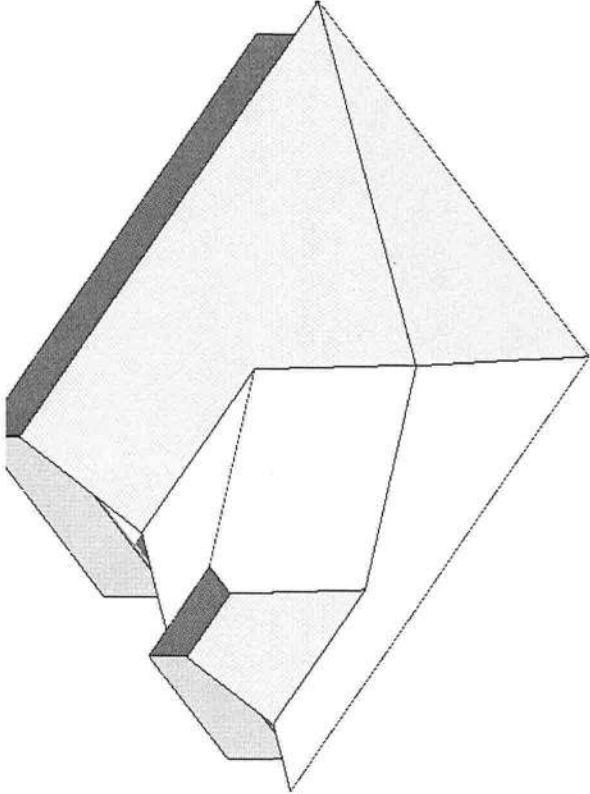
PHONE: 804-437-5349 FAX: 804-437-5894  
Bunnell  
Jacksontonville  
PHONE: 804-772-6100 FAX: 804-772-1973  
Lake City  
PHONE: 386-795-6894 FAX: 386-795-7973  
Sanford  
PHONE: 407-322-0094 FAX: 407-322-9993

JOHN & PAM SMITH

DATE: 6-16-08 FROM: K.L.H. TO: NT5 L280800



6/12 PITCH  
2'0" O/H





# NOTICE OF INSPECTION AND/OR TREATMENT

27256

Date of Inspection

8/19/08

(1H)

Date of Treatment

Date of Spot Treatment

Premise Pro

Pesticide Used

Subterranean Termites

Wood-Destroying Organisms Treated

## \*\*Notice\*\*

It is a violation of Florida State Law (Chap. 482.226) for anyone other than the property owner to remove this notice.

Address:

**Pestmaster Services of Lake City**

879 S.W. Arlington Blvd., Suite 106 • Lake City, FL 32025