

(2-12-14) 31740 → (Legal lot Special family lot split)

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 7-1-15) Zoning Official WMA Building Official WMA §1-8-1

AP# 1811-29 Date Received 11-9-18 By WMA Permit # 37609

Flood Zone AE Development Permit 18-012 Zoning ESA-2 Land Use Plan Map Category ESA

Comments 1' Rise Certification Need before permitting Rec'd 11/29/18
Need elevator Certificate before power including (A/C) equipment.

FEMA Map# 0186-D Elevation 88' Finished Floor 87 River Suwannee In Floodway NO

☒ Recorded Deed or ☒ Property Appraiser PO ☒ Site Plan ☒ EH # 18-01868-E ☐ Well letter OR

☒ Existing well ☒ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # ☐ STUP-MH ☒ 911 App

☐ Ellisville Water Sys ☒ Assessment Paid ☐ Out County ☒ In County ☒ Sub VF Form ☒ DECAL H

SPG
NOTES

Property ID # 20-25-16-01657-017 Subdivision Davis Lot# 17

- ☐ New Mobile Home ☒ Used Mobile Home ✓ MH Size 14x66 Year 1998
- Applicant Robert Nelson Phone # 386-365-9435
- Address 26985 Sgld Dr, Lot 8 - Brunton, FL 32008
- Name of Property Owner LORI FULLER Phone# 260-337-3557
- ☒ 911 Address 621 NW Lonnie Lane, Lake City, FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Duke Energy

- Name of Owner of Mobile Home Derek Sneed Phone # 260-337-355
- Address 7749 Normandy Blvd, Apt 145 228, Jirville, FL
- Relationship to Property Owner _____
- Current Number of Dwellings on Property 1
- Lot Size 230' x 254' Total Acreage 1.33
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home yes
- Driving Directions to the Property Hwy 90 & 41 (Lake City); north to Suwannee Valley Rd; left (west) to NW Everett, turn right proceed to Lonnie Lane turn right to 621 on left
- Name of Licensed Dealer/Installer JEFF ANDREWS Phone # 386-628-288
- Installers Address 19469 NW 44th Ln, Lake Butler, FL 32054
- License Number IA 1125470 Installation Decal # 56893

LT - Spoke to Mr. Nelson he knows what's needed. 11-9-18 LT - Replied to an email from Bob/NL 12/3/18

LT - Left a message for Derek Sneed 11-16-18 - Spoke to Derek & Brandon Spoke to Derek

Mobile Home Permit Worksheet

Application Number:

1811-29

Date:

Installer: Jeffrey Andrews License # 1A/1125770

Address of home being installed: 601 Lonsdale Lane
Lake City, FL 32055

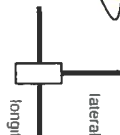
Manufacturer: Fleetwood Length x width: 66x14

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home. I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

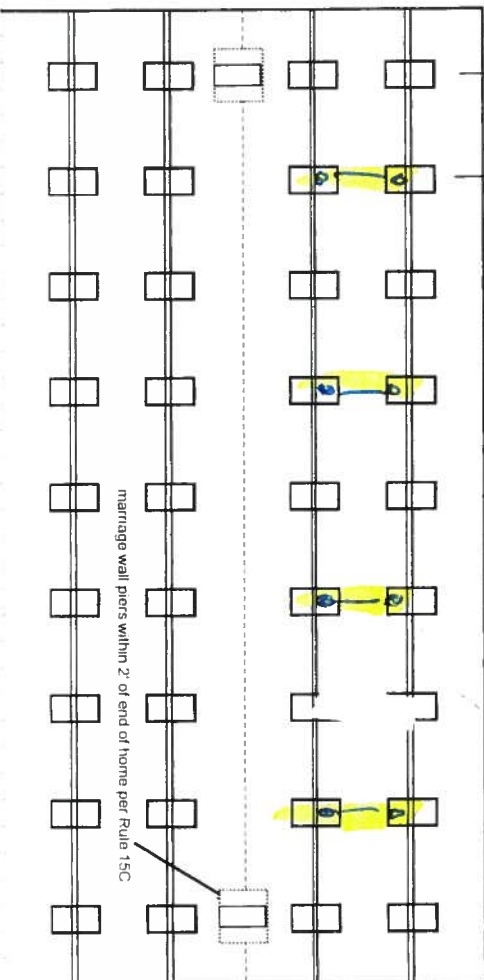
Installer's initials: JA

Typical pier spacing

2'



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



(Rec'd by Robert Nelson 1-3-19)



New Home ☐ Used Home ☒
Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C ☒
Single wide ☒ Wind Zone II ☒ Wind Zone III ☐
Double wide ☐ Installation Decal # ☐
Triple/Quad ☐ Serial # GAFLEW39A10390V421

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
2000 psf	4'6"	6'	7'	8'	8'	8'
2500 psf	6'	8'	8'	8'	8'	8'
3000 psf	7'6"	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25
Perimeter pier pad size NA
Other pier pad sizes (required by the mfg.) 16x6

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size
5x2 5x2
5x2 5x2
5x2 5x2

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number
Sidewall 22
Longitudinal 4
Marriage wall 2
Shearwall 2

Mobile Home Permit Worksheet

Application Number:

1811-29

Date:

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to psf or check here to declare 1000 lb soil without testing.

x 1000 x 1000 x 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb increments, take the lowest reading and round down to that increment.

x 1000 x 1000 x 1000

TORQUE PROBE TEST

The results of the torque probe test is 276 inch pounds or check here if you are declaring 5 anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Jeffrey Andrews

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed ☒ Pad ☒ Other ☐

Fastening multi wide units

Floor/Walls/Roof	Type Fastener	Length	Spacing
Floor	Type Fastener	Length	Spacing
Walls	Type Fastener	Length	Spacing
Roof	Type Fastener	Length	Spacing

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Sc Sw

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Jeffrey Andrews Date 1-3-15



OLIVER TECHNOLOGIES, INC.
FLORIDA INSTALLATION INSTRUCTIONS FOR THE
MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM

MODEL 1101 "V" (Steps 1-14)
LONGITUDINAL ONLY: Follow Steps 1-9
LATERAL ONLY: Follow Steps 1-3 and Steps 10-14
FOR CONCRETE APPLICATIONS: Follow Steps 15-18

ENGINEERS STAMP

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - **STOP! Contact Oliver Technologies at 1-800-284-7437:**

- a) Pier height exceeds 48" c) Roof eaves exceed 16" e) Location is within 1500 feet of coast
b) length of home exceeds 76' d) Sidewall height exceed 96"

INSTALLATION OF GROUND PAN

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C).
3. Place ground pan (C) directly below chassis I-beam. Press or drive pan firmly into soil until flush or below soil then install pier per manufacturer's instructions or per Florida Regs.

SPECIAL NOTE: The longitudinal "V" brace system may also serve as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-third inch (1/3") before home is lowered completely on to piers, complete steps 4 through 9 below then remove jacks.

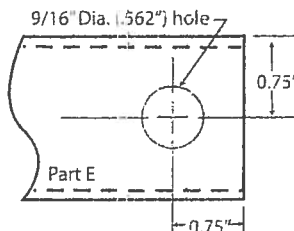
INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM (Model 1101 L "V")

NOTE: WHEN INSTALLING THE LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 276 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4". VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REG.).

4. Choose one of the approved longitudinal tube installations; either Diagram A or B. Then select the correct square tube (E) length from the diagram for appropriate pier height at support location or cut and drill 1.5" square tube to achieve appropriate length.

PIER HEIGHT (40" Min. - 45" Max.)	1.25" Tube Length	1.50" Tube Length
7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

Diagram A



PIER HEIGHT (40" Min. - 60" Max.)	1.50" Tube Length
14" to 18"	20"
18" to 25"	28"
24" to 35"	39"
30" to 40"	44"
36" to 48"	54"

Diagram B

5. Install (2) of the 1.50" square tubes (E) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.
7. (For Diagram A installation) Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut. (For Diagram B installation) Attach the selected 1.5" tubes (E) to the I-beam connectors (F) and fasten loosely with bolt and nuts.
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place.
9. Using standard hand tools tighten all nuts and bolts. (For Diagram A installation only, secure 1.25" and 1.50" tubes using four (4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.)

INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM (Model 1101 T "V")

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR STABILIZER PLATES & FRAME TIES.

NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".

FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. NOTE: Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor per Florida Code.
11. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)
12. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.
13. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector (I) with bolt and nut.
14. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.



INSTALLATION USING CONCRETE RUNNER/FOOTER

15. A concrete runner, footer or slab may be used in place of the steel ground pan.
 - a) The concrete shall be minimum 2500 psi mix
 - b) A concrete runner may be either longitudinal or transverse, and must be a minimum of 8" deep with a minimum width of 16 inches longitudinally or 18 inches transverse to allow proper distance between the concrete bolt and the edge of the concrete (see below).
 - c) Footers must have minimum surface area of 441 sq. in. (i.e. 21" square), and must be a minimum of 8" deep.
 - d) If a full slab is used, the depth must be a 4" minimum. Special inspection of the system bracket installation is not required. Footers must allow for at least 4" from the concrete bolt to the edge of the concrete.

NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.

LONGITUDINAL: (Model 1101 LC "V")

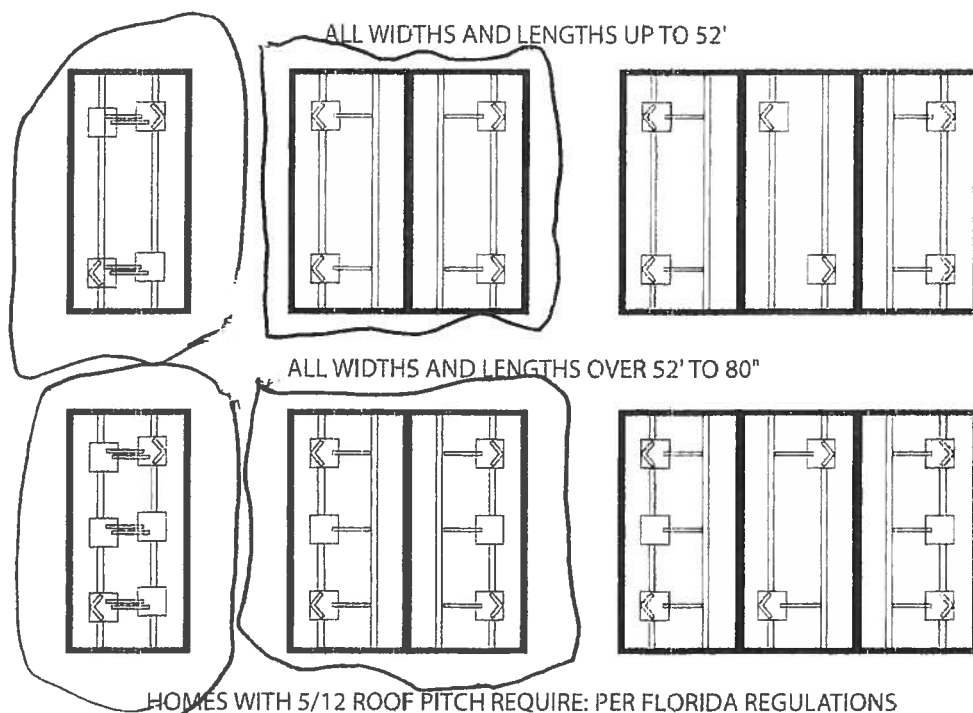
16. When using Part# 1101-W-CPCA (wetset) simply install the bracket in runner/footer **OR** When installing in cured concrete use Part# 101-D-CPCA (dryset). The 1101 (dryset) CA bracket is attached to the concrete using (2) 5/8"x3" concrete wedge bolts (Simpson part # S162300H 5/8" X 3" or Powers equivalent). Place the CA bracket in desired location. Mark bolt hole locations, then using a 5/8" diameter masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the holes. Place wedge bolts into dri holes, then place 1101 (dry set) CA bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bo down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below top of concrete. Complete by tightening nuts.

LATERAL: (Model 1101 TC "V")

17. For wet set (part # 1101-W-TACA) installation simply install the anchor bolt into runner/footer. For dry set installation (part # 1101-D-TAC) mark bolt hole locations, then using a 5/8" diam. masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the hole. Place wedge bolts (Simpson part #S162300H 5/8" X 3" or Powers equivalent) into (D) concrete dry transverse connector and into drilled hole. If needed, take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt), then remove the nut. The sleeve of concrete wedge bolt needs to be at or below the top of concrete.
18. When using part# 1101 CVW (wetset) or 1101 CVD (dryset), install per steps 17 & 18.

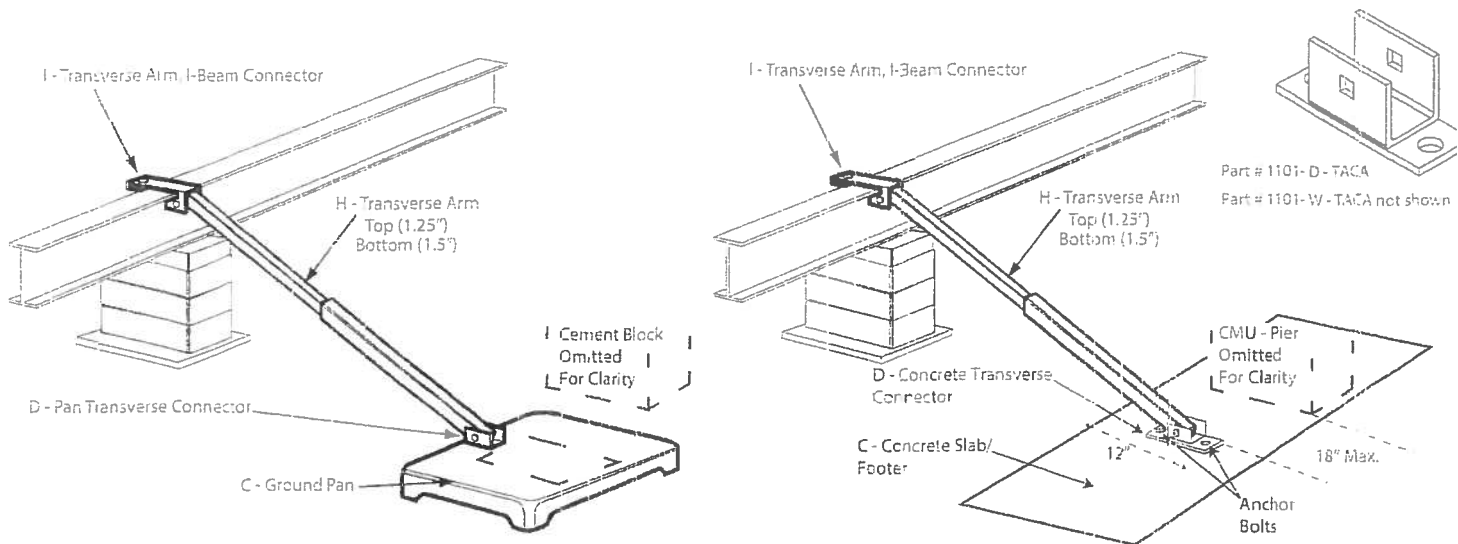
Notes:

1. LENGTH OF HOUSE IS THE ACTUAL BOX SIZE
2. = LOCATION OF TRANSVERSE BRACING ONLY
3. = LOCATION OF LONGITUDINAL BRACING ONLY
4. = TRANSVERSE AND LONGITUDINAL LOCATIONS



HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS
6 systems for home lengths up to 52' and 8 systems for homes over 52' and up to 80'.

PATENT# 6634150 & OTHER PATENT PENDING



Model # 1101 T "V"

Model # 1101 TC "V"

Florida approved 4' ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5' anchor. Per Florida code.

C = GROUND PAN / CONCRETE FOOTER OR RUNNER

D = GROUND PAN / CONCRETE U BRACKETS TRANSVERSE CONNECTOR (connects with grade 5 - 1/2" x 2" 1/2" carriage bolt and nut)

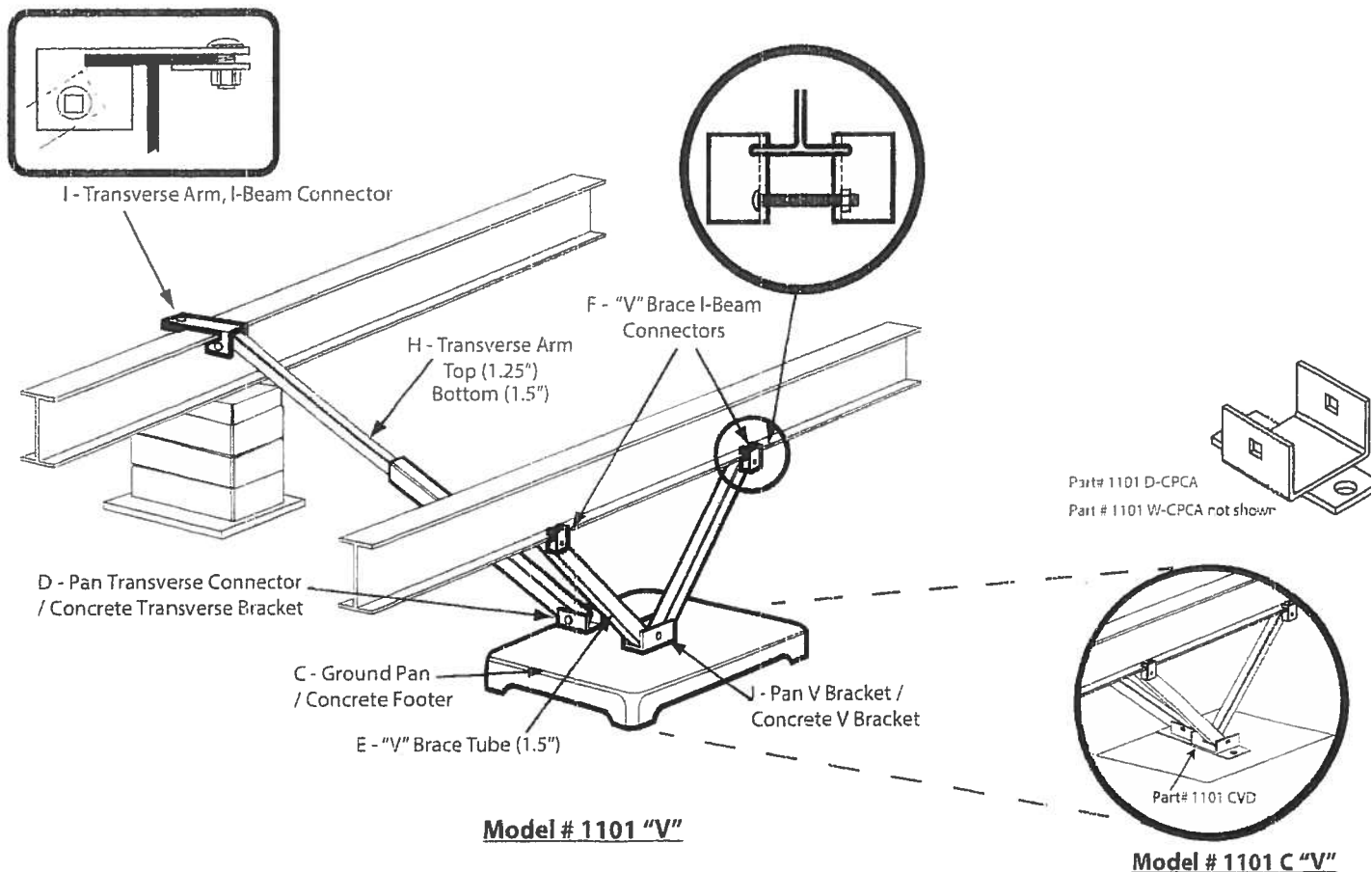
E = TELESOPING V BRACE TUBE ASSEMBLY (1.5" TUBE BOTTOM AND 1.25" TUBE INSERT) OR 1.5" TUBE

F = "V" BRACE I-BEAM CONNECTOR ASSEMBLY

H = TELESOPING TRANSVERSE ARM ASSEMBLY

I = TRANSVERSE ARM I-BEAM CONNECTOR (connects with grade 5 - 1/2" x 2" 1/2" carriage bolt and nut)

J = V PAN BRACKET (connects with grade 5 - 1/2" x 2" 1/2" carriage bolt and nut)



Model # 1101 "V"

Model # 1101 C "V"

Legend

Parcels

Roads

- Roads
- others
- Dirt
- Interstate
- Main
- Other
- Paved
- Private
- 2016Aerials
- Addresses

2018 Flood Zones

- 0.2 PCT ANNUAL CHANCE
- A
- AE
- AH

Addressing:2018 Base Flood Elevations Group

2018 Base Flood Elevations

DEFAULT

Base Flood Elevations

2018 Base Flood Elevation Zones

- 0.2 PCT ANNUAL CHANCE
- A
- AE
- AH

Repetitive Loss Property

2018 FEMA FIRM Panels

- 2018 FEMA FIRM PANELS
- DEFAULT

Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Nov 15 2018 16:48:38 GMT-0500 (Eastern Standard Time)



Parcel Information

Parcel No: 20-2S-16-01657-017

Owner: HARRELL JAMI MICHELLE

Subdivision: DAVIS

Lot: 17

Acres: 1.36168921

Deed Acres: 1.33 Ac

District: District 1 Ronald Williams

Future Land Uses: Environmentally Sensitive Areas -1

Flood Zones: AE

Official Zoning Atlas: ESA-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

DATE 02/12/2014

Columbia County Building Permit**PERMIT****This Permit Must Be Prominently Posted on Premises During Construction****000031740**

APPLICANT WENDY GRENNELL PHONE 288-2428
 ADDRESS 3104 SW OLD WIRE RD FORT WHITE FL 32038
 OWNER DON THOMAS PHONE 288-0252
 ADDRESS 621 NW LONNIE LANE LAKE CITY FL 32055
 CONTRACTOR RUSTY KNOWLES PHONE 755-6441
 LOCATION OF PROPERTY 41 NORTH L SUWANNEE VALLEY RD. R EVERETTE, R LONNIE LN.
PROPERTY ON LEFT, 2ND BACK FROM 90 CURVE
 TYPE DEVELOPMENT MIL. UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
 HEATED FLOOR AREA 0.00 TOTAL AREA 0.00 HEIGHT 0.00 STORIES 0
 FOUNDATION WALLS ROOF PITCH FLOOR
 LAND USE & ZONING ESA-2 MAX. HEIGHT 35
 Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
 NO. EX.D.U. 1 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 14-002

PARCEL ID 20-2S-16-01657-017 SUBDIVISION DAVIS S/D (SOUTH 1/2 OF)
 LOT 17 BLOCK PHASE UNIT 0 TOTAL ACRES 1.33

III1038219

Culvert Permit No. EXISTING Culvert Waiver 14-0065-E Contractor's License Number BK Applicant/Owner/Contractor TM
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident N Time STUP No.

COMMENTS: LEGAL LOT SPECIAL FAMILY LOT PERMIT, ONE FT RISE LETTER ON FILE.MINIMUM FLOOR ELEVATION 88' & EQUIPMENT SERVICING THE MIL REC'D a 92.42NEED FINISHED CONSTRUCTION ELEVATION CERT. BEFORE POWER REC'D a 92.53 Check # or Cash CASH**FOR BUILDING & ZONING DEPARTMENT ONLY**

(Footer/Slab)

Temporary Power Foundation Monolithic date/app. by
 Under slab rough-in plumbing Slab Sheathing/Nailing date/app. by
 Framing Insulation date/app. by
 Rough-in plumbing above slab and below wood floor Electrical rough-in
 Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
 Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
 Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing 02/21/2014 TM
 Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
 MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ 0.00

CODE ENFORCEMENT DEPARTMENT
COLUMBIA COUNTY, FLORIDA
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM BAKER
OWNERS NAME DEREK SNEAD PHONE _____ CELL 260. 337. 355
INSTALLER RONNIE NOBLES PHONE 752-3871 CELL 623-7716
INSTALLERS ADDRESS 1004 SW CHARLES TER L.C., FL 32024

MOBILE HOME INFORMATION

MAKE FEETWOOD YEAR 98 SIZE 14 X 66
* COLOR LT GRAY * SERIAL No. GAFLW39A10390VH21
WIND ZONE II SMOKE DETECTOR ✓

INTERIOR:
FLOORS BEDRM. FLOORS HAS 2 BAD SPOTS
DOORS OK
WALLS OK
CABINETS OK
ELECTRICAL (FIXTURES/OUTLETS) OK

EXTERIOR:
WALLS / SIDING OK
WINDOWS OK
DOORS OK

INSTALLER: APPROVED ✓ NOT APPROVED _____

INSTALLER OR INSPECTORS PRINTED NAME THOMAS

Installer/Inspector Signature THOMAS License No. I/H10251451 Date 10-31-18

NOTES: ROOF SHOWS SIGNS OF LEAKING IN CERTAIN AREAS

ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.

NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.

BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.

ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-758-1008 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.

Code Enforcement Approval Signature MA Date 11-15-18

District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Everett Phillips
District No. 5 - Tim Murphy

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY



Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **11/13/2018 10:07:07 AM**

Address: **621 NW LONNIE Ln**

City: **WHITE SPRINGS**

State: **FL**

Zip Code **32096**

Parcel ID **01657-017**

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

STATE OF FLORIDA
COUNTY OF COLUMBIA

LAND OWNER AFFIDAVIT

This is to certify that I, (We), Lori Fuller

as the owner of the below described property:

Property tax Parcel ID number 20-25-16-01657-017

Subdivision (Name, lot, Block, Phase) Davis Lot 17

Give my permission for Derek Sneed to place a

Circle one - Mobile Home / Travel Trailer / Utility Pole Only / Single Family Home /
Barn - Shed - Garage / Culvert / Other _____

I (We) understand that the named person(s) above will be allowed to receive a building permit on the property number I (we) have listed above and this could result in an assessment for solid waste and fire protection services levied on this property.

Lori Fuller
Owner Signature

11/08/18
Date

Owner Signature

Date

Owner Signature

Date

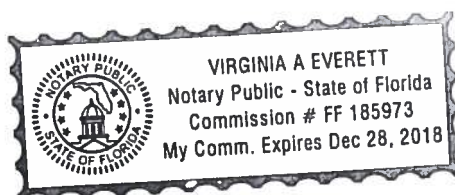
Sworn to and subscribed before me this 8th day of NOV., 20 18. This

(These) person(s) are personally known to me or produced ID Florida Divers Lic
(Type)

Virginia A. Everett
Notary Public Signature

Virginia A. Everett
Notary Printed Name

Notary Stamp/



Columbia County Property Appraiser

updated: 11/1/2018

2018 Tax Roll Year

Parcel: 20-2S-16-01657-017

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

2018 TRIM (pdf)

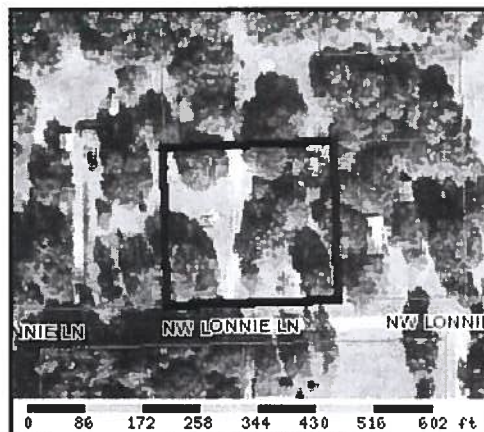
Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	FULLER LORI AS TRUSTEE		
Mailing Address	P O BOX 1126 LAKE CITY, FL 32054-6		
Site Address	621 NW LONNIE LN		
Use Desc. (code)	MISC RES (000700)		
Tax District	3 (County)	Neighborhood	20216
Land Area	1.330 ACRES	Market Area	03
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction		
THE S1/2 OF LOT 17 DAVIS S/D, THE S1/2 OF LOT 17 DAVIS S/D, EX THE E 190.14 FT DESC IN ORB EX THE E 190.14 FT DESC IN ORB 935-350, 489-264, 707-883, 935-350, 489-264, 707-883, 782-1614, 806-1876, 1877, 886- 782-1614, 806-1876, 1877, 886- 1639, 904-2742, (DC 958-1538, 1639, 904-2742, (DC 958-1538, QC 1105-1914, QC 1251-2686, QC 1105-1914, QC 1251-2686, QC 1357-2603, WD 1359-1759, WD QC 1357-2 ...more>>>			



Property & Assessment Values

2018 Certified Values		
Mkt Land Value	cnt: (0)	\$6,835.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (1)	\$200.00
Total Appraised Value		\$7,035.00
Just Value		\$7,035.00
Class Value		\$0.00
Assessed Value		\$7,035.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$7,035 Other: \$7,035 Schl: \$7,035	

2019 Working Values <small>(Hide Values)</small>		
Mkt Land Value	cnt: (0)	\$9,252.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (1)	\$200.00
Total Appraised Value		\$9,452.00
Just Value		\$9,452.00
Class Value		\$0.00
Assessed Value		\$9,452.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$9,452 Other: \$9,452 Schl: \$9,452	

NOTE: 2019 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
8/29/2018	1368/1580	WD	I	Q	01	\$11,000.00
5/3/2018	1359/1759	WD	I	Q	01	\$9,000.00
4/17/2018	1357/2603	QC	I	U	11	\$100.00
3/13/2013	1251/2686	QC	I	U	11	\$100.00
3/19/2008	1147/1806	QC	I	U	01	\$100.00
12/22/2006	1105/1914	QC	I	U	01	\$100.00
8/19/1999	886/1639	WD	V	U	01	\$100.00
11/17/1993	782/1614	WD	V	Q		\$6,000.00

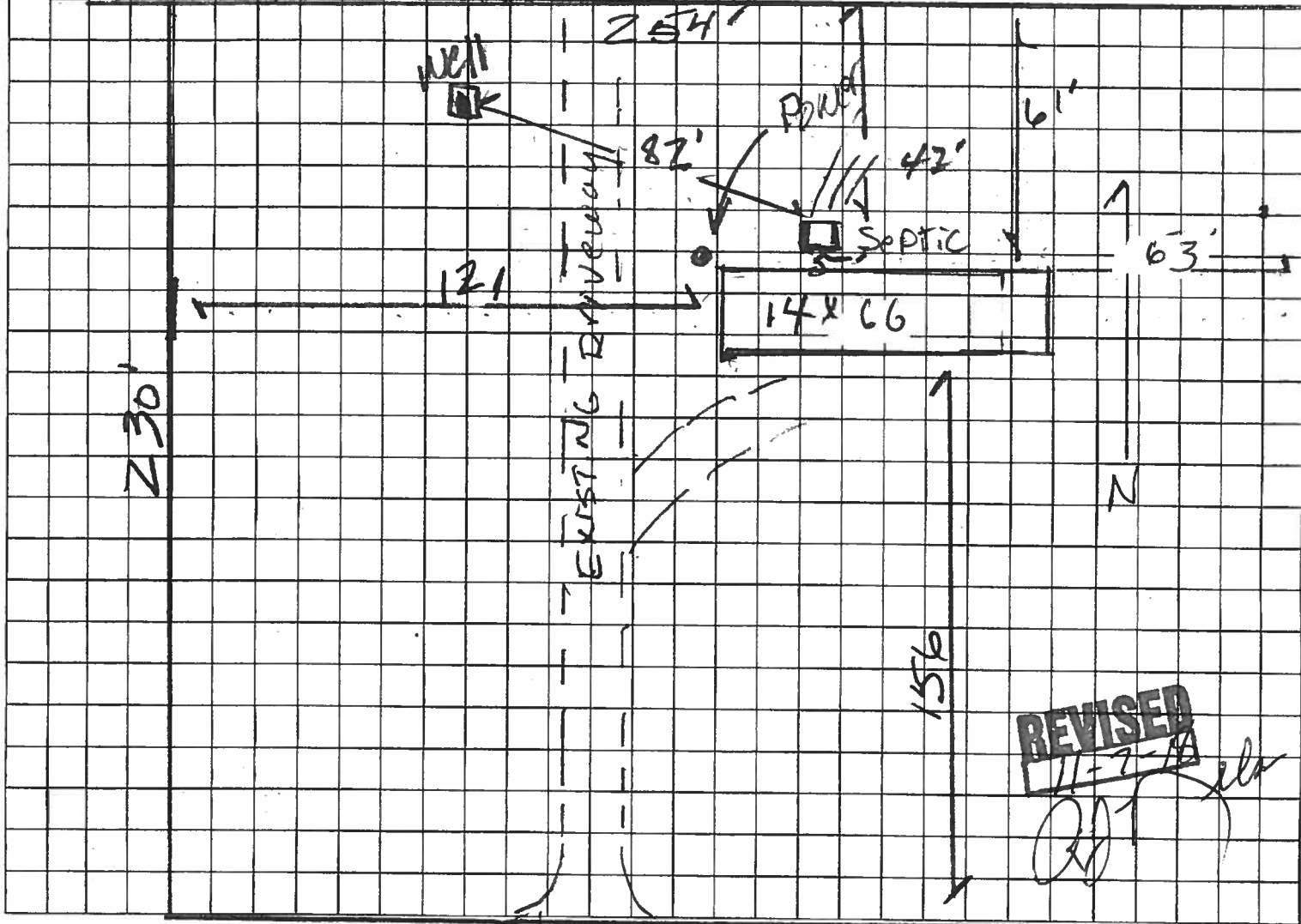
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

18-0868-E

PART II - SITEPLAN

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

NW LONNIE LANE

Site Plan submitted by:

Plan Approved ☒

Not Approved ☐

Date

10-29-18

By

San Brown

ES1

[Signature]

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

*



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-0868
DATE PAID: 10-11-18
FEE PAID: 60.00
RECEIPT #: 1871930

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Derek Snead

AGENT: Robert Nelson

TELEPHONE: 386-365-94

MAILING ADDRESS: 7749 Normandy Blvd Apt 145 228
Jacksonville, FL

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 17 BLOCK: SUBDIVISION: Davis PLATTED: 1974

PROPERTY ID #: 20-25-16-01657-017 ZONING: Res I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 1.33 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 621 NW Lonnie Lane Lake City FL 326

DIRECTIONS TO PROPERTY: From Hwy 90 & 41 (Lake City, FL) proceed North to Sawannee Valley Rd turn left (west) proceed NW Everett Terr, turn right proceed to Lonnie lane turn right to
621 on Le

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit Type of No. of Building Commercial/Institutional System Design
No. Establishment Bedrooms Area Sqft Table 1, Chapter 64E-6, FAC

Used¹ Single w/ mobile
2 Home

3 924

Replac⁴ DW

3 1456

☐ Floor/Equipment Drains ☐ Other (Specify)

SIGNATURE: Robert Nelson

DATE:

Sold to
11, 000.00
Dec 8, 11.00

This Instrument Prepared by & return to:
Name: **TRISH LANG, an employee of**
Integrity Title Services, LLC
Address: **343 NW Cole Terrace, #101**
Lake City, FL 32055
File No. 18-08011TL

Inst: 201812019009 Date: 09/13/2018 Time: 11:19AM
Page 1 of 2 B: 1368 P: 1580, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy ClerkDoc Stamp-Deed: 77.00

Parcel I.D. #: 20-2S-16-01675-017

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the **29th** day of **August, A.D. 2018**, by **JAMI MICHELLE HARRELL**,
CONVEYING NON-HOMESTEAD PROPERTY, hereinafter called the grantor, to **LORI FULLER, TRUSTEE OF**
THE TRAILER + LAND TRUST DATED AUGUST 20, 2018, whose post office address is **P.O. BOX 1126, LAKE**
CITY, FL 32056, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in **Columbia County, State of Florida**, viz:

See Exhibit "A"

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.


And the grantor hereby covenants with said grantee that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2018.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

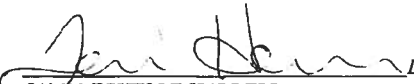
Signed, sealed and delivered in the presence of:


Witness Signature **Mary Ann Tomlinson**

Printed Name

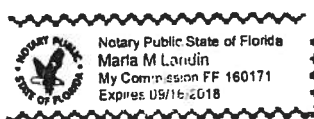

Witness Signature **Maria M. Landin**

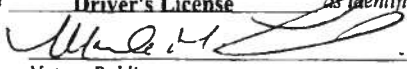
Printed Name


JAMI MICHELLE HARRELL
Address:
205 NW LANDRESS TERRACE, LAKE CITY, FL
32055

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this **29th** day of **August, 2018**, by **JAMI MICHELLE HARRELL**, who is known to me or who has produced **Driver's License** as identification.




Notary Public
My commission expires _____

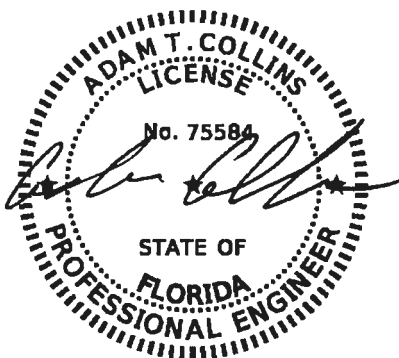


Adam Collins Engineering, Inc.
c/o Adam Collins, P.E.
P.O. Box 1221
Live Oak, FL 32064
386-320-7400
C of A # 31728

1 FT RISE CERTIFICATION

Client/Owner:	Derek Snead
Property Description:	1.33 Acres in Columbia County Parcel Number 20-2S-16-01657-017
Structures in SFHA Zone AE:	A 14 ft by 66 ft manufactured home with lowest existing ground elevation adjacent to structure approx. 84.70 ft
Elevation of 100yr flood:	87 ft NAVD88
Community Panel:	12023C0186D
Width of flood plain:	~ 12,500 ft
Area of Proposed Obstruction:	$66 \times (87 - 84.70) = 66 \times 2.30 = \underline{151.80 \text{ sf}}$
100 yr Flood level increase:	$151.80 \text{ sf} / 12,500 \text{ ft} = \underline{0.012 \text{ ft}}$

I hereby certify that construction of the proposed structure listed above will increase the 100yr flood elevation less than 1 ft. Ground elevations were obtained from a survey supplied by the client. Building dimensions were also supplied by the client. The 100 yr flood elevation and the floodplain width were obtained from the Suwannee River Water Management District Flood Report.



Digitally signed by Adam Collins
DN: c=US, st=Florida, l=Live Oak,
o=Adam Collins Engineering, Inc.,
cn=Adam Collins,
email=adam@collinseng.com
Date: 2018.11.29 11:55:55 -05'00'
Adobe Acrobat version: 2019.008.20081

Adam T. Collins, P.E.
License No. 75584

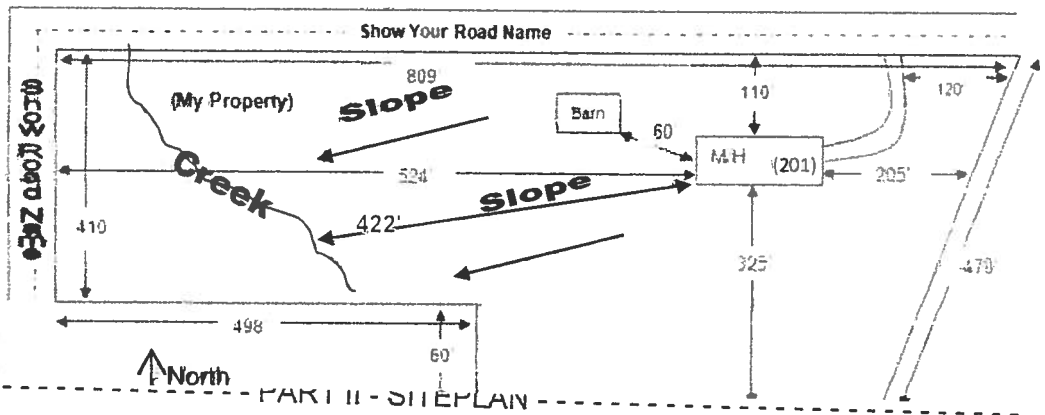
SITE PLAN CHECKLIST

- ✓ 1) Property Dimensions
- ✓ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ✓ 3) Distance from structures to all property lines
- ✓ 4) Location and size of easements
- ✓ 5) Driveway path and distance at the entrance to the nearest property line
- ✓ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ✓ 7) Show slopes and or drainage paths
- ✓ 8) Arrow showing North direction

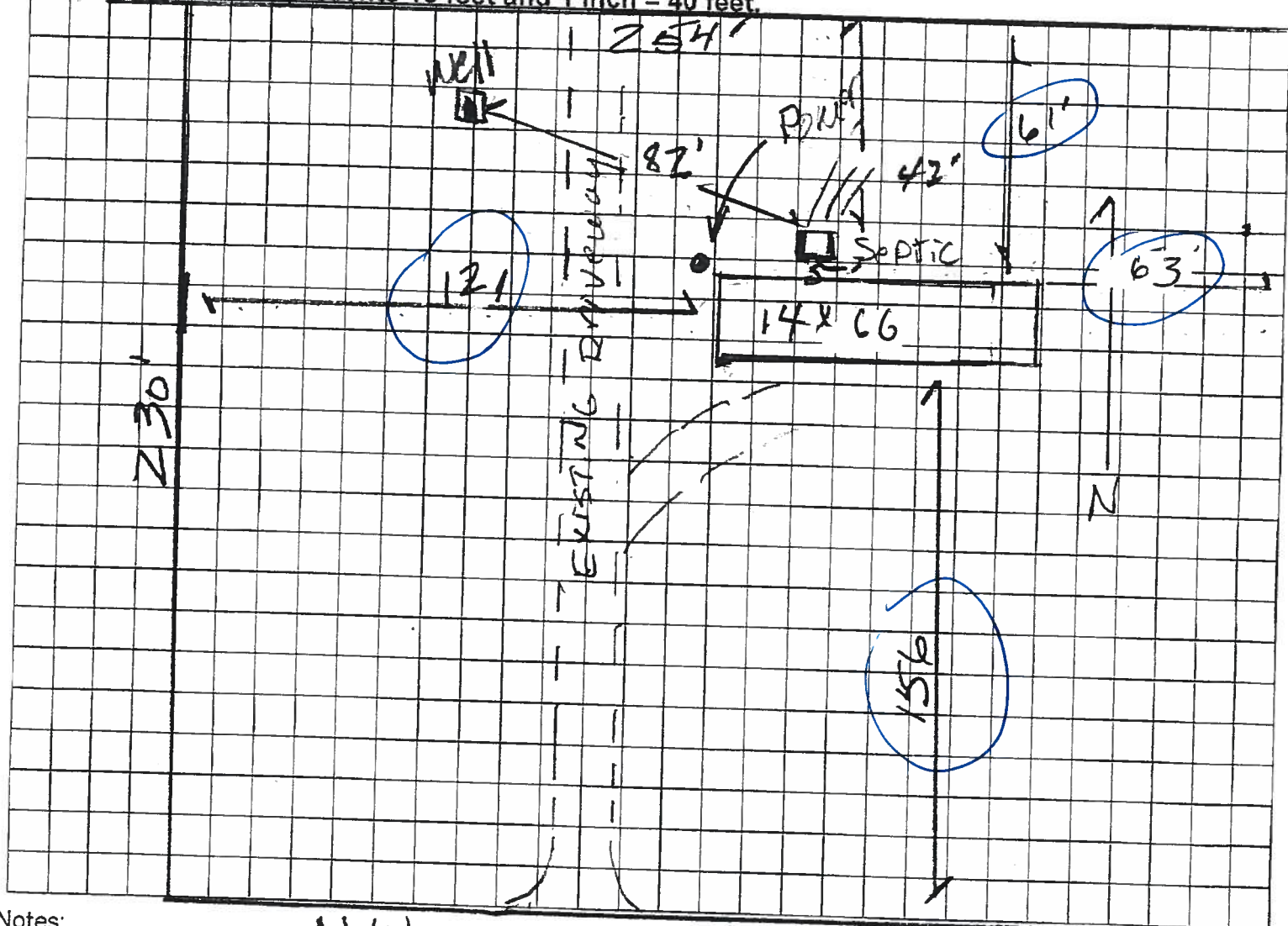
SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:
This site plan can be copied and used with the 911 Addressing Dept. application forms.



Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: NW LONNIE LANE


MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1811-29 CONTRACTOR Ronnie Norris PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Derek Sneed</u> License #: _____ Qualifier Form Attached <input type="checkbox"/>	Signature <u></u> Phone #: <u>260-337-3557</u>
MECHANICAL/ A/C <input checked="" type="checkbox"/>	Print Name _____ License #: _____ Qualifier Form Attached <input type="checkbox"/>	Signature _____ Phone #: _____

Room Unit

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave. Suite B-21. Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Jeffery Andrews give this authority for the job address show below
Installer License Holder Name
only, 621 LONNIE LANE LAKE CITY, FL 32055 and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control
and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Robert Nelson		<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done
under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and
Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license
holder for violations committed by him/her or by his/her authorized person(s) through this
document and that I have full responsibility for compliance granted by issuance of such permits.

License Holders Signature (Notarized) License Number 1H/1125470 Date 09/30/2019

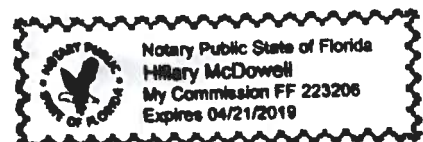
NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: COLUMBIA

The above license holder, whose name is _____
personally appeared before me and is known by me or has produced identification
(type of I.D.) Driver License on this 30 day of JANUARY, 20 19.

NOTARY'S SIGNATURE

(Seal/Stamp)



Mobile Home

Applicant: ROBERT NELSON (386.365.9435) Application Date: 1/3/2019

Convert To ▾

1. ACTION LOCATION

2. CONTRACTOR

3. MOBILE HOME
DETAILS

4. APPLICANT

5. REVIEW

6. FEES/PAYMENT


7.
DOCUMENTS/REPORTS
(1)

Completed Inspections

Add Inspection

Release Power

[Schedule Inspection \(ScheduleInspection.aspx?Id=40069\)](#)

Inspection	Date	By	Notes
Septic Release Inspection	1/3/2019	HEALTH DEPT	
Passed: Mobile Home - In County Pre-Mobile Home before set-up	1/4/2019	TROY CREWS	C EI 

REPAIR CEILING PRIOR TO FINAL

The completion date must be set To release Certifications to the public.

Permit Completion Date
(Releases Occupancy and Completion Forms)

Development Permit
F 023- 18-012

FLOOD ZONE AE BY LH 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # 0186-D
FIRM 100 YEAR ELEVATION 87.0' PLAN INCLUDED YES or NO
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 88.0'
IN THE REGULATORY FLOODWAY YES or (NO) RIVER SUKIANNEE
SURVEYOR / ENGINEER NAME ADAM T. COLLINS, PE LICENSE NUMBER 75584

PERMIT EXPIRES ONE YEAR FROM THE DATE OF ISSUANCE