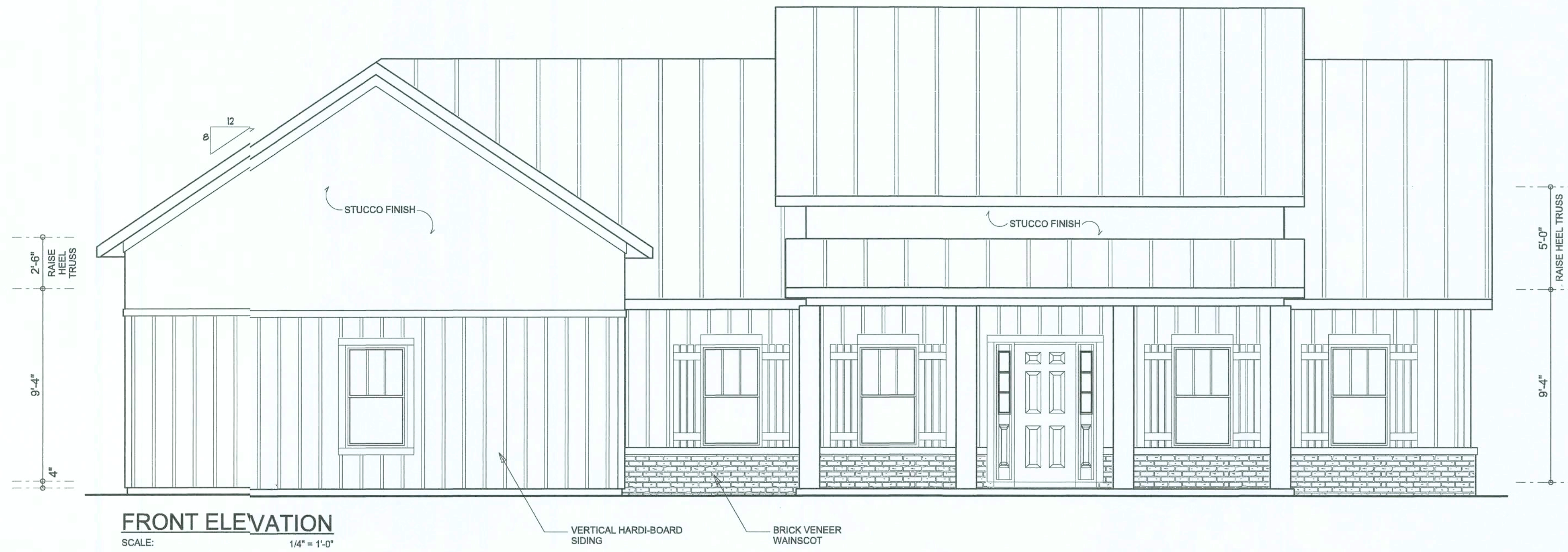


**TYPICAL WALL SECTION**  
SCALE: 1" = 1'-0"



NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

REVISIONS	DATE	BY	APP
September 10, 2019			

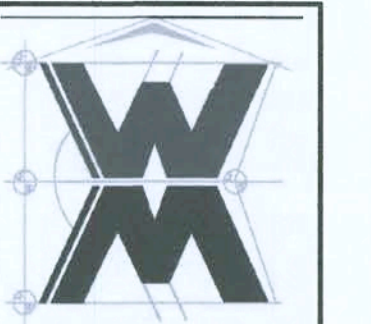
**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

**FRONT & REAR ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**TYPICAL WALL SECTION**  
SCALE: NTS

A CUSTOM RESIDENCE FOR:  
**PETER & ANNA LEV**  
PROJECT ADDRESS: LOT 2, CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

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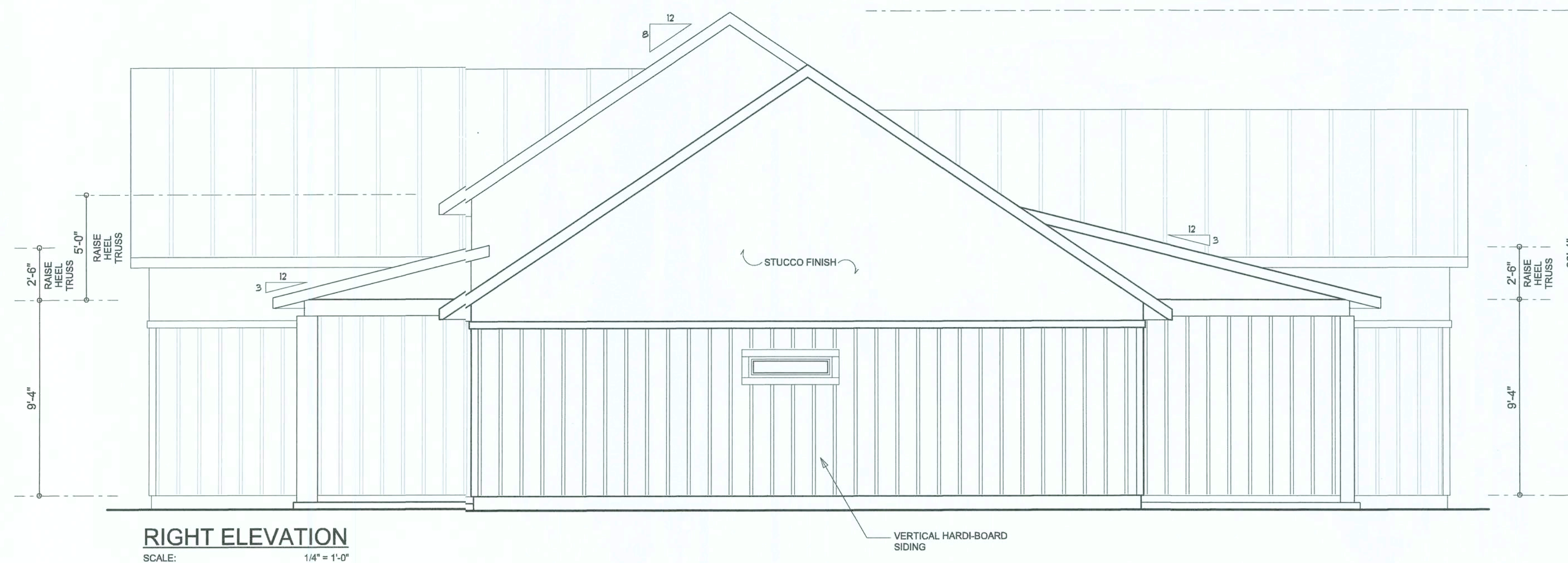
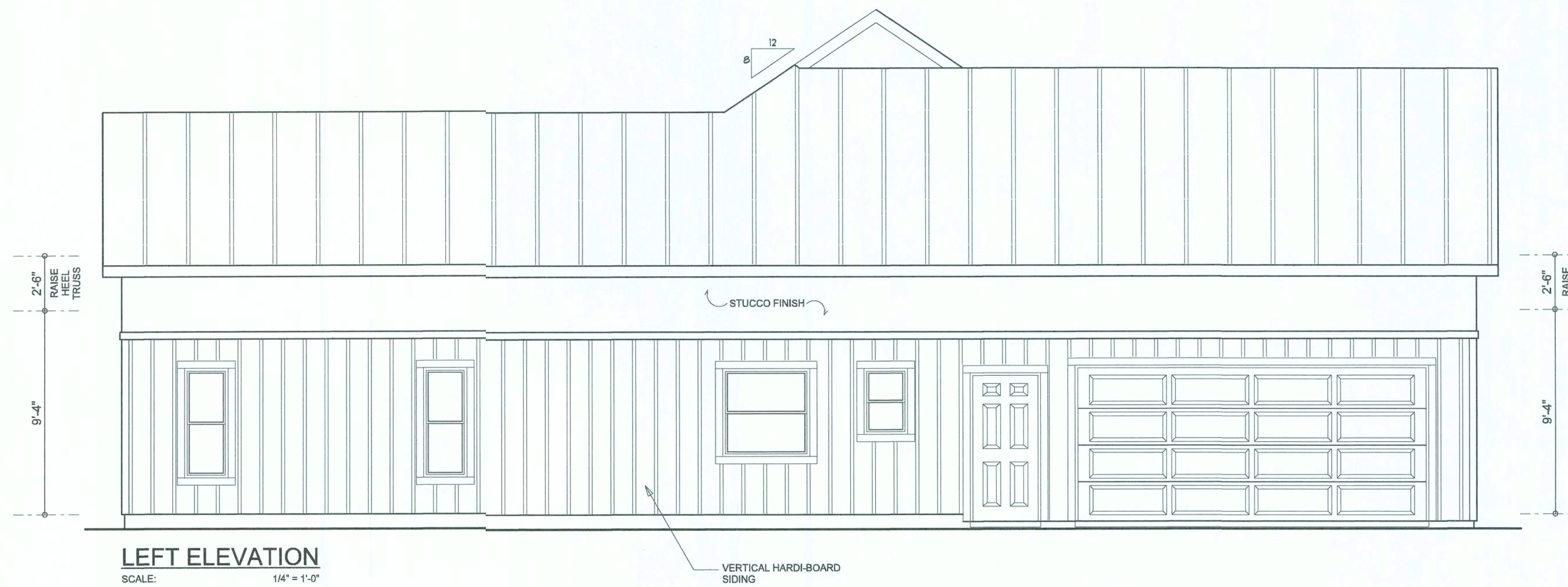
JOB NUMBER  
20190710

SHEET NUMBER  
**A.1**



*Will C. Myers*





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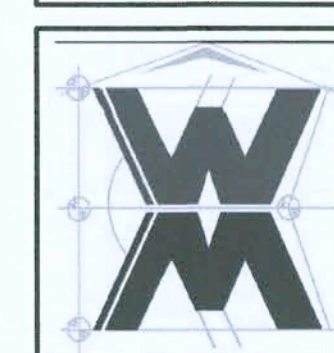
REVISIONS	September 10, 2019

SOFTPLAN  
ARCHITECTURAL DESIGN SOFTWARE

LEFT & RIGHT ELEVATIONS  
SCALE: 1/4" = 1'-0"

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PROJECT ADDRESS: LOT 3, CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

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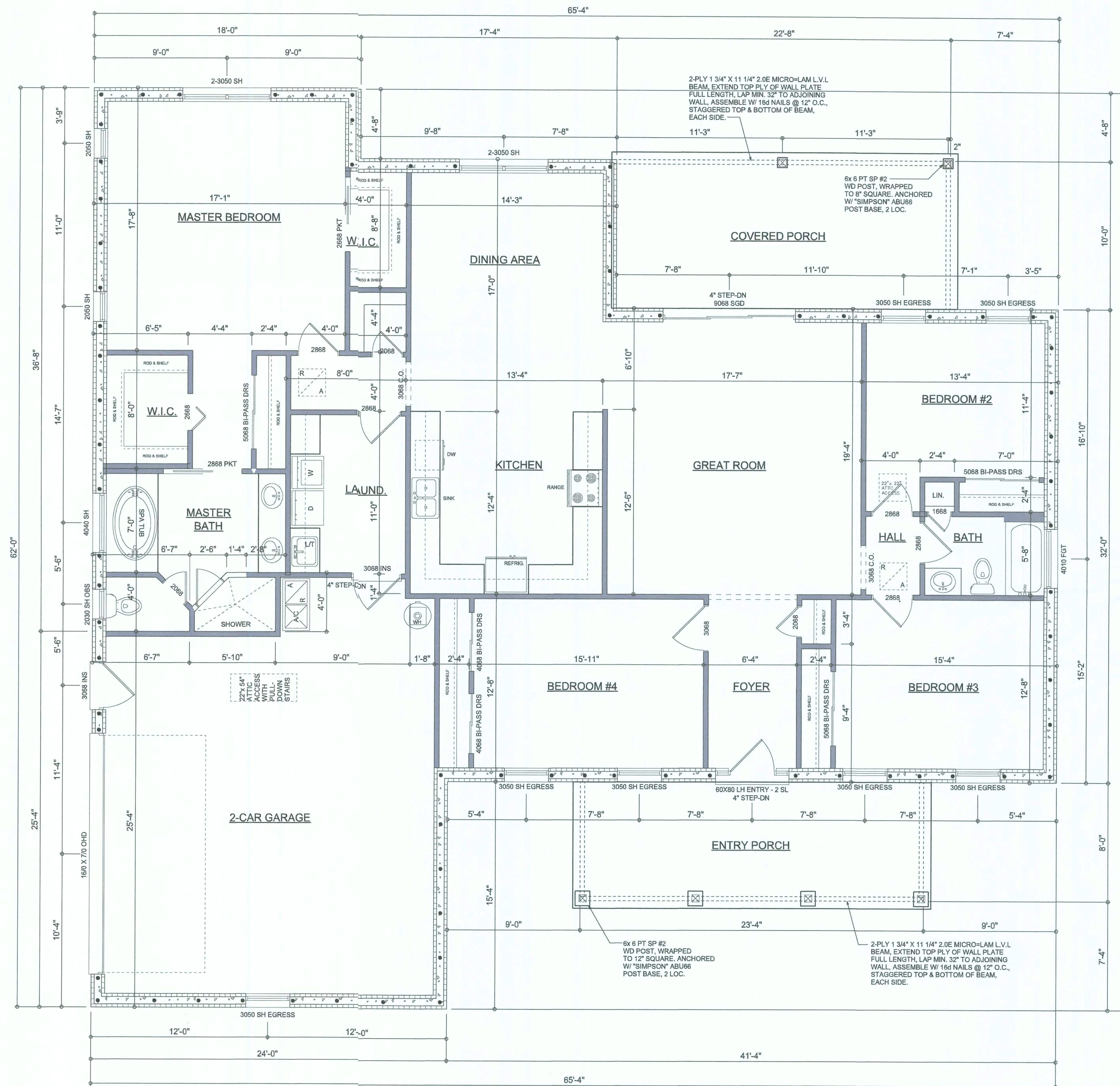


JOB NUMBER  
20190710

SHEET NUMBER  
**A.2**

*Wm C Myers*





**DIMENSIONED FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE: ALL CEILING HEIGHTS SHALL BE 9'-4" UNLESS OTHERWISE NOTED.

NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

**AREA SUMMARY**

LIVING AREA	2,266 S.F.
GARAGE AREA	630 S.F.
ENTRY PORCH AREA	189 S.F.
COVERED PORCH AREA	227 S.F.
<b>TOTAL AREA</b>	<b>3,312 S.F.</b>

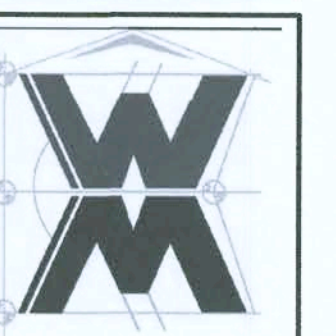
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**DIMENSIONED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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**PETER & ANNA LEV**  
PROJECT ADDRESS: LOT 3 CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

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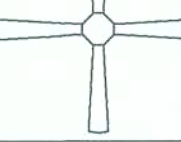


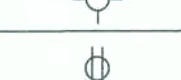

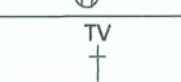
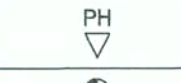
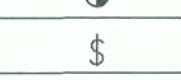
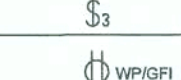
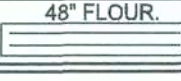

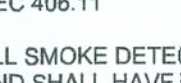

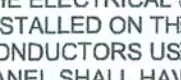
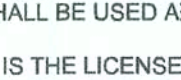
JOB NUMBER  
20190710

SHEET NUMBER

**A.3**

*Wm C. Myers*



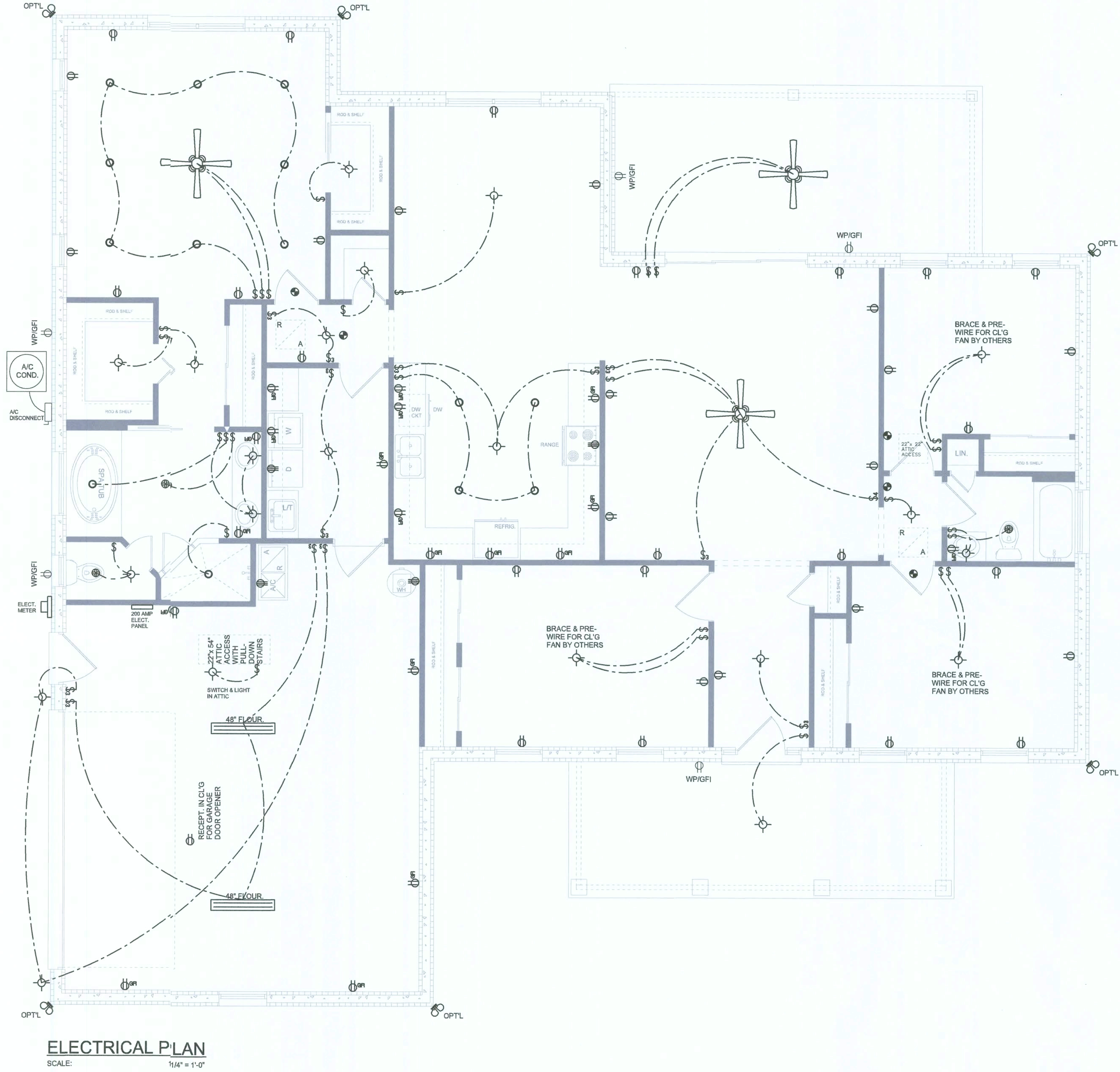
	ELECTRICAL LEGEND
	CEILING FAN (PRE-WIRE FOR LIGHT KIT)
	DOUBLE SECURITY LIGHT
	RECESSED CAN LIGHT
	BATH EXHAUST FAN
	LIGHT FIXTURE
	DUPLEX OUTLET (AFCI & TAMPER RESISTANT)
	220v OUTLET
	GFI DUPLEX OUTLET (PER NEC 406.8)
	TELEVISION JACK
	TELEPHONE JACK
	SMOKE / CARBON MONOXIDE DETECTOR (see note below)
	WALL SWITCH
	3 WAY WALL SWITCH
	WATER PROOF GFI OUTLET
	2 OR 4 TUB FLUORESCENT FIXTURE

NOTE:  
ALL INTERIOR RECEPTACLES SHALL BE AFCI  
(ARC FAULT CIRCUIT INTERRUPT) PER NEC 210.12 & TAMPER RESISTANT PER  
NEC 406.11

ALL SMOKE DETECTORS BE A COMBO SMOKE & CARBON MONOXIDE DETECTOR  
AND SHALL HAVE BATTERY BACKUP POWER  
AND ALL WIRED TOGETHER SO IF ANY ONE UNIT IS ACTUATED THEY  
ALL ACTIVATE.

THE ELECTRICAL SERVICE OVERCURRENT PROTECTION DEVICE SHALL BE  
INSTALLED ON THE EXTERIOR OF STRUCTURES TO SERVE AS A DISCONNECT MEANS.  
CONDUCTORS USED FROM THE EXTERIOR DISCONNECTING MEANS TO A PANEL OR SUB  
PANEL SHALL HAVE FOUR-WIRE CONDUCTORS, OF WHICH ONE CONDUCTOR  
SHALL BE USED AS AN EQUIPMENT GROUND.

IT IS THE LICENSED ELECTRICAL CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL  
WORK PERFORMED AND EQUIPMENT INSTALLED MEETS OR EXCEEDS THE NFPA70 2014 NATIONAL  
ELECTRIC CODE AND ALL OTHER LOCAL CODES AND ORDINANCES.



NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

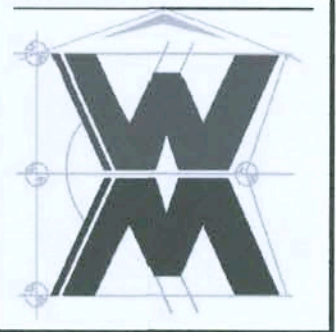
REVISIONS
September 10, 2019



ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

A CUSTOM RESIDENCE FOR:  
**PETER & ANNA LEV**  
PROJECT ADDRESS: LOT 3 CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

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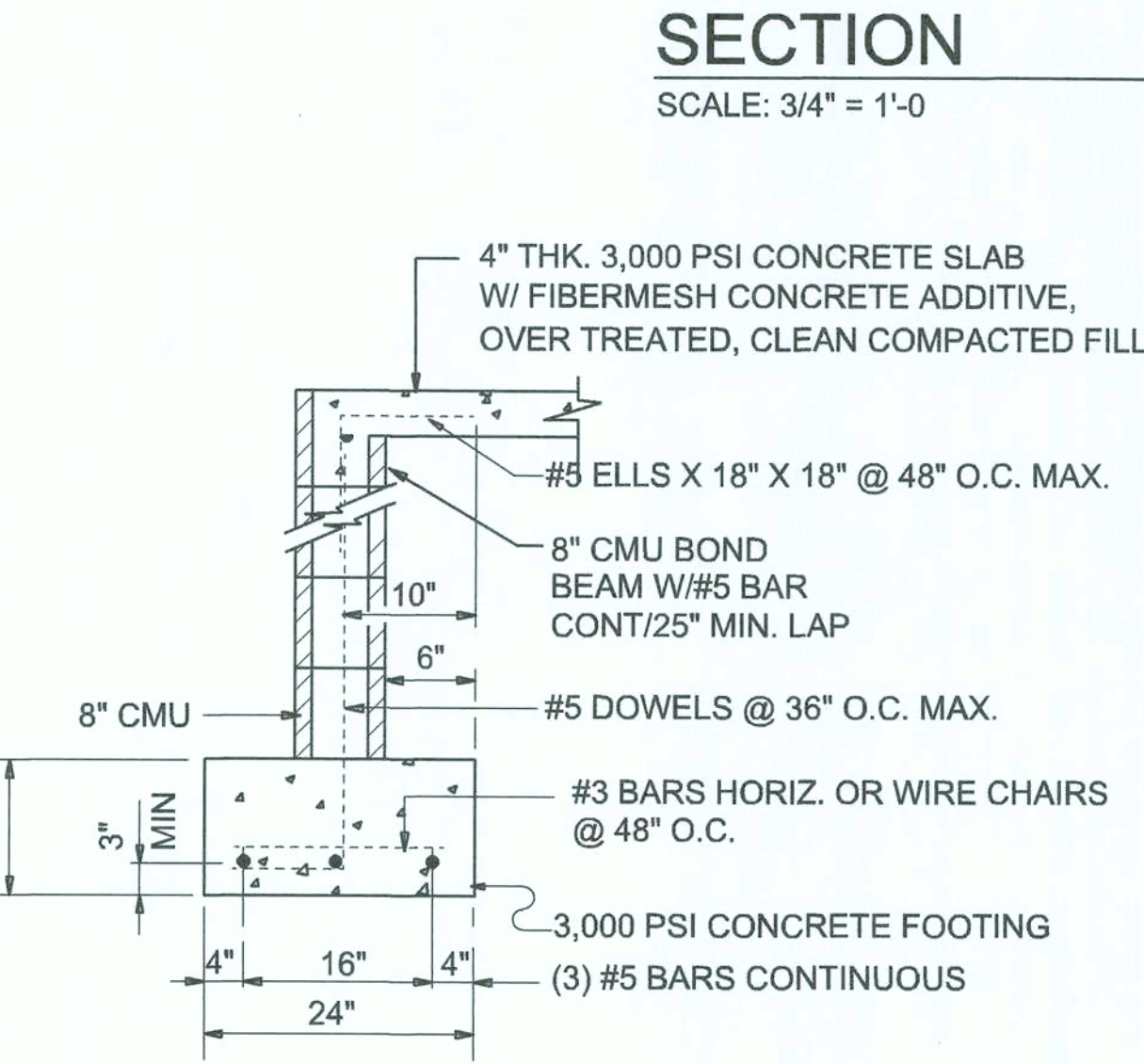
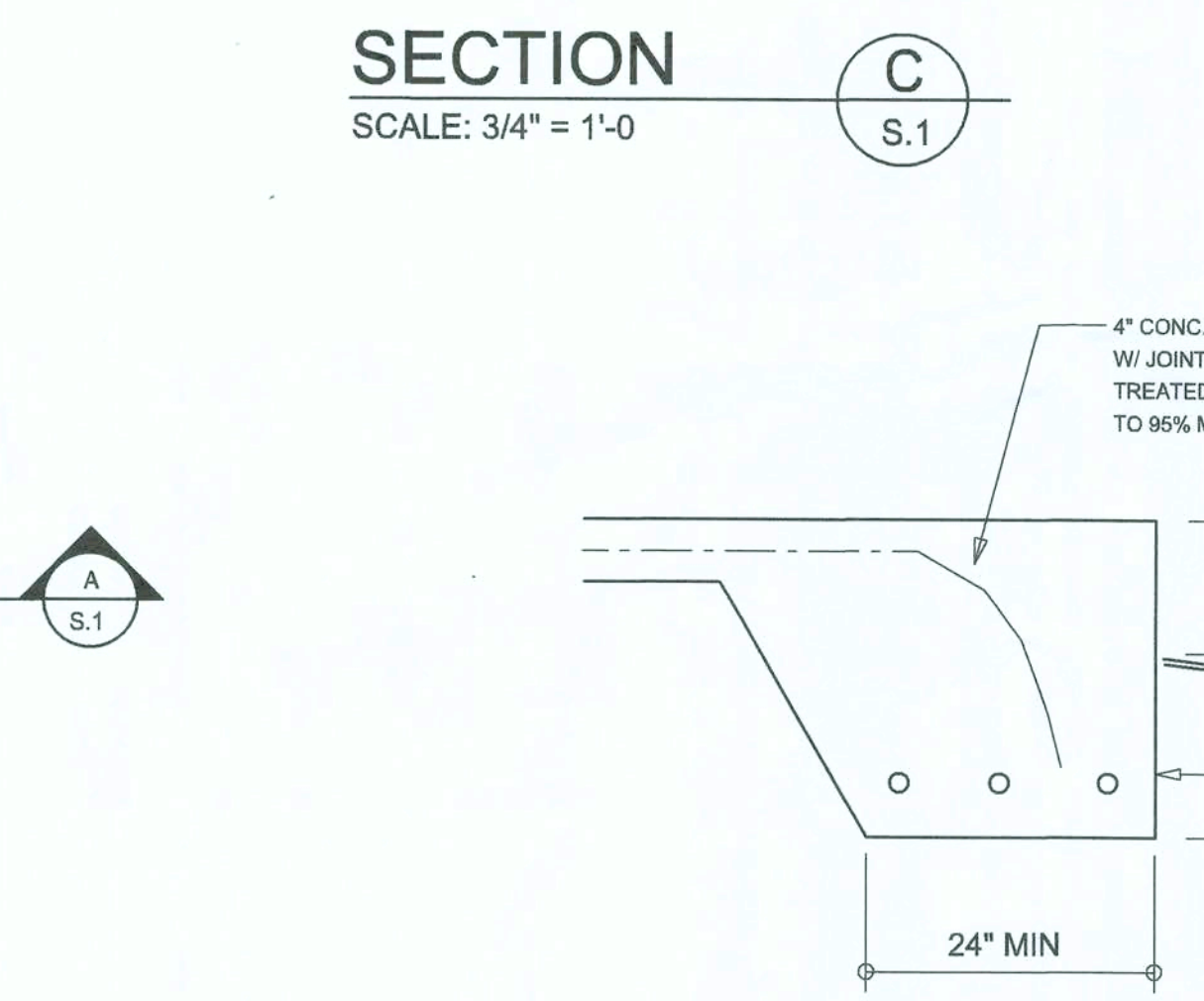
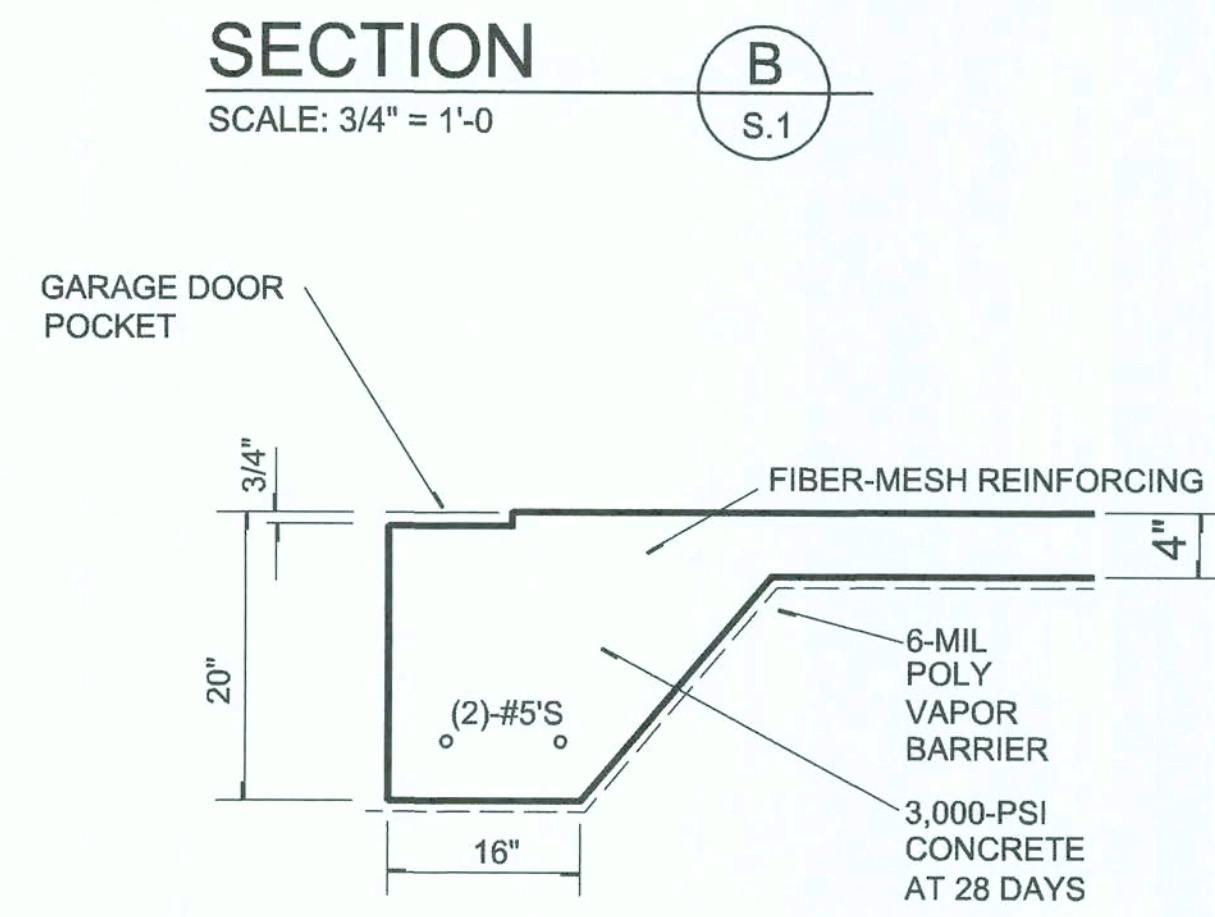
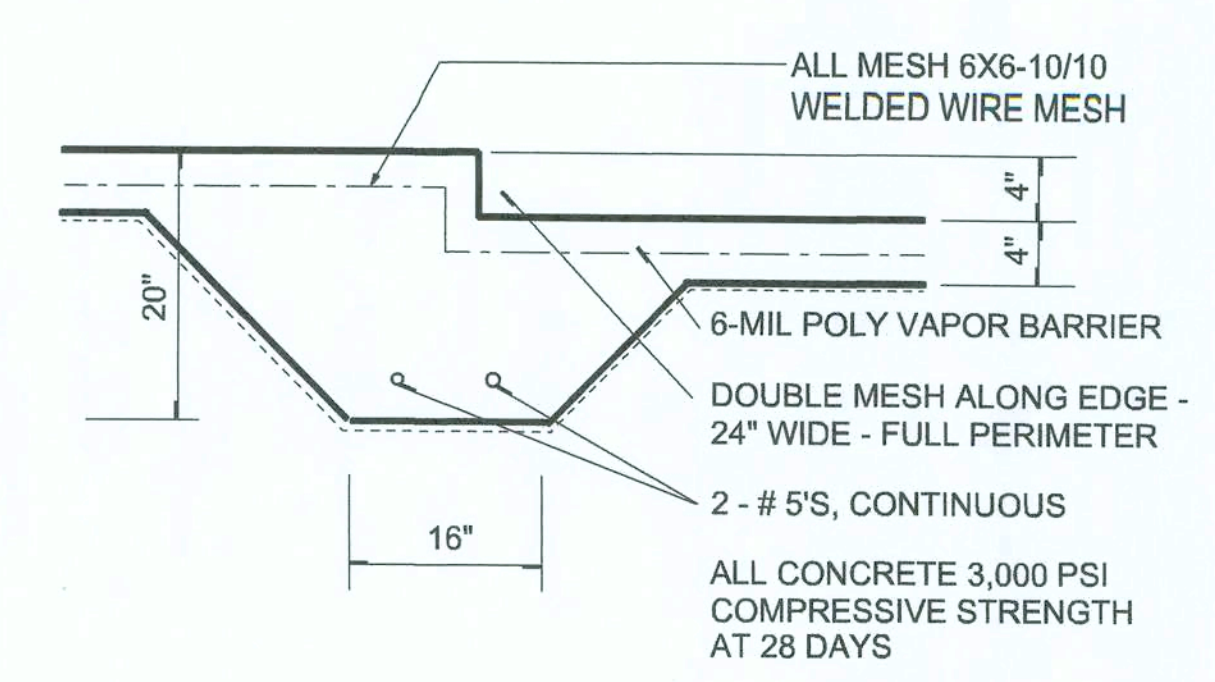
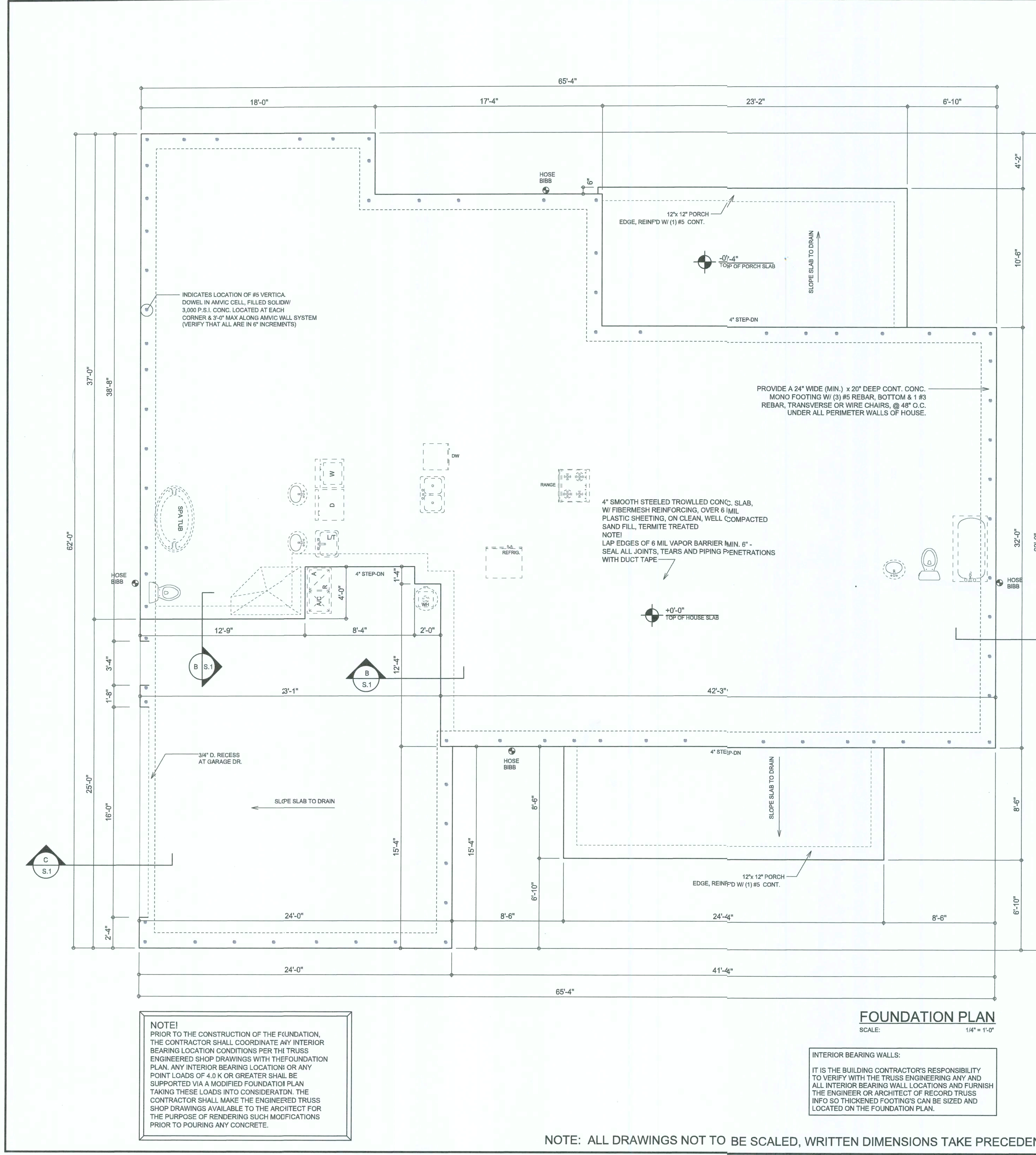


JOB NUMBER  
20190710

SHEET NUMBER  
**A.4**

W.C.M.





### CONCRETE / MASONRY / METALS GENERAL NOTES:

- DESIGN SOIL BEARING PRESSURE: 1000 PSF.
- EXPANSIVE SOILS: WHERE DIRECTED BY THE SOILS ENGINEER, SOIL AUGMENTATION PER THE SOILS ENGINEER'S SPECIFICATIONS SHALL BE IMPLEMENTED PRIOR TO PLACING ANY FOUNDATIONS - TESTS AS SPECIFIED SHALL BE PERFORMED TO DETERMINE THE SUITABILITY OF THE SUB-GRADE TO SUPPORT THE DESIGN LOADS.
- CLEAN SAND FILL OVER STRIPPED AND COMPACTED EXISTING GD. SHALL BE PLACED IN 12" LIFTS. BOTH SUB-SOIL AND FILL COMPACTION SHALL BE NOT LESS THAN 98% AS MEASURED BY A MODIFIED PROCTOR TEST AT THE RATE OF ONE TEST FOR EACH 1500 SF OF BUILDING PAD AREA, OR FRACTION THEREOF, FOREACH 12" LIFT.
- REINFORCING STEEL SHALL BE GRADE 60 AND MEET THE REQUIREMENTS OF ASTM A615, ALL BENDS SHALL BE MADE COLD.
- WELDED WIRE MESH SLAB REINFORCING SHALL MEET THE REQUIREMENTS OF ASTM A185 - MIN. YIELD STRESS = 85 KSI
- CONCRETE SHALL BE STANDARD MIX F<sub>c</sub> = 3000 PSIFOR ALL FTGS. SLABS, COLUMNS AND BEAMS OR SHALL BE STANDARD PUMP MIX F<sub>c</sub> = 3000 PSI. STRENGTH SHALL BE ATTAINED WITHIN 21 DAYS OF PLACEMENT. MIXING, PLACING AND FINISHING SHALL BE AS PER ACI STANDARDS.
- CONCRETE BLOCK SHALL BE AS PER MANUFACTURER'S PRODUCT GUIDE FOR ASTM C-90 REQUIREMENTS WITH MEDIUM SURFACE FINISH - F<sub>m</sub> = 1500 PSI.
- MORTAR SHALL BE TYPE "M" OR "N" FOR ALL MASONRY UNITS.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A333 STANDARDS FOR STRENGTH, BOLTS SHALL BE ASTM A307 / GRADE 10R A325, AS PER PLAN REQUIREMENTS.
- WELDS SHALL BE AS PER "AMERICAN WELDING SOCIETY" STANDARDS FOR STRUCTURAL STEEL APPLICATIONS.
- 2X4 P/T WOOD SILL, CONT. ALL AROUND, W/ 5/8"-A.B. W/ 3" SQ. X 1/4" PLATE WASHERS WITHIN 6" FROM EACH CORNER, EA. WAY, & WITHIN 6" FROM ALL WALL OPENINGS / ENDS - 1/2"-A.B. W/ 2" SQ. WASHERS ALONG EACH RUN @ 48" O.C., MAX. - ALL ANCHOR BOLTS SHALL HAVE A MINIMUM OF 8" EMBEDMENT INTO THE CONCRETE.

REVISIONS  
September 10, 2019

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

A CUSTOM HOME FOR:  
**PETER & ANNA LEV**  
PROJECT ADDRESS: LOT 3, CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

**NICHOLAS PAUL BEISLER**  
ARCHITECT  
1750 NW Brown Rd.  
Lake City, FL 32055  
(386) 365-4355

JOB NUMBER  
20190710

SHEET NUMBER  
**S.1**  
OF 4 SHEETS



ROOF PLAN NOTES

- R-1 SEE EXTERIOR ELEVATIONS FOR ROOF PITCH  
R-2 ALL OVERHANG 18" (12" ON GABLE ENDS) UNLESS OTHERWISE NOTED  
R-3 PROVIDE ATTIC VENTILATION IN ACCORDANCE WITH SCHEDULE ON THIS SHEET.  
R-4 SEE EXTERIOR ELEVATIONS AND FLOOR PLANS TO VERIFY PLATE AND HEEL HEIGHTS  
R-5 MOVE ALL VENTS AND OTHER ROOF PENETRATIONS TO REAR

NOTE!  
SHEATH ROOF W/ 5/8" CDX PLYWOOD PLACED W/ LONG DIMENSION PERPENDICULAR TO THE ROOF TRUSSES, SECURE TO FRAMING W/ 8d NAILS - AS PER DETAIL ON SHEET S.4

NOTE!  
THE DESIGN WIND SPEED FOR THIS PROJECT IS 130 MPH PER 2017 PER R301.2.1.1 AND LOCAL JURISDICTION REQUIREMENTS

NOTE!  
ALL PENETRATIONS OF THE TOP PLATE OF ALL LOAD BEARING WALLS SHALL BE SEALED WITH FIRE RETARDANT CAULKING, INCLUDING WIRING, PLUMBING OR OTHER SUCH PENETRATIONS. WALLS OVER 8'-0" TALL SHALL HAVE CONTINUOUS BLOCKING TO LIMIT CAVITY HEIGHT TO 8'-0". PENETRATIONS THROUGH SUCH BLOCKING SHALL BE TREATED IN THE SAME MANNER AS TOP PLATES, NOTED ABOVE

WOOD STRUCTURAL NOTES

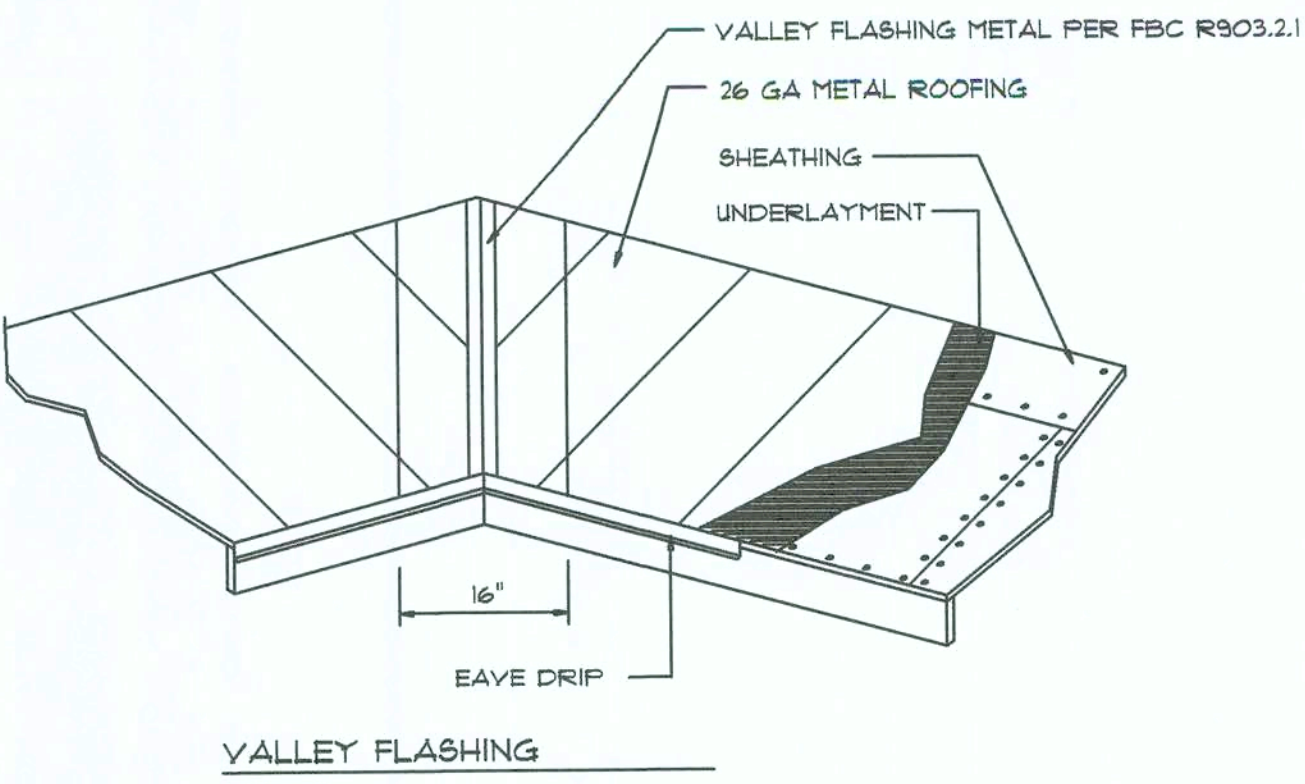
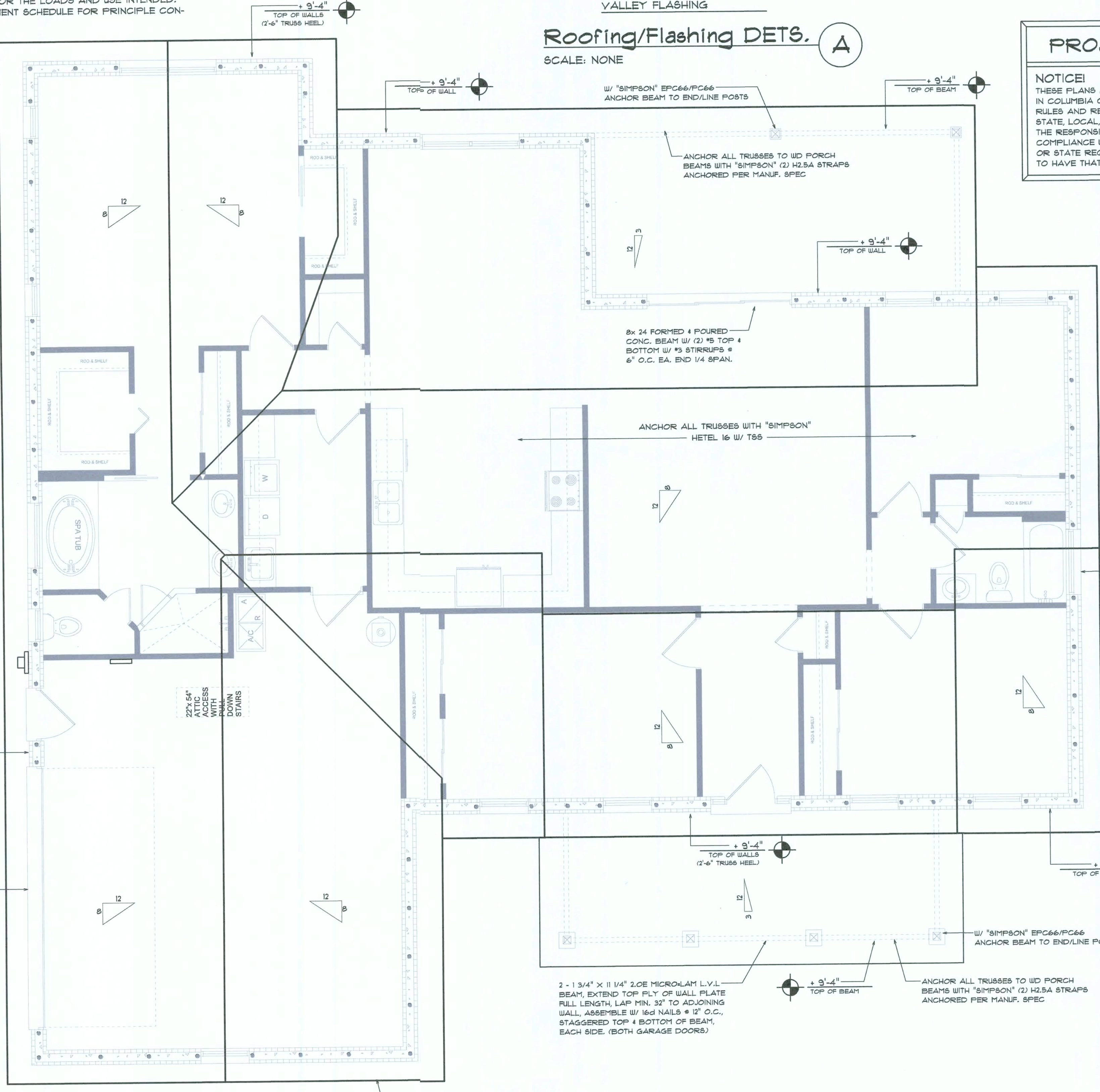
1. TEMPORARY BRACING OF THE STRUCTURE DURING ERECTION, REQUIRED FOR SAFE AND STABLE CONSTRUCTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR SO ENGAGED. TEMPORARY & PERMANENT BRACING OF ROOF TRUSSES SHALL BE AS PER THE STANDARD GUIDELINES OF THE "TRUSS PLATE INSTITUTE".  
2. ALL TRUSSES SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER & SHALL BE SIGNED AND SEALED BY SAME. TRUSS DESIGN SHALL INCLUDE PLACEMENT PLANS, TRUSS DETAILS, TRUSS TO TRUSS CONNECTIONS & THE STANDARD SPECIFICATIONS & RECOMMENDATIONS OF INSTALLATION OF THE "TRUSS PLATE INSTITUTE".  
3. WOOD STUDS IN EXTERIOR WALLS & INTERIOR BEARING WALLS SHALL BE NOT LESS THAN No.2 HEM-FIR OR BETTER.  
4. CONNECTORS FOR WOOD FRAMING SHALL BE GALVANIZED METAL OR BLACK METAL AS MANUFACTURED OR AS CALLED FOR IN THE PLANS AND BE OF A DESIGN SUITABLE FOR THE LOADS AND USE INTENDED. REFER TO THE JOINT REINFORCEMENT SCHEDULE FOR PRINCIPLE CONNECTIONS.

ROOFING METALS for FLASHING/ROOFING  
MINIMUM THICKNESS REQUIREMENTS

MATERIAL	MINIMUM THICKNESS (in)	GAGE	WEIGHT (OZ.)
COPPER			16
ALUMINUM	0.024		
STAINLESS STEEL		28	
GALVANIZED STEEL	0.0179	26 (ZINC COATED G90)	
ZINC ALLOY LEAD PAINTED TERNE	0.021		40 20

GENERAL TRUSS NOTES:

1. TRUSSES SHALL BE DESIGNED BY A LICENSED ENGINEER, AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE "NATIONAL FOREST PRODUCTS ASSOCIATION" MANUAL FOR "STRESS RATED LUMBER AND ITS CONNECTIONS", LATEST E.C. ALONG W/ THE "TRUSS PLATE INSTITUTE" SUGGESTED GUIDELINES FOR TEMPORARY AND PERMANENT BRACING, AND HANDLING OF TRUSSES. TRUSS SHOP DRAWINGS SHALL INCLUDE TRUSS DESIGN, PLACEMENT PLANS, DETS, & TRUSS TO TRUSS CONNECTIONS.  
2. TRUSS SHOP DRAWINGS SHALL BE SIGNED & SEALED BY THE DESIGNING ENGINEER.  
3. FOLLOWING DEVELOPMENT OF TRUSS SHOP DRAWINGS, ADJUSTMENTS TO THE ANCHOR REQUIREMENTS MAY BE REQUIRED DEPENDING ON THE ENGINEERED GRAVITY AND WIND UPLIFT REQUIREMENTS OF TRUSSES OR GIRDERS. THE CONTRACTOR SHALL MAKE AVAILABLE A COMPLETE SET OF TRUSS SHOP DRAWINGS TO THE ARCHITECT FOR THE PURPOSE OF REVIEW OF LOADS IMPOSED ON THE BALANCE OF THE STRUCTURE. ANY SUCH REQUIRED CHANGE SHALL BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.



Roofing/Flashing DETS. A  
SCALE: NONE

PROJECT COORDINATION REQUIREMENTS

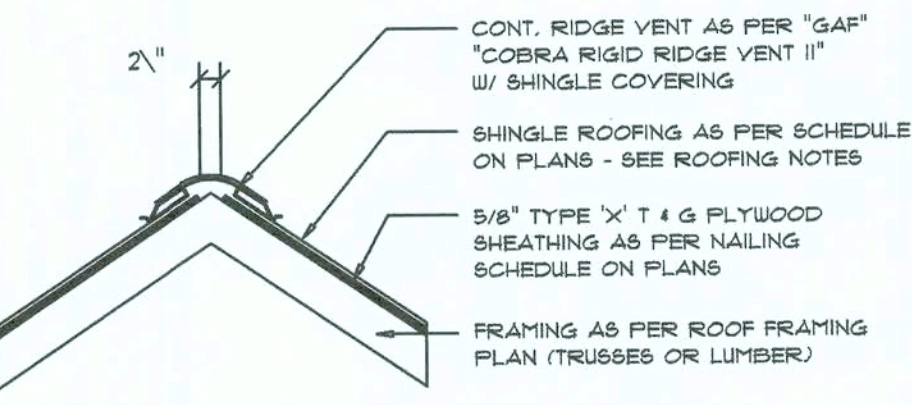
NOTICE!  
THESE PLANS ARE DRAWN FOR AVERAGE SITE CONDITIONS AND COMPLIANCE WITH APPLICABLE CODES IN COLUMBIA COUNTY, FL AT THE TIME THEY ARE DRAWN. DUE TO VARYING STATE, LOCAL, AND NATIONAL CODES AND REGULATIONS, N.P.GEISLER, ARCHITCT CANNOT WARRANT COMPLIANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES IN YOUR AREA OR WITH YOUR PARTICULAR SITE CONDITIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER AND/OR BUILDER TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE, AND FEDERAL). IF YOUR CITY OR STATE REQUIRES AN ENGINEER'S SEAL FOR THE SITE/CIVIL PORTIONS OF THE WORK, YOU WILL NEED TO HAVE THAT DONE LOCALLY BY A QUALIFIED, LICENCED PROFESSIONAL ENGINEER.

SHOP DWG COORDINATION: THE TRUSS ANCHOR STRAPS AS INDICATED IN THE CONSTRUCTION DOCUMENTS ARE SUGGESTED STRAPS AND THAT THE TRUSS ENGINEERED SHOP DRAWING LOADS TAKE PRECEDENCE OVER THAT INDICATED IN THE CONSTRUCTION DOCUMENTS.  
THE UPLIFT LOADS INDICATED FOR EACH TRUSS IN THE ENGINEERED TRUSS SHOP DRAWINGS MAY BE MATCHED TO STANDARD PRODUCT UPLIFT RATINGS FOR COMPARABLE UPLIFT CONNECTORS, AND THAT THE PRODUCTS THAT PROVIDE EQUAL OR GREATER UPLIFT RESISTANCE FOR THE LISTED LOADS MAY BE USED IN LIEU OF THOSE INDICATED IN THE CONSTRUCTION DOCUMENTS OR AS APPROVED BY THE BUILDING OFFICIAL.

THE CONTRACTOR SHALL COORDINATE THE TRUSS TO TRUSS ANCHOR REQUIREMENTS WITH THE TRUSS ENGINEERING SHOP DRAWINGS. SOME OF THE TRUSS TO TRUSS CONNECTIONS WILL REQUIRE ANCHOR STRAPS IN ADDITION TO TYPICAL NAILING. ANCHOR DEVICES SHALL BE REQUIRED FOR ALL JOINTS WITH AN UPLIFT OR GRAVITY LOAD OF 100 LBS OR GREATER.

TRUSSES BEARING ON INTERIOR PARTITIONS WHERE UPLIFT LOADS ARE PRESENT SHALL REQUIRE ANCHORS OF EQUAL OR GREATER LOAD CAPACITY THAN THAT INDICATED BY THE TRUSS SHOP DRAWINGS. THE UPLIFT ANCHOR SYSTEM SHALL BE CONTINUOUS TO THE FOUNDATION.

AREA OF ATTIC	REQ'D L.F. OF VENT	NET FREE AREA OF INTAKE
1600 SF	20 LF	410 SQ.IN.
1900 SF	24 LF	490 SQ.IN.
2200 SF	28 LF	570 SQ.IN.
2500 SF	32 LF	650 SQ.IN.
2800 SF	36 LF	730 SQ.IN.
3100 SF	40 LF	820 SQ.IN.
3600 SF	44 LF	900 SQ.IN.



Ridge Vent DETAIL B  
SCALE: 3/4" = 1'-0"

Roof Framing PLAN

SCALE: 3/16" = 1'-0"

NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

REVISIONS

September 10, 2019	
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SOFTPLAN  
ARCHITECTURAL DESIGN SOFTWARE

ROOF PLAN  
SCALE: 3/16" = 1'-0"

A CUSTOM HOME FOR:  
**PETER & ANNA LEV**  
PROJECT ADDRESS: LOT 2, CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

ARCOOTOO

**NICHOLAS GEISLER ARCHITECT**  
1758 NW Brown Rd.  
Lake City, FL 32055  
N.C.A.A.B. Certified (386) 365-4355

JOB NUMBER  
20190710

SHEET NUMBER  
**S.2**  
OF 4 SHEETS



FLORIDA BUILDING CODE

Compliance Summary

TYPE OF CONSTRUCTION

Roof: Gable / Hip Construction, Pre-engineered Wood Trusses @ 24" O.C.  
Walls: 6" AMVIC Standard ICF Building System (See Details, sheet S.4)  
Floor: 4" Thk. Concrete Slab W/ Fibermesh Concrete Additive  
Foundation: Continuous monolithic footing w/ Stem Wall foundation system

ROOF DECKING

Material: 5/8" CDX Plywood  
Sheet Size: 48"x96" Sheets Perpendicular to Roof Framing  
Fasteners: 8d Common Nails per schedule on sheet S.3

SHEARWALLS

Material: 6" AMVIC Standard ICF Building System (See Details, sheet S.4)

HURRICANE UPLIFT CONNECTORS

Truss Anchors: SIMPSON HETEL 16 W/ TSS  
Truss Anchors (FRAME): SIMPSON H2.5A (OR EQUIVALENT), W/ 6 - 10d NAILS  
  
Porch Column Base Connector: Simpson ABU44/ABU66 @ each column  
Porch Column to Beam Connector: Simpson EPC44 or 66 /PC44 or 66 @ each column

FOOTINGS AND FOUNDATIONS

Footings: House walls: 24" x 20" Cont. W/ (3) #5 Bars Con. on wire chairs or (1) #3 Transverse @ 24" O.C.  
Porch footings: 12"x 12" Cont. W/ (1) #5 Bars Cont.

STRUCTURAL DESIGN CRITERIA:

1. THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE 2011 FLORIDA BUILDING CODE PER FBC 1609-A AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL BE LATEST EDITION AT TIME OF PERMIT.

2. WIND LOAD CRITERIA: RISK CATEGORY: 2, EXPOSURE: "C"  
BASED ON ANSI/ASCE 7-10, 2011 FBC 1609-A WIND VELOCITY:  $V_{ULT}$  = 130 MPH  
 $V_{ASD}$  = 101 MPH

3. ROOF DESIGN LOADS:  
SUPERIMPOSED DEAD LOADS: 20 PSF  
SUPERIMPOSED LIVE LOADS: 20 PSF

4. FLOOR DESIGN LOADS:  
SUPERIMPOSED DEAD LOADS: 25 PSF  
SUPERIMPOSED LIVE LOADS: 40 PSF  
RESIDENTIAL: 40 PSF  
BALCONIES: 60 PSF

5. WIND NET UPLIFT: ARE AS INDICATED ON PLANS

TERMITE PROTECTION NOTES

SOIL CHEMICAL BARRIER METHOD:

- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL. FBC 104.2.6
- CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS. FBC 1503.4
- IRRIGATION/SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" FROM BUILDING SIDE WALLS. FBC 1503.4.4
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, BETWEEN WALL COVERINGS AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6". EXCEPTION: PAINT AND DECORATIVE CEMENTOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL. FBC 1403.1.6
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE. FBC 1816.1.1
- SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED. FBC 1816.1.2
- BOXED AREAS IN CONCRETE FLOOR FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. FBC 1816.1.3
- MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. FBC 1816.1.4
- CONCRETE OVERLAP AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. FBC 1816.1.5
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDE WALLS. FBC 1816.1.6
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED. FBC 1816.1.6
- ALL BUILDINGS ARE REQUIRED TO HAVE PER-CONSTRUCTION TREATMENT. FBC 1816.1.7
- A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES". FBC 1816.1.7
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL. FBC 2303.1.3
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING. FBC 2303.1.4

FRAMING ANCHOR SCHEDULE

APPLICATION	MANUFACTURER/MODEL	CAP.
TRUSS TO WALL:	"SIMPSON" HETEL 16 W/ TSS	1410#
PORCH BEAM TO POST (4x 4):	SIMPSON PC44/EPC44	1700#
PORCH BEAM TO POST (6x 6):	SIMPSON PC66/EPC66	1700#
PORCH POST TO FND.:	SIMPSON ABU44 or ABU 66	2200#
MISC. JOINTS	SIMPSON A34	315#/240#

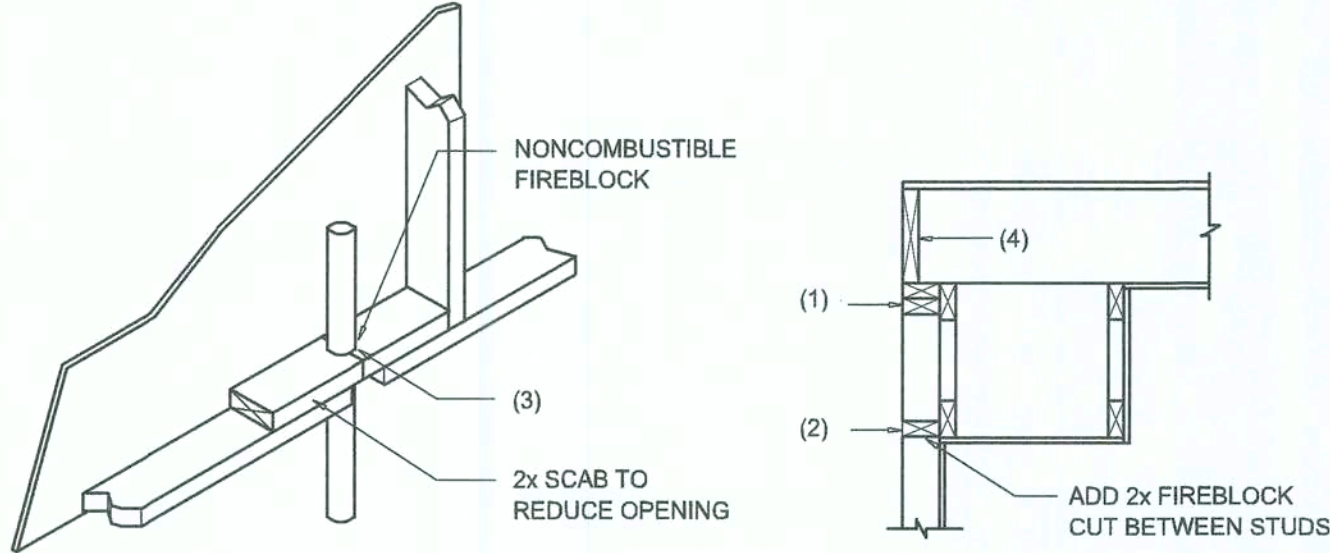
NOTE:  
ALL ANCHORS SHALL BE SECURED W/ NAILS AS PRESCRIBED BY THE MANUFACTURER FOR MAXIMUM JOINT STRENGTH, UNLESS NOTED OTHERWISE.

NOTE:  
REFER TO THE INCLUDED STRUCTURAL DETAILS FOR ADDITIONAL ANCHORS/ JOINT REINFORCEMENT AND FASTENERS.

NOTE:  
ALL UNLISTED JOINTS IN THE LOAD PATH SHALL BE REINFORCED WITH SIMPSON A34 FRAMING ANCHORS, TYPICAL T.O.

NOTE:  
"SEMKO" PRODUCT APPROVAL:  
MIAMI/DADE COUNTY REPORT #95-0818.15

NOTE:  
"SIMPSON" PRODUCT APPROVALS:  
MIAMI/DADE COUNTY REPORT #97-0107.05, #96-1126.11, #99-0623.04  
SBCC1 NER-443, NER-393



PENETRATIONS

FIREBLOCKING NOTES:

- FIREBLOCKING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
  - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH "PYRO PANEL MULTIFLEX SEALANT"
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIREBLOCKING SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORTS.

Fire Stopping DETAILS

SCALE: NONE

General Roofing NOTES:

UNDERLAYMENT:  
UNLESS OTHERWISE NOTED, UNDERLAYMENT SHALL CONFORM W/ ASTM D 226, TYPE 1, OR ASTM D 4869, TYPE 1.

SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET:  
SELF ADHERING POLYMER MODIFIED BITUMEN SHALL COMPLY W/ ASTM D 1970.

UNDERLAYMENT APPLICATION:  
FOR ROOF SLOPES FORM 2:12 TO 4:12, UNDERLAYMENT SHALL BE A MINIMUM OF TWO LAYERS APPLIED AS FOLLOWS:  
1. STARTING AT THE EAVE, A 19 INCH STRIP OF UNDERLAYMENT SHALL BE APPLIED PARALLEL WITH THE EAVE AND FASTENED SUFFICIENTLY TO STAY IN PLACE.


2. STARTING AT THE EAVE, 36 INCH WIDE STRIPS OF UNDERLAYMENT FELT SHALL BE APPLIED OVERLAPPING SUCCESSIVE SHEETS 19 INCHES, AND FASTENED SUFFICIENTLY TO STAY IN PLACE.

FOR ROOF SLOPED 4:12 AND GREATER, UNDERLAYMENT SHALL BE A MINIMUM OF ONE LAYER OF UNDERLAYMENT FELT APPLIED AS FOLLOWS:  
STARTING AT THE EAVE, UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION PARALLEL TO THE EAVE, LAPPED 2 INCHES, AND FASTENED SUFFICIENTLY TO STAY IN PLACE.


BASE AND CAP FLASHINGS:  
BASE AND CAP FLASHING SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S INSTALLATION INSTRUCTIONS. BASE FLASHING SHALL BE OF EITHER CORROSION RESISTANT METAL OF MINIMUM NOMINAL THICKNESS 0.019 INCH OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 77 LBS PER 100 SQUARE FEET. CAP FLASHING SHALL BE CORROSION RESISTANT METAL OF MINIMUM NOMINAL THICKNESS OF 0.019 INCH.

VALLEYS:  
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING ASPHALT SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED.  
1. FOR OPEN VALLEYS LINED WITH METAL, THE VALLEY LINING SHALL BE AT LEAST 16" WIDE AND OF ANY OF THE CORROSION RESISTANT METALS IN FBC TABLE 1507.3.9.2.  
2. FOR OPEN VALLEYS, VALLEY LINING OF TWO PLYS OF MINERAL SURFACE ROLL ROOFING SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18 INCHES AND THE TOP LAYER A MINIMUM OF 36 INCHES WIDE.  
3. FOR CLOSED VALLEYS VALLEY LINING SHALL BE ONE OF THE FOLLOWING:  
1. BOTH TYPES 1 AND 2 ABOVE COMBINED.  
2. ONE PLY OF SMOOTH ROLL ROOFING AT LEAST 36 INCHES WIDE AND COMPLYING WITH ASTM D 224.  
3. SPECIALTY UNDERLAYMENT AT LEAST 36 INCHES WIDE AND COMPLYING WITH ASTM D 1970.

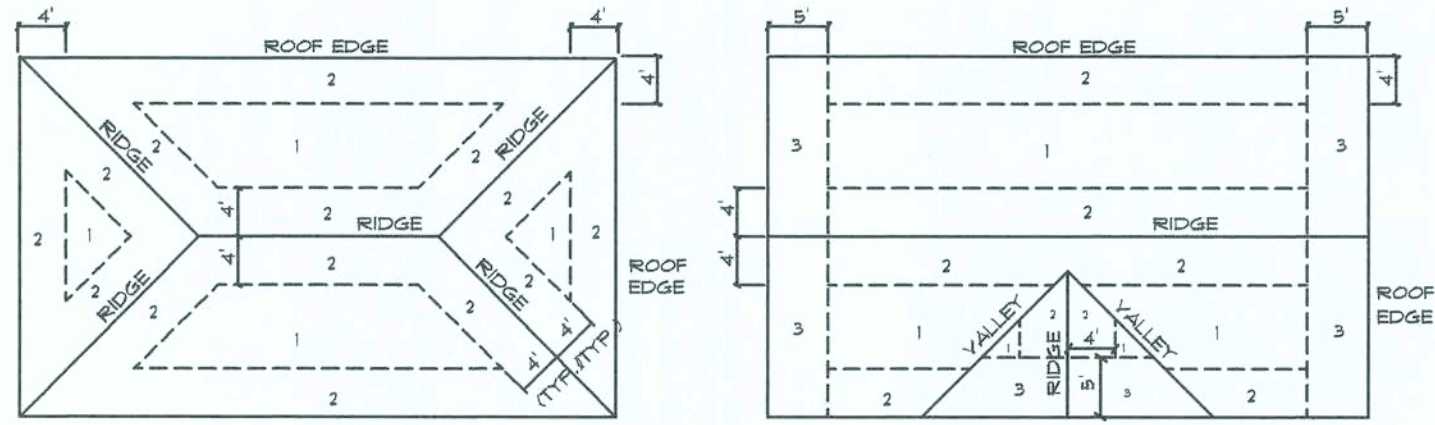
NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

		BUILDING COMPONENTS & CLADDING LOADS MEAN BUILDING HEIGHT = 30.0', EXPOSURE "B" ROOF ANGLE 1° TO 21°			
ZONE	AREA	WIND 110 MPH	WIND 120 MPH	WIND 130 MPH	WIND 140 MPH
1	10	12.0 / -19.9	14.9 / -23.7	17.5 / -27.8	20.3 / -32.3
	20	11.4 / -19.4	13.6 / -23.0	16.0 / -27.0	18.5 / -31.4
	30	10.0 / -18.6	11.9 / -22.2	13.9 / -26.0	16.1 / -30.2
2	10	12.5 / -34.7	14.9 / -41.3	17.5 / -48.4	20.3 / -56.2
	20	11.4 / -31.9	13.6 / -38.0	16.0 / -44.6	18.5 / -51.7
	30	10.0 / -28.2	11.9 / -33.6	13.9 / -39.4	16.1 / -45.7
3	10	12.5 / -51.3	14.9 / -61.0	17.5 / -71.6	20.3 / -83.1
	20	11.4 / -47.9	13.6 / -57.1	16.0 / -67.0	18.5 / -77.7
	30	10.0 / -43.5	11.9 / -51.8	13.9 / -60.8	16.1 / -70.9
4	10	21.9 / -23.6	25.9 / -34.7	30.4 / -33.0	35.3 / -38.2
	20	20.8 / -22.6	24.7 / -32.4	29.0 / -31.6	33.7 / -36.7
	30	19.5 / -21.3	23.2 / -29.4	27.2 / -29.8	31.6 / -34.6
5	10	21.9 / -29.1	25.9 / -34.7	30.4 / -40.7	35.3 / -47.2
	20	20.8 / -27.2	24.7 / -32.4	29.0 / -38.0	33.7 / -44.0
	30	19.5 / -24.6	23.2 / -29.3	27.2 / -34.3	31.6 / -39.8

HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENTS FOR BUILDING COMPONENTS & CLADDING			
BLDG HEIGHT	EXPOSURE "B"	EXPOSURE "C"	EXPOSURE "D"
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66

		BUILDING COMPONENTS & CLADDING LOADS MEAN BUILDING HEIGHT = 30.0', EXPOSURE "B" ROOF ANGLE 21° TO 45°				
WALL	ZONE	AREA	WIND 110 MPH	WIND 120 MPH	WIND 130 MPH	WIND 140 MPH
ROOF 21° TO 45°	1	10	19.9 / -21.8	23.7 / -28.9	27.8 / -30.4	32.3 / -35.3
		20	19.4 / -20.7	23.0 / -24.6	27.0 / -28.9	31.4 / -33.5
		30	18.6 / -19.2	22.2 / -22.8	26.0 / -26.8	30.2 / -31.1
	2	10	19.9 / -25.5	23.7 / -30.3	27.8 / -35.6	32.3 / -41.2
		20	19.4 / -24.3	23.0 / -29.0	27.0 / -34.0	31.4 / -39.4
		30	18.6 / -22.9	22.2 / -27.2	26.0 / -32.0	30.2 / -37.1
	3	10	19.9 / -25.5	23.7 / -30.3	27.8 / -35.6	32.3 / -41.2
		20	19.4 / -24.3	23.0 / -29.0	27.0 / -34.0	31.4 / -39.4
		30	18.6 / -22.9	22.2 / -27.2	26.0 / -32.0	30.2 / -37.1
	4	10	21.9 / -23.6	25.9 / -34.7	30.4 / -33.0	35.3 / -38.2
		20	20.8 / -22.6	24.7 / -26.9	29.0 / -31.6	33.7 / -36.7
		30	19.5 / -21.3	23.2 / -25.4	27.2 / -29.8	31.6 / -34.6
	5	10	21.9 / -29.1	25.9 / -34.7	30.4 / -40.7	35.3 / -47.2
		20	20.8 / -27.2	24.7 / -32.4	29.0 / -38.0	33.7 / -44.0
		30	19.5 / -24.6	23.2 / -29.3	27.2 / -34.3	31.6 / -39.8

HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENTS FOR BUILDING COMPONENTS & CLADDING			
BLDG HEIGHT	EXPOSURE "B"	EXPOSURE "C"	EXPOSURE "D"
15	1.00	1.21	1.47
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25	1.00	1.35	1.61
30	1.00	1.40	1.66

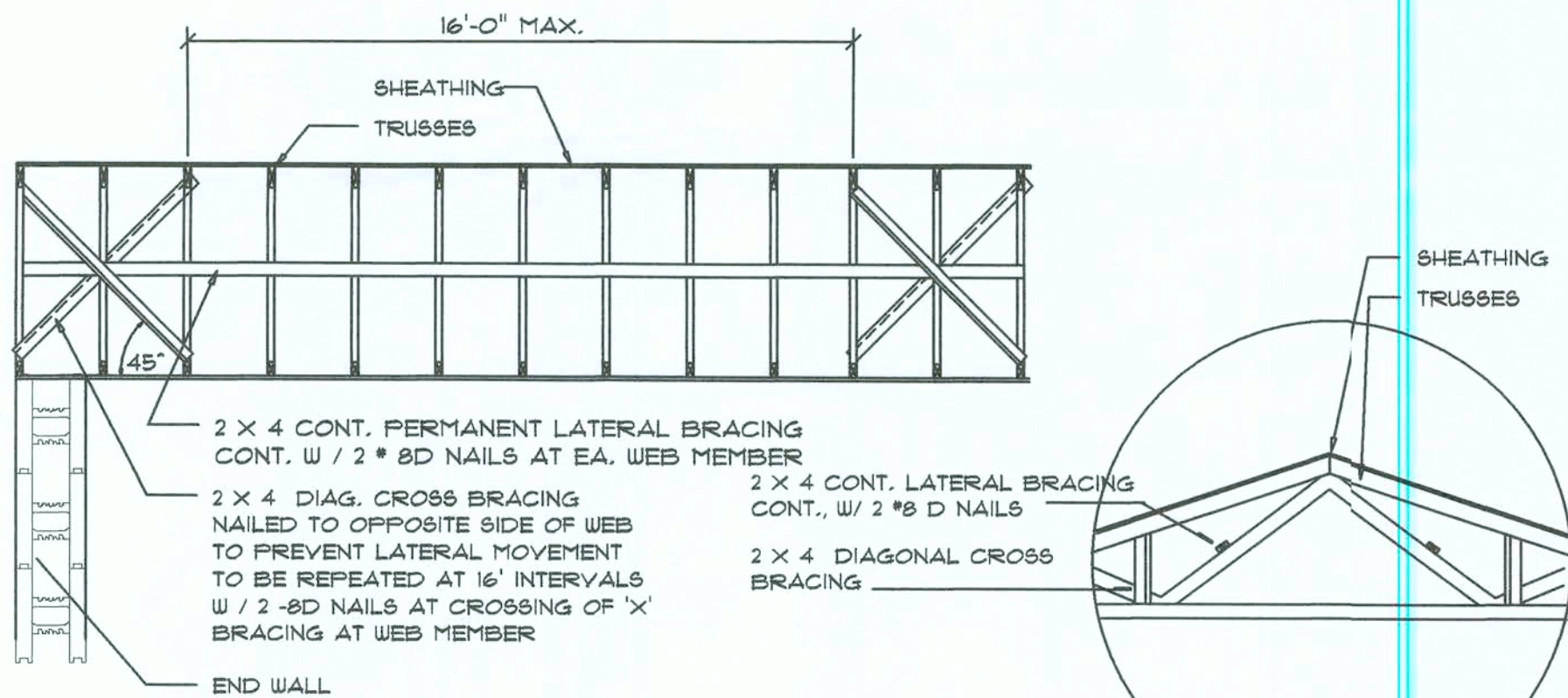


ROOF SHEATHING NAILING ZONES (HIP ROOF)

ROOF SHEATHING NAILING ZONES (GABLE ROOF)

Roof Nail Pattern DET.

SCALE: NONE



TYP. PERMANENT TRUSS BRACING DIA.

NTS

NOTE: ALL WOOD TO BE NUMBER 2 GRADE SOUTHERN YELLOW PINE

Truss Bracing DETAILS

SCALE: AS NOTED

REVISIONS

September 10, 2019

SOFTPLAN

ARCHITECTURAL DESIGN SOFTWARE

DETAILS SHEET

SCALE: 1/4" = 1'-0"

A CUSTOM HOME FOR:

PETER & ANNA LEV

PROJECT ADDRESS: LOT 2, CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

ARCHITECT

NICHOLAS PAUL GEISLER

ARCHITECT

N.C.A.R.B. Certified

1758 NW Brown Rd. Lakeland, FL 33805 (386) 365-4355

JOB NUMBER

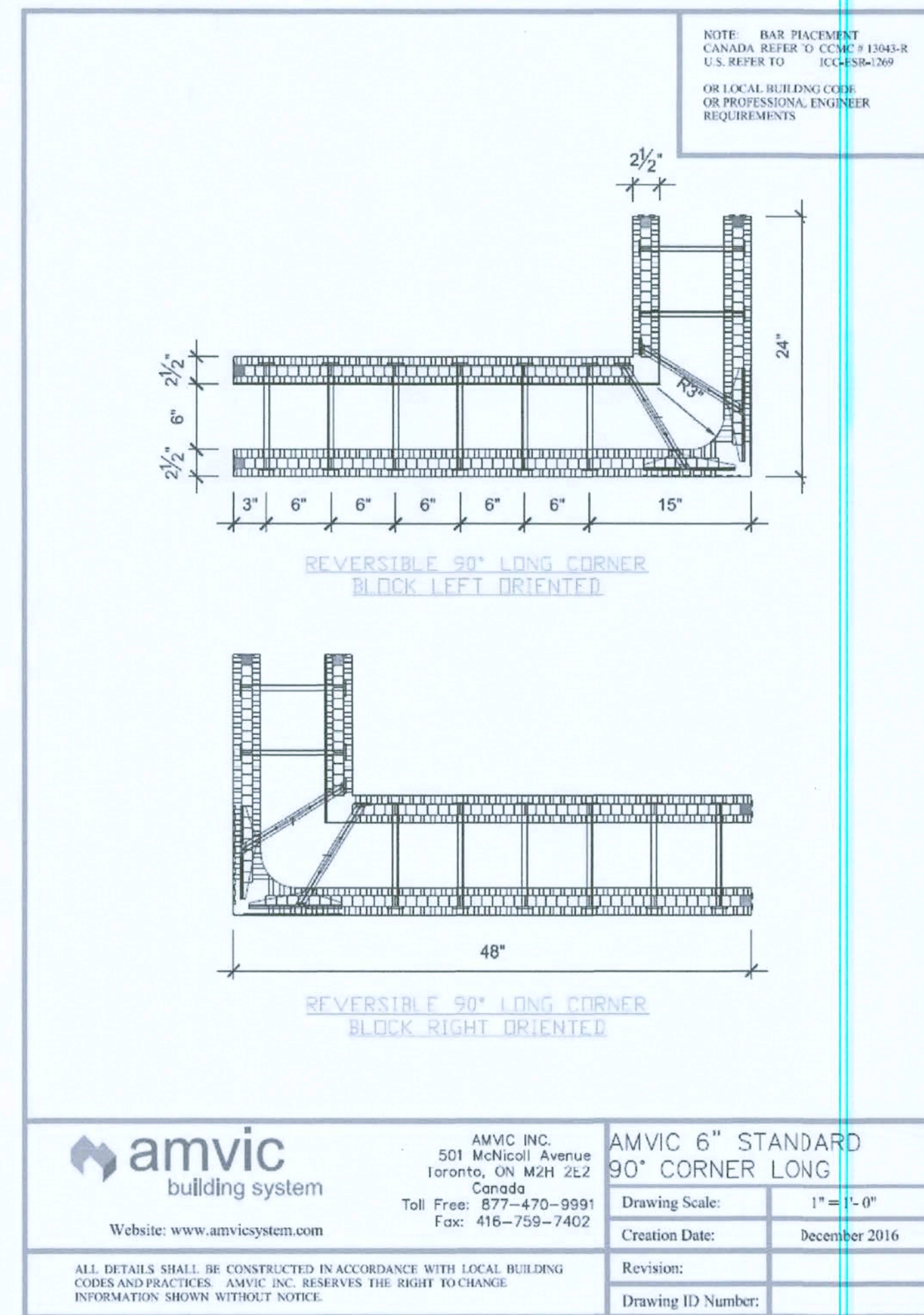
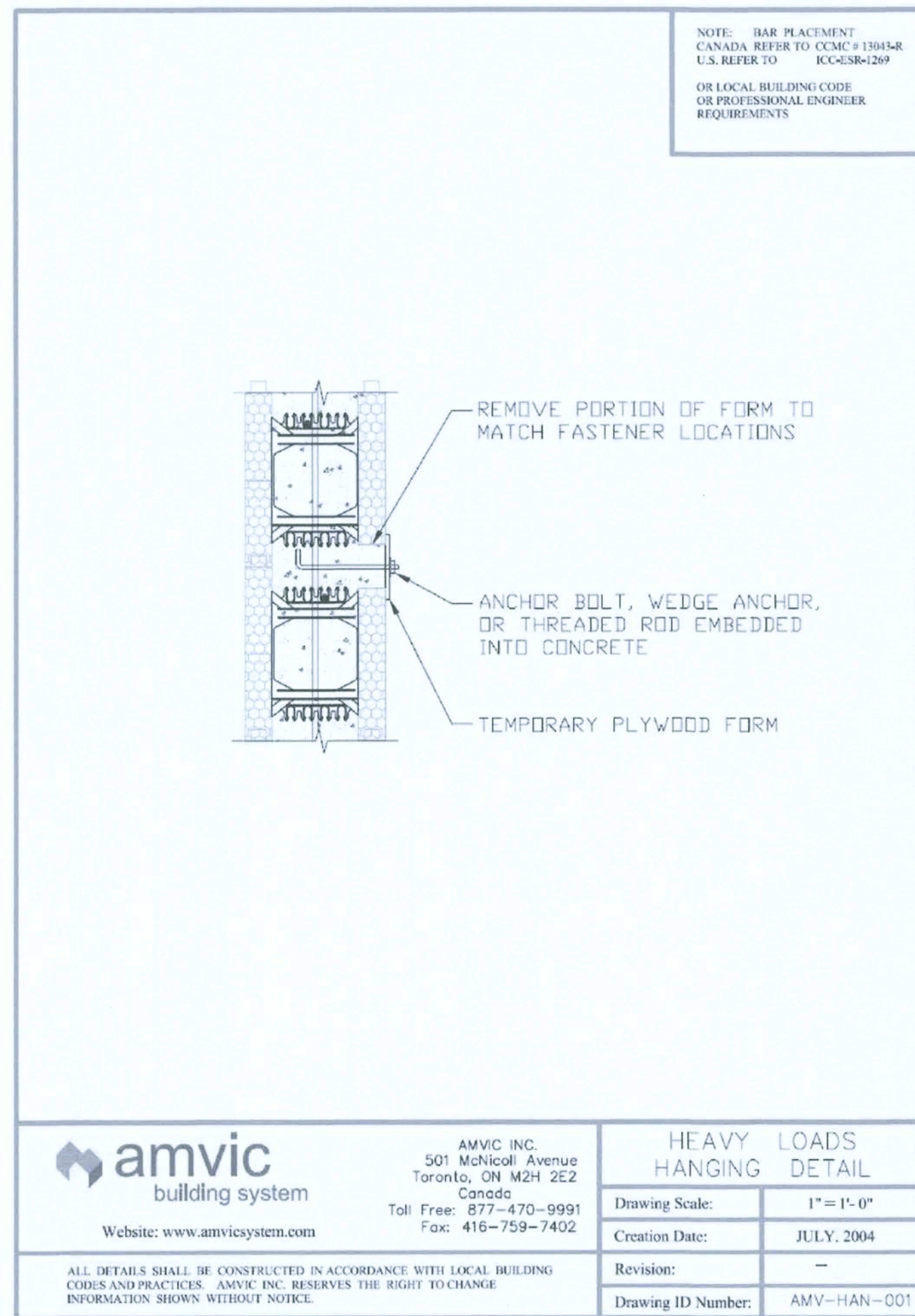
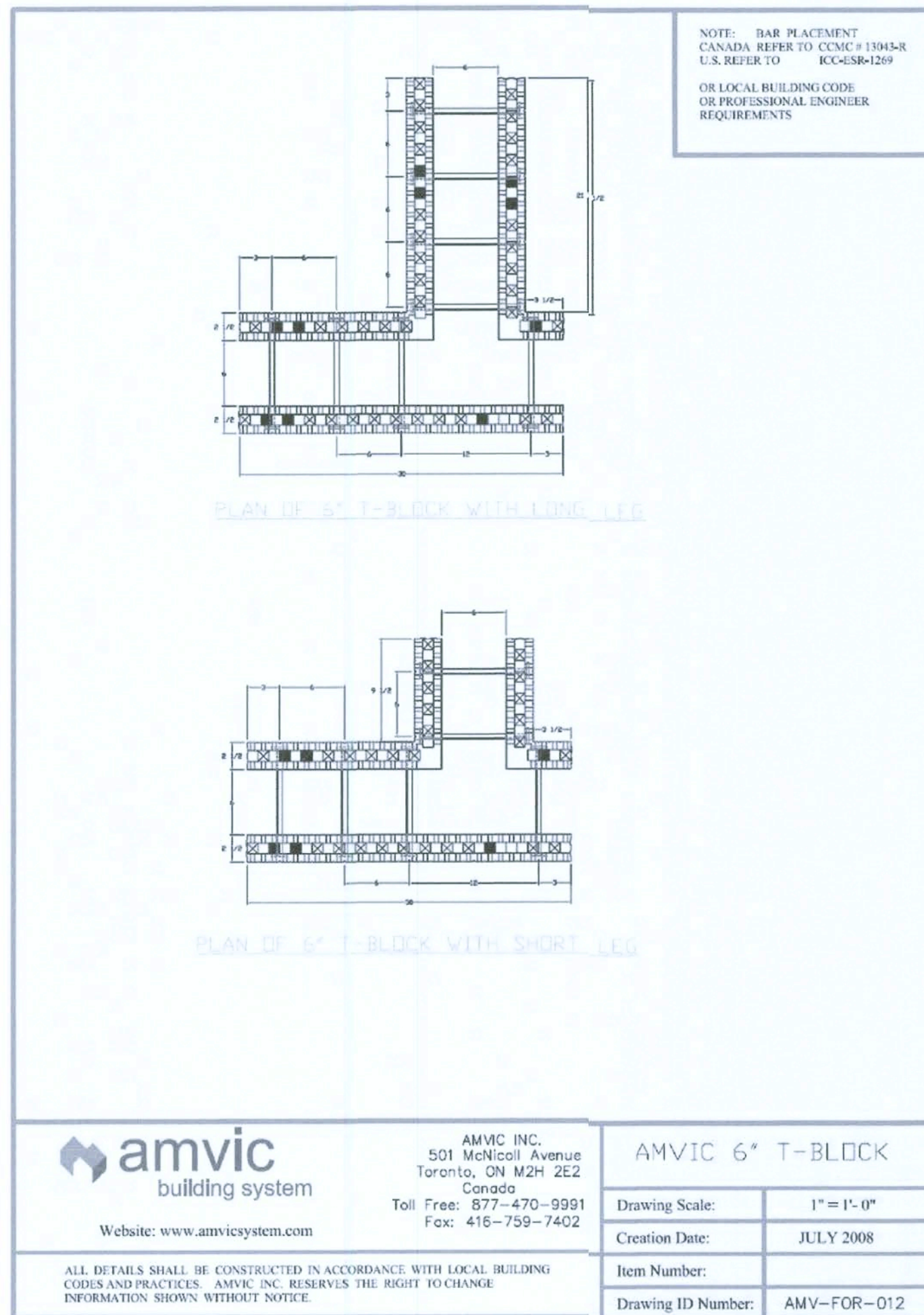
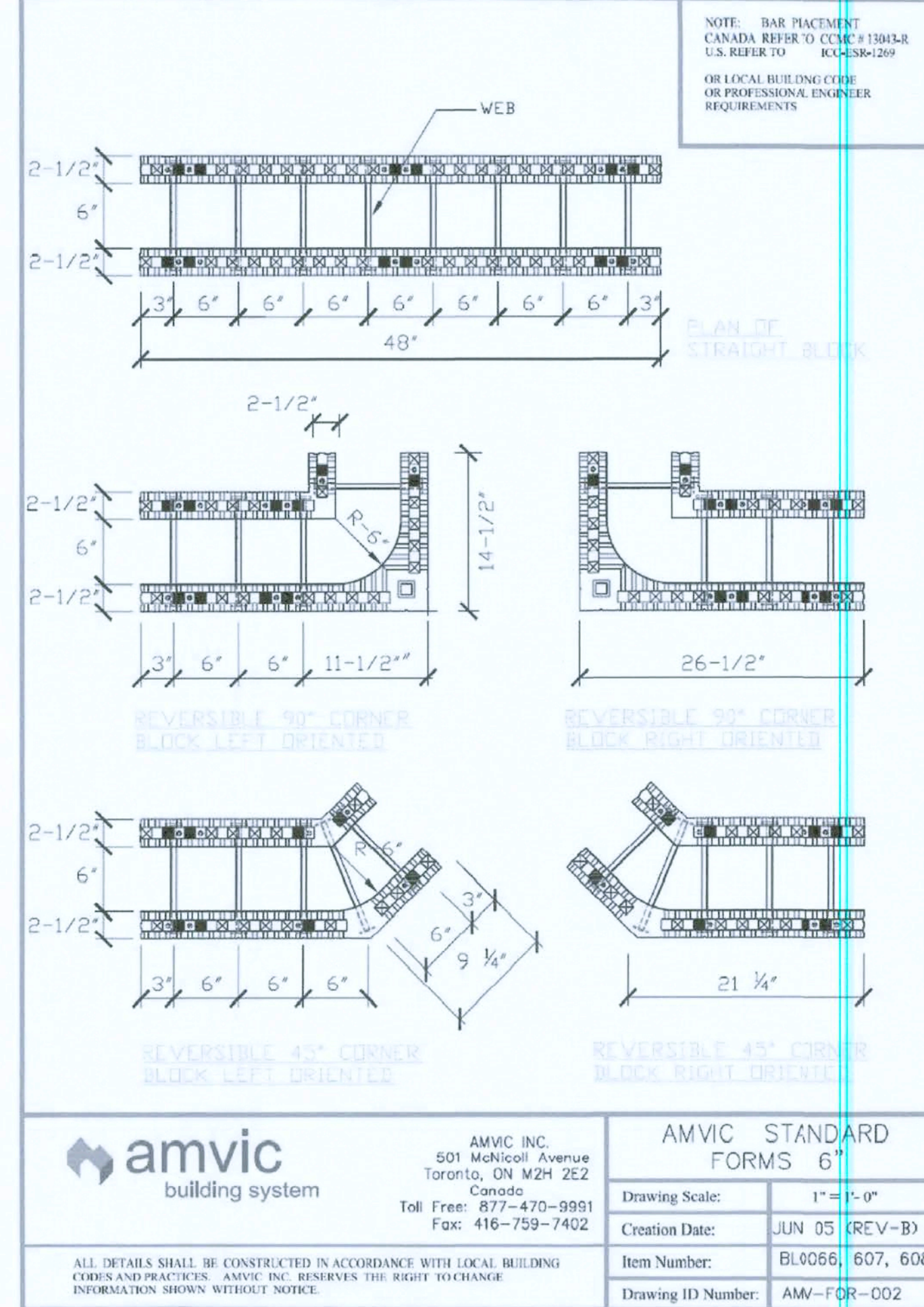
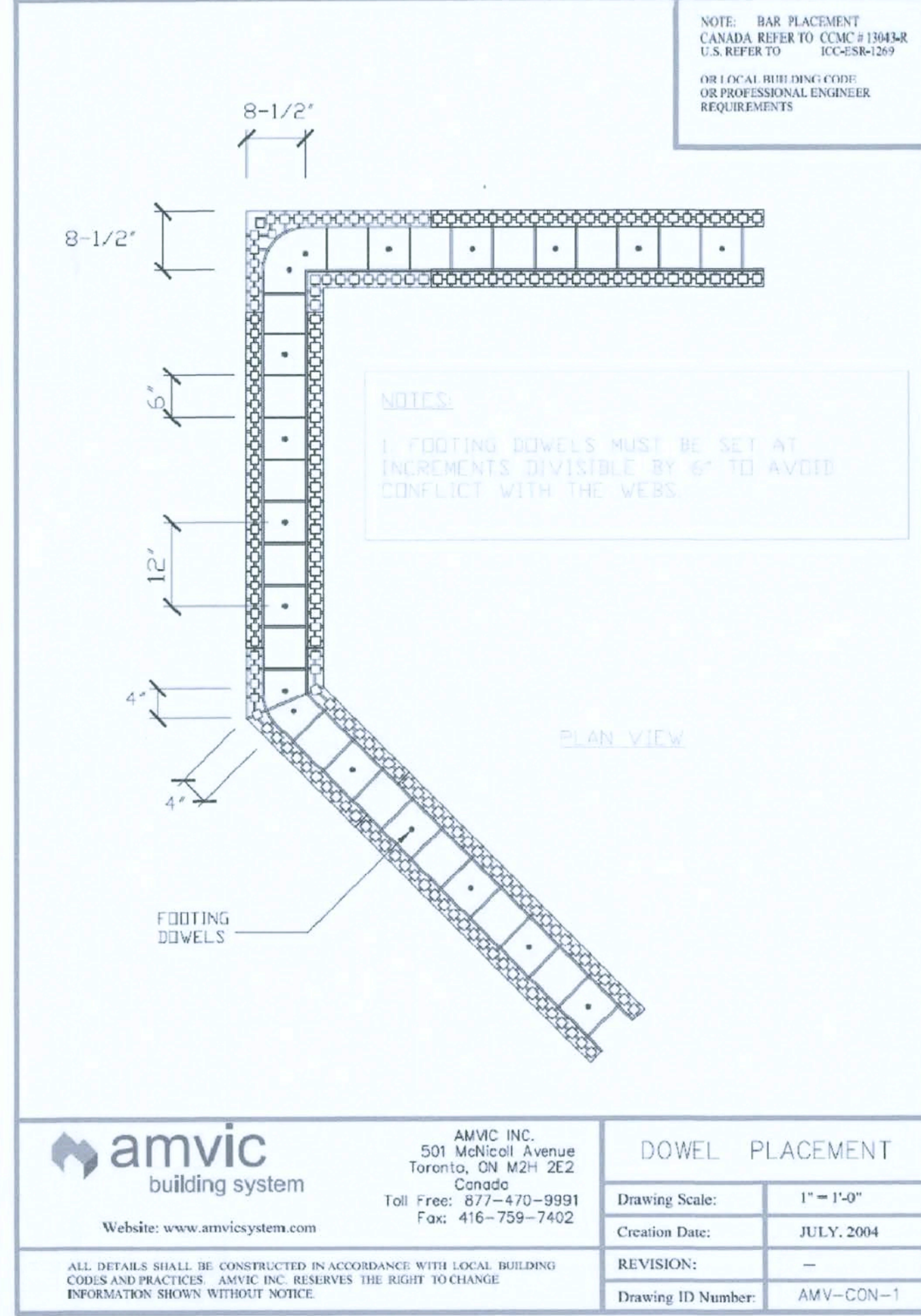
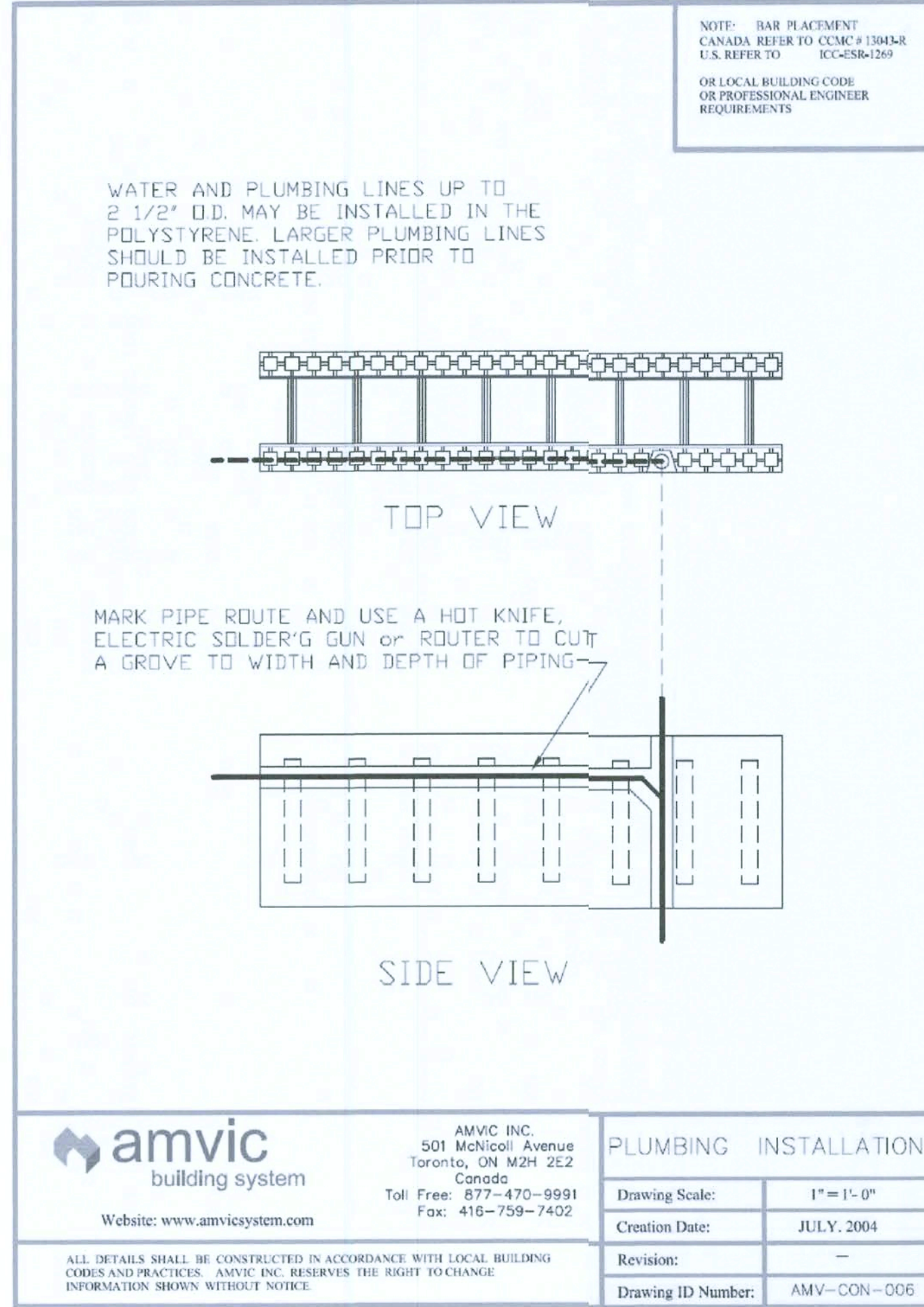
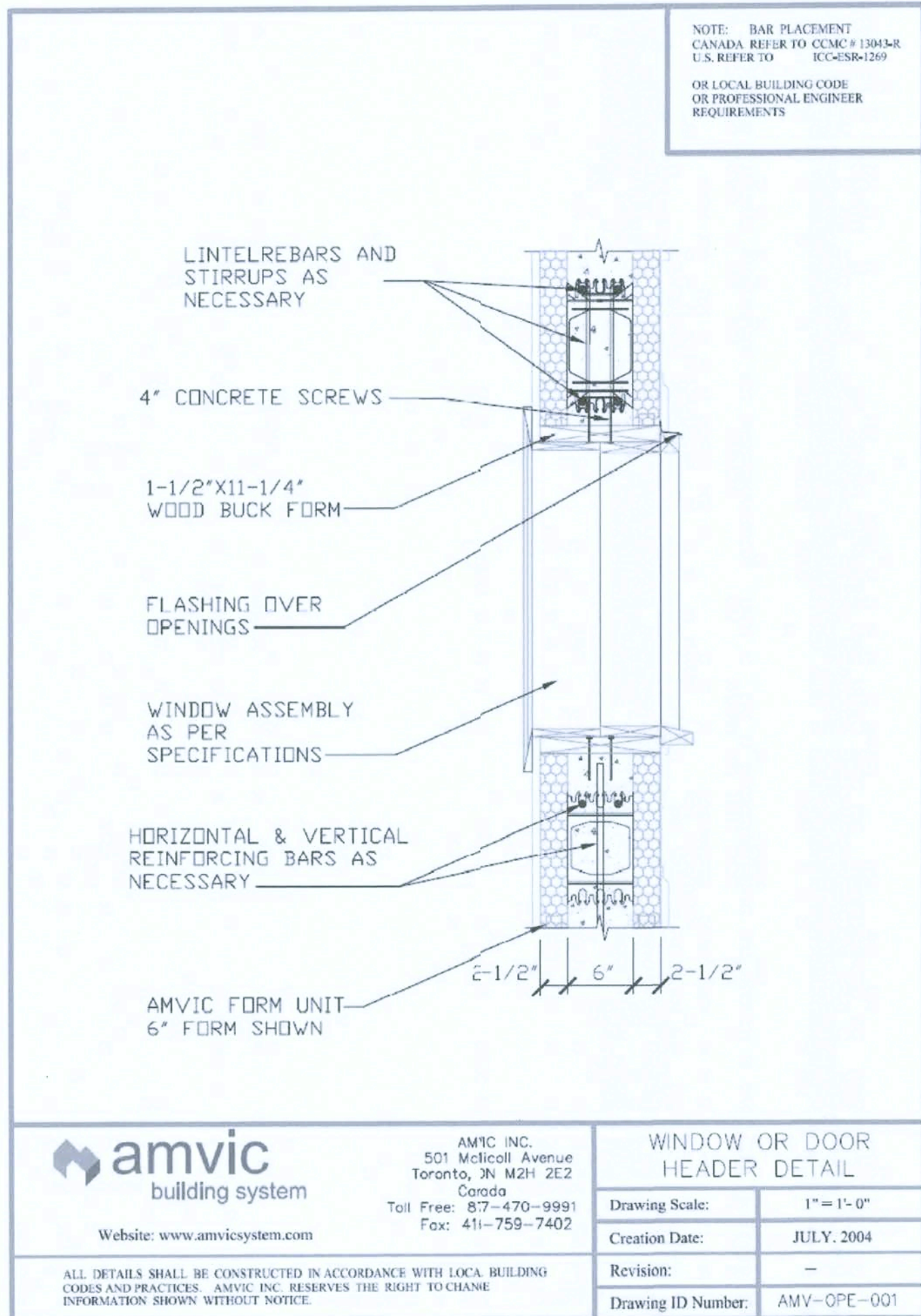
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SHEET NUMBER

S.3

OF 4 SHEETS





NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

REVISIONS

REVISIONS	DATE	BY	APP
September 10, 2019			

amvic building system

AMVIC DETAILS

SCALE:

A CUSTOM HOME FOR:

PETER & ANNA LEV

PROJECT ADDRESS: LOT 1, CREEK RUN PLANTATION, LAKE CITY, FLORIDA 32025

ARCO0005

NICHOLAS GEISLER ARCHITECT

1758 NW Brown Rd.  
Lake City, FL 32055  
(866) 365-4355

JOB NUMBER

20190710

SHEET NUMBER

S.4

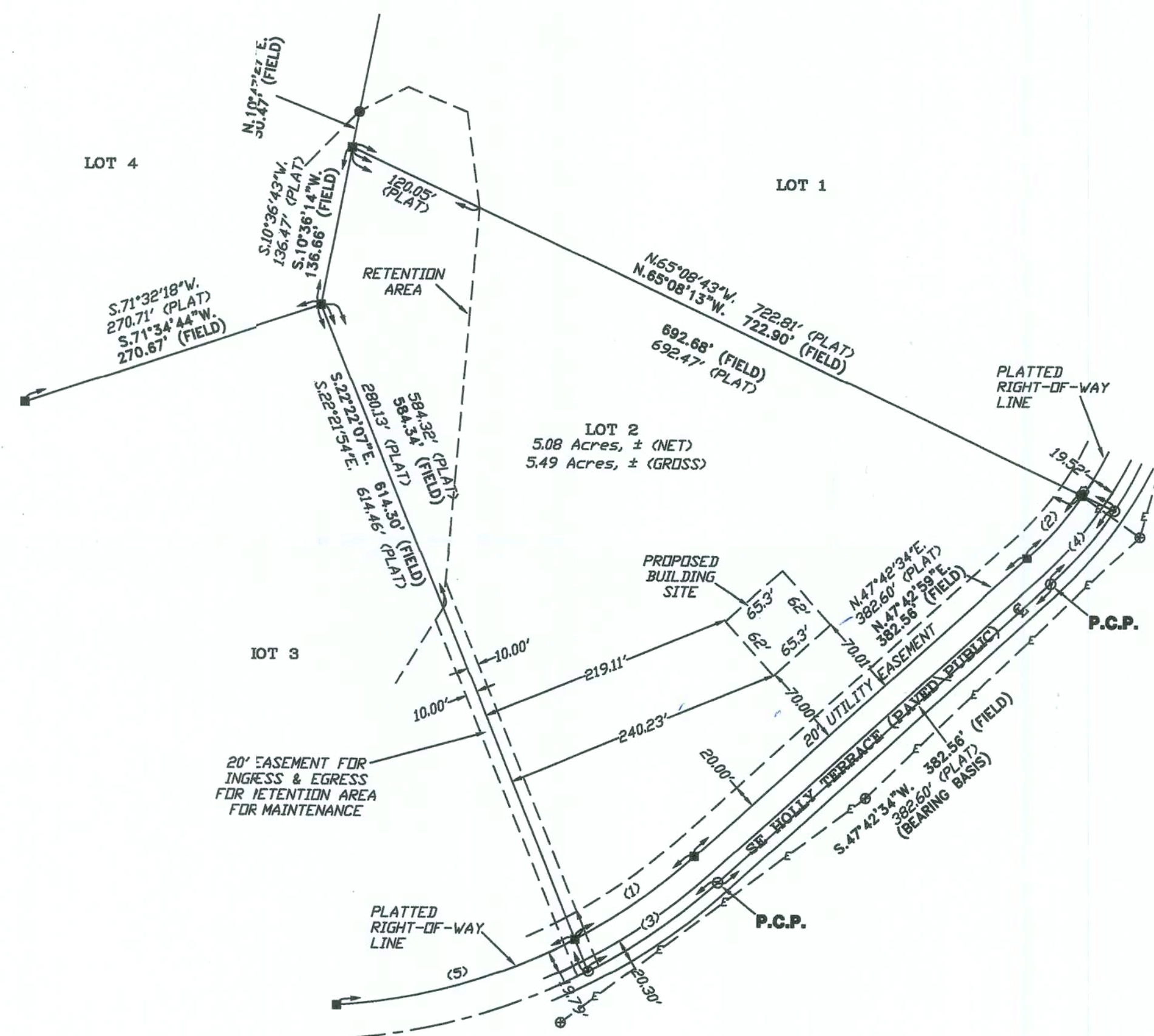
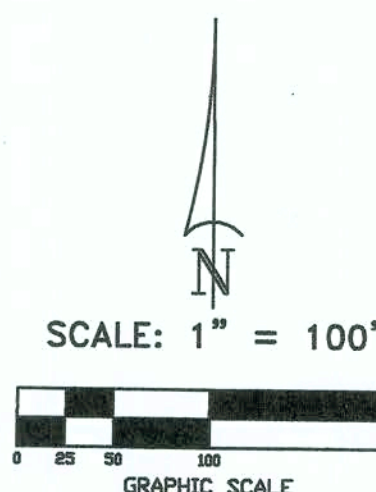
OF 4 SHEETS



A BOUNDARY SURVEY IN SECTION 21, TOWNSHIP 4 SOUTH,  
RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

# SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
✱	"X" CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊕	NAIL & DISK
⊙	POWER POLE
+	SIGN POST
▲	WATER METER
⊕	UTILITY BOX
⊙	WELL
⊕	SANITARY MANHOLE
—	CENTERLINE
—	SECTION LINE
—E—	ELECTRIC LINES
—X—	WIRE FENCE
—O—	CHAIN LINK FENCE
—	WOODEN FENCE
(PLAT)	AS PER A PLAT OF RECORD
(DEED)	AS PER A DEED OF RECORD
(CALC)	AS PER CALCULATIONS
(FIELD)	AS PER FIELD MEASUREMENTS
P.R.M.	PERMANENT REFERENCE MARKER
P.C.P.	PERMANENT CONTROL POINT



## CURVE TABLE

NO.	RADIUS	DELTA	ARC	TANGENT	CHORD	CHORD BEARING
1	500.00'	14°10'25"	123.69'	62.16'	123.33'	S.54°46'04"W.
PLAT	500.00'	14°10'06"	123.64'	62.14'	123.33'	S.54°47'37"W.
2	300.00'	13°52'42"	72.67'	36.51'	72.49'	S.40°49'42"W.
PLAT	300.00'	13°52'31"	72.65'	36.50'	72.47'	S.40°46'18"W.
3	530.00'	14°30'37"	134.22'	67.47'	133.86'	S.55°00'55"W.
PLAT	530.00'	14°41'02"	84.57'	42.52'	84.34'	S.40°20'09"W.
4	330.00'	24°22'44"	212.75'	108.01'	211.14'	S.73°46'02"W.
PLAT	330.00'	24°23'03"	212.79'	108.03'	211.19'	S.74°04'12"W.
PLAT	500.00'					

DESCRIPTION:  
LOT 2 OF "CREEK RUN PLANTATION" AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 9,  
PAGE(S) 55-56 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:
- BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
  - BEARINGS ARE BASED ON SAID PLAT OF RECORD AND THE CENTERLINE OF SE HOLLY TERRACE.
  - IT IS APPARENT THAT THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 2 NOVEMBER, 2018 FIRM PANEL NUMBER 12023C0313D. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
  - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
  - IF THEY EXIST, NO UNDERGROUND ENCRUMCHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
  - THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
  - DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
  - THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
  - THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

NOTE: ALL PROPERTY CORNERS LOCATED WERE IDENTIFIED AS L.S. BRITT, P.L.S. 57517.

CERTIFIED TO:  
ANNA & PETER LEV

FIELD BOOK: SEE PAGE(S): FILE

## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

10/11/19 FIELD SURVEY DATE  
10/16/19 DRAWING DATE

*[Signature]*  
L. SCOTT BRITT, P.S.M.  
CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE ORIGINAL SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



BRITT SURVEYING  
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016  
2086 SW MAIN BLVD, SUITE. 112  
LAKE CITY, FLORIDA 32025

www.brittsurvey.com

TELEPHONE: (386) 752-7163 FAX: (386) 752-5573

WORK ORDER # L-26102