

ENOC
DEH

Columbia County New Building Permit Application

check #3914 \$144

For Office Use Only Application # 1906-77 Date Received L/A By MG Permit # 38305
Zoning Official RL/LH Date 6-26-19 Flood Zone X Land Use AG Zoning PRRD
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner RLC Date 6-26-19
Comments Non Habitable Storage Bldg. Front 30' Sides 25' Rear 25'
☒ NOC ☒ DEH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 19-0485 OR City Water ☐ Fax _____

Applicant (Who will sign/pickup the permit) Luz Arocho Phone 386-438-0886

Address 640 NW Blackberry Cir Lake City, FL 32055

Owners Name Omar + Luz Arocho Phone 386-438-0886

911 Address 640 NW Blackberry Cir Lake City, FL 32055

Contractors Name Owner Builder Phone 386-438-0886

Address _____

Contractor Email _____ ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Bechtel Eng. 605 W New York Ave Deland FL 32720

Mortgage Lenders Name & Address _____

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 17-35-16-02169-126 Estimated Construction Cost \$15,000

Subdivision Name Blackberry Farms Lot 26 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road 90 W, R Brown Rd, R Nash, L Blackberry Cir, 2nd lot back from 90° curve on L

Construction of Storage building Commercial OR Residential

Proposed Use/Occupancy Storage building Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? _____ If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 190' Side 34' Side 75' Rear 130'

Number of Stories _____ Heated Floor Area _____ Total Floor Area 550' Acreage 2.62

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Concrete Floor & Ground anchors.

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Dmar R. Arecho
Print Owners Name

Dmar R. Arecho
Owners Signature

****Property owners must sign here
before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number

Columbia County

Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of ____ 20__.

Personally known ☐ or Produced Identification

SEAL:

State of Florida Notary Signature (For the Contractor)

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 1906-77 JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

OWNER BUILDER

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

Rug E. Arce

ELECTRICAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

640 NW Blackburg Cir Lake City FL 32055

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ for construction of _____
(X) Other Storage Building

I, Luz E. Aracho, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Luz E. Aracho
Owner/Builder Signature

6-19-19
Date

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FLA

Notary Signature [Signature] Date 6-19-19



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative [Signature]

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

17-35-16-02168-126

Clerk's Office Stamp

Inst: 201912014088 Date: 06/19/2019 Time: 3:49PM
Page 1 of 1 B: 1387 P: 114 P.DeWitt Cason, Clerk of Court Colum
County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Blackberry Farms
a) Street (job) Address: 640 NW Blackberry Cir Lake City, FL 32055
2. General description of improvements: Storage building
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: Omar + Luz Arocho
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: owner
4. Contractor Information
a) Name and address: owner builder
b) Telephone No.:
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address:
b) Amount of Bond:
c) Telephone No.:
6. Lender
a) Name and address:
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: OF
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Luz E. Arocho
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Luz E. Arocho
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 19 day of June, 2019, by:

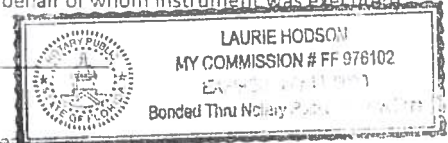
Luz E. Arocho as owner for self
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known OR Produced Identification ☒ Type FLDL

Notary Signature

Luz E. Arocho

Notary Stamp or Seal





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-2485
DATE PAID: 6/19/19
FEE PAID: 60.00
RECEIPT #: 720354

APPLICATION FOR:

☐ New System
☐ Repair

☐ Existing System
☐ Abandonment

☐ Holding Tank
☐ Temporary

☐ Innovative

APPLICANT: Omar R. Arocho

AGENT: _____

MAILING ADDRESS: 640 Blackberry Circle

TELEPHONE: _____

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 26 BLOCK: _____ SUBDIVISION: Blackberry Farms PLATTED: _____

PROPERTY ID #: 17-35-K6-DA168-46 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 2.5 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ☐ ≤2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 640 NW Blackberry Circle

DIRECTIONS TO PROPERTY: 11

BUILDING INFORMATION

☐ RESIDENTIAL ☐ COMMERCIAL
Unit No. Type of Establishment No. of Bedrooms Building Area Sqft Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC

1	Storage	—	550	
2	Woods			
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: Omar R. Arocho

DATE: 6/19/19

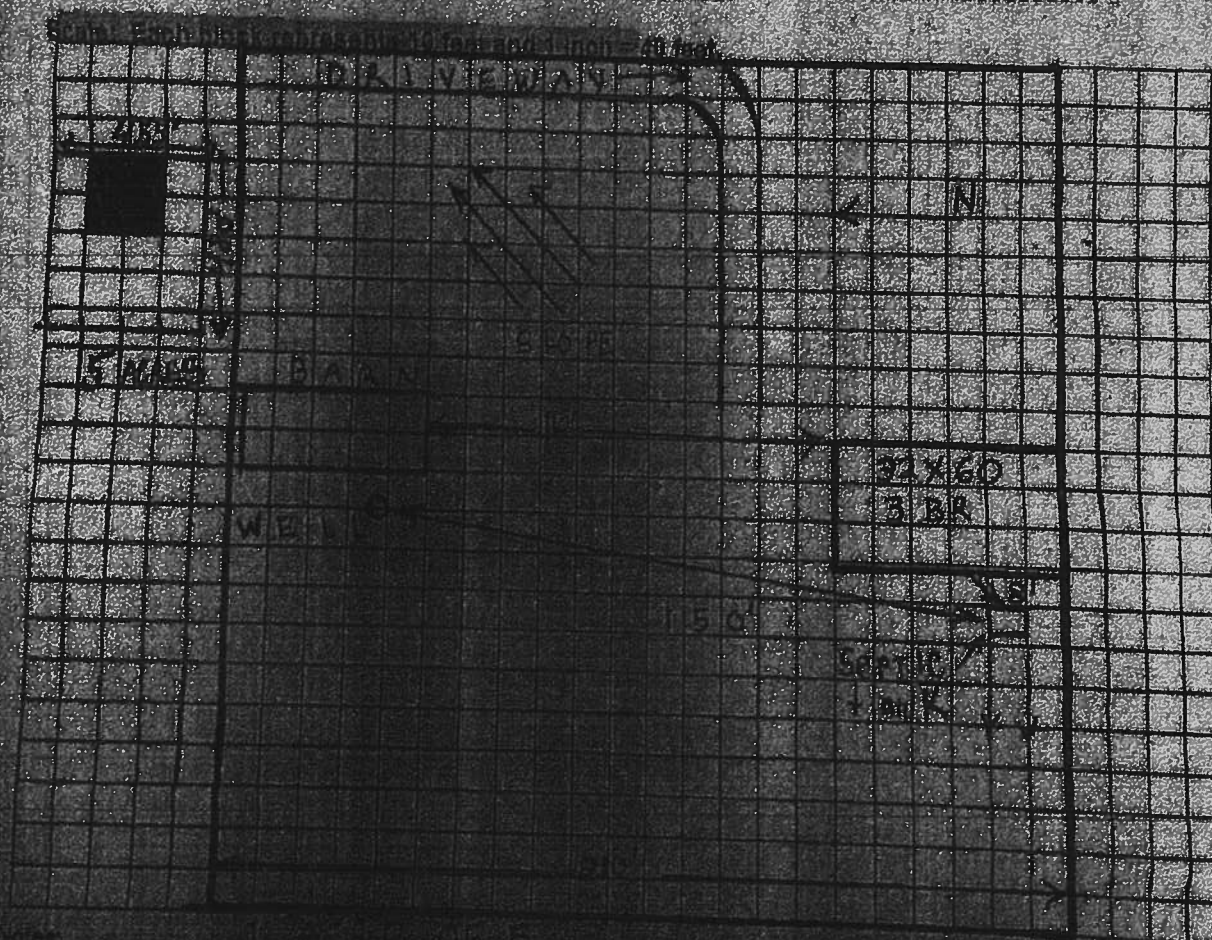
DH 4015, 08/09 (obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number:

19-0486

THE JOURNAL

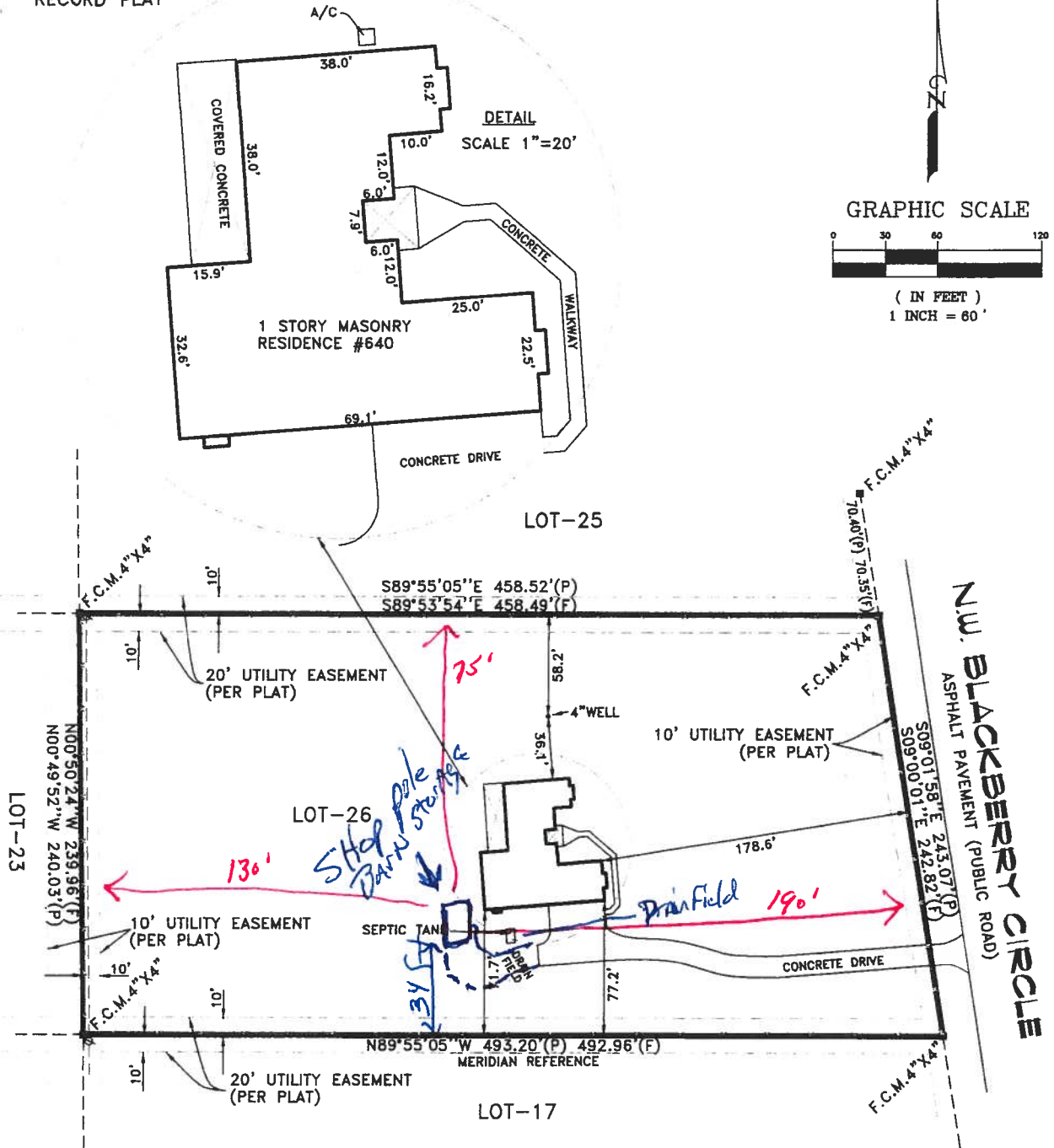


side Distance

See Back of PLANS

MAP OF SURVEY

MERIDIAN PER
RECORD PLAT



LEGEND

F. = Found
S. = Set
I.P. = Iron Pipe
I.R. = Iron Rod
C.M. = Concrete Monument
C. = Capped
N. & D. = Nail & Disk
P.K.M. = P.K. Nail
R.R.S. = Railroad Spike
P. = Plat
F. = Field
D. = Dead
C. = Calculated
P. = Power Pole
O.W. = Overhead Wires
W.C. = Witness Corner

NOTES

- 1) Darrell Copeland as the certifying Land Surveyor accepts no responsibility for right-of-way, easements, restrictions or other matters affecting title to lands surveyed, other than those recited in current deed and/or other instruments of record furnished by client.
- 2) Underground encroachments if any not located.
- 3) This survey was prepared expressly for the persons and/or entities named and only for the original purpose. No other person or entity is entitled to use this survey for any purpose whatsoever without the express written consent of Darrell Copeland.

DISTANCE FROM WELL TO:

HOME = 36.1'
PROPERTY LINE = 58.2'
SEPTIC TANK = 122.1'
DRAIN FIELD = 130'

PER THE FEDERAL INSURANCE ADMINISTRATION FLOOD
HAZARD BOUNDARY MAP COMMUNITY NO. 12023C
PANEL NO. 0280D, DATED 11-2-18, THE PROPERTY
SHOWN AND DESCRIBED HEREON APPEARS TO BE IN ZONE
"X", WITH A BASE ELEVATION OF N/A MEAN
SEA LEVEL N.A.V.D. 1988.

DESCRIPTION: AS FURNISHED
Lot 26
BLACKBERRY FARMS

BOUNDARY & LOCATION
SURVEY 2-18-19

BOOK A75 PAGE 64 JOB NO 19-038

CERTIFIED TO:
OMAR R. & LUZ E, AROCHO
ABSTRACT TRUST TITLE, LLC
FIDELITY NATIONAL TITLE INSURANCE CO.
FLORIDA CREDIT UNION

as Recorded in PRRD Book 1,
Pages 4-12, of the Public Records
of Columbia County, Florida
NOT VALID WITHOUT THE SIGNATURE AND
THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.

I CERTIFY THAT THIS PLAT MEETS
OR EXCEEDS THE MINIMUM STANDARD
REQUIREMENTS OF CHAPTER 5J-17
FLORIDA ADMINISTRATIVE CODE.
PURSUANT TO CHAPTER 472
DARRELL COPELAND

FLA. REG. SURVEYOR #4529 DATE 2-19-19

DARRELL COPELAND SURVEYING, INC.
7910 180TH STREET
MCALPIN, FLORIDA 32062
(386) 209-4343 desurvey@aol.com

DATE 2-19-19 C. OF P. DWG. CHECKED FILE
DWC DC SC B-

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 5/9/2019

Retrieve Tax Record

2018 TRIM (pdf)

Property Card

Parcel List Generator

Show on GIS Map

Print

Parcel: << 17-3S-16-02168-126 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	AROCHO OMAR R & LUZ E 640 NW BLACKBERRY CIR LAKE CITY, FL 32055		
Site	640 BLACKBERRY CIR, LAKE CITY		
Description*	LOT 26 BLACKBERRY FARMS S/D. WD 1017-531 & WD 1224-1081, WD 1379-1138,		
Area	2.62 AC	S/T/R	17-3S-16
Use Code**	SINGLE FAM (000100)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$25,231	Mkt Land (1)	\$25,231
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$180,947	Building (1)	\$181,281
XFOB (2)	\$9,784	XFOB (2)	\$9,784
Just	\$215,962	Just	\$216,296
Class	\$0	Class	\$0
Appraised	\$215,962	Appraised	\$216,296
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$215,962	Assessed	\$216,296
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$215,962 city:\$215,962 other:\$215,962 school:\$215,962	Total Taxable	county:\$216,296 city:\$216,296 other:\$216,296 school:\$216,296

**▼ Sales History**

Show Similar Sales within 1/2 mile

Fill out Sales Questionnaire

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/28/2019	\$280,000	1379/1138	WD	I	Q	01
10/26/2011	\$210,000	1224/1081	WD	I	Q	01
5/28/2004	\$245,000	1017/0531	WD	I	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2004	2616	3662	\$181,281

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
------	------	----------	-------	-------	------	--------------------

TABLE 1 RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS				
RISK CATEGORY	WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS OR GIRTS (INCHES)
				INTERIOR POSTS/RAFTERS END POSTS/RAFTERS
I	C	110 TO 150	89 TO 116	6
		151 TO 180	117 TO 139	6

NOTES: 1. Specifications applicable to 26 gauge metal roof and wall panels fastened directly to 12 or 14 gauge steel tube framing, or 18 gauge hat channel roof purlins.
2. Specifications applicable only for mean roof height of 20 feet or less, and roof slopes of 7" to 27" (1:12 to 6:12 pitch). Spacing requirements for other roof heights and/or slopes may vary.

FBC APPROVED PRODUCTS LIST

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE	MAXIMUM ALLOWABLE WIND SPEED
STRUCTURAL COMPONENTS	ROOF DECK	UNION CORRUGATING COMPANY 26 Gauge MetalRoof Panel	FL1553 2-24 12/27/17	160
STRUCTURAL COMPONENTS	STRUCTURAL WALL	UNION CORRUGATING COMPANY 26 Gauge MetalRoof Panel	FL1554 2-24 12/27/17	160
STRUCTURAL COMPONENTS	STRUCTURAL WALL	FABRAL 26 Gauge Corrugated Panel	FL1428 1-143 12/27/17	160
STRUCTURAL COMPONENTS	FLOOD VENT	FLOOD SOLUTIONS, LLC Model FS-1624	FL1748 2-2 04/25/15	NA
EXTERIOR DOORS	SHEDDOOR	THE BAKTRU CORPORATION ShedDoor	FL1525 1-14 12/27/17	160
EXTERIOR DOORS	SHEDDOOR	ELDER DOOR AND METAL COMPANY Series 407	FL1796 5 09/07/15	170
EXTERIOR DOORS	ROLL-UP	ASTA INDUSTRIES INC. Model 203	FL1881 1-15 10/26/17	160
EXTERIOR DOORS	ROLL-UP	JANUS INTERNATIONAL CORPORATION Series 150	FL1716 8-16 12/07/17	130
WINDOWS	SINGLE HUNG	POCAHONTAS ALUMINUM COMPANY, INC. Model 120 15	FL1260 2-24 01/07/16	130
WINDOWS	SINGLE HUNG	AL WINDOWS AND DOORS Model 102 50	FL1488 1-42 12/26/17	160

GENERAL NOTES:

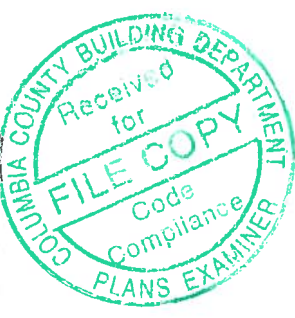
- THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING MAJOR WIND FORCE RESISTING SYSTEM, COMPONENTS AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, INGRESS/EGRESS, PROPERTY, SET-BACKS, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.
- THESE STRUCTURES ARE DESIGNED AS NON-HABITABLE UTILITY/STORAGE BUILDINGS (RISK CATEGORY II) CAPABLE OF SUPPORTING DEAD LOAD OF THE STRUCTURE AND APPLICABLE LIVE AND WIND LOADS. IMPROVEMENTS NOT SPECIFICALLY ADDRESSED HEREIN WHICH EXERT ADDITIONAL LOAD ON THE STRUCTURE, AND INSTALLATION OF DOORS, WINDOWS AND OTHER COMPONENTS NOT LISTED IN THE FBC APPROVED PRODUCTS LIST ON THIS SHEET AND NOT PROVIDED AND INSTALLED BY CARPORTS ANYWHERE, INC. SHALL BE AT THE OWNER'S RISK. BECHTOL ENGINEERING AND TESTING, INC., SHALL NOT BE RESPONSIBLE FOR STRUCTURAL DAMAGE OR FAILURE DUE TO THE APPLICATION OF ADDITIONAL LOADS OF NON-APPROVED COMPONENTS.
- ALL STEEL TUBING SHALL BE 50 KSI GALVANIZED STEEL. ALL FASTENERS SHALL BE GALVANIZED OR STAINLESS STEEL.
- FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH #12-14 x 3/4" SELF-DRILLING FASTENERS WITH CONTROL SEAL WASHER @ 6" O.C. AVERAGE.
- ALL FIELD FRAMING CONNECTIONS SHALL BE #12-14 x 3/4" SELF-DRILLING SCREWS WITHOUT CONTROL SEAL WASHER. ALL SHOP FRAMING CONNECTIONS SHALL BE WELDED.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40. CONCRETE SLAB FOUNDATIONS SHALL BE REINFORCED WITH 6#5-W1 4XW11.4 WELDED WIRE FABRIC COMPLYING WITH ASTM A 182, OR WITH SYNTHETIC FIBER REINFORCEMENT COMPLYING WITH ASTM C1116.
- BASE RAIL GROUND ANCHOR REQUIREMENTS: ONE WITHIN 5' OF EVERY POST LOCATION, AND BOTH SIDES OF OPENINGS WHERE BASE RAIL IS ABSENT. GROUND ANCHORS ARE NOT REQUIRED FOR CONCRETE FOOTING AND/OR CONCRETE SLAB CONSTRUCTION. SEE GROUND ANCHOR SCHEDULE (THIS SHEET) FOR SPECIFIC TYPE GROUND ANCHOR REQUIREMENTS.
- CONCRETE EXPANSION ANCHORS SHALL BE WEJIT ANKR-11TE MODEL AT1292, OR SLEEVE ANCHOR MODEL HSA 1250, OR EQUIVALENT.
- POST/RAFTER BRACING: BRACE ON EVERY POST/RAFTER CONNECTION, EXCEPT FOR END WALLS AND GABLE ENDS.
- SLAB FOUNDATION SUBGRADE SOILS SHALL BE TREATED AND COVERED WITH 6 MIL VAPOR RETARDER PER SECTION R318.1 OF THE FLORIDA BUILDING CODE SIXTH EDITION (2017) (FBC FE 2017), RESIDENTIAL, AND SECTION 1816.1 OF THE FBC FE 2017.
- 14 GA FRAMING IS 2-1/2" x 2-1/2" TUBE STEEL (TS). NIPPLES ARE 2-1/4" x 2-1/4" TS FOR 14 GA FRAMING. 12 GA FRAMING IS 2-1/4" x 2-1/4" TS. NIPPLES ARE 2-1/2" x 2-1/2" TS FOR 12 GA FRAMING.

METAL CARPORT INSTALLATION PLANS AND DETAILS AND FRAMING AND FASTENER SPECIFICATIONS

FOR CONSTRUCTION IN THE
STATE OF FLORIDA

PREPARED FOR:
CARPORTS ANYWHERE
P.O. BOX 776
STARKE, FL 32091

PREPARED BY:
BECHTOL ENGINEERING AND TESTING, INC.
605 WEST NORTON AVENUE
DELAND, FLORIDA 32720
Certificate of Authorization No. 00005492



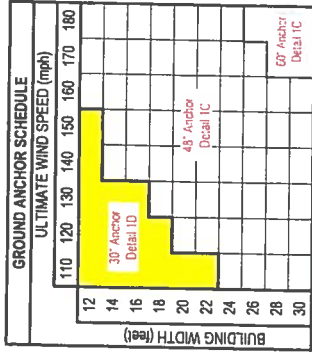
THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE FLORIDA BUILDING CODE, SIXTH EDITION (2017). THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.



CARPORTS ANYWHERE, INC.

ENCLOSED BUILDING

	DATE	01/02/18
	DESIGN	NTS
	REVISION	TB
	PROJECT	G18002
SHEET 1 OF 4		



DETAILS 1C AND 1D SHOWN ON SHEET 3 OF 4

CONCRETE
Concrete shall have a minimum specified compressive strength of 2500 PSI at 28 Days.

COVER OVER REINFORCING STEEL
1. Minimum concrete cover over reinforcing steel shall be:
a. 3 inches for exterior walls and roof slabs;
b. 2 inches for interior walls and roof slabs;
c. 1 1/2 inches for footings and foundations;
d. 1 1/4 inch for log piles or 1/2 inch for cast-in-place concrete in ground cells and below exterior walls;
e. 1 1/2 inches for masonry walls;
f. 1 1/2 inches for masonry walls not exposed to weather;
g. 1 1/2 inches for masonry walls not exposed to weather.

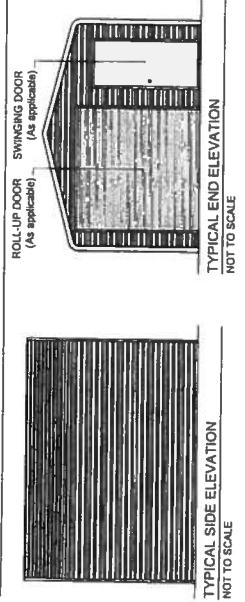
REINFORCING STEEL
The reinforcing steel shall be minimum Grade 40.

CAUTION:
Reinforcing steel shall be used in accordance with ASTM A 63, Class B-2. Metal plate connectors, screws, bolts and nuts exposed directly to the weather shall be stainless steel or hot dipped galvanized.

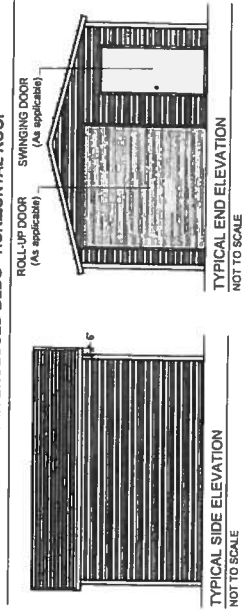
REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:
1. All reinforcement is bent cold;
2. The diameter of the bend, measured on the inside of the bend, is not less than six bar diameters; and
3. Reinforcement partially embedded in concrete shall be field bent.

EXCEPTION:
Where bending is necessary to align steel bars with a vertical wall, bars partially embedded in concrete shall be permitted to be bent at a slope of not more than 1 inch of horizontal displacement to 6 inches of vertical bar length.

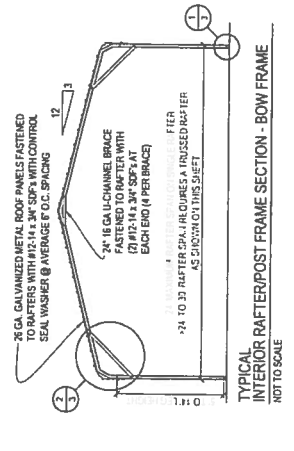
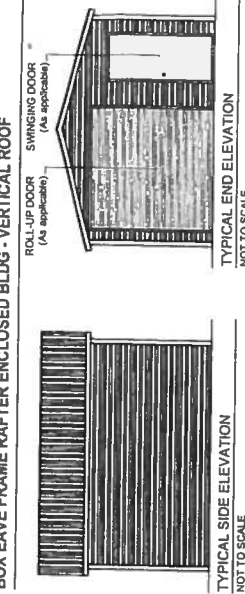
BOW FRAME RAFTER ENCLOSED BLDG - HORIZONTAL ROOF



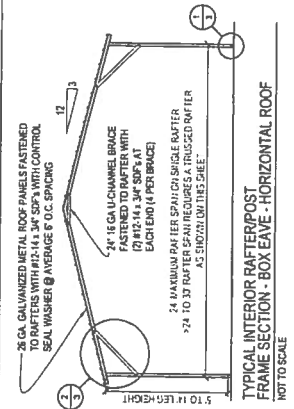
BOX EAVE FRAME RAFTER ENCLOSED BLDG - HORIZONTAL ROOF



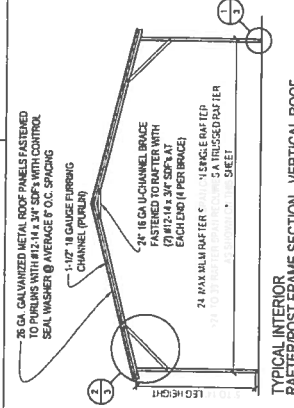
BOX EAVE FRAME RAFTER ENCLOSED BLDG - VERTICAL ROOF



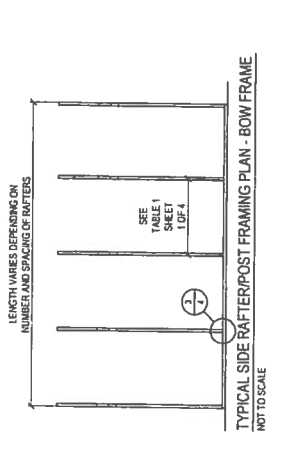
TYPICAL INTERIOR RAFTER/POST FRAME SECTION - BOW FRAME
NOT TO SCALE



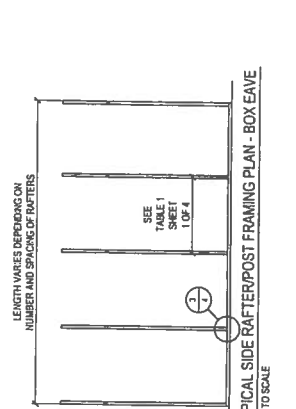
TYPICAL INTERIOR RAFTER/POST FRAME SECTION - BOX EAVE - HORIZONTAL ROOF
NOT TO SCALE



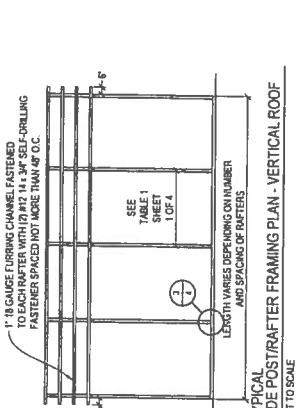
TYPICAL INTERIOR RAFTER/POST FRAME SECTION - VERTICAL ROOF
NOT TO SCALE



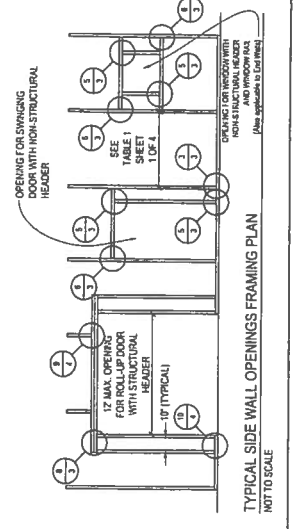
TYPICAL SIDE RAFTER/POST FRAMING PLAN - BOW FRAME
NOT TO SCALE



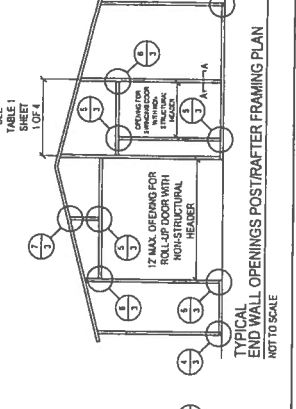
TYPICAL SIDE RAFTER/POST FRAMING PLAN - BOX EAVE
NOT TO SCALE



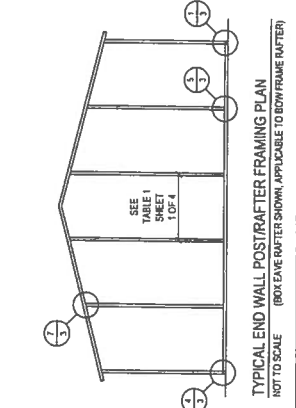
TYPICAL SIDE RAFTER/POST FRAMING PLAN - VERTICAL ROOF
NOT TO SCALE



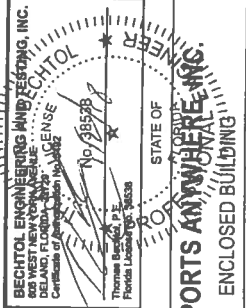
TYPICAL SIDE WALL OPENINGS FRAMING PLAN
NOT TO SCALE



TYPICAL END WALL OPENINGS POST/RAFTER FRAMING PLAN
NOT TO SCALE



TYPICAL END WALL POST/RAFTER FRAMING PLAN
NOT TO SCALE (BOX EAVE RAFTER SHOWN, APPLICABLE TO BOWFRAME RAFTER)



NAME	DATE
DESIGNED BY	01/22/18
CHECKED BY	NTS
IN CHARGE	YJB
SCALE	AS SHOWN
PROJECT NO.	C1002
SHEET NO.	2 OF 4



[illegible]