

For Office Use Only (Revised 1-11) Zoning Official 28 MAY 2013 Building Official TM 5/17/13
AP# 1305-35 Date Received 5/16/13 By CE Permit # 31093
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments Revised Finish Floor requirement as of 3 June 2013
FEMA Map# N/A Elevation N/A Finished Floor 1st Floor River N/A In Floodway N/A
☒ Site Plan with Setbacks Shown ☒ EH # 12-0549 ☐ EH Release ☐ Well letter ☒ Existing well
☒ Recorded Deed or Affidavit from land owner ☒ Installer Authorization N/A State Rd Access ☒ 911 Sheet
☐ Parent Parcel # ☒ STUP-MH 1305-10 ☐ F W Comp. letter ☒ App Fee Pd ☒ VF Form
IMPACT FEES: EMS Fire Corr ☒ Out County N/A In County
Road/Code School = TOTAL Suspended March 2009 N/A Ellisville Water Sys

Property ID # 1565.02-00502-117 Subdivision Itchucknee Forest - LOT 17 BLK A - PHASE 1
▪ New Mobile Home ☒ Used Mobile Home MH Size 78x30 Year 2013
▪ Applicant Jennifer Richard L. Trevelyan Phone # 386 497 2824
▪ Address 2168 SW Loncala Loop Fort White FL 32038
▪ Name of Property Owner Trevelyan/Voight Phone# 386 497 2824
▪ 911 Address 2166 SW Loncala Loop Fort White FL 32038
▪ Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
▪ Name of Owner of Mobile Home Linda + Ken Voight Phone # 954-868 3008
Address 2168 SW Loncala Loop Fort White FL 32038
▪ Relationship to Property Owner Sister/owner
▪ Current Number of Dwellings on Property 1
▪ Lot Size 5.1 acres Total Acreage 5.1 acres
▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
▪ Is this Mobile Home Replacing an Existing Mobile Home NO old Spanish Ad
▪ Driving Directions to the Property elim church Rd to old Bethany Rd
RT Fork go 1 mile to second Loncala Loop
property on RT corner
▪ Name of Licensed Dealer/Installer Rennie Norris Phone # 386 627 7716
▪ Installers Address 10045 SW Phat Tr L.C. FL 32024
▪ License Number IH10254511 Installation Decal # 16541
25 PER LEWA 5.29.13

3K advised Jennifer 5.28.13

JW left msg. 5.30.13

May: 490.85

COLUMBIA COUNTY PERMIT WORKSHEET

page 1 of 2

These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer Ronnie Naffis License # 7H10AS1451

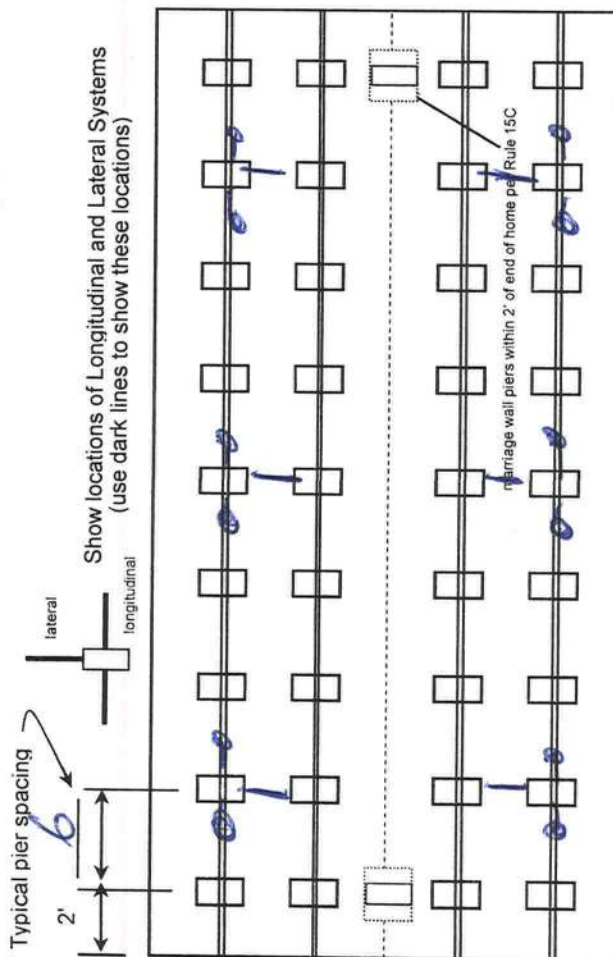
911 Address where home is being installed. 2166 SW Longleaf Court SW, FL 32038

Manufacturer Town Home Length x width 32x80

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials RN



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☐ Installation Decal # X 16541

Triple/Quad ☐ Serial # XFLTHLC7321276-2502AB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'						
1500 psf	4' 6"						
2000 psf	6'						
2500 psf	7' 6"						
3000 psf	8'						
3500 psf	8'						

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25

Perimeter pier pad size 60x16

Other pier pad sizes (required by the mfg.) 60x10

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 8 Pier pad size 17x25

4 17x25

4 60x16

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer

OTHER TIES

Number 23

Sidewall

Longitudinal

Marriage wall

Shearwall

ANCHORS

4 ft 5 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

COLUMBIA COUNTY PERMIT WORKSHEET

page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. _____

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural ✓ Swale ✓ Pad ✓ Other _____

Fastening multi wide units

Floor: Type Fastener: L4 Length: 6 Spacing: 24"
Walls: Type Fastener: 3/16" Length: 16" Spacing: 16"
Roof: Type Fastener: 5/16" Length: 6" Spacing: 16"
For centered homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes _____ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes _____
Fireplace chimney installed so as not to allow intrusion of rain water. Yes _____

Miscellaneous

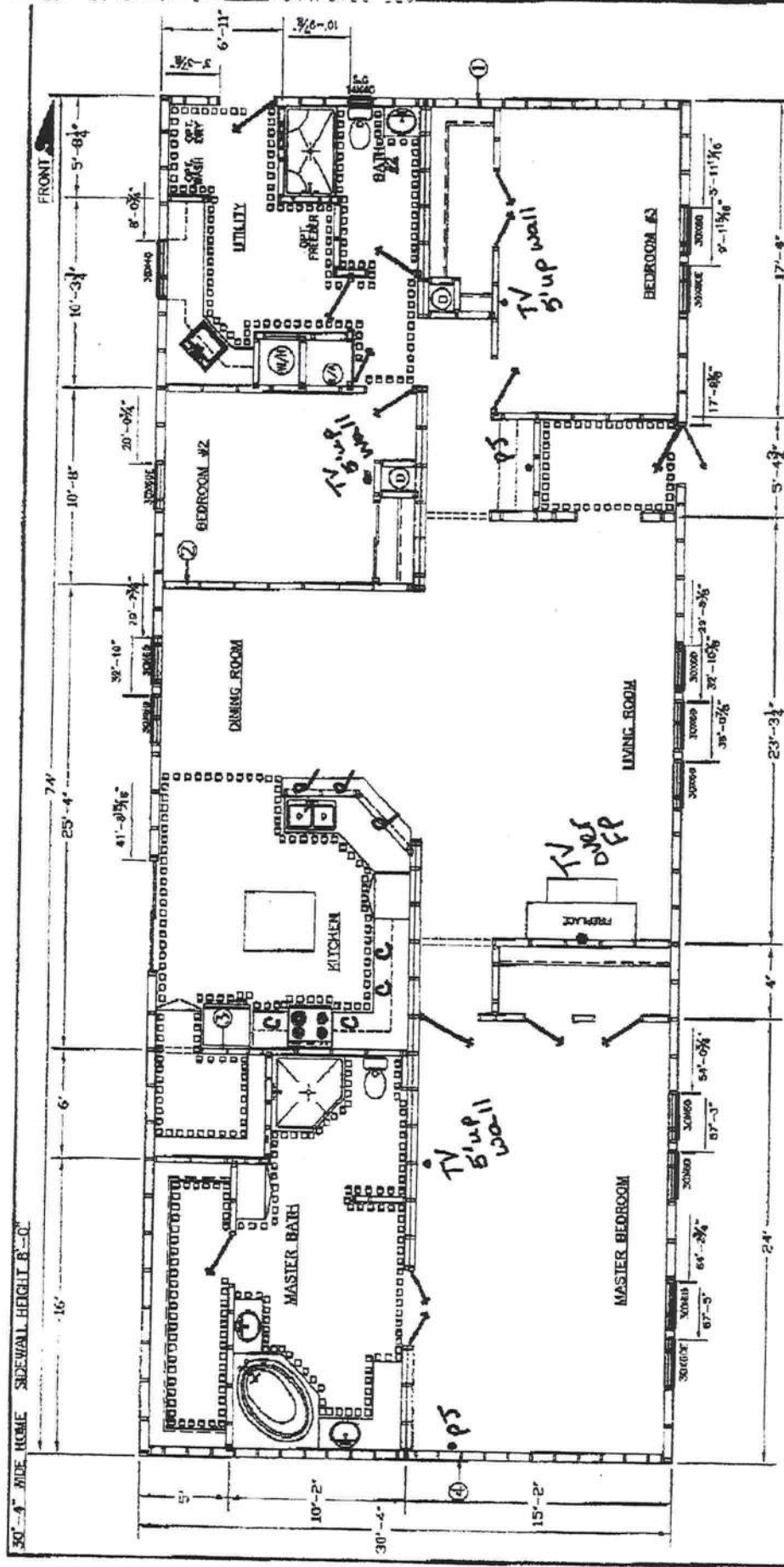
Skirting to be installed. Yes _____ No _____
Dryer vent installed outside of skirting. Yes _____ N/A _____
Range downflow vent installed outside of skirting. Yes _____ N/A _____
Drain lines supported at 4 foot intervals. Yes _____
Electrical crossovers protected. Yes _____
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Date

5-16-013



PLEASE CONFIRM ORDER
AND PRINT NAME BELOW.

Dealer: _____

Customer: _____

TownHomes
P.O. Box 1000
Lutz, FL 33549

Date: 4-17-13
Draw: ROB
Parent: NEW
Codes: Y (13)
2008 2009 2010 2011 2012 2013

Model: 32129-350
Price: 2245 SQ. FT. SALES

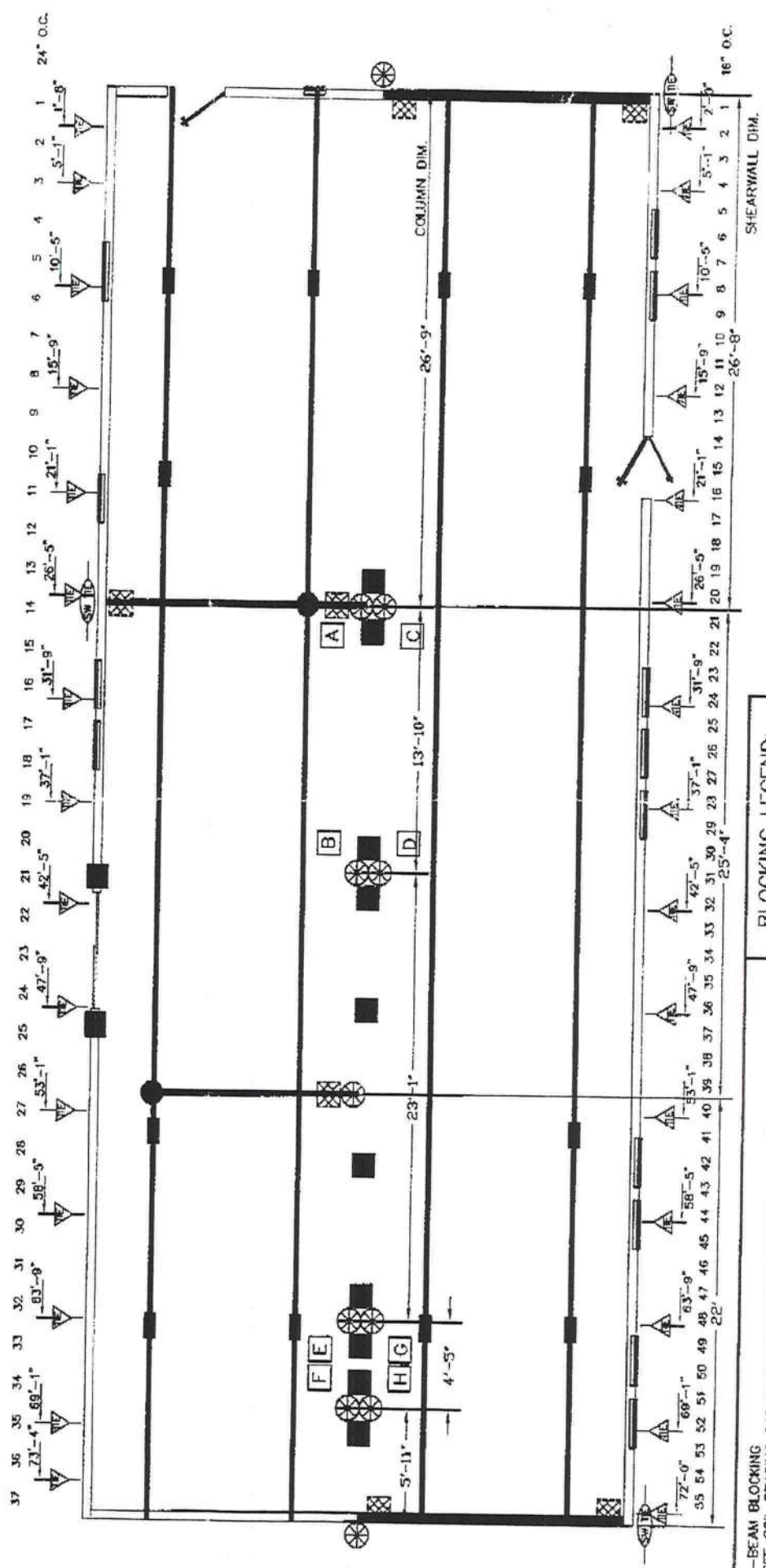
Code: 32129A

ZONE 1	SW#1	SW#4
ZONE 2	SW#1	SW#3
ZONE 3	SW#1	SW#2

NO. 5392

TOWNHOMES LLC

7/2/2019 10:02AM



BLOCKING LEGEND:

L-BEAM BLOCKING

COLUMN BLOCKING

SHEARWALL BLOCKING

SHEARWALL FRAME TIE

CENTER LINE TIES

VERTICAL TIE

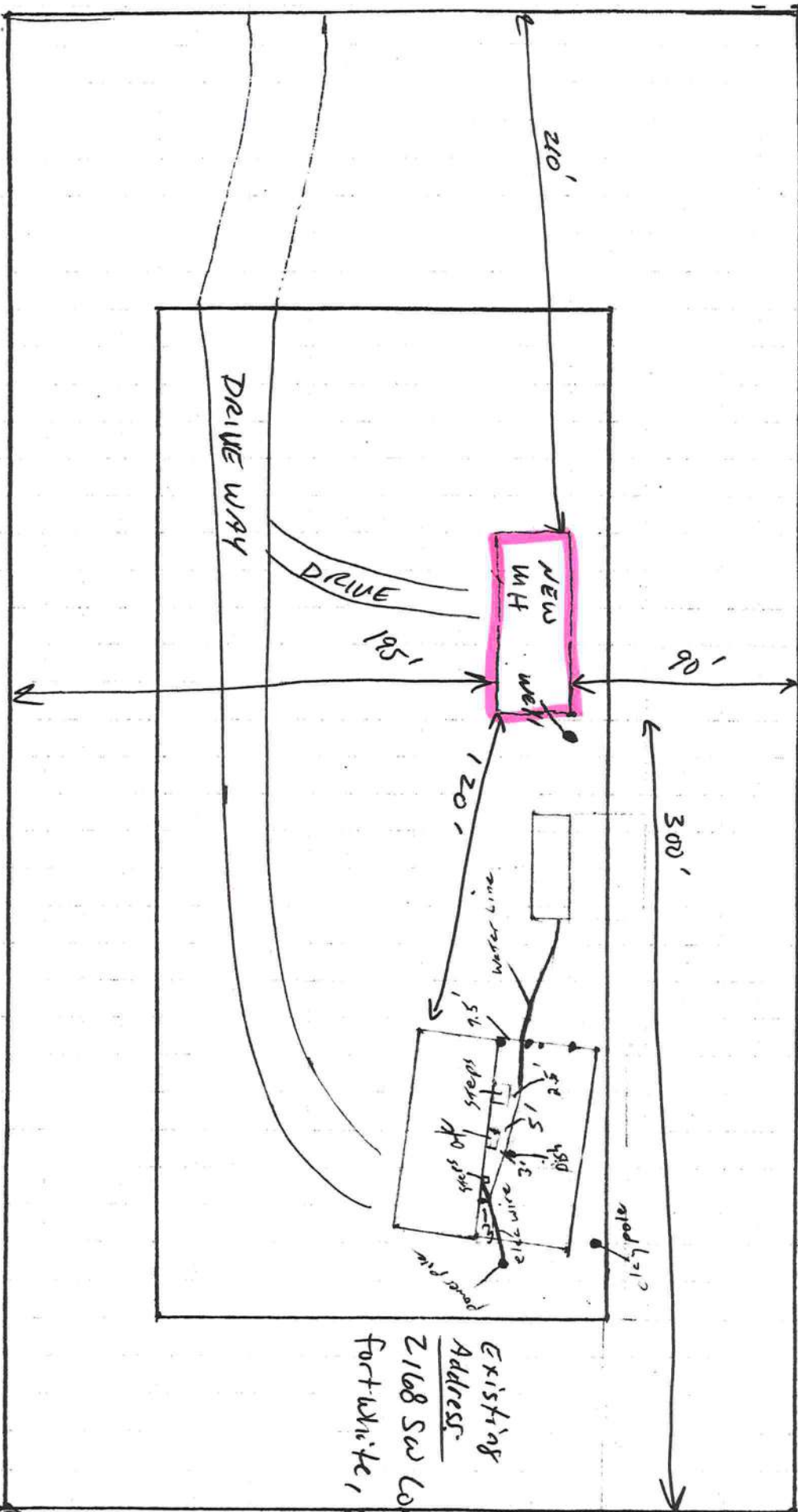
LONGITUDINAL TIES

- 1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED SIDEWALLS AND EXTERIOR WALL OPENINGS 48" OR GREATER, WILL REQUIRE BLOCKING ON EACH SIDE.
- 2) 32" WIDE HOMES REQUIRED TO BE BLOCKED MIN 8'-0" ON CENTER BETWEEN COLUMNS.



TownHomes
P.O. BOX 1069
LAKE CITY, FLORIDA 32056

Date: 4-30-13	Revisions	Code: 32129A
Dr'n: ROB		
Parent: NEW		
Code: T (13)		
Model: 32129-350		
Print: BLOCKING PLAN		



Existing
 Address
 2168 SW Connelley
 Fort White, FL 3203

☒ AUTHORIZATION SIGNATURE FROM P.O.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 1-11)

Zoning Official

Building Official

AP# 1301-17

Date Received 1-10-13

By LH

Permit # 30757

Flood Zone X

Development Permit N/A

Zoning A-3

Land Use Plan Map Category A-3

Comments

FEMA Map# N/A

Elevation N/A

Finished Floor 1st floor

River N/A

In Floodway N/A

☒ Site Plan with Setbacks Shown ☒ EH # 12-0548 ☐ EH Release ☐ Well letter ☒ Existing well

☒ Recorded Deed or Affidavit from land owner ☒ Installer Authorization ☒ State Rd Access ☒ 911 Sheet

☐ Parent Parcel #

☐ STUP-MH

☒ F W Comp. letter

☒ App Fee Pd

☒ VF Form

IMPACT FEES: EMS

Fire

Corr

☒ Out County

☒ In County

Road/Code

School

= TOTAL Suspended March 2009 N/A Ellisville Water Sys

Property ID # 02-65-15-00502-117 Subdivision Fitchuck Forest Gt 17, BUCKA PH 2

New Mobile Home Used Mobile Home ☒ MH Size 32x80 Year 2006

Applicant Richard L. Trevelyan Phone # 386-497-2824

Address 1453 SW Skyline Loop Fort White

Name of Property Owner Richard L. Trevelyan Phone # 386-497-2824

911 Address 2168 SW Loncala LP, Fort White, FL 32038

Circle the correct power company - FL Power & Light - Clay Electric (Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home Richard L. Trevelyan Phone # 386-497-2824

Address 1453 SW Skyline Loop Fort White

Relationship to Property Owner SELF

Current Number of Dwellings on Property None (ones)

Lot Size 5.01 acres Total Acreage 5.01 acres

Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one) (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

Is this Mobile Home Replacing an Existing Mobile Home NO

Driving Directions to the Property 47 TO 238 turn RT approx 4 miles TO old Spanish Rd go 1 mile TO second Loncala Loop entrance, on RT corner.

Name of Licensed Dealer/Installer RONNIE NICKS Phone # 752-3571

Installers Address 10045 SW Emerald TR LC FL 32024

License Number TH10251451 Installation Decal # 14509

Spoke to Ronnie 1-23-13

(No Authorization given)

Spoke to Richard 1-25-13

145

\$583.53 - JAN -

560.36

Columbia County Property Appraiser

CAMA updated: 12/19/2012

2012 Tax Year**Parcel:** 02-6S-15-00502-117

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

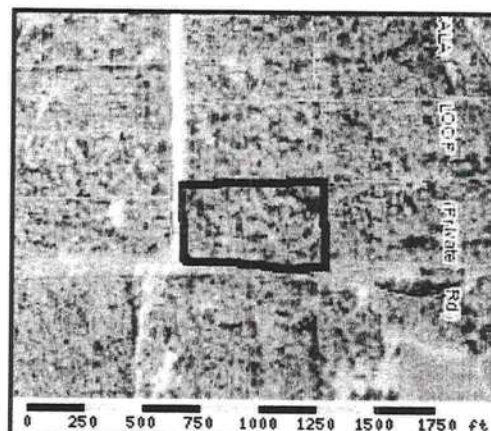
Interactive GIS Map

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	TREVELYAN RICHARD & ETAL		
Mailing Address	1453 SW SKYLINE LOOP FORT WHITE, FL 32038		
Site Address	2168 SW LONCALA LOOP		
Use Desc. (code)	MISC RES (000700)		
Tax District	3 (County)	Neighborhood	2615
Land Area	5.010 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 17 BLOCK A ICHETUCKNEE FOREST PHASE 2. ORB 675-72, WD 1026-1419, WD 1049-513, WD 1192-2379 & QCD 1229-818		



Property & Assessment Values

2012 Certified Values		
Mkt Land Value	cnt: (0)	\$29,250.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (2)	\$10,440.00
Total Appraised Value		\$39,690.00
Just Value		\$39,690.00
Class Value		\$0.00
Assessed Value		\$39,690.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$39,690 Other: \$39,690 Schl: \$39,690	

2013 Working Values

NOTE:
2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
2/6/2012	1229/818	QC	V	U	11	\$100.00
4/14/2010	1192/2379	WD	V	Q	03	\$18,000.00
6/14/2005	1049/513	WD	V	Q		\$50,000.00
9/3/2004	1026/1419	WD	V	Q		\$20,000.00
1/11/1989	675/72	WD	V	Q		\$22,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	2010	\$9,000.00	0000900.000	30 x 30 x 0	(000.00)
0251	LEAN TO W/	2010	\$1,440.00	0000360.000	12 x 30 x 0	(000.00)

Quitclaim Deed

RETURN TO: Richard Trevelyan

Inst: 201212001792 Date: 2/6/2012 Time: 11:43 AM
Doc Stamp-Deed: 0.70
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1229 P: 818

ADDRESS: 1453 Sw skyline Loop Fort White Fl 32038

THIS INSTRUMENT PREPARED BY: Grantor of 1453 Sw Skyline Loop Fort White Fl 32038

AS A NECESSARY INCIDENT TO THE FULFILLMENT OF CONDITIONS CONTAINED IN A TITLE INSURANCE COMMITMENT ISSUED BY --

PROPERTY APPRAISERS PARCEL IDENTIFICATION (FOLIO) NUMBER: 156s02-00502-117

GRANTEES S.S.#: Richard Trevelyan -
Linda Trevelyan Voight -
Kenneth Voight -

THIS INDENTURE, Made this 26th day of November, 2011, by and between Richard Trevelyan, not married, of 1453 Sw Skyline Loop Fort White Fl 32038, (the "Grantor"), and Richard Trevelyan, not married, of 1453 Sw Skyline Loop Fort White Fl 32038, Linda Trevelyan Voight, married, of 9701 Sw 3rd St Boca Raton Fl 33428, and Kenneth Voight, married, of 9701 Sw 3rd St Boca Raton Fl 33428, (collectively the "Grantee"), in the state of Florida.

WITNESSETH: That said Grantor, for and in consideration of the sum of 10.00 Dollars, and other valuable considerations, lawful money of the United States of America, to the Grantee in hand paid by the Grantee, the receipt whereof is hereby acknowledged, has remised, released and quitclaimed to the Grantee, the Grantee's heirs and assigns forever, all the rights, title, interest and claim of the Grantor in and to the following described land in Columbia County, Florida, to-wit:

Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
419 SW SR 247, Suite 109
Lake City, Florida 32025

File Number: 09-0579

Inst: 20101006120 Date: 4/19/2010 Time: 3:10 PM
Doc Stamp-Deed: 126.00
Doc P. Dewitt, Dason Columbia County, Page 1 of 2 B 1132 P 2379

General Warranty Deed

Made this April 14, 2010 A.D. By **Dean Anderson and his wife, Koreen Anderson**, whose post office address is: 751 E. Evanston Circle, Fort Lauderdale, FL 33312, hereinafter called the grantor, to **Richard Trevelyan**, whose post office address is: 1453 SW Skyline Loop, Fort White, FL 32038, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 17, Block A, Ichetucknee Forest Phase "2", according to the plat thereof, as recorded in Plat Book 5, Page 125, of the Public Records of Columbia County, Florida.

Parcel ID Number: 156S02-00502-117

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2009.

See Page 2 for signatures/notary


Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
419 SW SR 247, Suite 109
Lake City, Florida 32025

File Number: 09-0579


WARRANTY DEED PAGE 2

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.


Signed, sealed and delivered in our presence:



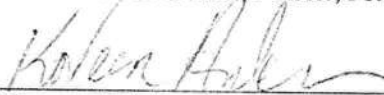
Witness Printed Name FRANK J. VELIE



Witness Printed Name COURTNEY B. RICHARDS



Dean Anderson
Address: 751 E. Evanston Circle, Fort Lauderdale, FL 33312




Koreen Anderson
Address: _____

State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 14th day of April, 2010, by Dean Anderson and his wife, Koreen Anderson, who is/are personally known to me or who has produced FL # 9336-163-62-427-0 as identification.





Notary Public
Print Name: COURTNEY B. RICHARDS
My Commission Expires: AUGUST 10, 2010

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1305-35 CONTRACTOR Ronnie Norris PHONE 623-7716

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Richard Trevelyan</u> License #: <u>Owner</u>	Signature <u>[Signature]</u> Phone #: _____
MECHANICAL/ A/C	Print Name <u>Richard Trevelyan</u> License #: <u>Owner</u>	Signature <u>[Signature]</u> Phone #: _____
PLUMBING/ GAS	Print Name <u>Ronnie Norris</u> License #: <u>I/H 10251418</u>	Signature <u>[Signature]</u> Phone #: <u>7523871</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Forms: Subcontractor form: 1/11

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

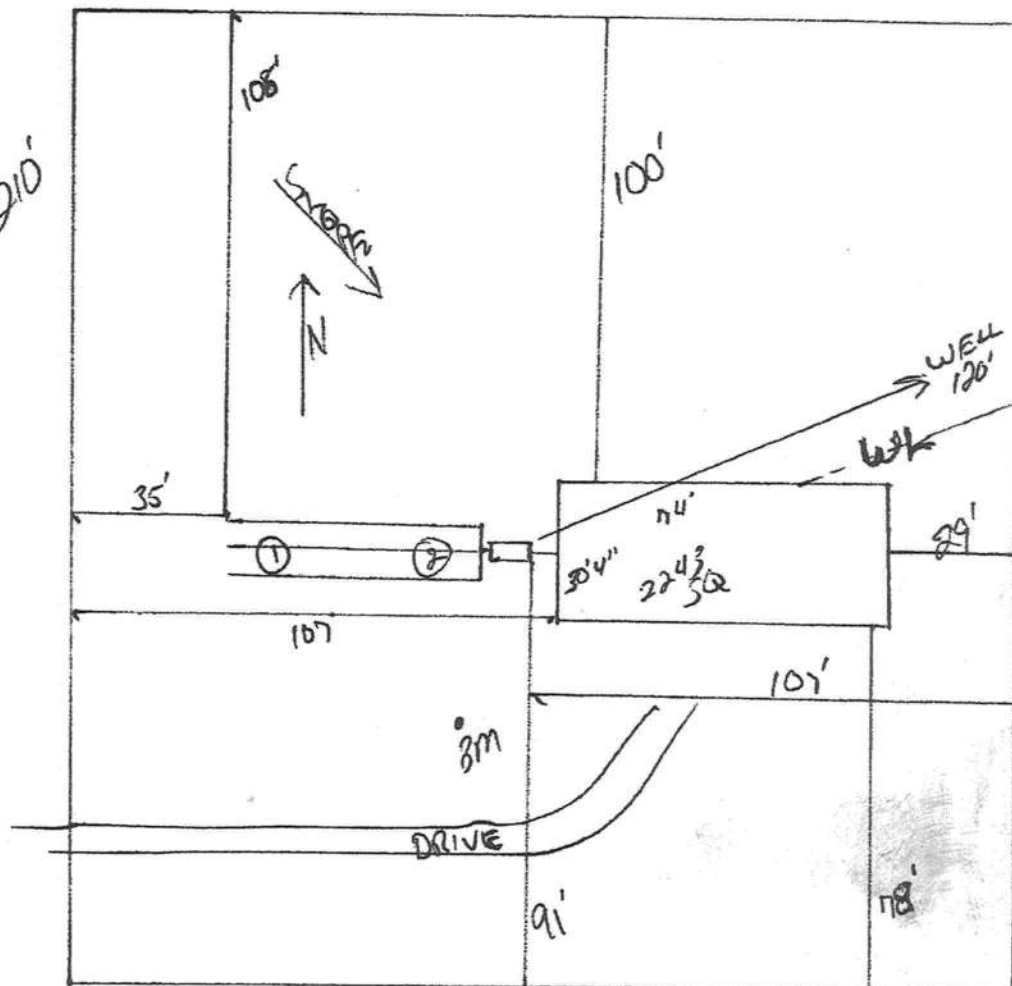
1A-0549

TREVELYAN / VOIGHT

PART II - SITEPLAN

210

Scale: 1 inch = 40 feet.



Notes:

1 of 5 PAGES SEE ATTACHED

Site Plan submitted by:

Rocky D F

MASTER CONTRACTOR

Plan Approved

Not Approved

Date

12/12/12

By

Columbia CHD

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Ronnie Morris, give this authority for the job address show below
Installer License Holder Name

only, 2166 SW Concala Loop Ft. White FL 32038, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Richard Trevelyan		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input checked="" type="checkbox"/> Property Owner
Jennifer Trevelyan		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

License Holders Signature (Notarized)

IT/045145/17 5-16-013
License Number Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Ronnie Morris, personally appeared before me and is known by me or has produced identification (type of I.D.) on this 16 day of May, 20 13.

NOTARY'S SIGNATURE

(Seal/Stamp)





Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

21 May 2013

Richard L. Trevelyan
2168 Southwest Loncala Loop
Ft. White, FL 32038

RE: Mobile Home Move-on Permit Application 1305-35

Dear Mr. Trevelyan:

The property concerning the above referenced mobile home move-on permit is located within an Agriculture-3 (A-3) zoning district. This zoning district requires a minimum of five (5) acres for one (1) dwelling unit. Under the County's Land Development Regulations (LDR's), in order to place a second mobile home on the property a Special Temporary Use Permit (#7) has to be issued. A Special Temporary Use Permit is good for five (5) years for a fee of \$450.00 and can be renewed for the same family member for \$200.00 every two (2) years after that. In order for the mobile home move-on permit to be issued, the enclosed application, fee and the family relationship affidavit has to be completed. The family relationship affidavit confirming the family relationship has to be signed by the family members, witnessed by a Notary and signed by myself and recorded in the Clerk of the Courts Office in the Court House. The original or copy will be required to returned to this office.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

A handwritten signature in blue ink, appearing to read "Brian L. Kepner".

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Enclosure

COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
APPLICATION

Permit No. STUP - 1305-10

Date 28 May 2013

Fee \$450.00

Receipt No. 04353

Building Permit No. _____

Name of Title Holder(s) Richard Trevelyan Linda Trevelyan Voight + Kenneth Voight

Address 2168 SW Loncala Loop City Fort White FL

Zip Code 32038

Phone (386) 497-2824

NOTE: If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator **MUST** be attached to this application at the time of submittal stating such appointment.

Title Holder(s) Representative Agent(s) _____

Address _____ City _____

Zip Code _____

Phone () _____

Paragraph Number Applying for _____

Proposed Temporary Use of Property Addition mH for Sister

Proposed Duration of Temporary Use 5 years

Tax Parcel ID# 02-65-15-00502-117

Size of Property 5.1 acres

Present Land Use Classification A-3

Present Zoning District A-3

Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
4. In any zoning district: mobile homes or travel trailers used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
5. In any zoning district: mobile homes or travel trailers used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.
7. In agricultural districts: In addition to the principal residential dwelling, two (2) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements. A temporary use permit for such mobile homes may be granted for a time period up to five (5) years. The permit is valid for occupancy of the specified family member as indicated on Family Relationship Affidavit and Agreement which shall be recorded in the Clerk of the Courts by the applicant.

The Family Relationship Affidavit and Agreement shall include but not be limited to:

- a. Specify the family member to reside in the additional mobile home; *Linda Trevelyan Voi*
- b. Length of time permit is valid; *5 years*

- c. Site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building;
- d. Responsibility for non ad-valorem assessments;
- e. Inspection with right of entry onto the property by the County to verify compliance with this section. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section and;
- f. Shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
- g. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
- h. Requirements upon expiration of permit. Unless extended as herein provided, once a permit expires the mobile home shall be removed from the property within six (6) months of the date of expiration.

The property owner may apply for one or more extensions for up to two (2) years by submitting a new application, appropriate fees and family relationship residence affidavit agreement to be approved by the Land Development Regulations Administrator.

Previously approved temporary use permits would be eligible for extensions as amended in this section.

- 8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include written confirmation of the permission of the shopping center owner and a site plan which includes distances from buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.
- 9. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
 - a. Demonstrate a permanent residence in another location.
 - b. Meet setback requirements.

- c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.

Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.

Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

Richard L. Trevelyan
Applicants Name (Print or Type)

Richard L. Trevelyan
Applicant Signature

5-22-13
Date

OFFICIAL USE

Approved BLK 28 MAY 2013

Denied _____

Reason for Denial _____

Conditions (if any) to begin at date of approval final inspection of
MH.

**COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
AUTHORIZATION**

The undersigned, Richard Trevelyan, (herein "Property Owners"), whose physical 911 address is 2168 SW Loncala Loop FT White FL 32038, hereby understand and agree to the conditions set forth by the issuance of a Special Temporary Use Permit in accordance with the Columbia County Land Development Regulations (LDR's). I hereby further authorize _____ to act on by behalf concerning the application for such Special Temporary Use Permit on Tax Parcel ID # 02 - 65 - 15 - 00502 - 117.

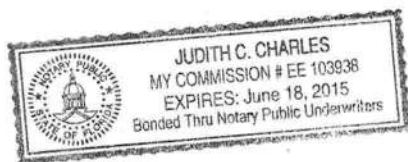
Dated this 22 Day of May, 2013.

Richard Trevelyan
Property Owner (signature)

**STATE OF FLORIDA
COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 22nd Day of May, 2013, by Richard Trevelyan Who is personally known to me or who has produced a FL DL T614752473320 Driver's license as identification.

(NOTARIAL
SEAL)



Judith C. Charles
Notary Public, State of Florida

My Commission Expires: 06/18/2015

AFFIDAVIT AND AGREEMENT OF SPECIAL
TEMPORARY USE FOR IMMEDIATE
FAMILY MEMBERS FOR
PRIMARY RESIDENCE

STATE OF FLORIDA
COUNTY OF COLUMBIA

 201312008066 Date:5/28/2013 Time:2:41 PM
DC,P.DeWitt Cason,Columbia County Page 1 of 2 B:1255 P:977

BEFORE ME the undersigned Notary Public personally appeared.

Richard Trevelyan, the Owner of the parcel which is being used to place an additional dwelling (mobile home) as a primary residence for a family member of the Owner, and Linda Trevelyan Voight, the Family Member of the Owner, who intends to place a mobile home as the family member's primary residence as a temporarily use. The Family Member is related to the Owner as Sister, and both individuals being first duly sworn according to law, depose and say:

1. Family member is defined as parent, grandparent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
2. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit and Agreement.
3. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference with the Columbia County Property Appraiser Tax Parcel No. 02-65-15-00502-117.
4. No person or entity other than the Owner claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
5. This Affidavit and Agreement is made for the specific purpose of inducing Columbia County to issue a Special Temporary Use Permit for a Family Member on the parcel per the Columbia County Land Development Regulations. This Special Temporary Use Permit is valid for 5 year(s) as of date of issuance of the mobile home move-on permit, then the Family Member shall comply with the Columbia County Land Development Regulations as amended.
6. This Special Temporary Use Permit on Parcel No. 02-65-15-00502-117 is conditional and becomes null and void if used by any other family member or person other than the named Family Member listed above. The Special Temporary Use Permit is to allow the named Family Member above to place a mobile home on the property for his primary residence only. In addition, if the Family Member listed above moves away, the mobile home shall be removed from the property within 90 days of the departure of the Family Member or the mobile home is found to be in violation of the Columbia County Land Development Regulations.
7. The site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building.

9. Inspection with right of entry onto the property, but not into the mobile home by the County to verify compliance with this section shall be permitted by owner and family member. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section.
10. The mobile home shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
11. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
12. Upon expiration of permit, the mobile home shall be removed from the property within six (6) months of the date of expiration, unless extended as herein provided by Section 14.10.2 (#7).
13. This Affidavit and Agreement is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the facts represented by us in this Affidavit are true and correct and we accept the terms of the Agreement and agree to comply with it.

Richard Trevelyan
Owner

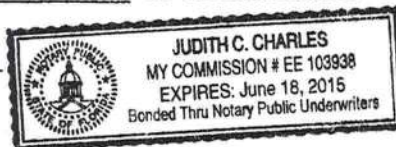
Richard Trevelyan
Typed or Printed Name

Linda Trevelyan Voight
Family Member

Linda Trevelyan Voight
Typed or Printed Name

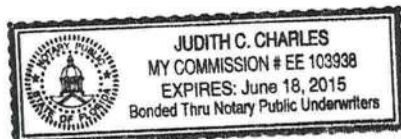
Subscribed and sworn to (or affirmed) before me this 22nd day of May, 2013, by Richard Trevelyan (Owner) who is personally known to me or has produced FL DL T614752473320 as identification.

Judith C. Charles
Notary Public



Subscribed and sworn to (or affirmed) before me this 22nd day of May, 2013, by Linda Trevelyan Voight (Family Member) who is personally known to me or has produced FL DL T614523505871 as identification.

Judith C. Charles
Notary Public



COLUMBIA COUNTY, FLORIDA

By: *Brian L. Kepner*
Name: BRIAN L. KEPNER
Title: Land Development Regulation Administrator

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 5/16/2013 DATE ISSUED: 5/30/2013

ENHANCED 9-1-1 ADDRESS:

2166 SW LONCALA LOOP

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

02-6S-15-00502-117

Remarks:

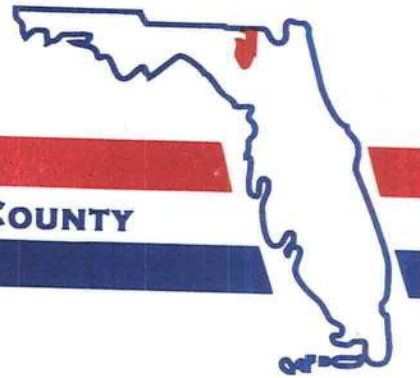
ADDRESS FOR PROPOSED STRUCTURE ON PARCEL. 2ND LOCATION
ON PARCEL.

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Stephen E. Bailey
District No. 5 - Scarlet P. Frisina

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY



MEMORANDUM

Date: 3 June 2013
To: Mobil Home Move-on Permit File 31093
From: Brian L. Kepner, Land Development Regulation Administrator *BLK*
Re: 1 Foot Above the Road Requirement

The proposed location of the mobile home sits in a very large basin that continues to a very deep sinkhole to the east. There is a berm along the southern property line running parallel with Southwest Old Spanish Road that would divert the water from running into the basin towards the east and the sinkhole. Any water running onto the property would come from the north and west and continue to the east towards the sinkhole. Requiring the mobile home to be set 1 foot above the road for prevention of water damage to the mobile home will not be required because (1) the location of the berm on the south side of the property diverting water towards the sinkhole (2) the size of the basin with the very deep sinkhole at the east, and (3) the requirements of State Statutes which require the pad to be sloped in such a way to prevent water from collecting under the mobile home. The mobile home will be allowed standard set up as indicated in the mobile home move-on permit application and in accordance with all applicable codes.

BOARD MEETS FIRST THURSDAY AT 7:00 P.M.
AND THIRD THURSDAY AT 7:00 P.M.

P. O. BOX 1529 ▼

LAKE CITY, FLORIDA 32056-1529 ▼

PHONE (386) 755-4100

