

DATE07/02/2004

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT000022038

APPLICANTDAN TRIMBLE

PHONE754-5550

ADDRESS548SW BRANDY WAYLAKE CITYFL32024

OWNERBUD ROSIER, JR

PHONE758-2248

ADDRESS341NW AULBURN PLACELAKE CITYFL32055

CONTRACTORLAKESIDE ALUMINUM, INC.

PHONE754-5550

LOCATION OF PROPERTYLAKE JEFFREY, GO TO COUNTRY LAKE ESTATES, THEN TR ON AUBURN PLACE, LAST PLACE ON RIGHT

TYPE DEVELOPMENTSCREEN ENCLOSURE

ESTIMATED COST OF CONSTRUCTION8300.00

HEATED FLOOR AREATOTAL AREAHEIGHT.00STORIES1

FOUNDATIONWALLSROOF PITCHFLOOR

LAND USE & ZONINGRSF2

MAX. HEIGHT9

Minimum Set Back Requirments:STREET-FRONT25.00REAR15.00SIDE10.00

NO. EX.D.U.1FLOOD ZONENA

DEVELOPMENT PERMIT NO.

PARCEL ID23-3S-16-02272-009

SUBDIVISIONLAKE JEFFERY ESTATES

LOT8BLOCKPHASEUNIT

TOTAL ACRES

5157

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING04-0155-NBKHDN

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: NOC ON FILE

Check # or Cash1234

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Powerdate/app. by

Foundationdate/app. by

Monolithicdate/app. by

Under slab rough-in plumbingdate/app. by

Slabdate/app. by

Sheathing/Nailingdate/app. by

Framingdate/app. by

Rough-in plumbing above slab and below wood floordate/app. by

Electrical rough-indate/app. by

Heat & Air Ductdate/app. by

Peri. beam (Lintel)date/app. by

Permanent powerdate/app. by

C.O. Finaldate/app. by

Culvertdate/app. by

M/H tie downs, blocking, electricity and plumbingdate/app. by

Pooldate/app. by

Reconnectiondate/app. by

Pump poledate/app. by

Utility Poledate/app. by

M/H Poledate/app. by

Travel Trailerddate/app. by

Re-roofdate/app. by

BUILDING PERMIT FEE \$45.00

CERTIFICATION FEE \$.00

SURCHARGE FEE \$.00

MISC. FEES \$.00

ZONING CERT. FEE \$50.00

FIRE FEE \$

WASTE FEE \$

FLOOD ZONE DEVELOPMENT FEE \$

CULVERT FEE \$

TOTAL FEE95.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# Columbia County Building Permit Application

1st message 7/1/04 G

For Office Use Only Application # \_\_\_\_\_ Date Received \_\_\_\_\_ By JW Permit # 22038  
 Application Approved by - Zoning Official BLK Date 30.06.04 Plans Examiner ND Date 7-1-04  
 Flood Zone N/A Development Permit N/A Zoning RSF-2 Land Use Plan Map Category RES. Low DEN.  
 Comments \_\_\_\_\_

Applicants Name Lakeside Aluminum Inc Phone 754-5550  
 Address 548 SW Brandy Way  
 Owners Name (Bud) Rosier Jr Phone 758-2248  
 911 Address P.O. Box 341 NW Auburn Place Lake city Country Lakes  
 Contractors Name Anthony (Dan) Trimble Phone 754-5550  
 Address 548 SW Brandy Way Lake City FL 32024  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address \_\_\_\_\_ 623-4574  
 Architect/Engineer Name & Address \_\_\_\_\_  
 Mortgage Lenders Name & Address \_\_\_\_\_

Property ID Number 23-35-16-02272-009 Estimated Cost of Construction \$8300  
 Subdivision Name Lake Jeffery Estates Lot 8 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase 1  
 Driving Directions  Hwy 90 to 7th street right go out Lake Jeffery Rd to Country Lakes Estates left first Right Last house on left Right just before Colversac - House set way Back.  
 Type of Construction Screen Enclosure over Pool Number of Existing Dwellings on Property \_\_\_\_\_  
 Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_ Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 200 Side 40' Side 135' + Rear 100  
 Total Building Height 9' Number of Stories 1 Heated Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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[Signature]  
 Owner Builder or Agent (Including Contractor)

[Signature]  
 Contractor Signature  
 Contractors License Number \_\_\_\_\_  
 Competency Card Number \_\_\_\_\_

STATE OF FLORIDA  
 COUNTY OF COLUMBIA

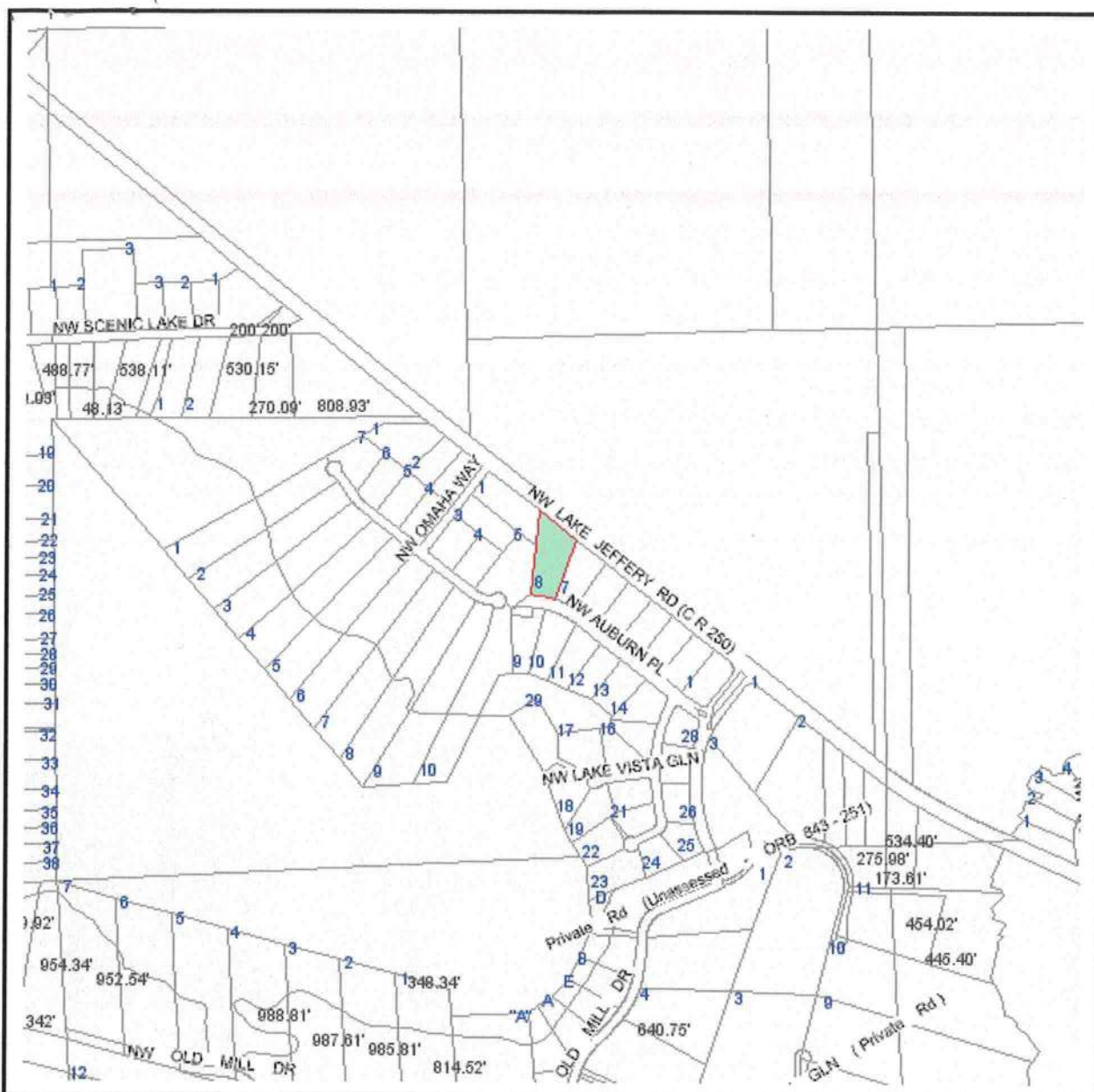
CK# 1234

Sworn to (or affirmed) and subscribed before me  
 this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
 personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

NOTARY STAMP/SEAL

Notary Signature \_\_\_\_\_





### Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

**PARCEL: 23-3S-16-02272-009 HX - SINGLE FAM (000100)**

LOT 8 LAKE JEFFERY PHASE 1. ORB 784-153, 824-865, 845-744, 865-818, 978-761.

Name: ROSIER LEANDOUS W JR

Site: LOT 8 LAKE JEFFERY

Mail: P O BOX 2973

LAKE CITY, FL 320562973

Sales 3/21/2003 \$122,000.00 I / U

Info 8/31/1998 \$14,900.00 V / Q

9/5/1997 \$14,100.00 V / Q

LandVal \$18,500.00

BldgVal \$145,953.00

ApprVal \$168,709.00

JustVal \$168,709.00

Assd \$168,709.00

Exmpt \$25,000.00

Taxable \$143,709.00

0 0.08 0.16 0.24 mi



This information, GIS Map Updated: 06/21/2004, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Permit No. \_\_\_\_\_

Tax Parcel No. 23-35-16-02272-009

**COLUMBIA COUNTY NOTICE OF COMMENCEMENT**

**STATE OF FLORIDA**

Inst:2004014923 Date:06/28/2004 Time:12:48

**COUNTY OF COLUMBIA**

YDK DC, P. DeWitt Cason, Columbia County B:1019 P:997

THE UNDERSIGNED hereby gives notice that Improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description of the property, and street address if available.)

Prop-ID 23-35-16-02272-009 Lake Jeffery  
Estates - Lot 8 Phase 1 9th Address 341  
NW Auburn Place Lake City FL 32055

2. General description of improvement: Pool Screen Enclosure

3. Owner Information:

A. Name and address:  
(Bud) Rosier Jr 341 NW Auburn Place  
Lake City FL 32055

B. Interest in property:

C. Name and address of fee simple titleholder (if other than owner):

4. Contractor: (name and address)

LakeSide Aluminum Inc  
Anthony D Trimble 548 SW Brandy Way  
Lake City FL 32024

5. Surety

A. Name and address:

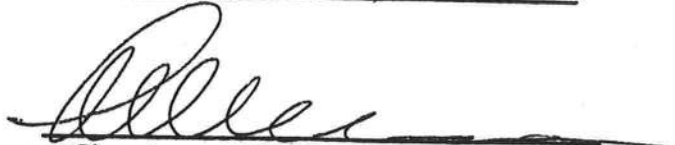
B. Amount of bond:

6. Lender: (name and address)

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 718.13 (1) (a) 7., Florida Statutes: (name and address)

8. In addition to himself, owner designates \_\_\_\_\_  
of \_\_\_\_\_ to receive a copy of  
the Lienor's Notice as provided in Section 713.13 (1) (a) 7., Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is 1 year from the  
date of recording unless a different date is specified) \_\_\_\_\_.

  
(Signature of Owner)

SWORN TO and subscribed before me this 24<sup>th</sup> day of June  
19 2004



L. Michelle Holloway  
Commission # CC 981157  
Expires Nov. 12, 2004  
Bonded Thru  
Atlantic Bonding Co., Inc.

  
Notary Public

(NOTARIAL  
SEAL)

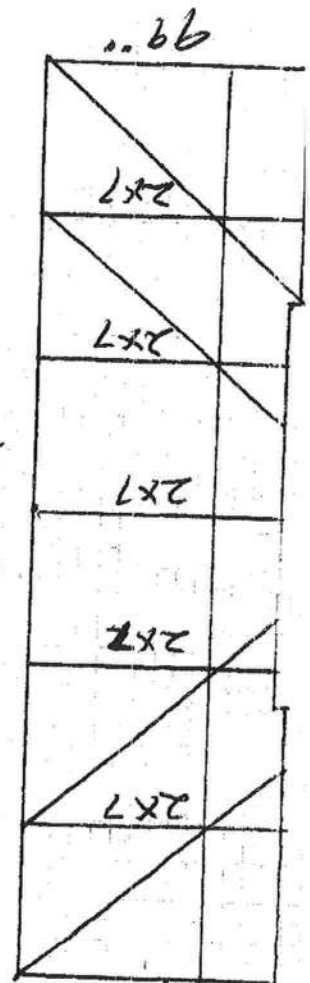
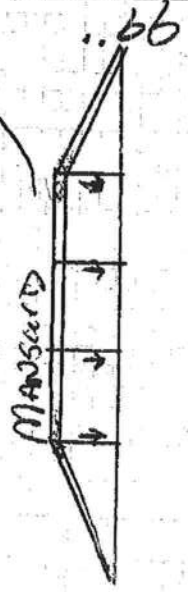
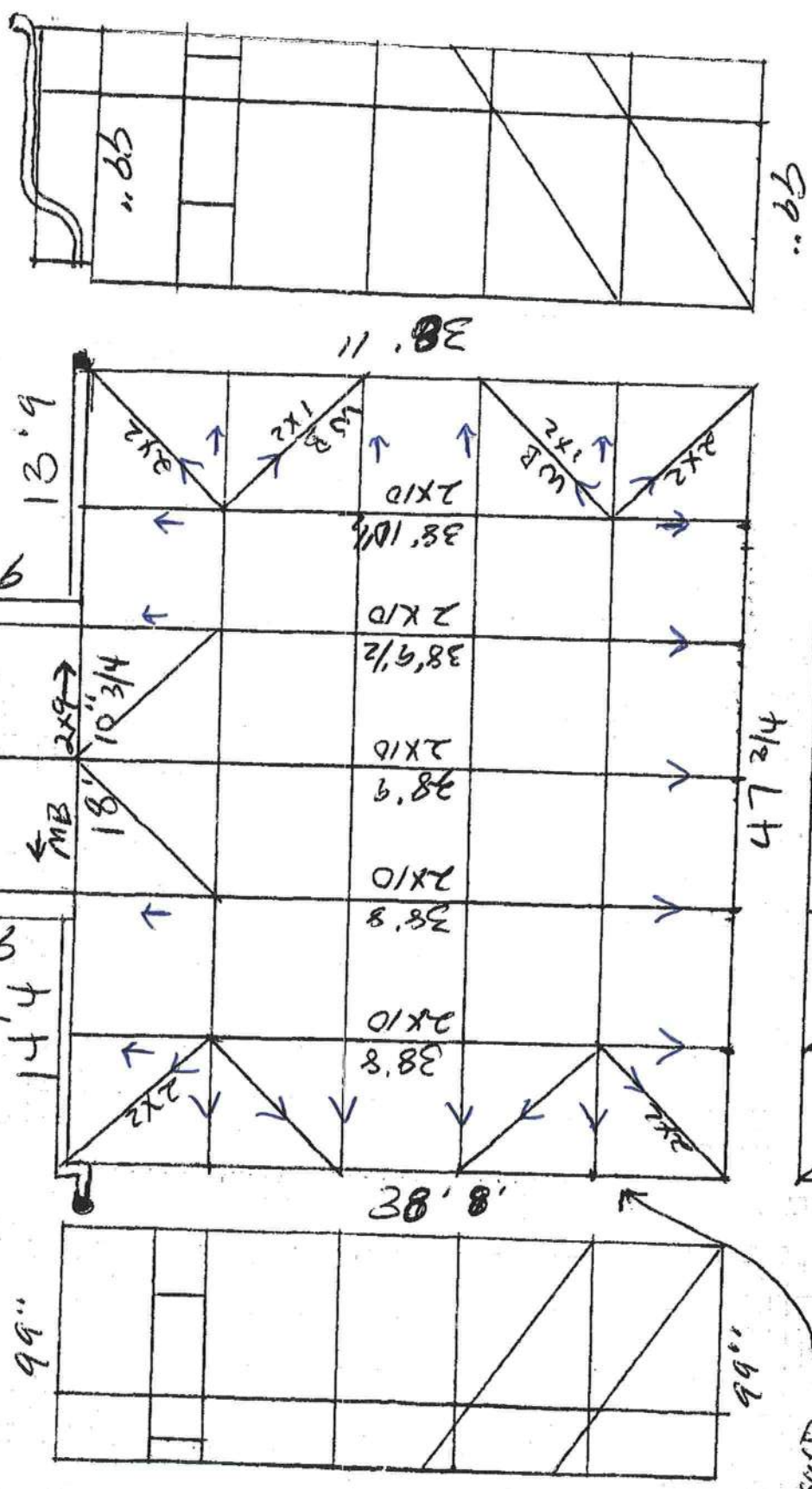
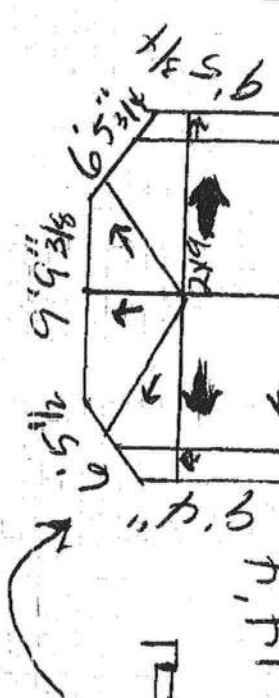
My Commission Expires:

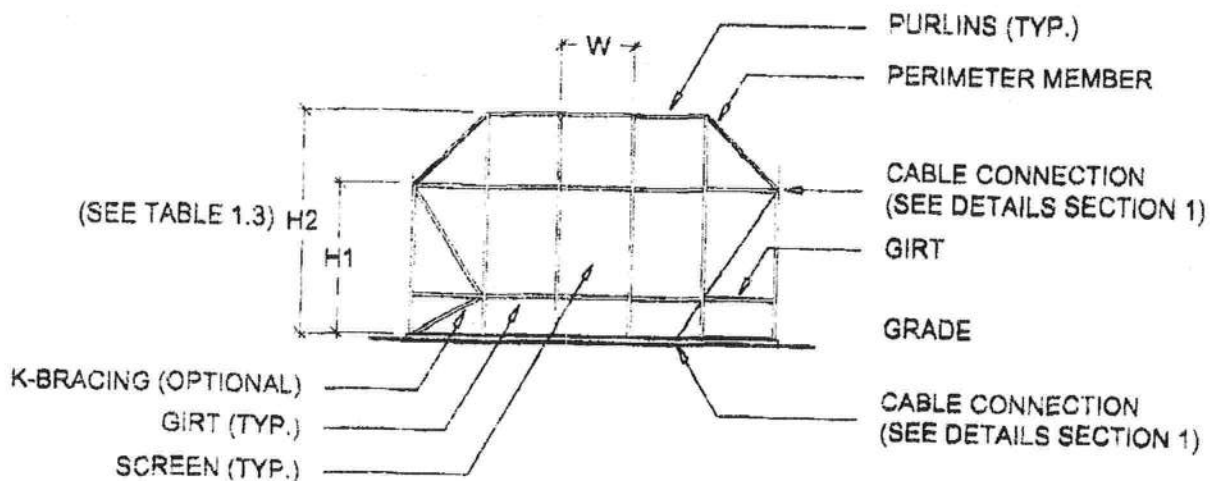
Inst:2004014923 Date:06/28/2004 Time:12:48

\_\_\_\_\_  
DC, P. DeWitt Cason, Columbia County B:1019 P:998

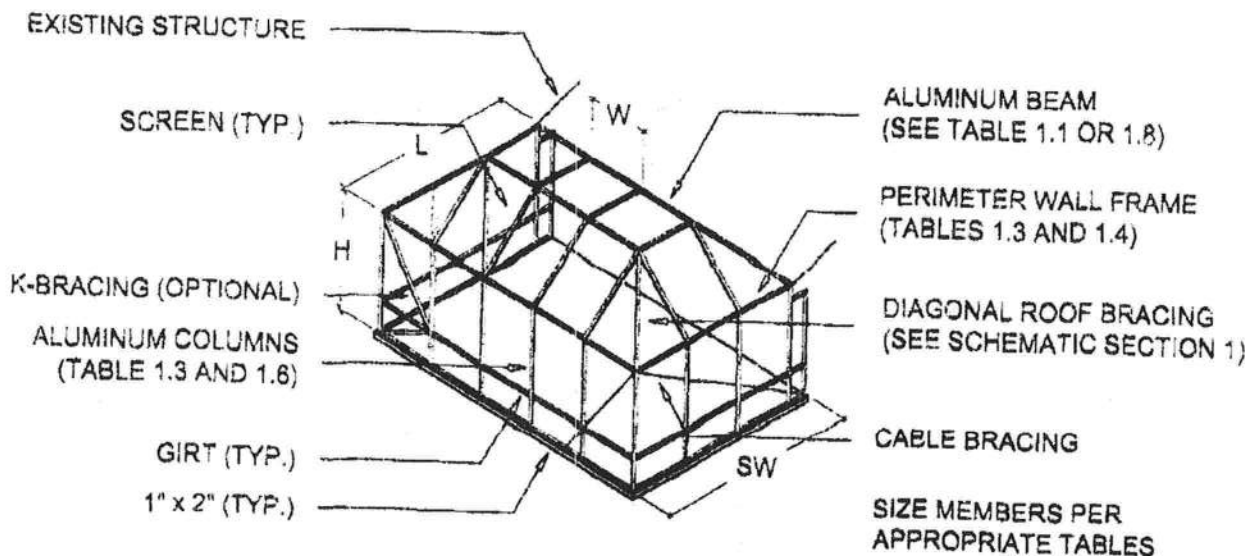


Peak



**TYPICAL MANSARD ROOF - ELEVATION**

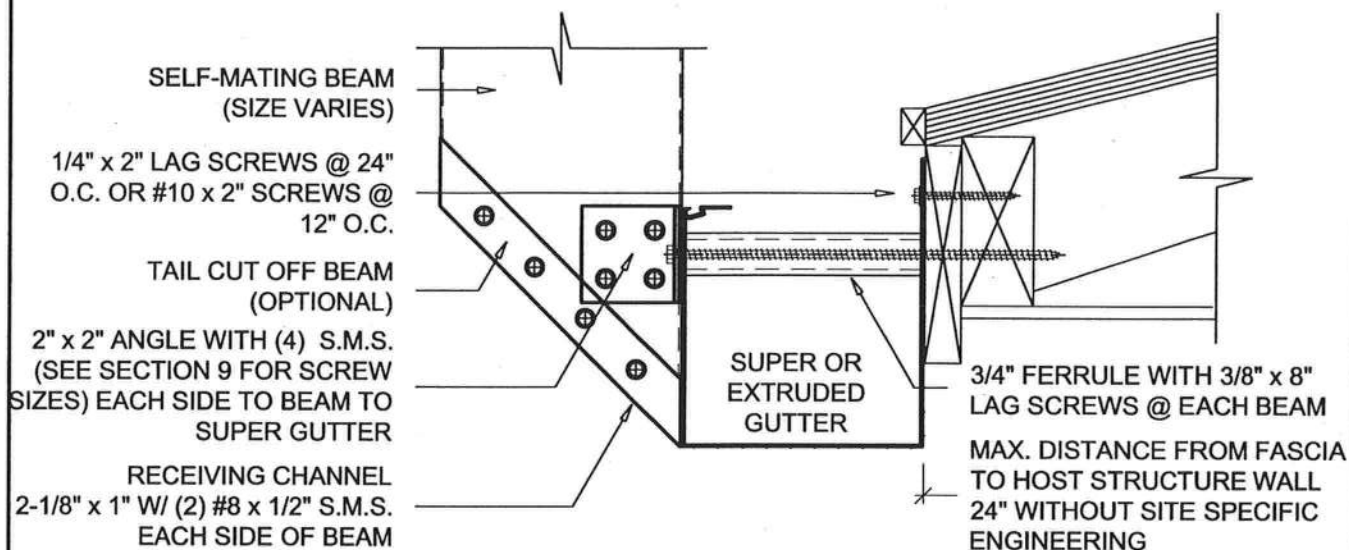
SCALE: N.T.S.

**TYPICAL MANSARD ROOF - ISOMETRIC**

SCALE: N.T.S.

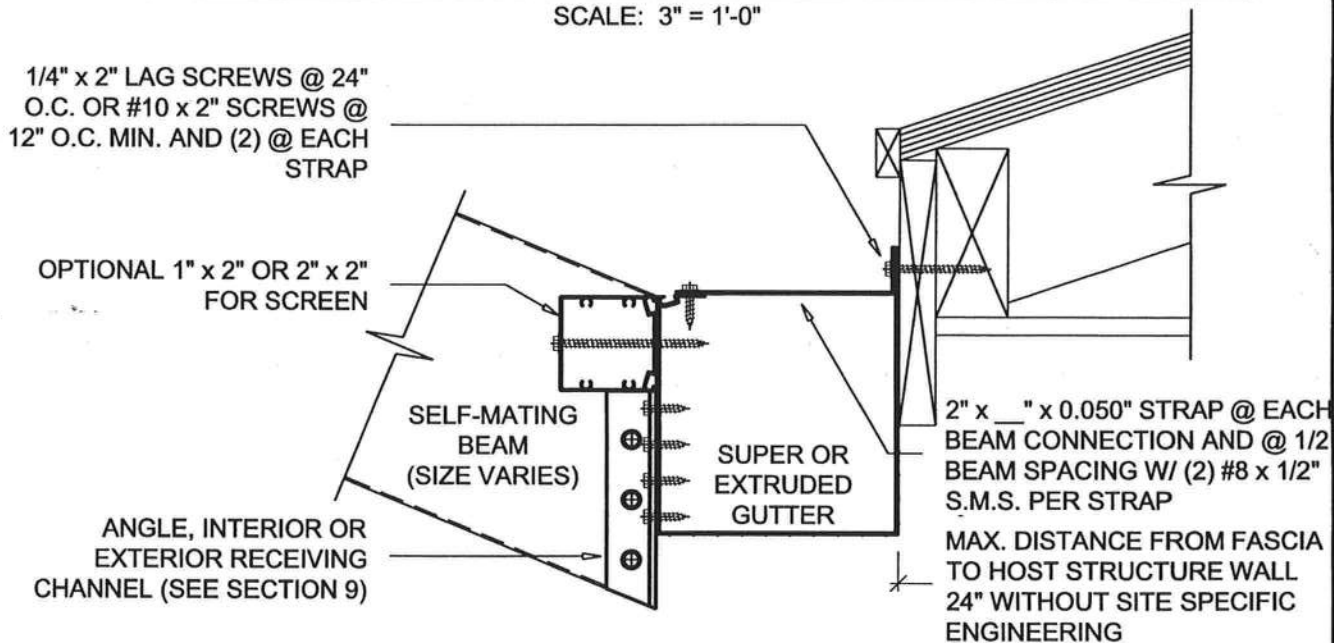
CONNECTION DETAILS AND NOTES ARE FOUND IN THE SUBSEQUENT PAGES.

Lawrence E. Bennett, P.E.  
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
 P.O. BOX 214368, SOUTH DAYTONA, FL 32121  
 TELEPHONE (386) 767-4774  
 FAX (386) 767-6556



**SELF MATING BEAM AND SUPER OR EXTRUDED GUTTER CONNECTION**

SCALE: 3" = 1'-0"



**SELF MATING BEAM CONNECTION TO SUPER OR EXTRUDED GUTTER**

SCALE: 3" = 1'-0"

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# SECTION 1

# SCREENED ENCLOSURES

**Table 1.1 Allowable Spans For Primary Screen Roof Frame Members**  
Aluminum Alloy 6063 T-6

For Areas with Wind Loads up to 150 M.P.H. and Latitudes Below 30°-30'-00" North (Jacksonville, FL)

Hollow Sections	Tributary Load Width 'W' = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span 'L' / bending 'b' or deflection 'd'						
2" x 2" x 0.044"	9'-10" b	8'-7" b	7'-8" b	6'-11" b	6'-6" b	6'-1" b	5'-8" b
2" x 2" x 0.055"	10'-9" b	9'-4" b	8'-4" b	7'-7" b	7'-1" b	6'-7" b	6'-3" b
2" x 3" x 0.045"	13'-4" b	11'-7" b	10'-4" b	9'-5" b	8'-9" b	8'-2" b	7'-8" b
2" x 4" x 0.050"	14'-8" b	12'-8" b	11'-4" b	10'-4" b	9'-7" b	8'-11" b	8'-5" b

Self Mating Sections	Tributary Load Width 'W' = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span 'L' / bending 'b' or deflection 'd'						
2" x 4" x 0.044 x 0.100"	19'-11" b	17'-4" b	15'-6" b	14'-2" b	13'-1" b	12'-3" b	11'-6" b
2" x 5" x 0.050 x 0.100"	24'-9" b	21'-5" b	19'-2" b	17'-6" b	16'-2" b	15'-2" b	14'-3" b
2" x 6" x 0.050 x 0.120"	28'-7" b	24'-9" b	22'-2" b	20'-3" b	18'-9" b	17'-6" b	16'-6" b
2" x 7" x 0.055 x 0.120"	32'-3" b	27'-11" b	24'-11" b	22'-9" b	21'-1" b	19'-9" b	18'-7" b
2" x 7" x 0.055" w/ insert	42'-10" b	37'-1" b	33'-2" b	30'-4" b	28'-1" b	26'-3" b	24'-9" b
2" x 8" x 0.072" x 0.224"	41'-7" b	36'-1" b	32'-3" b	29'-5" b	27'-3" b	25'-6" b	24'-0" b
2" x 9" x 0.072" x 0.224"	45'-1" b	39'-1" b	34'-11" b	31'-11" b	29'-6" b	27'-8" b	26'-1" b
2" x 9" x 0.082" x 0.310"	49'-6" b	42'-11" b	38'-4" b	35'-0" b	32'-5" b	30'-4" b	28'-7" b
2" x 10" x 0.092" x 0.369"	59'-6" b	51'-7" b	46'-1" b	42'-1" b	38'-11" b	36'-5" b	34'-4" b

Snap Sections	Tributary Load Width 'W' = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span 'L' / bending 'b' or deflection 'd'						
2" x 2" x 0.044"	11'-9" b	10'-2" b	9'-1" b	8'-4" b	7'-8" b	7'-2" b	6'-9" b
2" x 3" x 0.045"	15'-1" b	13'-1" b	11'-8" b	10'-8" b	9'-10" b	9'-3" b	8'-8" b
2" x 4" x 0.045"	18'-5" b	15'-11" b	14'-3" b	13'-0" b	12'-1" b	11'-3" b	10'-8" b
2" x 6" x 0.062"	31'-3" b	27'-1" b	24'-2" b	22'-1" b	20'-5" b	19'-2" b	18'-0" b
2" x 7" x 0.062"	34'-9" b	30'-1" b	26'-11" b	24'-7" b	22'-9" b	21'-3" b	20'-1" b

## Notes:

1. Thicknesses shown are "nominal" industry standard tolerances. No wall thickness shall be less than 0.040".
  2. The structures designed using this section shall be limited to a maximum combined span and upright height of 55' and a maximum upright height of 20'. Structures larger than these limits shall have site specific engineering.
  3. Spans are based on a minimum of 10# / Sq. Ft. for up to a 150 M.P.H. wind load.
  4. Span is measured from center of beam and upright connection to fascia or wall connection.
  5. Above spans do not include length of knee brace. Add horizontal distance from upright to center of brace to beam connection to the above spans for total beam spans.
  6. Purlin spacing shall not exceed 6'-8" . For beam spans greater than 40'-0" the beam at the center purlin and one purlin for each 14'-0" on each side of the center purlin shall include lateral bracing as shown in detail (48'-0") span with purlins at 6'-8" o.c. center purlin and (2) purlins each side of center purlin need lateral bracing.
- Example: Max. 'L' for 2" x 4" x 0.050 hollow section with 'W' = 5'-0" = 11'-4"

**Lawrence E. Bennett, P.E.**

CIVIL ENGINEER - DEVELOPMENT CONSULTANT

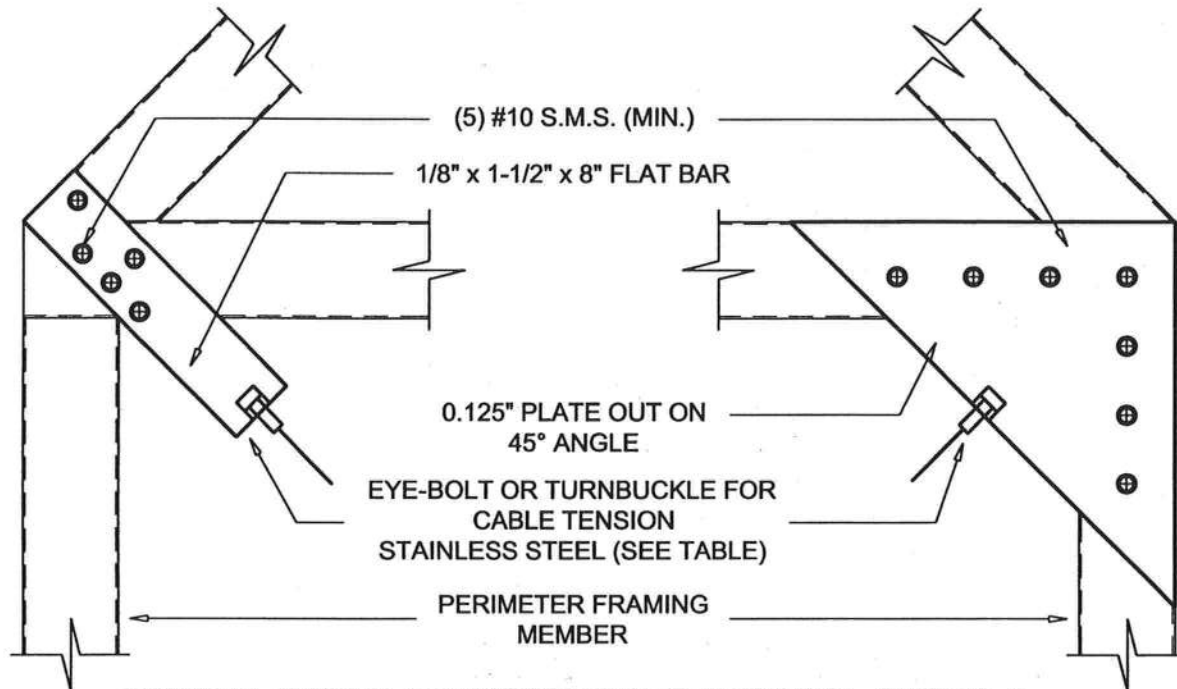
P.O. BOX 214368, SOUTH DAYTONA, FL 32121

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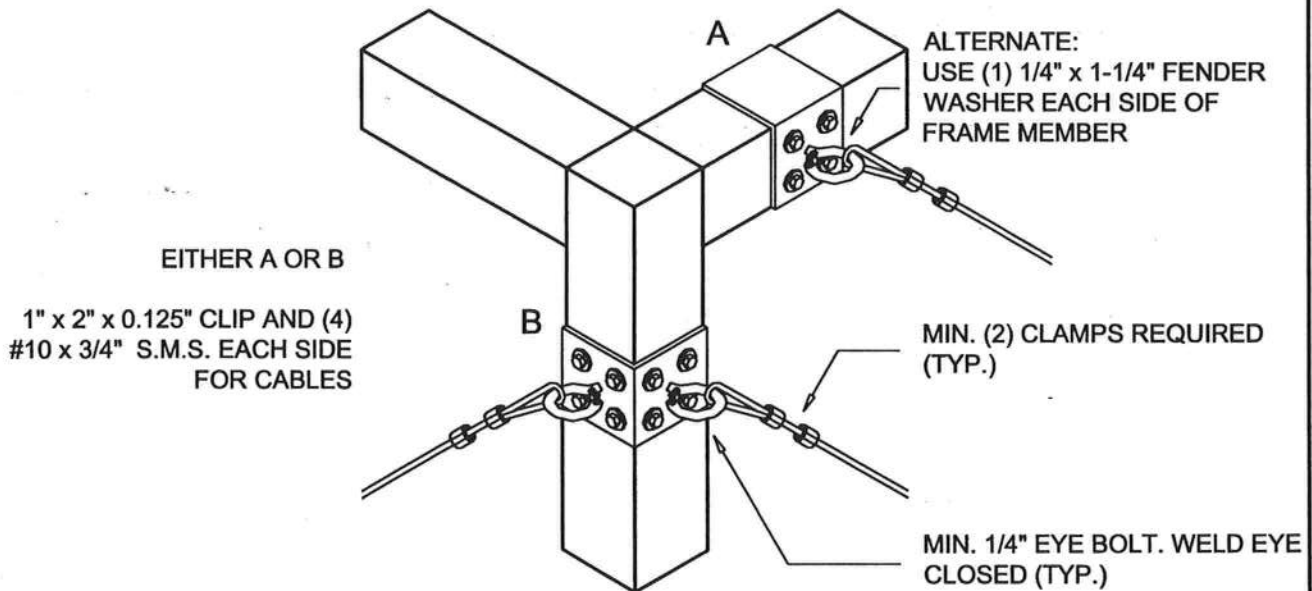
# SECTION 1

# SCREENED ENCLOSURES



**TYPICAL CABLE CONNECTIONS @ CORNER - DETAIL 1**

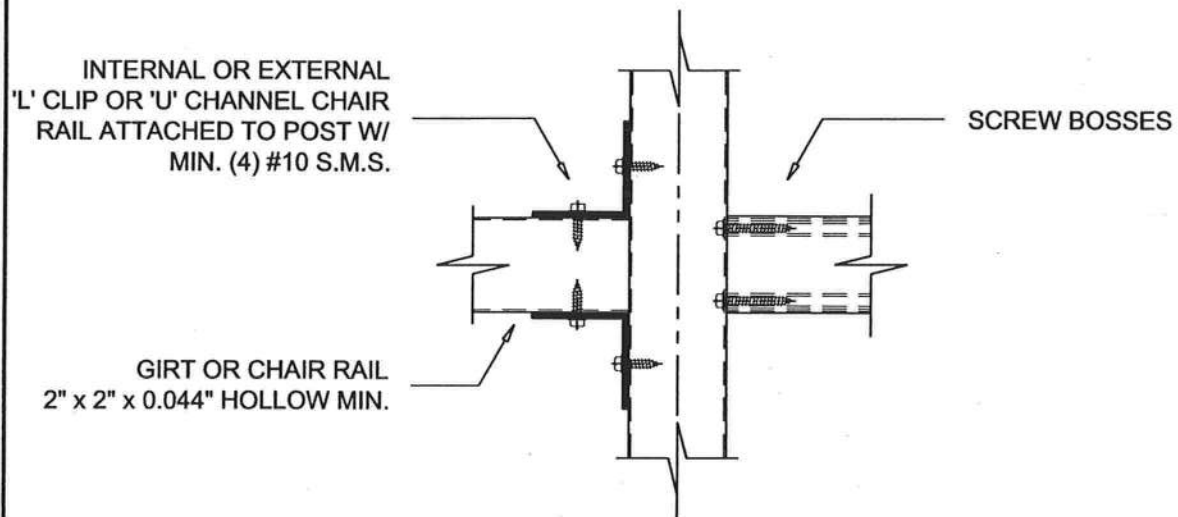
SCALE: 3" = 1'-0"



**ALTERNATE TOP CORNER OF CABLE CONNECTION - DETAIL 1A**

SCALE: 3" = 1'-0"

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**GIRT TO POST DETAIL**

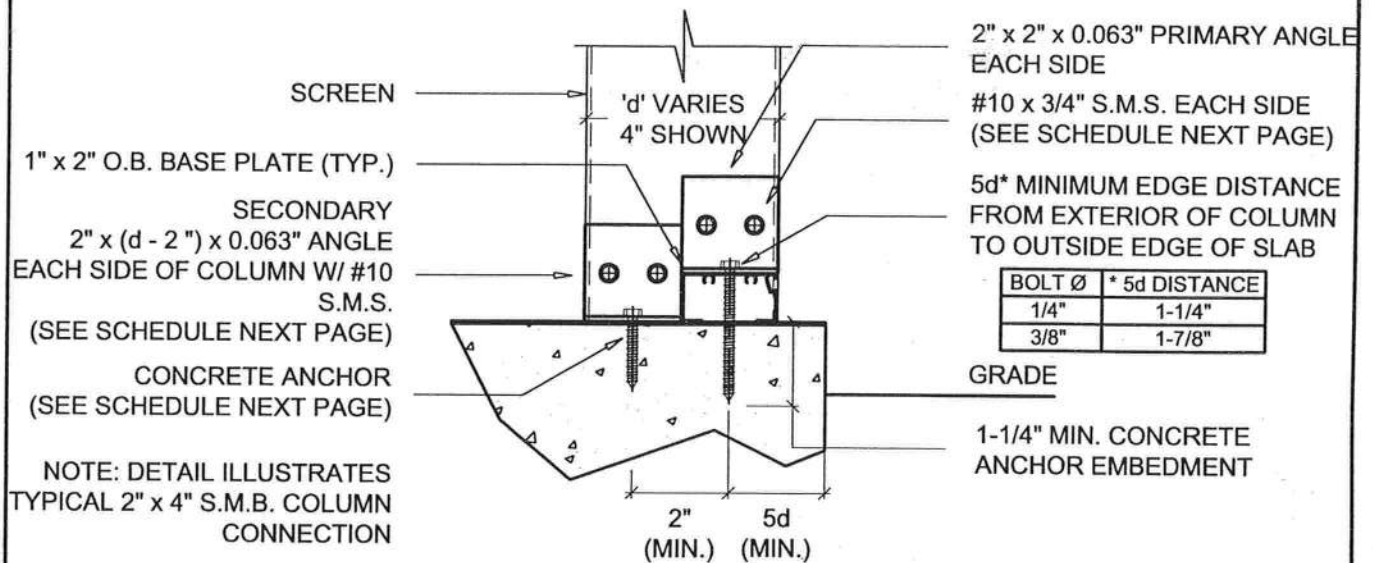
SCALE: 3" = 1'-0"

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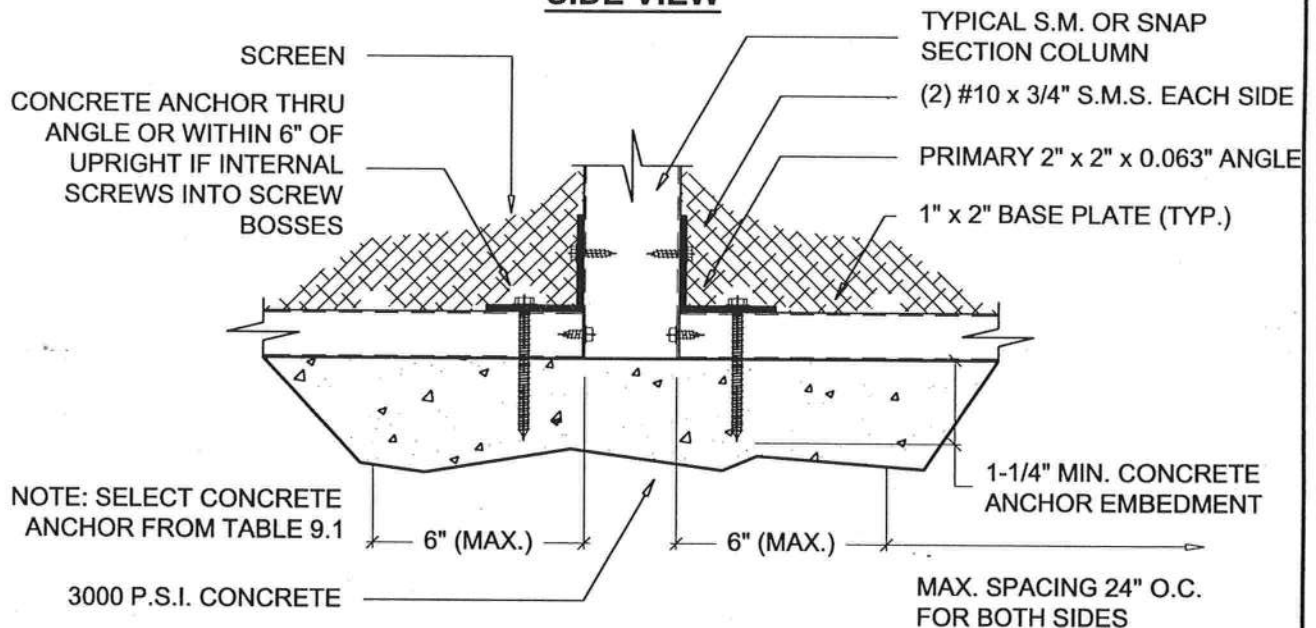


# SCREENED ENCLOSURES

## SECTION 1



### SIDE VIEW

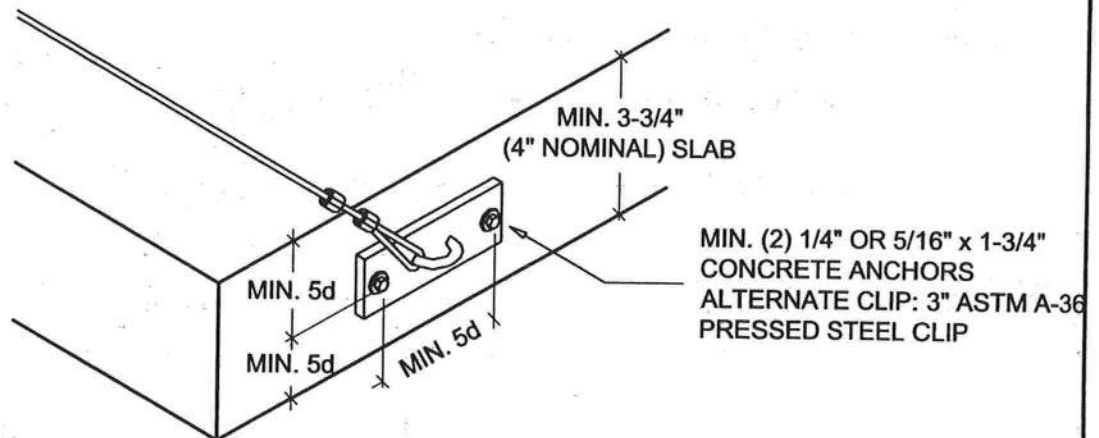


### FRONT VIEW

## 2" x 4" OR LARGER SELF MATING OR SNAP SECTION POST TO DECK DETAILS

SCALE: 3" = 1'-0"

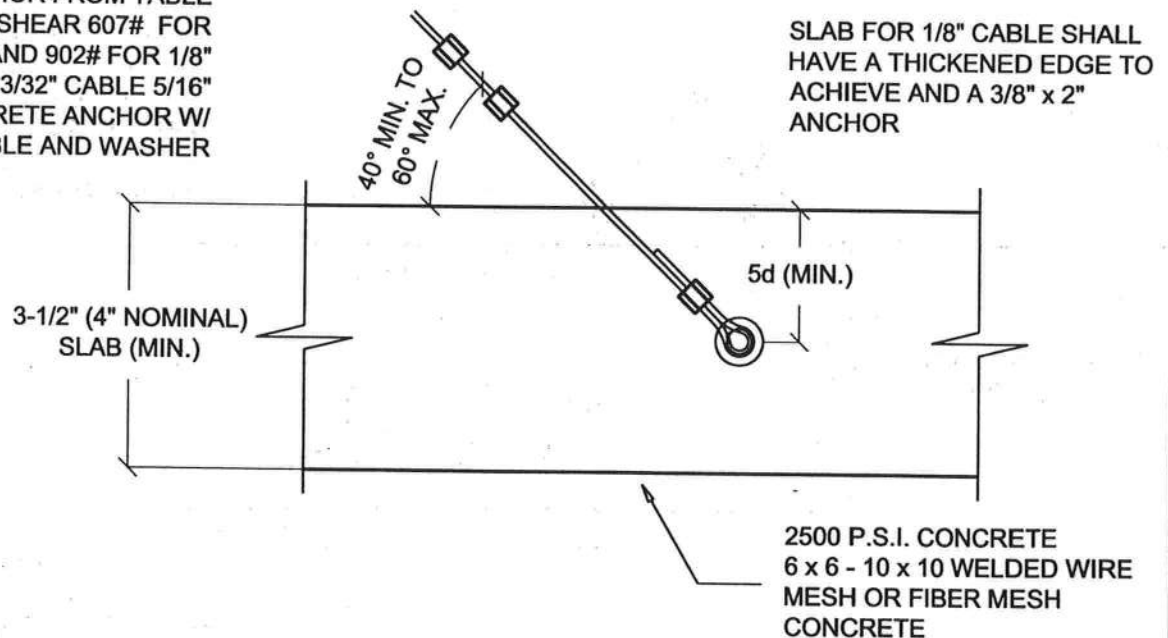
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**TYPICAL CABLE CONNECTION AT SLAB DETAIL - DETAIL 2**

SCALE: 3" = 1'-0"

SELECT ANCHOR FROM TABLE  
9-1A MIN. SHEAR 607# FOR  
3/32" CABLE AND 902# FOR 1/8"  
CABLE, FOR 3/32" CABLE 5/16"  
x 2" CONCRETE ANCHOR W/  
CABLE THIMBLE AND WASHER



**ALTERNATE CABLE CONNECTIONS @ FOUNDATION - DETAIL 2A**

SCALE: 3" = 1'-0"

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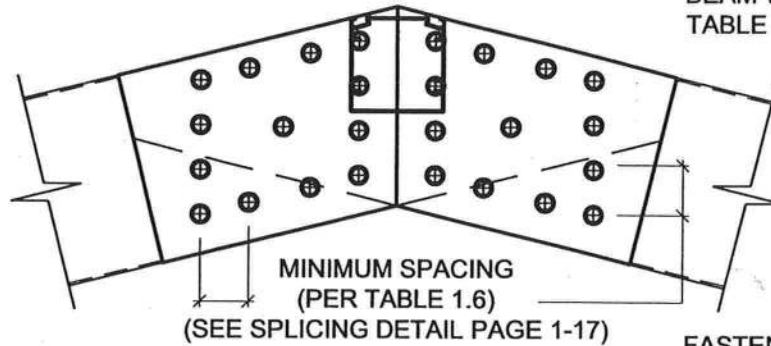


## SECTION 1

## SCREENED ENCLOSURES

2" x 2" PURLINS ATTACHED  
TO BEAM W/ MIN.  
(3) #10 x 1-1/2" S.M.S.

CUT 2" x 4", 2" x 5", OR 2" x 6"  
BEAMS TO SLIDE OVER EACH  
OTHER 2" x 7" & LARGER  
PROVIDE GUSSET PLATE  
(INSIDE OR OUTSIDE BEAM)  
SAME WALL THICKNESS AS  
BEAM WALLS OR LARGER (SEE  
TABLE 1.6)

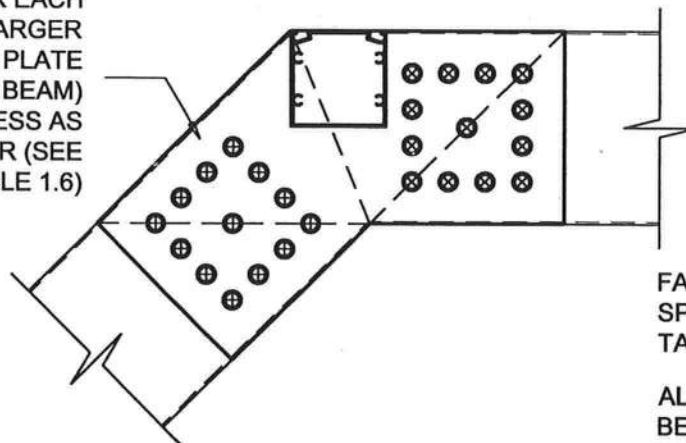


FASTENER SIZE, NUMBER AND  
SPACING PER PAGE 1-17 (SEE  
TABLE 1.6)

### TYPICAL SIDE PLATE CONNECTION DETAIL

SCALE: 3" = 1'-0"

CUT 2" x 4", 2" x 5", OR 2" x 6"  
BEAMS TO SLIDE OVER EACH  
OTHER 2" x 7" & LARGER  
PROVIDE GUSSET PLATE  
(INSIDE OR OUTSIDE BEAM)  
SAME WALL THICKNESS AS  
BEAM WALLS OR LARGER (SEE  
TABLE 1.6)



FASTENER SIZE, NUMBER AND  
SPACING PER PAGE 1-17 (SEE  
TABLE 1.6)

ALL GUSSET PLATES SHALL  
BE A MINIMUM OF 5052 H-32  
ALLOY OR HAVE A MINIMUM  
YIELD STRENGTH OF 23 ksi

### TYPICAL SIDE PLATE CONNECTION DETAIL - MANSARD ROOF

SCALE: 3" = 1'-0"

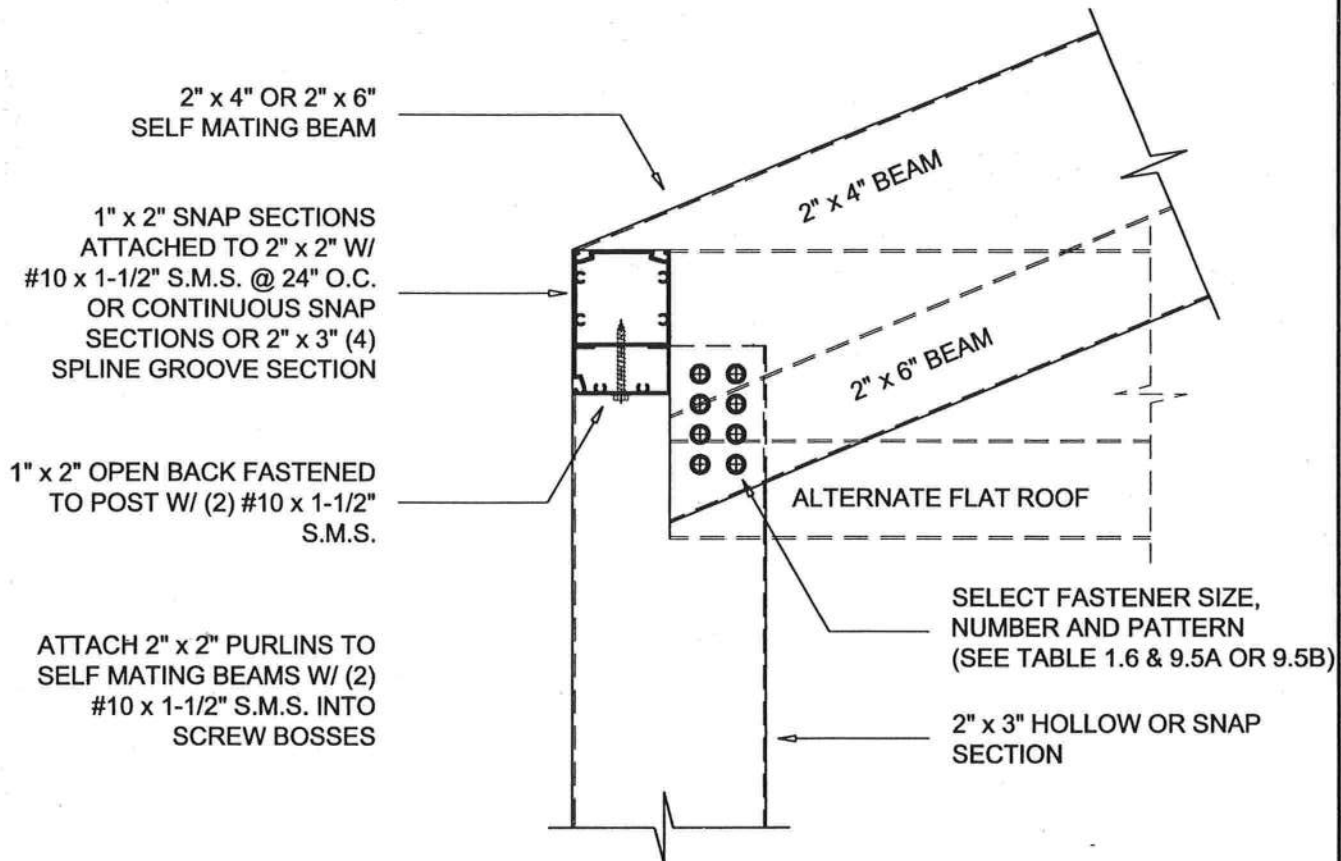
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# SECTION 1

# SCREENED ENCLOSURES

MINIMUM POST SIZES  
REQUIRED FOR EACH BEAM  
SIZE (SEE TABLE 1.6)

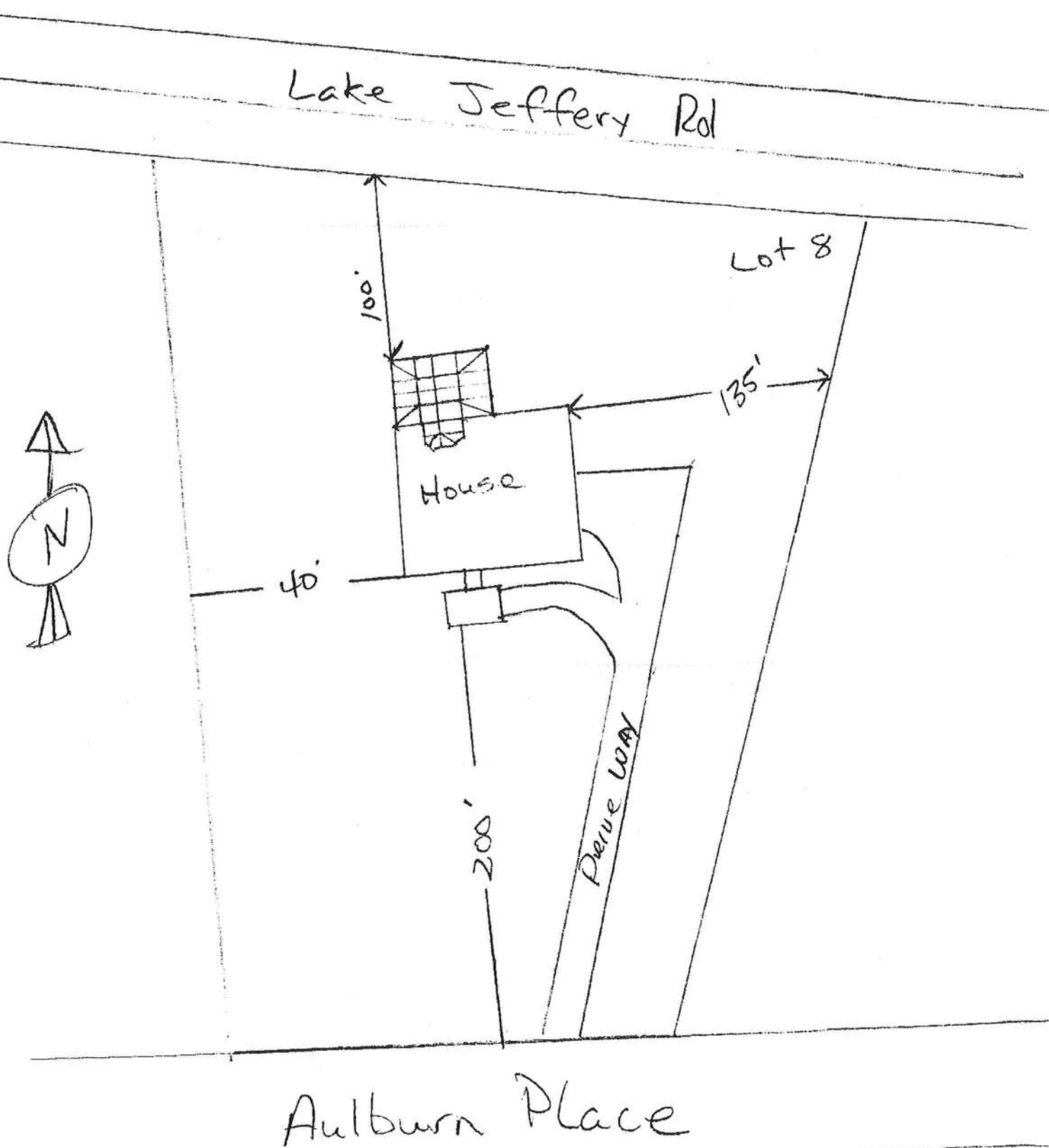


## SLOPING BEAM TO UPRIGHT CONNECTION DETAIL (PARTIAL LAP)

SCALE: 3" = 1'-0"

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FAX (386) 767-6556



Pr ID 23-35-16-02272-009

Lake Jeffery Estates  
Phase 1

... Aulburn Place