



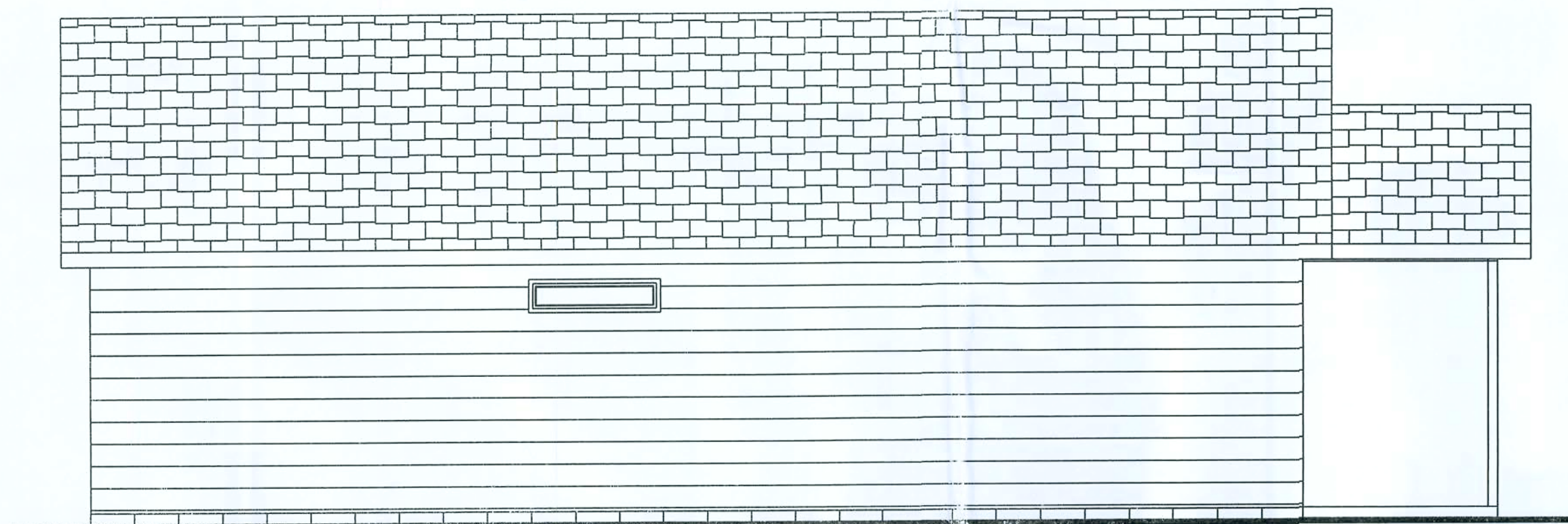
FRONT ELEVATION



All Structural
See
Wind Load
Analysis



BACK ELEVATION

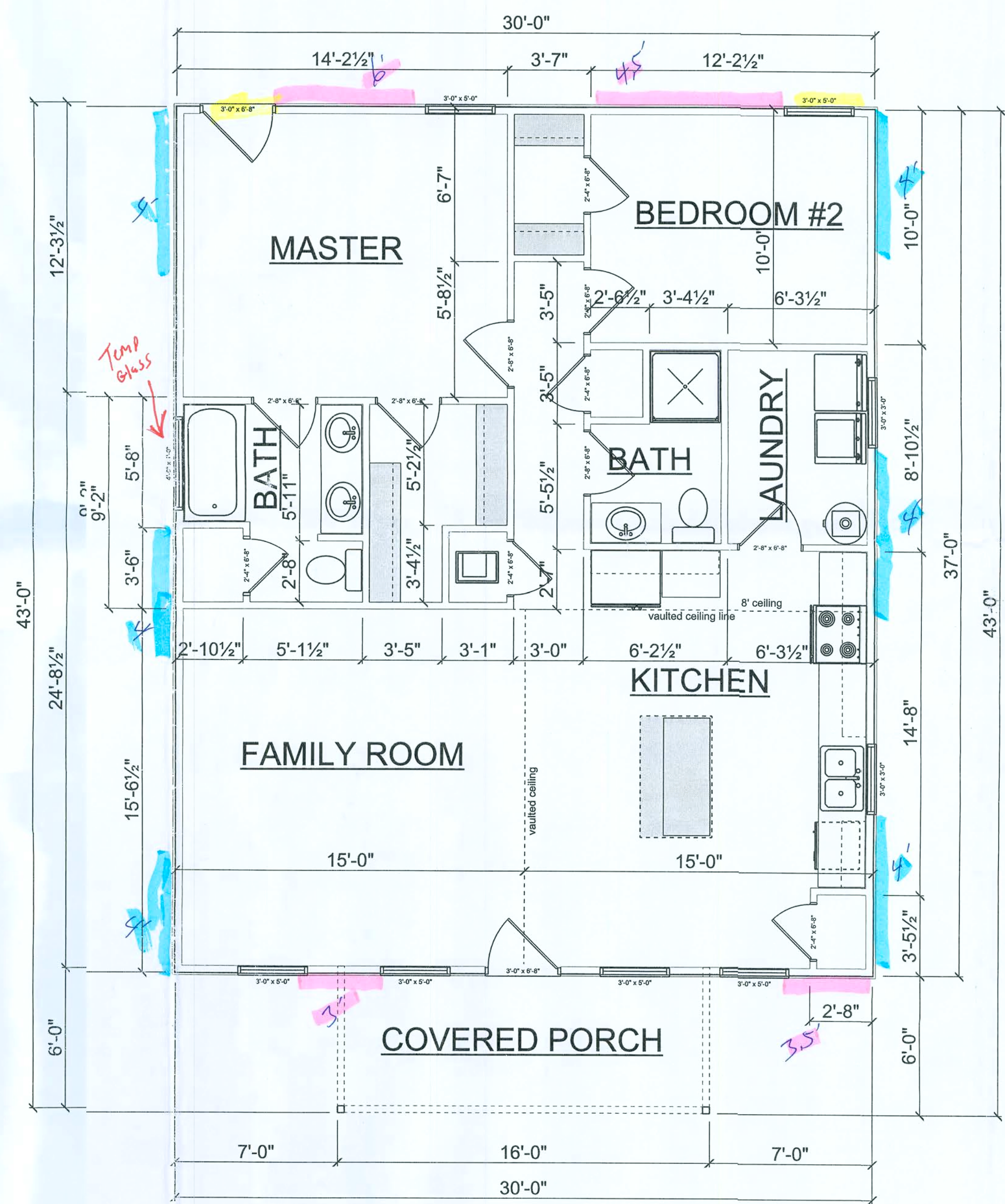


LEFT ELEVATION



RIGHT ELEVATION

It is important that the Client and Contractor examine the drawings and documentation in detail. It shall be the final responsibility of the Contractor to review and double check the plans for accuracy and compliance with regulatory agencies. It is customary and ordinary not to include details well within the knowledge of licensed Contractor. If necessary, further clarification of these plans should be achieved before signing the construction contract and obtaining a building permit, otherwise the Contractor assumes responsibility for the construction in question. Methods of construction shall be determined by the Contractor.



FLOOR PLAN

AREA SCHEDULE	
NAME	AREA
Conditioned Space	1110 sq. ft.
Porch	96 sq. ft.
Total	1206 sq. ft.

DRAWN BY:
JASON ELIXON CONSTRUCTION, LLC
7490 WEST CR. 18
LAKE BUTLER, FL. 32054
(386) 623-1741

ROPER RESIDENCE
COLUMBIA CO.

ELEVATIONS
FLOOR PLAN
1/4" = 1 FOOT

ELECTRICAL PLAN NOTES

WIRE ALL APPLIANCES, HVAC UNIT AND OTHER EQUIPMENT PER MANUFACTURER SPECS

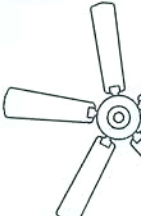
INSTALLATION SHALL BE PER NATIONAL ELECTRIC CODE

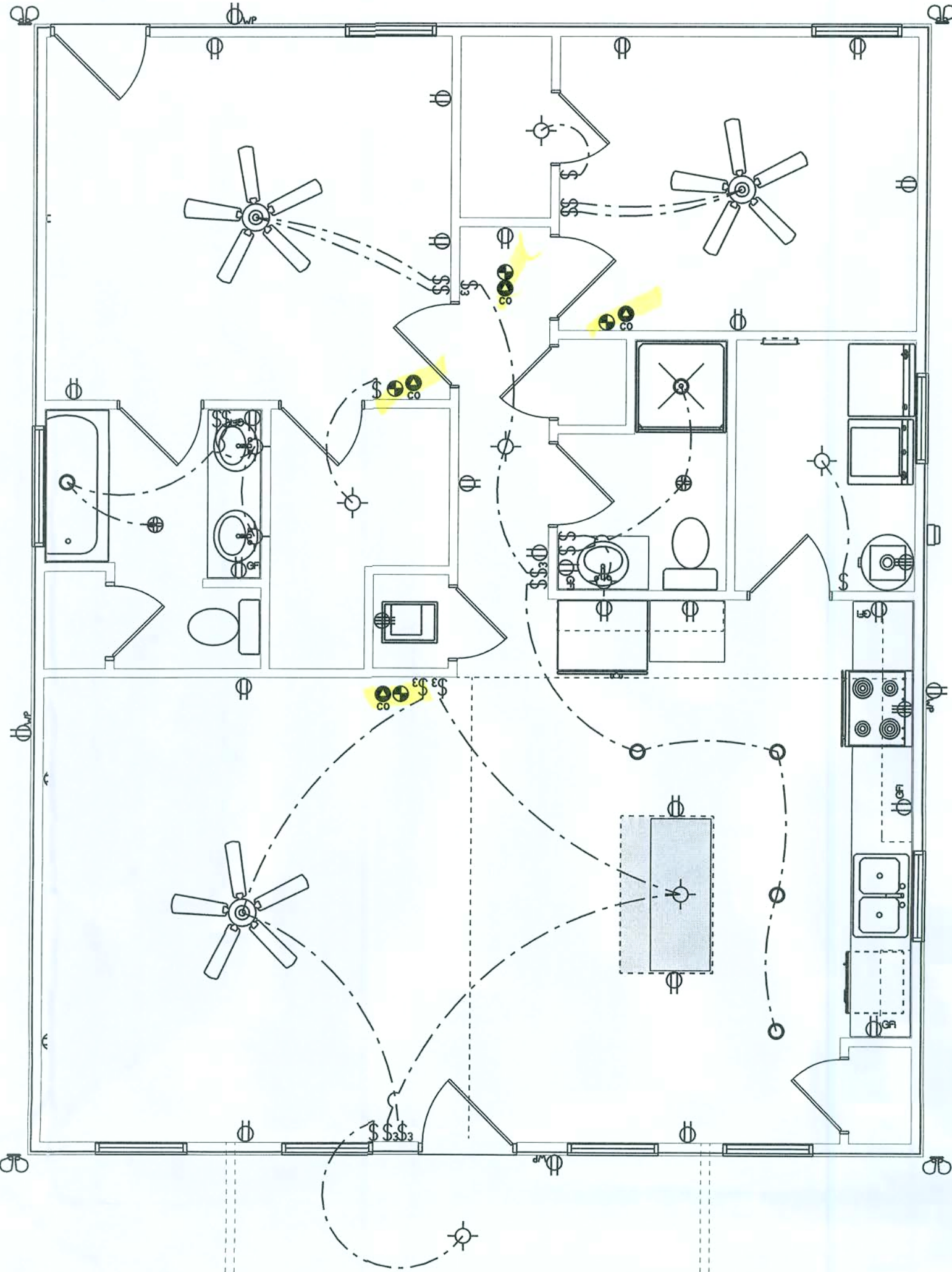
TELEPHONE, T.V. AND OTHER LOW VOLTAGE
DEVICES OR OUTLETS SHALL BE AS PER THE OWNERS
DIRECTIONS AND IN ACCORDANCE WITH APPLICABLE
SECTIONS OF NEC-LATEST EDITIONS

ALL SMOKE DETECTORS SHALL BE 120V WITH BATTERY BACKUP OF THE PHOTOELECTRIC TYPE, AND SHALL BE INTERLOCKED TOGETHER

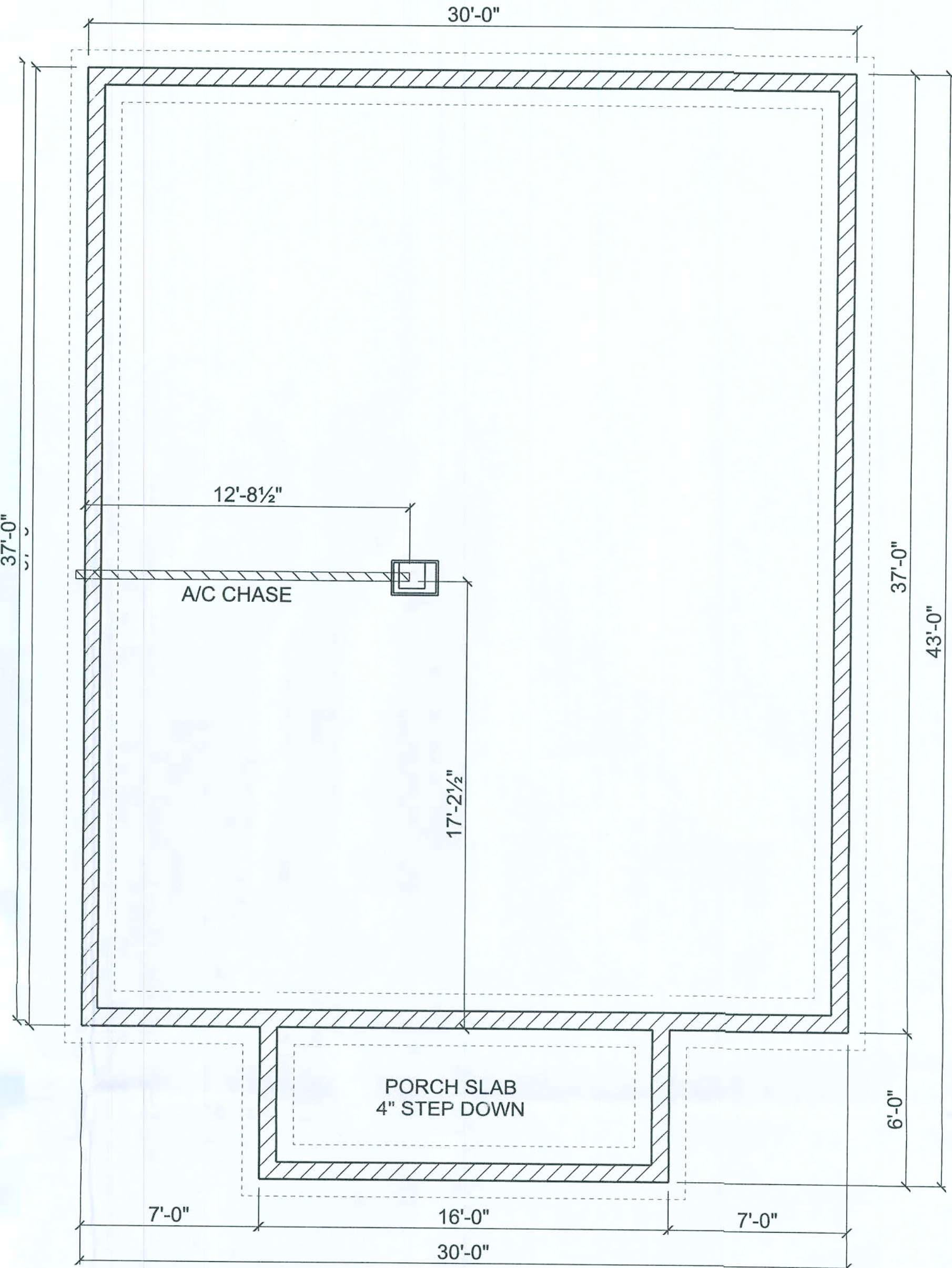
ALL MATERIAL SHALL HAVE A UL LABEL OR LISTING

ALL BEDROOM OUTLETS TO BE ARC-FAULT BREAKERS
OR GFI OUTLETS

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
ceiling fan 5 bladed 03	
pot light	
spotlight double	
electrical meter	
electrical panel	
co detector	
fan	
light	
outlet	
outlet 220v	
outlet gfi	
outlet wp	
smoke detector	
switch	
switch 3 way	



ELECTRICAL



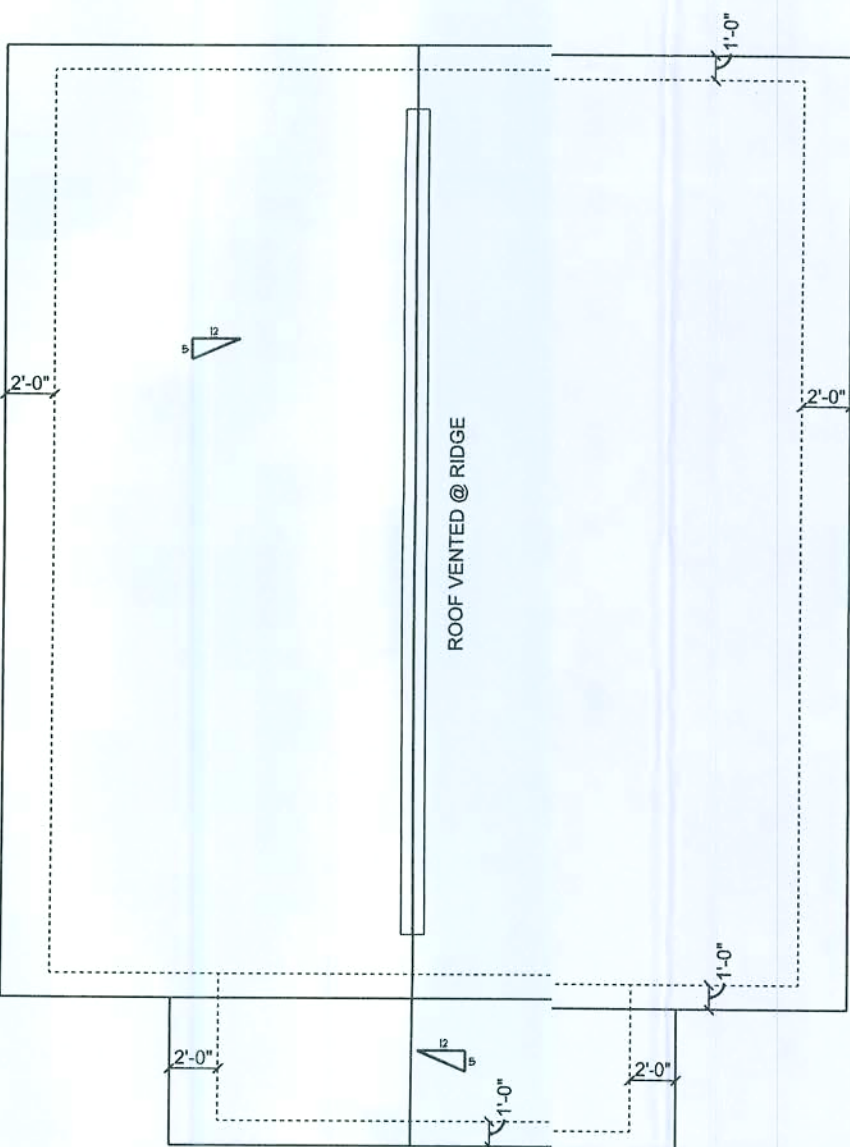
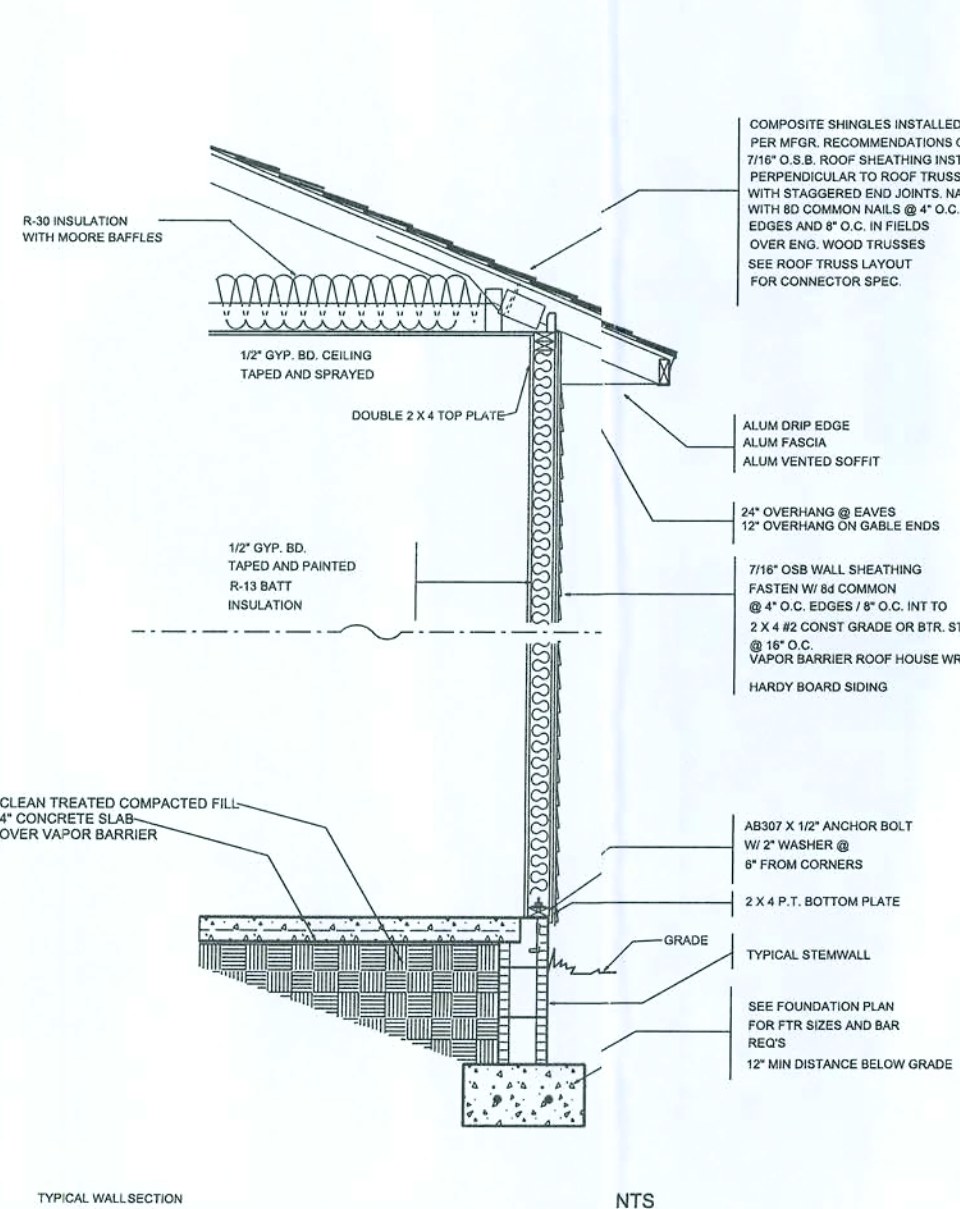
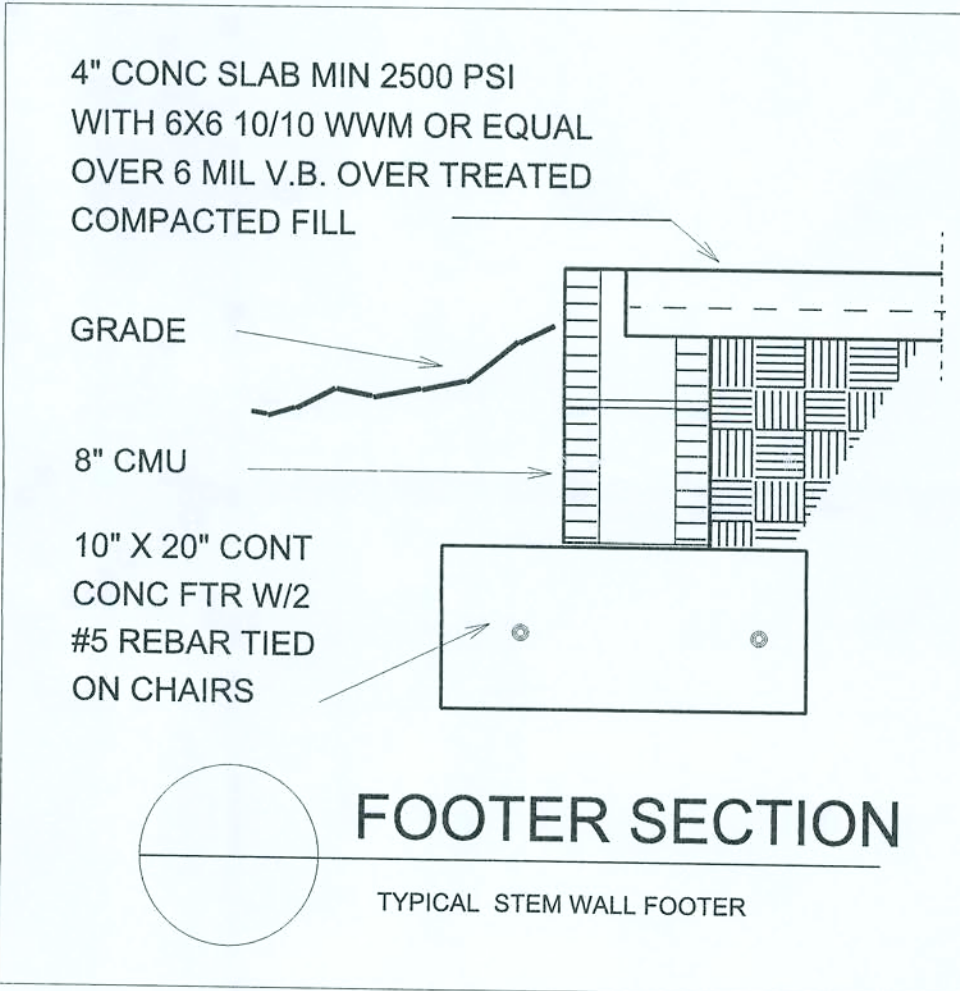
FOUNDATION



1. Footing trenches and the area within the foundation walls shall be free of all deleterious material.
2. All reinforcing rods shall be Grade 40 (40,000 p.s.i.) #5 conforming bars with a 25' min. lap and placed on 6" support chairs @ 8' o.c.
3. All concrete for slabs, pads, and walkways shall be 2500 p.s.i. minimum at 28 days. Concrete for downpour and bond beams shall be 3000 p.s.i.
4. Provide 6 mil gravel mix over gravel.
5. Provide 6 mil vapor barrier under all concrete slabs with joints lapped 6" and taped.
6. Slab reinforcing shall be 6" X 6 #10/10 welded wire fabric (steel) edge lap 6" and tied.
7. All dirt shall be removed, clean sand, free of deleterious material and laid in 12" lifts. Each lift to be wetted and compacted prior to next lift.
8. All fill dirt within the foundation walls shall be termite treated and according to the standards of the National Pest Control Association with a minimum one year warranty.
9. Slope all exterior slabs and garage floor slab for proper drainage.

TYPICAL FOUNDATION WALL
8" CONCRETE BLOCK STEM WALL ON 20"x10"
POURED CONCRETE FOOTING REINFORCED WITH
SHOP BENT ELBOWS ON CORNERS
TO PROVIDE MIN. 25" LAP

TYPICAL FLOOR SLAB
4" CONCRETE FLOOR SLAB REINFORCED WITH
6X6-10/10 WELDED WIRE MESH PLACED OVER
6-MIL POLYETHYLENE VAPOR BARRIER
OVER COMPACTED AND TERMITE-TREATED
CLEAN FILL



ROOF PLAN