	rominently Posted on Pre	mises During Con	struction	000030896
APPLICANT TRAVIS LAMONDA	•	PHONE	386.438.3201	000020070
ADDRESS 144 SW WATERFORD CO	URT. #107 LAF	KE CITY		FL 32025
OWNER WILLIAM BENNETT		PHONE	755-0123	
ADDRESS 115 NE BUTLER CT	LA	KE CITY		FL 32055
CONTRACTOR ERIC EHRLUND		PHONE	352.425.2901	_
LOCATION OF PROPERTY 90E, TR ON 1	00A, TL ON BUTLER, CO	– ORNER OF 100A, A	AND	
BUTLER.				
TYPE DEVELOPMENT STORM REPAIRS	ESTIMAT	TED COST OF COM	NSTRUCTION	0.00
HEATED FLOOR AREA	TOTAL AREA		HEIGHT	STORIES
FOUNDATION WALLS	ROOF I	PITCH 4'12	FLO	OOR
LAND USE & ZONING			HEIGHT	
Minimum Set Back Requirments: STREET-FRO	ONT	REAR		SIDE
NO. EX.D.U. 1 FLOOD ZONE	DEVI	ELOPMENT PERM	IIT NO.	
PARCEL ID 28-3S-17-05772-000	SUBDIVISION (CAROLYN HEIGH	TS	
LOT 5A/6 BLOCK 5 PHASE	UNIT	ТОТА	L ACRES	
	00001105			
- (1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1	ractor's License Number	-	pplicant/Owner/C	Contractor
EXISTING		T		N
Driveway Connection Septic Tank Number	LU & Zoning chec	ked by Appr	oved for Issuance	New Resident
COMMENTS:				
			Check # or Cas	sh NO CHARGE
	man to heart way to see a man and		one or our	M
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PERMIT

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

|--|

Gary Dounson & Associates, Inc.

#30896 ok 70. 4-10-13

April 10, 2013

Restoration Specialists Attn. Travis Lamonda 144 SW Waterford Court #103 Lake City, FL 32025

Re: Bennett Residence, 15 NE Butler Court, Lake City, Florida

Dear Travis.

In accordance with your request, we have performed an inspection at the above referenced residence. The purpose of the inspection was to determine the need for structural repairs to the home as a result of damage caused by a tree hitting the structure.

The residence is a single story wood frame structure with a brick and wood veneer and gable roof, see Photo 1. At the time of the inspection a blue tarp covered the outside wall and roof area that was impacted by the tree. The structural damage noted, consisted of damage to the right gable end of the home which was formerly an open covered carport. This area of the home was being used as a den. The gable wall was destroyed along with roof 6 gable roof trusses, see Photos 2 and 3. Additionally, the slab was cracked from the impact of the tree, see Photo 4.



Photo 1 - Bennett Residence



Photo 2 - Broken Roof Trusses



Photo 3 - Interior view of damaged gable end wall.



Photo 4 - Cracked Slab in Enclosed Den

In order to restore the residence to its pre-damaged condition, we recommend the following repairs be made.

- Removed damaged roof sheathing and roof trusses from the structure.
- Remove the exterior gable end frame wall and front wall enclosing the den area. Frame walls around utility/wash room to remain.
- Breakout and remove the old carport slab.
- Install a new monolithic slab to be flush with existing residence slab, see attached drawing sketch for additional details.
- Construct new frame walls with 2x4 framing at 16" on center with one
 6' sliding glass door centered in the wall
- 6. Sheath walls with ½" OSB or 15/32" Exposure I plywood and nail with 8d nails at 6" on center edges and 12" on center field. Use full length 4' x 8' sheets placed vertically. Sheathing must nail to double top plate. Install felt or building wrap over sheathing prior to installing finish siding material. As an option to the sheathing T1-11 siding19/32" thickness may be used over felt or building wrap provided nailing is in full panel thickness and not the ship lap using 10d nails at 6" on center panel edges and 12" on center field.
- Install 6 new pre-engineered pre-fabricated metal plate connected wood trusses.
- 8 Anchor trusses to supporting walls with Simpson H10 anchors
- Install new 15/32" CDX plywood roof sheathing and nail with 8d nails at 6" on center edges (4" on gable end truss) and 12" field. Block first two framing rows.
- Install Simpson LTT20B Tension Tie on top of sill plate at each end of wali corner framing (triple stud) and at each end of window header (double studs). Anchor LTT20B to foundation using Simpson "RFB#5x10 retrofit bolts embedded 7" into slab and secured with Simpson "ET" epoxy-tie anchoring adhesive. Pre-installed 5/8"x10" J-Bolts may be used in lieu of retrofit bolts.
- Install LTP5 at 24" on center on gable truss bottom chord to top and double plate of wall
- Provide LSTA18 on each side of door and window headers anchoring header to header support studs.

- All connectors are Simpson. All concrete 3000 psi at 28 days. All framing lumber shall be No. 2 Southern Yellow Pine.
- Replace all finishes, insulation and water proofing as required to match existing conditions and restore the damaged area to its original condition.
- Field verify all dimensions on attached sketches.

If additional structural damage is found during the repair process that was not covered in this report, please notify our office so that we may further evaluate the need for additional repairs. If you have any questions please do not hesitate to contact our office.

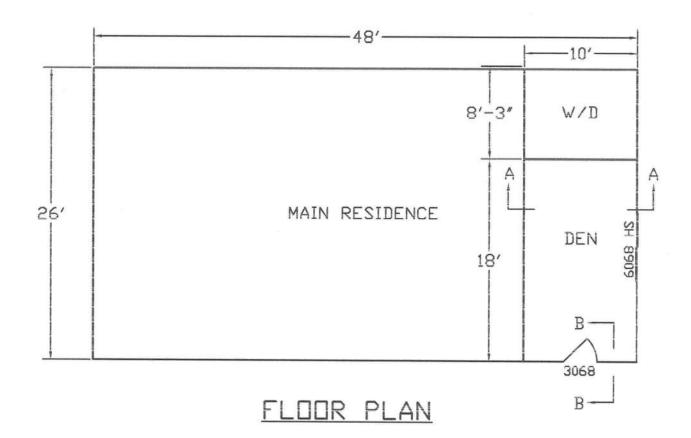
Sincerely,

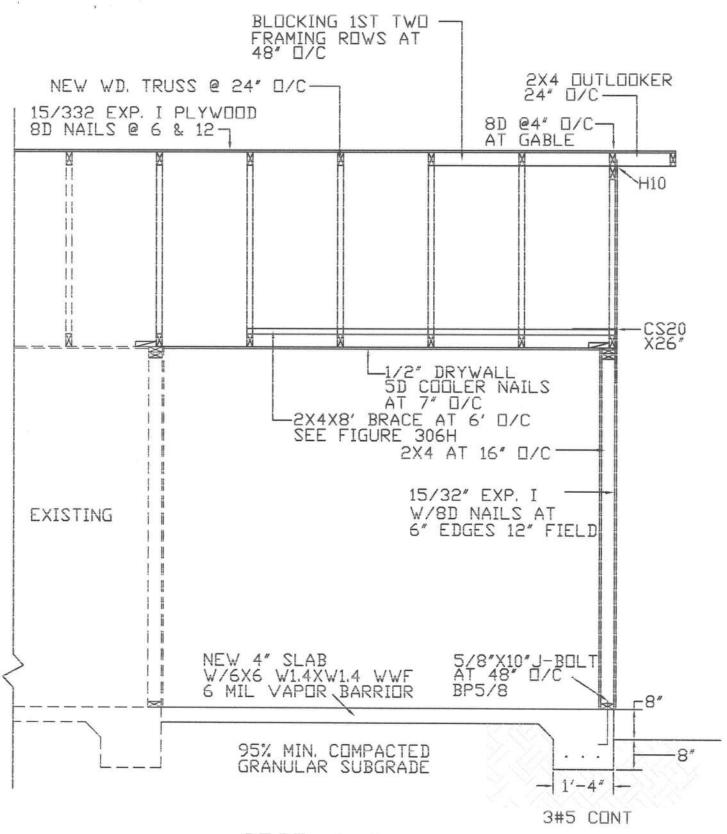
Gary Dounson, P.E. President

Attachments: Repair Sketch & Repair Sketch Notes

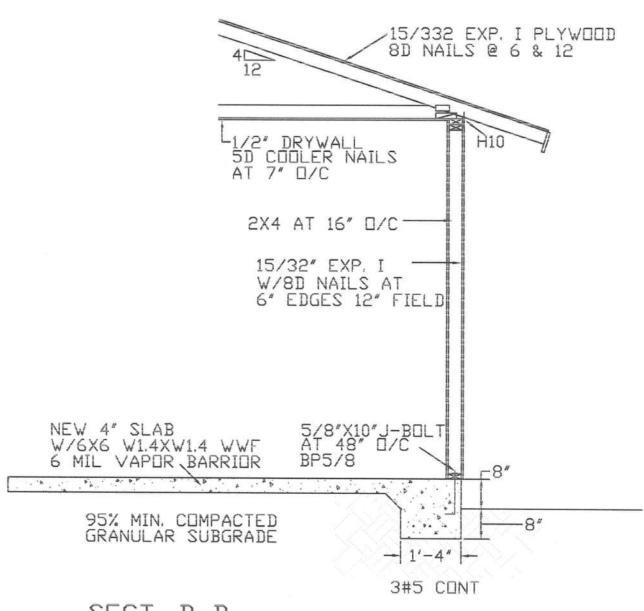
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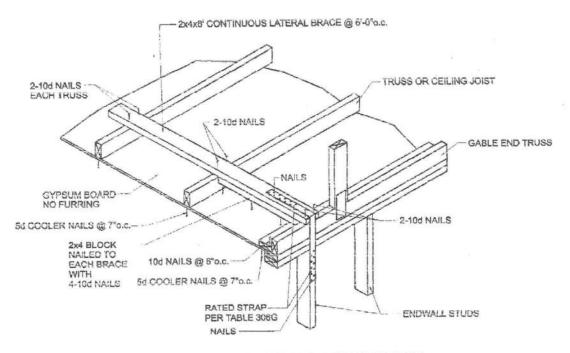




SECT. A-A



SECT. B-B



1. SIZE AND NUMBER OF NAILS IN STRAP AS REQUIRED FOR LOAD GIVEN IN TABLE 305G.

FIGURE 306H CEILING CONNECTION TO GABLE ENDWALL FOR GYPSUM BOARD DIAPHRAGMS

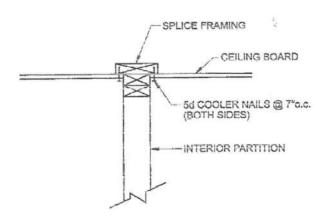


FIGURE 306I GYPSUM BOARD DIAPHRAGM SPLICE OVER PARTITION

Columbia County Building Permit Application
For Office Use Only Application # 1304-08 Date Received 4/3 By Permit # 30896
Zoning Official Date Flood Zone Land Use Zoning
FEMA Map # Elevation MFE River Plans Examiner 1.C Date 4-3-/3
Comments
NOC DEH Deed or PA Deed or PA State Road Info Well letter 911 Sheet Parent Parcel #
□ Dev Permit # □ In Floodway □ Letter of Auth. from Contractor □ F W comp. letter
IMPACT FEES: EMS Fire Corr
Road/Codeschool= TOTAL (Suspended) □ Ellisville Water □ App Fee Paid
Septic Permit No Fax755- a7ab
Name Authorized Person Signing Permit Tray is Lamonda Phone 438-3201
Address 144 SW waterford ct #107, Lake City, FL 32025
Owners Name William H. Bennett Phone 755-0123
911 Address 115 NE Butler Ct, Lake C:ty, FL 32055
Contractors Name Eric Ehrlund - Restoration Specialists Phone (352) 425. 2901
Address 244 NW 9th St., Ocala, FL 34475
Fee Simple Owner Name & Address
Bonding Co. Name & Address NA
Architect/Engineer Name & Address Gary Dounson - 2830 NW 415T St, Unit D, Goinsville, FL 326 Mortgage Lenders Name & Address
Circle the correct power company FL Power & Light - Clay Elec Suwannee Valley Elec Progress Energy
Property ID Number 28 - 35 - 17 - 05772 - 000 Estimated Cost of Construction \$ 25,000,00
Subdivision Name Cacolyn Heights Lot 5At Block 5 Unit Phase
Driving Directions 90 East, Left on 100, Right on Butler - 115 at corner
of 100 & Butler
Number of Existing Dwellings on Property
Construction of Repair of home from tree Total Acreage _ L Lot Size
Do you need a - <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u> Total Building Height
Actual Distance of Structure from Property Lines - Front 1.00 Side 1.00 Side 1.00 Rear 1.00
Number of Stories Heated Floor Area 1248 Total Floor Area 1312 Roof Pitch 4 12
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code. Page 1 of 2 (Both Pages must be submitted together.) Revised 3-15-12

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

<u>TIME LIMITATIONS OF PERMITS:</u> Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

<u>WARNING TO OWNER:</u> YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

<u>NOTICE TO OWNER:</u> There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.) WNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT. CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations. Contractor's License Number CG Contractor's Signature (Permitee) Columbia County Competency Card Number 40 Affirmed under penalty of perjury to by the Contractor and subscribed before me this AND day of APRIL or Produced Identification FLORIDA DRIVER LICENSE NOTARY PUBLIC-STATE OF FLORIDA Gregory D. Roberts Commission # DD99707. State of Florida Notary Signature (For the Contractor) Expires: JUNE 20, 201-

BONDED THRU ATLANTIC BONDING CO., INC.

Columbia County Property Appraiser CAMA updated: 3/15/2013

Parcel: 28-3S-17-05772-000

<< Next Lower Parcel Next Higher Parcel >>

Owner & Property Info

Owner's Name	BENNETT WI	LLIAM H & THELMA E	
Mailing Address	115 NE BUTL LAKE CITY, F	ER CT L 32055-1449	
Site Address	115 NE BUTL	ER CT	
Use Desc. (code)	SINGLE FAM	(000100)	
Tax District	2 (County)	Neighborhood	28317
Land Area	0.000 ACRES	Market Area	06
Description		escription is not to be used this parcel in any legal tra	

2012 Tax Year

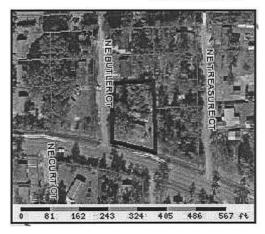
Tax Collector Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Search Result: 1 of 1



Property & Assessment Values

2012 Certified Values		
Mkt Land Value	cnt: (0)	\$11,022.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$37,408.00
XFOB Value	cnt: (2)	\$400.00
Total Appraised Value		\$48,830.00
Just Value		\$48,830.00
Class Value		\$0.00
Assessed Value		\$45,676.00
Exempt Value	(code: HX H3)	\$25,000.00
Total Taxable Value	Other: 9	Cnty: \$20,676 \$20,676 Schl: \$20,676

2013 Working Values

NOTE:

2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
			NONE			

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1965	COMMON BRK (19)	1248	1312	\$37,408.00
	Note: All S.F. calculation	ons are bas	sed on <u>exterior</u> build	ding dimension	S.	

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$100.00	0000001.000	0 x 0 x 0	(000.00)
0120	CLFENCE 4	1993	\$300.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

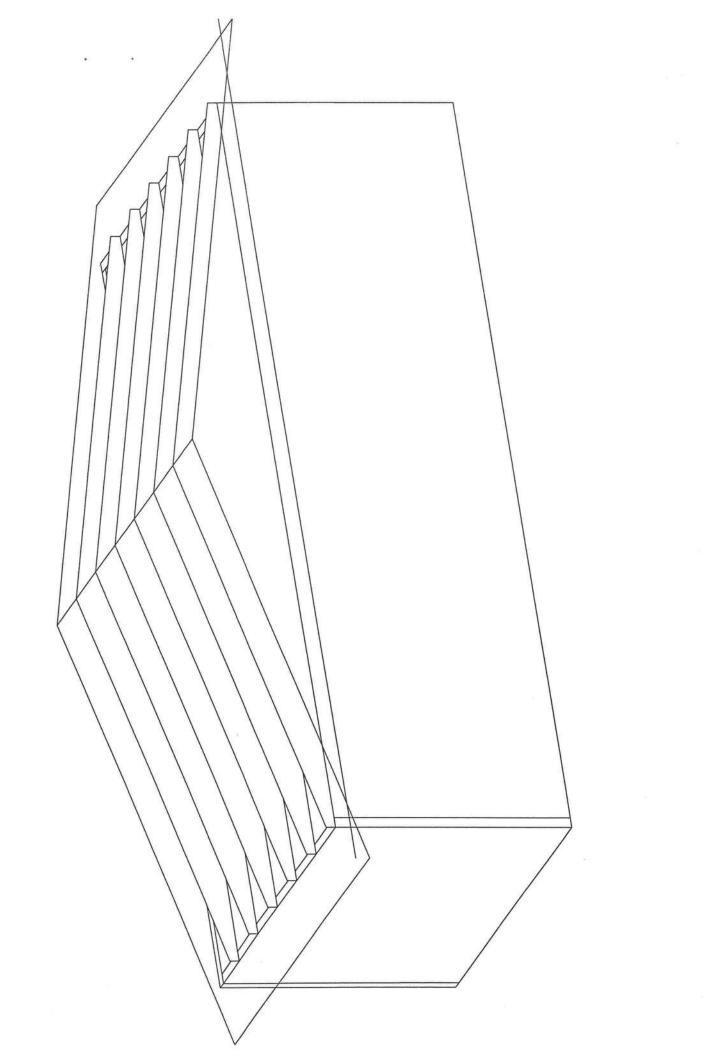
Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1 LT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$7,348.32	\$7,348.00

000000	VAC RES (MKT)	1 LT - (0000000.000AC)	1.00/1.00/1.00/0.50	\$3,674.00	\$3,674.00
000000	VAC KES (MKT)	1 L1 - (0000000.000AC)	1.00/1.00/1.00/0.30	\$5,074.00	\$5,074.00
lumbia Count	ty Property Appraiser	ii		CAMA upd	ated: 3/1

1 of 1

DISCLAIMER

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844 Florida Engineering Certificate of Authorization Number: 0 278 Florida Certificate of Product Approval # FL1999 Document ID:1UV2487-Z0102112124 Page 1 of 1

Truss Fabricator: Anderson Truss Company

Job Identification: 13-125--OWNER BUILDER Bennet Roof Repair -- Hwy 100A Lake Caty,

Model Code: Florida Building Code 2010

Truss Criteria: FBC2010Res/TPI-2007(STD)

Engineering Software: Alpine Software, Version 10.03.

Structural Engineer of Record: The identity of the structural EOR did not exist as of

Address: the seal date per section 61G15-31.003(5a) of the FAC

Minimum Design Loads: Roof - 37.0 PSF @ 1.25 Duration

Floor - N/A

Wind - 120 MPH ASCE 7-10 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1

Douglas Fleming -Truss Design Engineer-

2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.

1950 Marley Drive Haines City, FL 33844

3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Details: 12015EC1-GBLLETIN-GABRST10-

#	Ref	Description	Drawing#	Date
1	96461A	25'6" Common	13092010	04/02/13
2	96462A	DG 25'6" Gable	13092011	04/02/13



THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP_#1_12A Bot chord 2x4 SP_#1_12A Webs 2x4 SP_#3_12A :Stack Chord SC1 2x4 SP_#1_12A::Stack Chord SC2 2x4 SP_#1_12A:

Lumber grades designated with "12A" use design values approved $1/5/2012\ \mbox{by ALSC.}$

See DWGS A12015ENC100212, GBLLETIN0212, & GABRST100212 for more

In lieu of structural panels use purlins to brace TC @ 24" OC

Bottom chord checked for 10.00 psf non-concurrent

live load

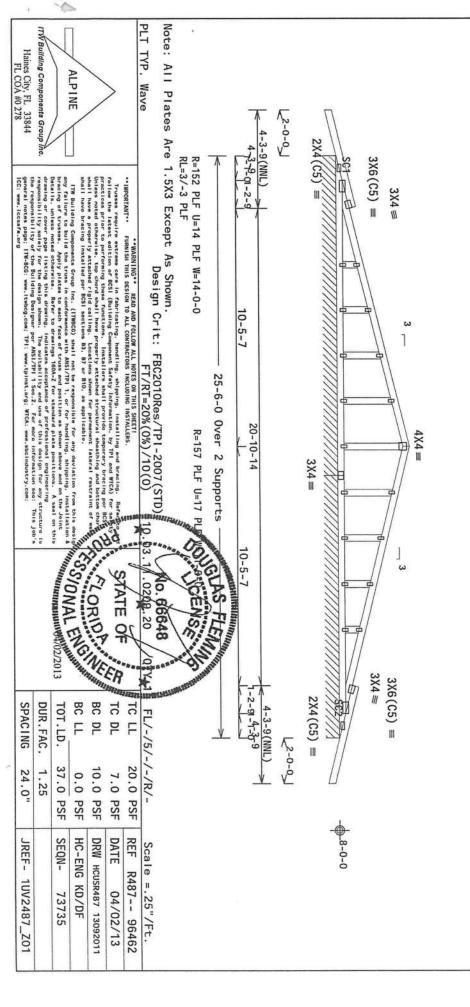
Deflection meets $L/240\,$ live and $L/180\,$ total load. Creep increase factor for dead load is 1.50.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi(+/-)=0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

Gable end supports 8" max rake overhang

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length using 3x6. perpendicular to chord length. Splice top chord in notchable area Stacked top chord must NOT be notched or cut in area (NNL). top chord braced at 24° o.c. intervals. Attach stacked top c



ASCE 7-10: 120 mph Wind Speed, 15' Mean Height, Enclosed, Exposure C, Kzt Gable Stud Reinforcement Detail 11 1.00

Date of the contract of the co		
sure D, Kzt = 1.00	Dr: 100 mph Wind Speed, 15' Mean Height, Enclosed, Exposure D, Kzt = 1.00	Dr: 100

6: 111' 7' 4' 9' 3' 9' 10' 11' 5' 11' 10' 14' 0' 6' 0' 6' 0' 6' 4' 8' 9' 7' 10' 11' 11' 6' 13' 2' 13' 9' 14' 0' 9' 9' 9' 10' 11' 11' 6' 13' 2' 13' 9' 14' 0' 14' 0' 9' 9' 9' 10' 11' 11' 11' 4' 13' 0' 13' 7' 14' 0' 9' 9' 9' 9' 10' 11' 11' 11' 4' 13' 0' 13' 0' 13' 7' 14' 0' 9' 9' 9' 9' 10' 11' 11' 11' 4' 13' 0' 13' 0' 13' 7' 14' 0' 9' 9' 9' 9' 10' 11' 11' 11' 4' 13' 0' 13' 0' 13' 7' 14' 0' 9' 9' 9' 9' 10' 11' 11' 11' 4' 13' 0' 13' 0' 13' 7' 14' 0' 10' 11' 0' 14' 0' 11'	Spacing Species Grade SPF #1 / #2 SPF #3 Stud Stud SPF #3 SP #3
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14' 0' 14	14' 0' 0' 14' 0' 0' 14' 0' 0' 0' 0' 0' 0' 0' 0' 0' 0' 0' 0' 0'

For (1) 'L' brace: space nails at 2' oc. in 18' end zones and 4' oc. between zones. in 18' end zones and 6' oc. between zones. in 18' end zones and 6' oc. between zones. *For Ix4 So. Pine use only Industrial 55 or Industrial 45 Stress-Rated Boards. Group values may be used with these grades. tach 'L' braces with 10d (0.128'x3.0' min) nails the ALSC January, 2012 rulin nd Load deflection criterion is L/240. 4 Braces shall be SRB (Stress-Rated Board) Douglas Fir-Larch #1 / #2 Standard #3 Stud bracing must be a minimum of 80% of web mber length. with 2' 0' overhang, or 12' plywood overhang. ovide uplift connections for 35 plf over continuous bearing (5 psf TC Dead Load). Douglas Fir-Larch #3 Stud Standard Gable Truss Detail Notes: roup Species and Grades: Group B: Group A: #1 & Btr Southern Pinexxx Southern Pine*** # # Standard Standard Stud

t Syc	Greater than 4' 0', but
IX4 or 2X3	Less than 4' 0'
No Splice	Vertical Length

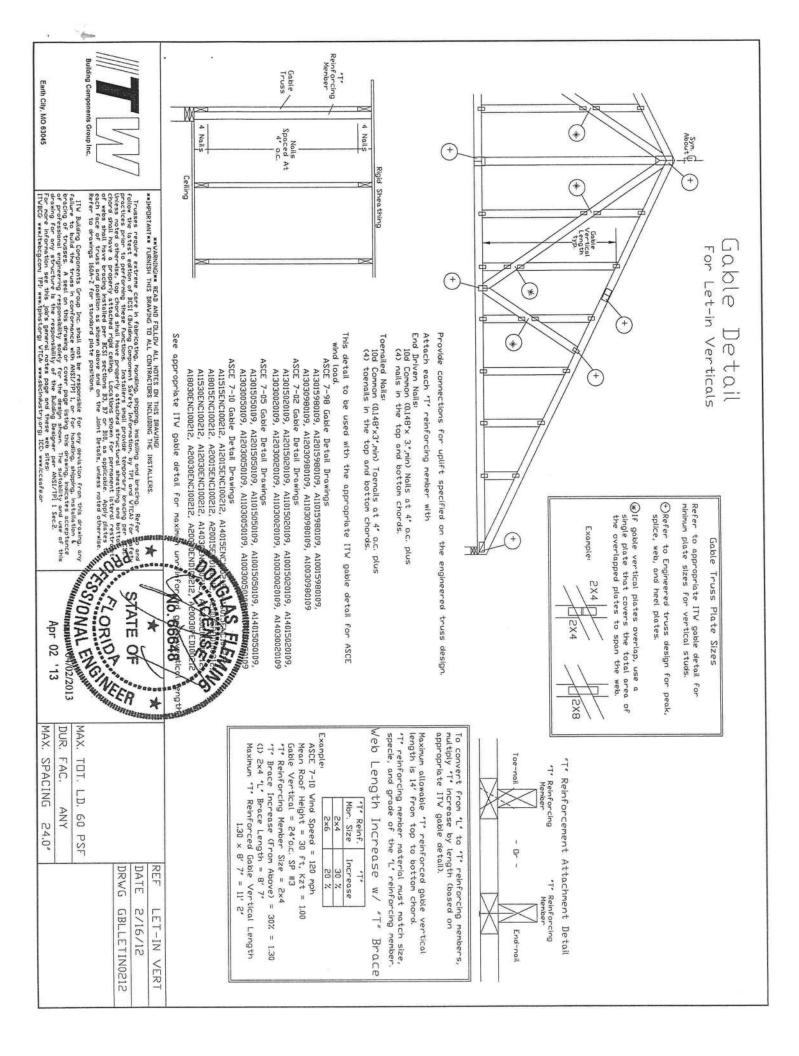
fer to the Building Designer for conditions it addressed by this detail.

+ Refer to common truss design for peak, splice, and heel plates.

60 PSF			
PSF			
	DRWG	DATE	REF
	A12015ENC100212	2/14/12	ASCE7-10-GAB12015

For more information see this job's general notes page and these web sites: ITVBCG www.itwbcg.com, IPI: www.tpinstong, VTCA www.sbcindustry.org, ICC, www.iccsafe.org

24.0"



Common Residential ASCE 7-10: Gable End 120 mph, 30 Vind Mean Height, Bracing Requirements Closed, Exposure Stiffeners

100 Kzt = 100 0 mph, 30ft. Mean 1 0 mph, 30ft. Mean 1 0 mph, 30ft. Mean 1 2t = 1.00, Wind TC I n Hgt, ASCE 7-10, E n Hgt, ASCE 7-10, E n Hgt, ASCE 7-10, P DL=5.0 psf, Wind Enclosed, Exp C, or Enclosed, Exp D, or Part, Enclosed, Exp DL=5.0 psf. Exp 'nΰ Ú

> I I

Top Bot Lateral chord bracing requirements
Top: Continuous roof sheathing Continuous ceiling diaphragm

See Engineer's sealed design referencing for lumber, plates, and other information this detail. not this detail shown

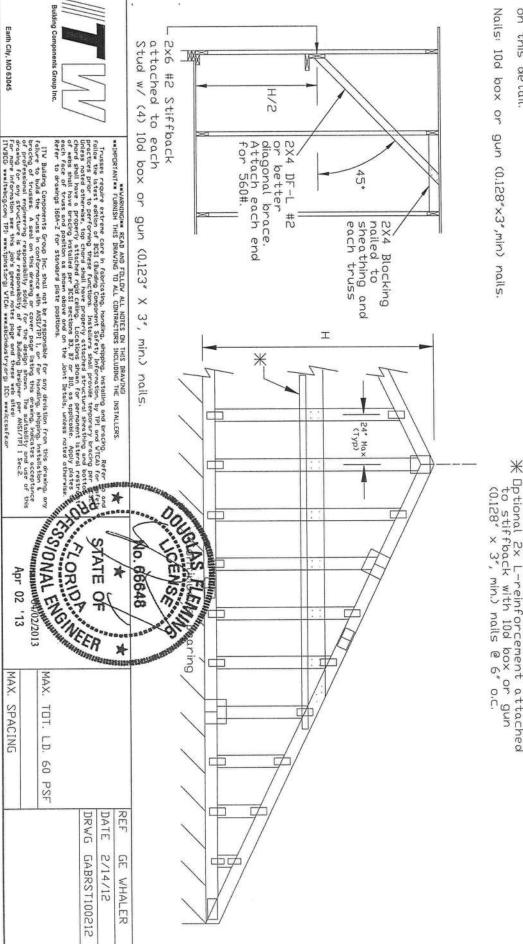
Less than 4'6" - no stud bracing required

Greater than 4'6" to 7'6" in length provide a 2x6 stiffback at mid-height and brace stiffback refer to DRWG A12030ENC10). to roof diaphragm every 6'0" (see detail below or

Greater than 7'6" to 12'0" max provide a 2x6 stiffback at mid-height and brace to roof diaphragm every 4'0'' (see detail below or refer to DRWG A12030ENC10). (see detail below or

I

Optional 2x L-reinforcement attached to stiffback with 10d box or gun (0.128" x 3", min.) nails @ 6" o.c.



12 ' Bennet Roof Replacement Total Plan Area with OHs = Total Truss Quantity 413 sq.ft 11 0) ADDRESS: Hwy 100A

JOB DESCRIPTION:: OWNER BUILDER

/: Bennet Roof Repair

JOB #: 13-125

DESIGNER: Curt V Burlingame

SALESMAN: Curt V Burlingame : <Not Found> JOB NO: 13-125

. __

PAGE NO:

SUBCONTRACTOR VERIFICATION FORM

386-438-3201

APPLICATION NUMBER

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will esult in stop work orders and/or fines.

License	3003396			#: 352 472 5511	
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		AND THE RESERVE OF THE PERSON			
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F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each Contractor Forms: Subcontractor form: 6/09 time the employer applies for a building permit.

- UPLATES WC + LIABILLY

	1	SUBCONTRACTOR VER	IFICATION I	ORM	Travie
APPLICATION NUMBER_	30896	CONTRACTOR_	Eric	Eholund	PHONE 34-438-320
	THIS FORM M	UST BE SUBMITTED PRIC	R TO THE IS	SUANCE OF A PERMIT	7

In Columbia County one permit will cover all trades doing work at the permitted site. It is <u>REQUIRED</u> that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

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ELECTRICAL	Print Name	Signature_	
	License #:	andre - Merce	Phone #:
MECHANICAL/	Print Name	Signature	244.9
A/C	License #:		Phone #:
PLUMBING/	Print Name	Signature	
GAS	License #:		Phone #:
ROOFING OF Brint Name Edwin Re	Brint Name Edwin Ray Wernicke	Signature	Elia Par lela
	License #: CCC 13272124		Phone #: 352-585-7269
SHEET METAL	Print Name	Signature	A STATE OF THE REPORT OF THE STATE OF THE ST
	License #:		Phone #:
FIRE SYSTEM/	Print Name	Signature	
SPRINKLER	License#:		Phone #:
SOLAR	Print Name	Signature	The second secon
	License #:		Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO		The same of the sa	
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			Paramatan da kanada kanada
ALUM/VINYL SIDING	Tale San -		
GARAGE DOOR			and the same of th
METAL BLDG ERECTOR		The second of the supplemental and the second	the state of the same of the s

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Forms; Subcontractor forms;

Inst. Number: 201312005049 Book: 1252 Page: 916 Date: 4/4/2013 Time: 10:33:59 AM Page 1 of 1 P.DeWitt Cason Clerk of Courts, Columbia County, Florida

NOTICE OF COMMENCEMENT	Clerk's Office Stamp
Tax Parcel Identification Number:	DC.P.DeWitt Cason,Columbia County Page 1 of 1 B:1252 P:916
THE UNDERSIGNED hereby gives notice that improvement: Florida Statutes, the following information is provided in the	s will be made to certain real property, and in accordance with Section 713.13 of the his NOTICE OF COMMENCEMENT.
1. Description of property (legal description):	SAELO BLOCK 5 COROLYN HEIGHTS SID
a) Street (job) Address: 115 NF Bother 2. General description of improvements: Bepair	one from tree domage
a) Name and address: Beans b) Name and address of fee simple titleholder (i	ett, 115 NE Butler Ct, Lake City, FL fother than owner) Same as owner
4. Contractor Information a) Name and address: Ecsa Ebridged b) Telephone No.: 352-425-290	- 144 SW Waterford Ct #107, Lake City, FL Fax No. (Opt.) 386-755- 2627
5. Surety Information a) Name and address:	مزاه
b) Amount of Bond:	NIA Fax No. (Opt.)
c) Telephone No.:	Fax No. (Opt.)
a) Name and address:	
7. Identity of person within the State of Florida designated	by owner upon whom notices or other documents may be served: Soccial: Sts 244 NU 9th St., Ocala, FL 34475
713.13(I)(b). Florida Statutes:	Special:Sts 244 NW 9th St., ocala, FL 34475
Expiration date of Notice of Commencement (the expirate is specified):	ation date is one year from the date of recording unless a different date
IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SEC IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COM	WNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED TION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST NSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING
STATE OF FLORIDA COUNTY OF COLUMBIA	o. Will A Comment of Owner's Authorized Office/Director/Partner/Manager
	Printed Name
The foregoing instrument was acknowledged before me , a Fk	orida Notary, this day of day of 20_13, by:
William H. BENNETT as	OWN IER (type of authority, e.g. officer, trustee, attorney
fact) for William H. BENNETT	(name of party on behalf of whom instrument was executed).
Personally Known OR Produced Identification Ty Notary Signature D. Rule D. Rule D.	Pe Florida Driver License Notary Public-State Of Florida Gregory D. Roberts Commission # DD997078 Notary Stamp or Seal: Expires: JUNE 20, 2014 Bonded THRU ATLANTIC BONDING CO. INC.
11. Verification pursuant to Section 92.525, Florida Sta the facts stated in it are true to the best of my known	tutes. Under penalties of perjury, I declare that I have read the foregoing and that



Columbia County BUILDING DEPARTMENT

Bernett

Inspection	Affidavit
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RE: Permit Number: 30896

I
License #; CCC- 1329 756
On or about 5/14//3 /:00 PM , I did personally inspect the
roof deck attachment secondary water barrier roof to wall connection
work at 115 NE Butter Court Lake City, FL (Job Site Address)
Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.) Signature
STATE OF FLORIDA COUNTY OF Alachae Sworn to and subscribed before me this 5th day of Nay . 20113
By Mondo O. Byun . Notary Public, State of Florida
Personally known or Produced Identification Type of identification of Produced Identification Type of identification of Produced Identification Type of identification of Produced Identification Identif

- * Include photographs of each plane of the roof with the permit number clearly shown marked on the deck for each inspection. Place a tape measure next to the nailing pattern to show distance between nails.
- * Photographs must clearly show all work and have the permit number indicated on the roof.
- * Affidavit and Photographs must be provided when final inspection is requested.



Inspection Affidavit

Columbia County BUILDING DEPARTMENT

RE: Permit Number:

I
License #; CCC- 1329 756
On or about 5/14/13 1:00 PM I did personally inspect the
roof deck attachment secondary water barrier roof to wall connection
work at 1/5 NE Butter Cowt Lake City, FL (Job Site Address)
(Job Site Address)
Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)
Signature Signature
STATE OF FLORIDA COUNTY OF Floridae Sworn to and subscribed before me this 5th day of Nay . 20113
By MMb O. Bus. Notary Public, State of Florida
Personally known or Produced Identification Type of identification of Produced Identification Type of identification of Identification Identi

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- * Affidavit and Photographs must be provided when final inspection is requested.

METAL BLDG ERECTOR

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER_	30896	CONTRACTOR Ecic	Ehrlund	PHONE 438-3201
	THIS FORM MUST BE	SUBMITTED PRIOR TO THE	ISSUANCE OF A PERMIT	
In Columbia Carre				COLORONO III W

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ELECTRICAL Print Name License #:				SignaturePhone #:			
MECHANICAL/ A/C	License #: Print Name License #:						
PLUMBING/				·····	SignaturePhone #:		
GAS							
ROOFING	Print Name OWC Contracting DUC License #: CCC-1329 756			NC	Signature_	Phone #: 352-339-6387	
SHEET METAL	Print NameLicense #:					Phone #:	
FIRE SYSTEM/ SPRINKLER	Print NameLicense#:				SignaturePhone #:		
SOLAR	Print Name				Signature_	Phone #:	
Specialty L	icense	License Number	Sub-	Contractors Pri	nted Name	e Sub-Contractors Signature	
MASON							
CONCRETE FINISHER					***		
FRAMING		CCCOLOU 5	F	Ehrlund			
INSULATION		CGC042165	CRC	Chriuno			
STUCCO							
DRYWALL				~~~~			
PLASTER							
CABINET INSTALLER					•		
PAINTING		CGC043165	Fire	Ehrlund	1		
ACOUSTICAL CEILING		100			-		
GLASS	*			(WINDS)			
CERAMIC TILE							
FLOOR COVERING		CGC042165	Fc	Ebelue	M		
ALUM/VINYL SIDING		16100			35 700		
	R	1					

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CHES. 11.00 fiel. 80.7360-T0#AON BOAd-IN MATZYZ TOOR A 2 80 F. ASTM D TOR . ASTM DA869 FBC APPROVED FLATI ROOF SYSTEM CO COMPLIANCE WITH ASTM COMPLIES WITH PERFORMANCE