

## Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0507-84 Date Received 10/31/05 By G Permit # 1021-24267  
 Application Approved by - Zoning Official BLK Date 3-17-06 Plans Examiner OK JHT Date 11-1-05  
 Flood Zone X Per Plat Development Permit N/A Zoning RSF-2 Land Use Plan Map Category RES. Low Dev.  
 Comments Meets Requirements of Resolution 2005R-26

Applicants Name WOLF SCHRUM (CELL-813-760730) Phone 386-364-4793  
 Address PO BOX 656 LIVE OAK, FL 32064  
 Owners Name BAUTHUS INC Phone 386-364-4793  
 911 Address 412 SW DEANNA DR, L.C., 32025  
 Contractors Name WOLF SCHRUM, BAUTHUS INC Phone 386-364-4793  
 Address PO BOX 656, LIVE OAK, FL 32064  
 Fee Simple Owner Name & Address BAUTHUS INC  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address MARK DISOSWAY, PO BOX 868, LAKE CITY FL 32056  
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 07-45-17-08106-231 Estimated Cost of Construction \$ 65,000.-

Subdivision Name HOLLY BROOK Lot 1 Block B Unit  Phase

Driving Directions FROM BASCOM NORRIS TURN WEST ON DEANNA RD.

475 TO MARVIN LOT IS ON RIGHT (SEE BAUTHUS INC & S&S)

BURNETT RD IRL TO DEANNA RD TL 12 on right

Type of Construction FRAMED S.F.D Number of Existing Dwellings on Property NONE

Total Acreage 1/2 Lot Size 1/2 ACR Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 30' Side 54' Side 19' Rear 129'

Total Building Height 25' Number of Stories 2 Heated Floor Area 1306 Roof Pitch 4/12

PORCHES 86 GARAGE 256 TOTAL 1657

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA  
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this 31st day of October 2005

Personally known  or Produced Identification

Contractor Signature

Contractors License Number EC047790

Competency Card Number

NOTARY STAMP/SEAL

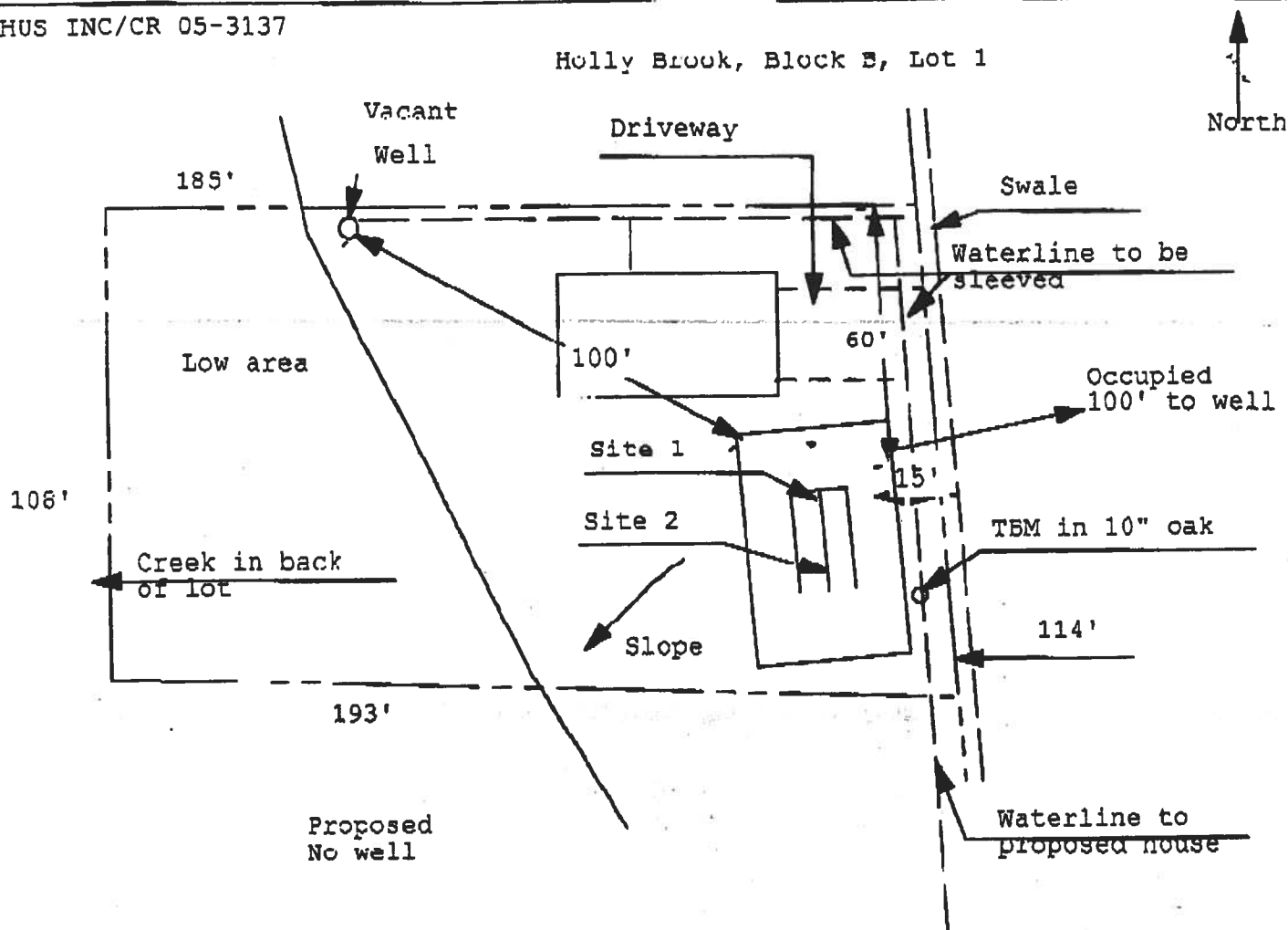
Notary Signature

**Application for Onsite Sewage Disposal System  
Construction Permit. Part II Site Plan**  
Permit Application Number: 05-10541V

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT**

BAUHUS INC/CR 05-3137

Holly Brook, Block B, Lot 1



1 inch = 40 feet

Site Plan Submitted By Paul L. L. Date 10/26/05  
Plan Approved ☒ Not Approved ☐ Date 10/26/05

By [Signature] Cal-505 CPHU

Notes: \_\_\_\_\_

**REVISED**  
**10-26-05**



## SUWANNEE RIVER WATER MANAGEMENT DISTRICT

May 19, 2005

Ms. Veronica Baird  
Post Office Box 656  
Live Oak, Florida 32064

Subject: ERP05-0235, Holly Brook, Lots 1-6, Columbia County

Dear Ms Baird:

Per your request, dated May 13, 2005, the Suwannee River Water Management District (District) has determined that wetlands, as defined in subsection 62-340.200 (19), Florida Administrative Code (F.A.C.), do not exist within the subject properties. The determination was based upon the site plan received with your request, indicating that the maximum depth of the lots was 189.5 feet from the property corner on Deanna Road.

If you have additional questions, I can be reached at 800.226.1066, or 386.362.1001. My cell phone number is 386.647.6990.

Sincerely,

A handwritten signature in dark ink, appearing to read "Louis Mantini", followed by a vertical line.

Louis Mantini  
Environmental Specialist

LM/rl

DAVID POPE  
Chairman  
Alachua, Florida

SYLVIA J. TATUM  
Vice Chairman  
Lawtey, Florida

C. LINDEN DAVIDSON  
Secretary/Treasurer  
Lamont, Florida

KELBY ANDREWS  
Chiefland, Florida

DON R. EVERETT, JR.  
Perry, Florida

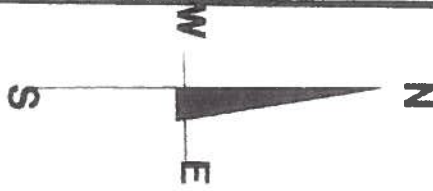
GEORGIA JONES  
Lake City, Florida

OLIVER J. LAKE  
Lake City, Florida

JOHN P. MAULTSBY  
Madison, Florida

LOUIS SHIVER  
Mayo, Florida

JERRY A. SCARBOROUGH  
Executive Director  
Live Oak, Florida



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HOUSE PLANS BY BAUHUS INC.  
These drawings are not to be reproduced  
or copied in any form or manner whatsoever  
without the written permission of BAUHUS INC.



OWNER:  
**BAUHUS INC**  
PO BOX 656  
LIVE OAK, FL 32064  
TEL/FAX 366-364-4793

LIVE OAK, Oct. 2005

DESIGNED BY:  
**WOLF SCHROM**  
GEN. CONTRACTOR  
GC#47190  
CELL: 813-786-0730

RESIDENCIAL HOUSE

LOT#1 DEANNA ROAD  
HOLLY BROOK, LAKE CITY

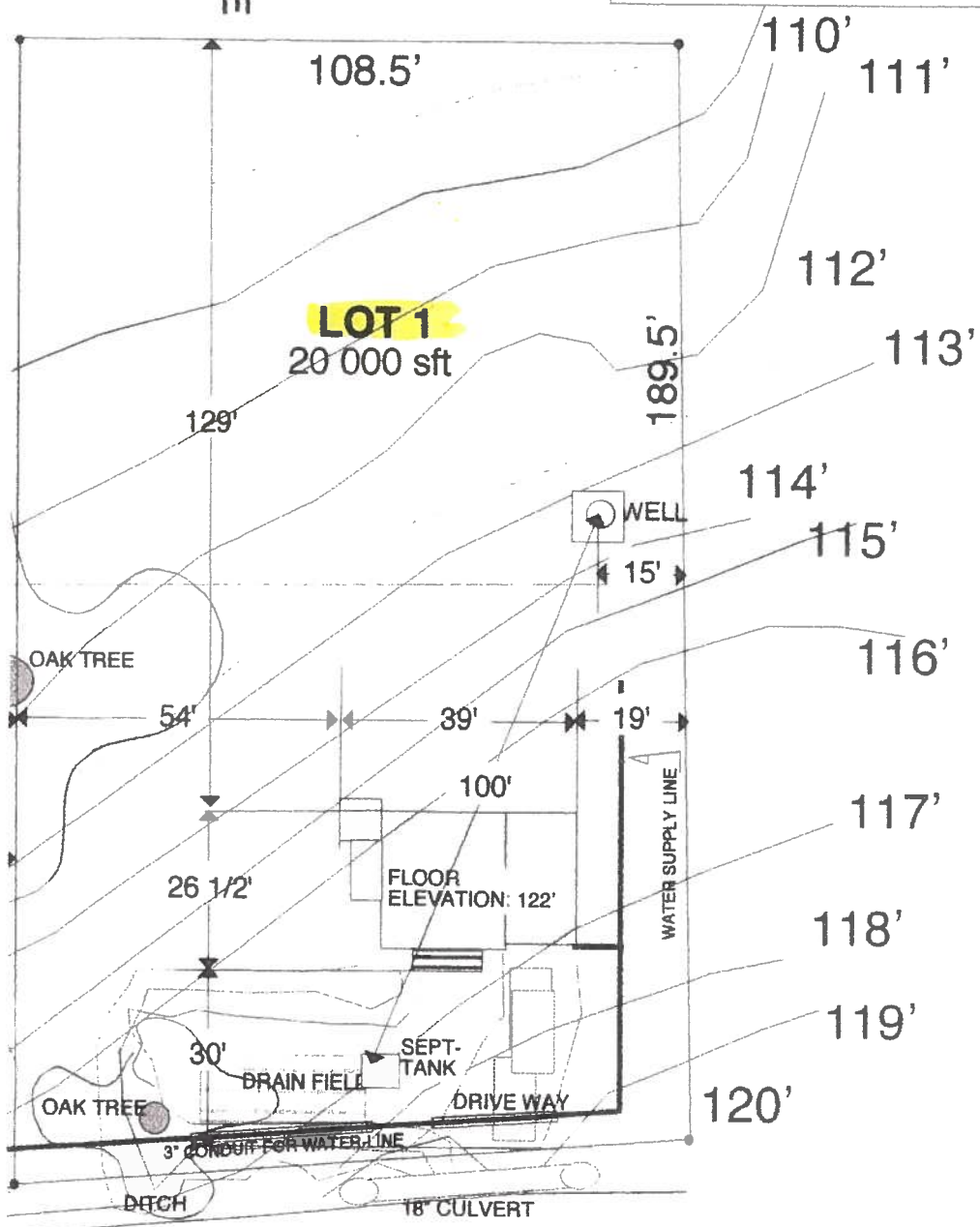
Folio #  
07-45-17-08106-231

SCALE  
1"=20'

SHEET  
0

SITE PLAN

DEANNA ROAD



NOTE:  
CONTRACTORS TO VERIFY ALL DIMENSIONS  
AND STRUCTURAL DESIGN TO COMPLY WITH CODES.



## Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056-1625  
6919 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456  
Tel. (904) 262-4046 • Fax (904) 262-4047

December 7, 2005

Bauhus, Inc.  
P. O. Box 656  
Live Oak, Florida 32064

Attention: Wolf Schrom

Reference: Holly Brook Subdivision  
S. W. Deanna Terrace  
Lake City, Florida  
Cal-Tech Project No. 05-623

Dear Mr. Schrom,

Cal-Tech Testing, Inc. has completed the subsurface investigation and engineering evaluation of the sites for five residences to be constructed on lots 1, 2, 4, 5, and 6-of Holly Brook in Lake City, Florida. Our work was performed in conjunction with and authorized by you.

### Introduction

We were provided a site plan and understand you will construct five, elevated, two-story residences each having a plan area of approximately 1,200 square feet. Support for the structures is to be provided by concrete or wooden piles, by piers and shallow footings or by stem walls and shallow footings. If stem walls are used a crawl space is to be provided below the structures. Anticipated foundation loads were not provided.

### Site Investigation

The subsurface conditions were investigated by performing five (5) Standard Penetration Test boring advanced to depths of 15 feet. The borings were performed at the approximate locations indicated on the attached Boring Location Plan. These locations were selected and staked by you.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

## Findings

The soil borings generally encountered two soil strata. The first layer consists of 2.5 to 5.5 feet of generally loose to medium dense, dark gray, tannish gray or grayish tan sand with silt (SP/SM). The N-values of this layer range from 3 to 22 blows per foot.

The second layer consists of an undetermined thickness of medium dense to dense, generally gray and orange, clayey sand (SC), sand with clay (SP/SC) and very stiff, sandy clay (CL). The N-values of this layer range from 11 to 40 blows per foot.

Groundwater was not encountered at any boring location at the time of our investigation.

For a more detailed description of the subsurface conditions encountered, please refer to the attached Boring Logs.

## Discussion

Based upon our findings, we believe support for each of the five residences can be provided by piers and conventional, shallow spread footings. Footings should be sized to exert a maximum soil bearing pressure of 2,500 pounds per square foot. The bottoms of footings should be embedded a minimum of 24 inches below the finished surface grade.

Only normal, good practice site preparation procedures should be required to prepare bearing areas. These procedures include excavation as required to establish the appropriate bearing grades, proof-compaction of the subgrade, and compaction of all backfill materials. The subgrade should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a minimum depth of 1 foot below the bottoms of foundations.

Fill materials, if required, should consist of clean, fine sand containing less than 10% passing the No. 200 sieve. Fill should be placed in maximum 12-inch, loose lifts, and each lift should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density.

## Zero Rise

We were provided a survey prepared by Britt Surveying indicating high water at the site occurs at elevation 114.0 feet. The finished floor of each residence is to be located above this elevation, and only the supports for the structures and fill materials placed at the sites will contribute to raising the elevation of flood water.

Based upon the U.S.G.S. quadrangle map, that portion of the site and adjoining properties located below elevation 114.0 feet is estimated to be approximately 2,800,000 square feet. The volume of fill materials and structural elements to be

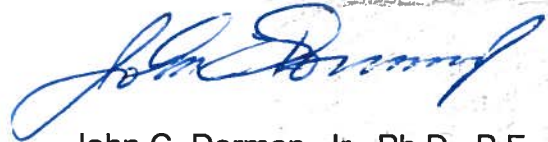
located below elevation 114.0 feet is estimated to be about 535 cubic yards. Should flooding to an elevation of 114.0 feet occur, the fill and structural elements placed at these building sites would cause an increase in flood elevation of about 0.05 inch or about the thickness of a dime. This increase in flood elevation is negligible.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,  
Cal-Tech Testing, Inc.



Linda Creamer  
President / CEO



John C. Dorman, Jr., Ph.D., P.E.  
Geotechnical Engineer

12/7/05

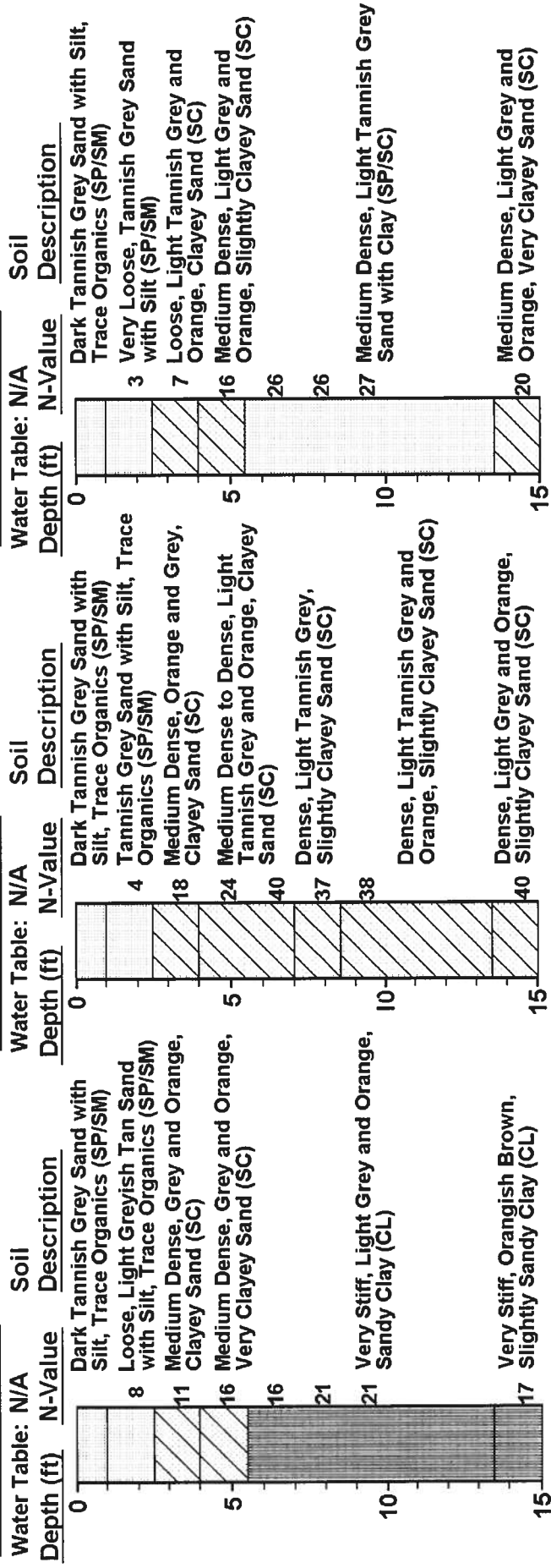
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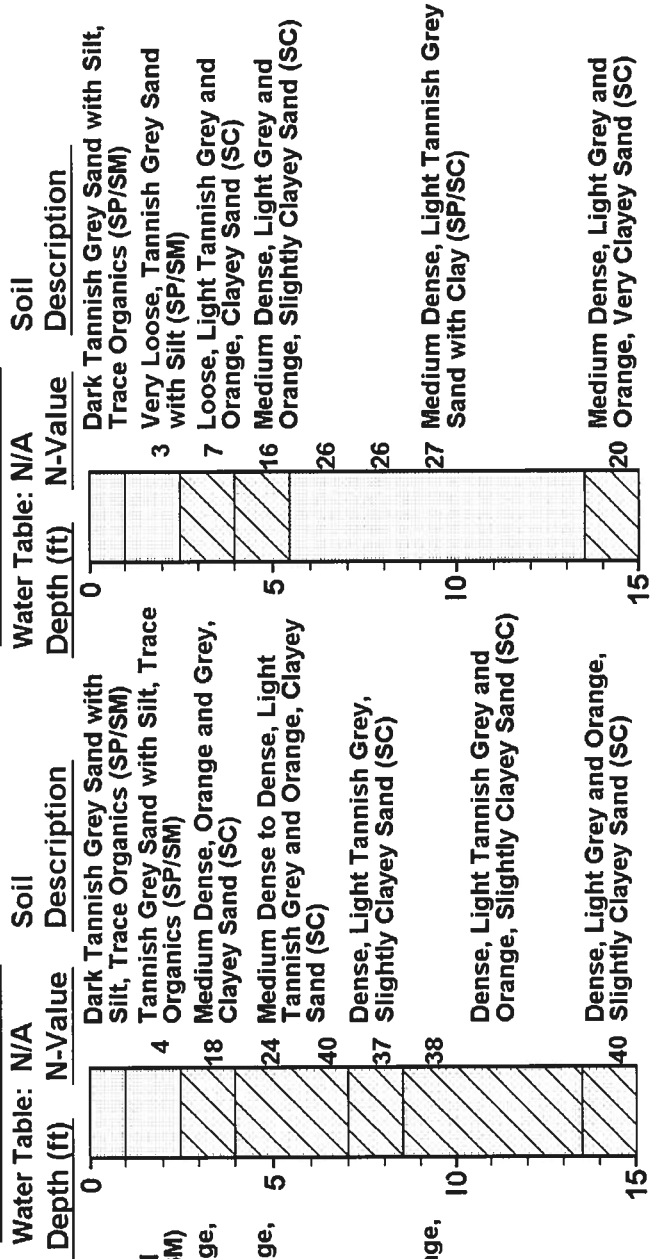




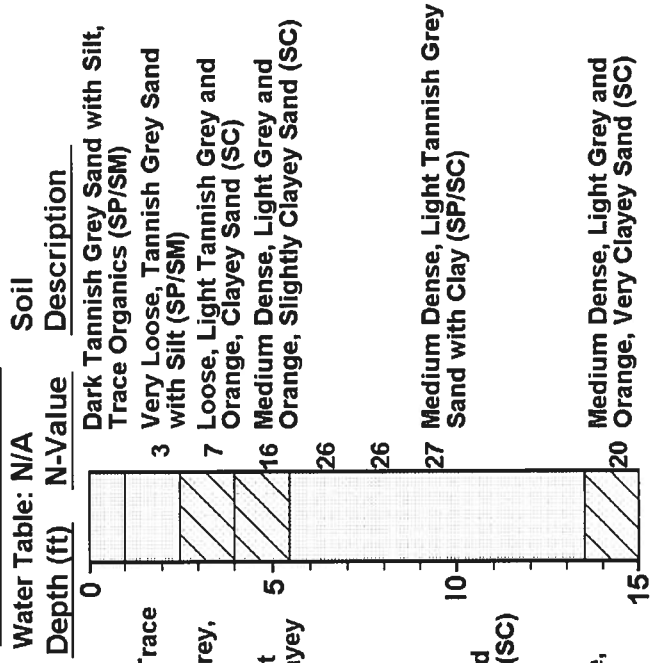
## B-1, Lot-1



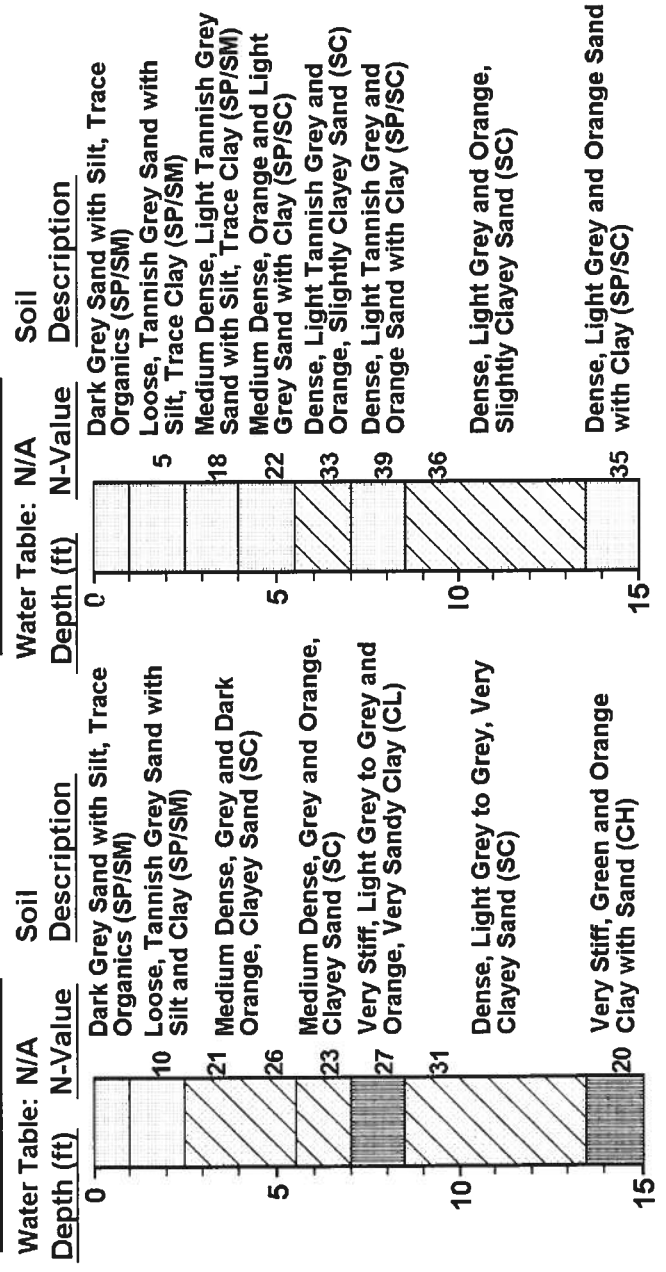
## B-2, Lot-2



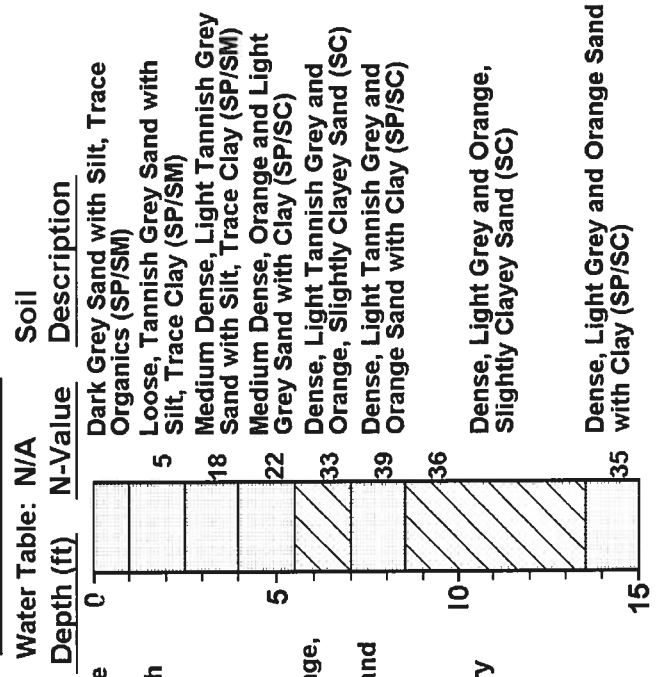
## B-4, Lot-4



## B-5, Lot-5



## B-6, Lot-6



**Boring Logs: Holly Brook  
Lake City, Florida**

10/26/2005 12:00

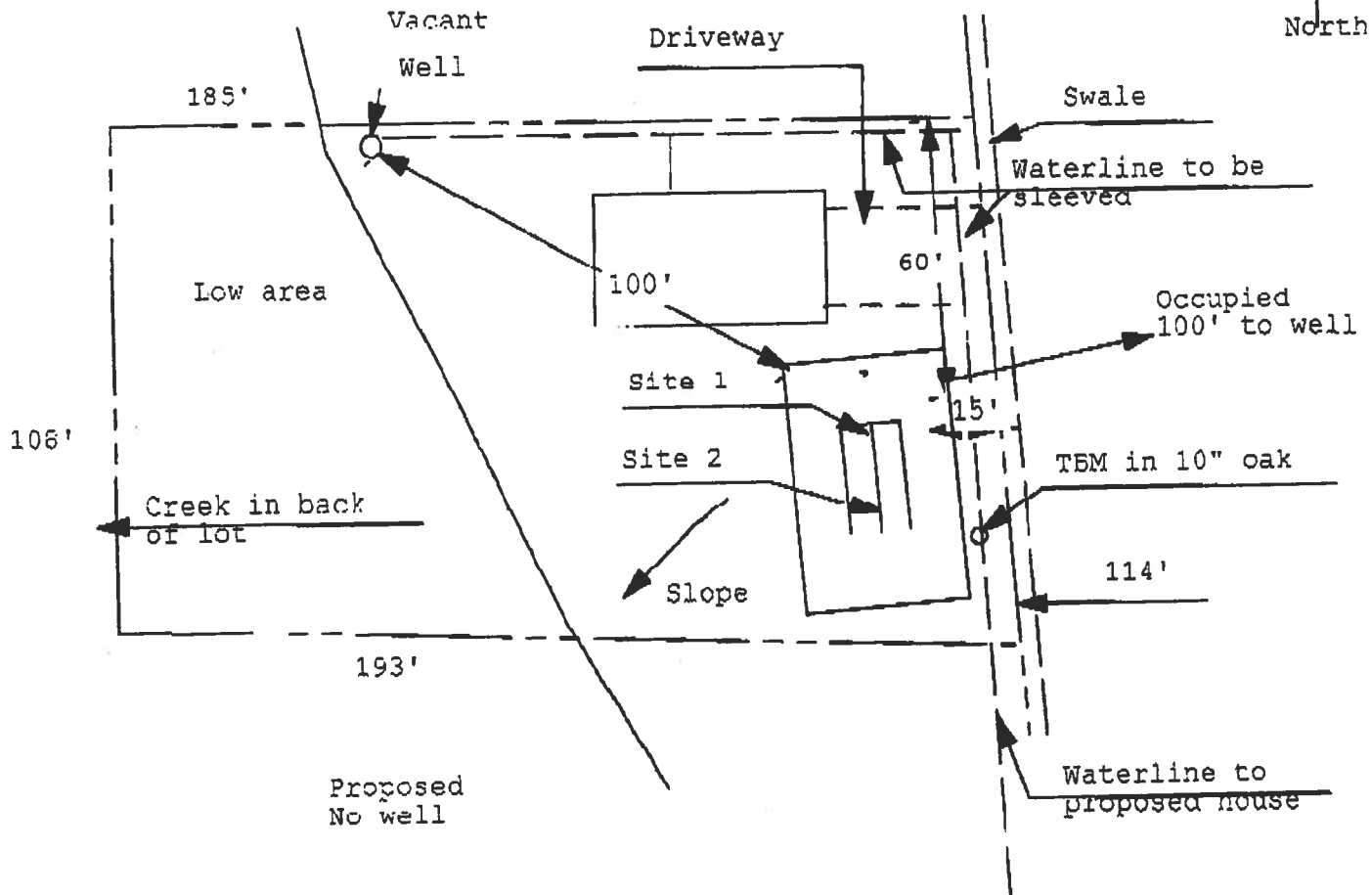
# Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: 05-10540

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT**

BAUHUS INC/CR 05-3137

Holly Brook, Block B, Lot 1



1 inch = 40 feet

Site Plan Submitted By Paul L. L.  
Plan Approved ☒ Not Approved ☐

Date 10/26/05  
Date 10/26/05

By [Signature]

Col-505 CPHU

Notes: \_\_\_\_\_

**REVISED**  
10-26-05

Prepared by:  
Michael H. Harrell  
Abstract & Title Services, Inc.  
111 East Howard Street  
Live Oak, Florida 32064

ATS# 15148

Inst: 2005016820 Date: 07/15/2005 Time: 15:22  
Loc Stamp-Deed : 140.00  
DC, P. DeWitt Cason, Columbia County B: 1051 P: 2862

## Warranty Deed

Individual to Individual

THIS WARRANTY DEED made the 11th day of July, 2005, Daniel Crapps, A Married Man and Donald Dix, A Married Man, hereinafter called the grantor, to Bauhus Inc., A Florida Corporation, whose post office address is: 14895 US 129, Live Oak, FL 32060 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R08106231 and 232

**Lots 1 and 2, Block B of Holly Brook Subdivision, according to the plat thereof, as recorded in Plat Book 6, Page 109, Public Records of Columbia County, Florida.**

**The above-described property does not constitute the Homestead of the Grantor, nor any member of the Grantor's Family.**


TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


TO HAVE AND TO HOLD, the same in fee simple forever.


AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

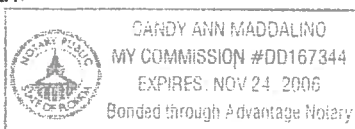
  
Witness: CANDY MADDALINO

  
Daniel Crapps

  
Witness: MARY LYONS

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 11th day of July, 2005 by DANIEL CRAPPS, A MARRIED MAN personally known to me or, if not personally known to me, who produced Driver's License No. \_\_\_\_\_ for identification and who did not take an oath.



  
Notary Public

Traci Dix  
Witness: TRACI DIX

Donald Dix  
Donald Dix

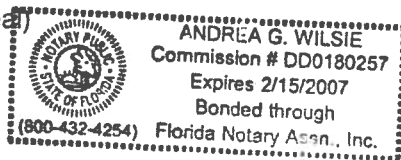
David W. Dix  
Witness: DAVID W. DIX

STATE OF FLORIDA  
COUNTY OF Duval

The foregoing instrument was acknowledged before me this 13 th day of July, 2005 by Donald Dix, A MARRIED MAN personally known to me or, if not personally known to me, who produced Driver's License No. \_\_\_\_\_ for identification and who did not take an oath.

Andrea G. Wilsie  
Notary Public

(Notary Seal)



Inst:2005016820 Date:07/15/2005 Time:15:22  
Doc Stamp-Deed : 140.00  
DC,P.Dewitt Cason,Columbia County B:1051 P:2863

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: **507254Bauhus**  
Address: **Lot: 1, Sub: Holly Brock, Plat:**  
City, State: **Lake City, FL**  
Owner: **Bauhus**  
Climate Zone: **North**

Builder: **Wolf & Schiorn**  
Permitting Office: **Columbia**  
Permit Number: **24267**  
Jurisdiction Number: **221008**

1. New construction or existing	New	___	12. Cooling systems		
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 25.0 kBtu/hr	___
3. Number of units, if multi-family	1	___		SEER: 10.00	___
4. Number of Bedrooms	3	___	b. N/A		___
5. Is this a worst case?	Yes	___	c. N/A		___
6. Conditioned floor area (ft²)	1306 ft²	___	13. Heating systems		
7. Glass area & type	Single Pane	Double Pane	a. Electric Heat Pump	Cap: 25.0 kBtu/hr	___
a. Clear glass, default U-factor	0.0 ft²	145.0 ft²		HSPF: 7.20	___
b. Default tint, default U-factor	0.0 ft²	0.0 ft²	b. N/A		___
c. Labeled U-factor or SHGC	0.0 ft²	0.0 ft²	c. N/A		___
8. Floor types			14. Hot water systems		
a. Raised Wood, Stem Wall	R=19.0, 509.0ft²	___	a. Electric Resistance	Cap: 40.0 gallons	___
b. Raised Wood, Adjacent	R=19.0, 265.0ft²	___		EF: 0.89	___
c. N/A		___	b. N/A		___
9. Wall types			c. Conservation credits		___
a. Frame, Wood, Exterior	R=13.0, 1769.0 ft²	___	(HR-Heat recovery, Solar		___
b. Frame, Wood, Adjacent	R=13.0, 176.0 ft²	___	DHP-Dedicated heat pump)		___
c. N/A		___	15. HVAC credits		___
d. N/A		___	(CF-Ceiling fan, CV-Cross ventilation,		___
e. N/A		___	HF-Whole house fan,		___
10. Ceiling types			PT-Programmable Thermostat,		___
a. Single Assembly	R=19.0, 780.0 ft²	___	MZ-C-Multizone cooling,		___
b. N/A		___	MZ-H-Multizone heating)		___
c. N/A		___			___
11. Ducts					___
a. Sup: Con. Ret: Con. AH: Interior	Sup. R=6.0, 200.0 ft	___			___
b. N/A		___			___

Glass/Floor Area: 0.11

Total as-built points: 22935

Total base points: 24312

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Ben Sparks

DATE: 9-15-05 Ben Sparks

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code

OWNER/AGENT: [Signature]

DATE: 10.22.05

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_



**SUMMER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area				Overhang Type/SC Ornt Len Hgt Area X SPM X SOF = Points							
.18	1306.0	20.04	4711.0	Double, Clear	W	0.0	0.0	24.0	38.52	1.00	924.6
				Double, Clear	E	2.0	4.0	9.0	42.06	0.73	274.6
				Double, Clear	S	6.8	8.0	20.0	35.87	0.54	389.5
				Double, Clear	E	11.0	3.0	6.0	42.06	0.36	90.1
				Double, Clear	S	1.5	3.0	6.0	35.87	0.66	142.0
				Double, Clear	W	1.5	4.0	31.5	38.52	0.82	992.1
				Double, Clear	N	0.0	0.0	10.5	19.20	1.00	201.6
				Double, Clear	E	1.5	4.0	12.0	42.06	0.82	411.7
				Double, Clear	E	1.5	4.0	5.0	42.06	0.82	171.5
				Double, Clear	E	1.5	4.0	10.5	42.06	0.82	360.2
				Double, Clear	S	0.0	0.0	10.5	35.87	1.00	376.6
				As-Built Total: 145.0 4334.5							
WALL TYPES Area X BSPM = Points				Type R-Value Area X SPM = Points							
Adjacent	176.0	0.70	123.2	Frame, Wood, Exterior		13.0	1769.0	1.50	2653.5		
Exterior	1769.0	1.70	3007.3	Frame, Wood, Adjacent		13.0	176.0	0.60	105.6		
Base Total: 1945.0 3130.5				As-Built Total: 1945.0 2759.1							
DOOR TYPES Area X BSPM = Points				Type Area X SPM = Points							
Adjacent	0.0	0.00	0.0	Exterior Insulated			20.0	4.10	82.0		
Exterior	40.0	6.10	244.0	Exterior Insulated			20.0	4.10	82.0		
Base Total: 40.0 244.0				As-Built Total: 40.0 164.0							
CEILING TYPES Area X BSPM = Points				Type R-Value Area X SPM X SCM = Points							
Under Attic	780.0	1.73	1349.4	Single Assembly		19.0	780.0	5.64 X 1.00	4399.2		
Base Total: 780.0 1349.4				As-Built Total: 780.0 4399.2							
FLOOR TYPES Area X BSPM = Points				Type R-Value Area X SPM = Points							
Slab	0.0(p)	0.0	0.0	Raised Wood, Stern Wall		19.0	509.0	-1.50	-763.5		
Raised	774.0	-3.99	-3088.3	Raised Wood, Adjacent		19.0	265.0	0.40	106.0		
Base Total: -3088.3				As-Built Total: 774.0 -657.5							
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
	1306.0	10.21	13334.3				1306.0	10.21	13334.3		

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT											
Summer Base Points:		19680.9		Summer As-Built Points:			24333.5								
Total Summer Points	X	System Multiplier	=	Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	=	Cooling Points
				(DM x DSM x AHU)											
19680.9		0.4266		8395.9	24333.5		1.000	(1.000 x 1.147 x 0.91)	0.341		1.000		1.000		8668.5
					24333.5		1.00		1.044		0.341		1.000		8668.5



# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT									
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points						
.18	1306.0	12.74	2994.9	Double, Clear	W	0.0	0.0	24.0	20.73	1.00	497.5		
				Double, Clear	E	2.0	4.0	9.0	18.79	1.12	189.4		
				Double, Clear	S	6.8	8.0	20.0	13.30	2.48	658.7		
				Double, Clear	E	11.0	3.0	6.0	18.79	1.51	169.9		
				Double, Clear	S	1.5	3.0	6.0	13.30	1.64	130.8		
				Double, Clear	W	1.5	4.0	31.5	20.73	1.05	687.5		
				Double, Clear	N	0.0	0.0	10.5	24.58	1.00	258.1		
				Double, Clear	E	1.5	4.0	12.0	18.79	1.07	242.3		
				Double, Clear	E	1.5	4.0	5.0	18.79	1.07	101.0		
				Double, Clear	E	1.5	4.0	10.5	18.79	1.07	212.0		
				Double, Clear	S	0.0	0.0	10.5	13.30	1.00	139.6		
				As-Built Total:				145.0				3286.7	
				WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points		
Adjacent	176.0	3.60	633.6	Frame, Wood, Exterior	13.0		1769.0	3.40	6014.6				
Exterior	1769.0	3.70	6545.3	Frame, Wood, Adjacent	13.0		176.0	3.30	580.8				
Base Total: 1945.0 7178.9				As-Built Total: 1945.0				6595.4					
DOOR TYPES Area X BWPM = Points				Type			Area X WPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated			20.0	8.40	168.0				
Exterior	40.0	12.30	492.0	Exterior Insulated			20.0	8.40	168.0				
Base Total: 40.0 492.0				As-Built Total: 40.0				336.0					
CEILING TYPESArea X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points						
Under Attic	780.0	2.05	1599.0	Single Assembly	19.0		780.0	1.86 X 1.00	1450.8				
Base Total: 780.0 1599.0				As-Built Total: 780.0				1450.8					
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points						
Slab	0.0(p)	0.0	0.0	Raised Wood, Stem Wall	19.0		509.0	0.80	407.2				
Raised	774.0	0.96	743.0	Raised Wood, Adjacent	19.0		265.0	2.20	583.0				
Base Total: 743.0				As-Built Total: 774.0				990.2					
INFILTRATION Area X BWPM = Points				Area X WPM = Points									
1306.0 -0.59 -770.5				1306.0 -0.59 -770.5									

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,	PERMIT #:
---	-----------

BASE				AS-BUILT						
Winter Base Points:		12237.3		Winter As-Built Points:			11888.6			
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points
12237.3		0.6274	7677.7	11888.6		1.000	(1.000 x 1.169 x 0.93)	0.474	1.000	6121.4
				11888.6		1.00	1.087	0.474	1.000	6121.4

**WATER HEATING & CODE COMPLIANCE STATUS**

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE					AS-BUILT							
WATER HEATING												
Number of Bedrooms	X	Multiplier	=	Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X	Credit Multiplier	= Total
3		2746.00		8238.0	40.0	0.89	3		1.00	2715.15	1.00	8145.4
					As-Built Total:							8145.4

CODE COMPLIANCE STATUS													
BASE							AS-BUILT						
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points
8396		7678		8238		24312	8669		6121		8145		22935

**PASS**

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 83.2**

**The higher the score, the more efficient the home.**

Veronica Baird, Lot: 2, Sub: Holly Brock, Plat: , Lake City, FL,

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 25.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 10.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft <sup>2</sup> )	1306 ft <sup>2</sup>		
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear glass, default U-factor	0.0 ft <sup>2</sup> 145.0 ft <sup>2</sup>	a. Electric Heat Pump	Cap: 25.0 kBtu/hr
b. Default tint, default U-factor	0.0 ft <sup>2</sup> 0.0 ft <sup>2</sup>		HSPF: 7.20
c. Labeled U-factor or SHGC	0.0 ft <sup>2</sup> 0.0 ft <sup>2</sup>	b. N/A	
8. Floor types		c. N/A	
a. Raised Wood, Stem Wall	R=19.0, 509.0ft <sup>2</sup>		
b. Raised Wood, Adjacent	R=19.0, 265.0ft <sup>2</sup>	14. Hot water systems	
c. N/A		a. Electric Resistance	Cap: 40.0 gallons
9. Wall types			EF: 0.89
a. Frame, Wood, Exterior	R=13.0, 1769.0 ft <sup>2</sup>	b. N/A	
b. Frame, Wood, Adjacent	R=13.0, 176.0 ft <sup>2</sup>	c. Conservation credits	
c. N/A		(HR-Heat recovery, Solar	
d. N/A		DHP-Dedicated heat pump)	
e. N/A		15. HVAC credits	
10. Ceiling types		(CF-Ceiling fan, CV-Cross ventilation,	
a. Single Assembly	R=19.0, 780.0 ft <sup>2</sup>	HF-Whole house fan,	
b. N/A		PT-Programmable Thermostat,	
c. N/A		MZ-C-Multizone cooling,	
11. Ducts		MZ-H-Multizone heating)	
a. Sup: Con. Ret: Con. AH: Interior	Sup. R=6.0, 200.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: [Signature]

Date: 10.22.05

Address of New Home: DEANNA Rd

City/FL Zip: LAKE CITY



\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar<sup>TM</sup> designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs Energy Gauge Section. Version: FLR2PB v3.4)

# BUILDING INPUT SUMMARY REPORT

<b>PROJECT</b>	<b>Title:</b> 507254BauhusInc		<b>Family Type:</b> Single		<b>Address Type:</b> Lot Information			
	<b>Owner:</b> Bauhus		<b>New/Existing:</b> New		<b>Lot #:</b> 2			
	<b># of Units:</b> 1		<b>Bedrooms:</b> 3		<b>Subdivision:</b> Holly Brock			
	<b>Builder Name:</b> (blank)		<b>Conditioned Area:</b> 1306		<b>Platbook:</b> (blank)			
	<b>Climate:</b> North		<b>Total Stories:</b> 2		<b>Street:</b> N/A			
	<b>Permit Office:</b> (blank)		<b>Worst Case:</b> Yes		<b>County:</b> Columbia			
	<b>Jurisdiction #:</b> (blank)		<b>Rotate Angle:</b> 0		<b>City, St, Zip:</b> Lake City, FL,			
<b>FLOORS</b>	#	Floor Type	R-Val	Area/Perimeter	Units			
	1	Raised Wood/Stem Wall	19.0	509.0ft²	1			
	2	Raised Wood - Adjacent	19.0	265.0ft²	1			
<b>DOORS</b>	#	Door Type	Orientation	Area	Units			
	1	Insulated	Exterior	20.0 ft²	1			
	2	Insulated	Exterior	10.0 ft²	2			
<b>CEILINGS</b>	#	Ceiling Type	R-Val	Area	Base Area	Units		
	1	Single Assembly	19.0	780.0 ft²	780.0 ft²	1		
	Credit Multipliers: None							
<b>COOLING</b>	#	System Type	Efficiency	Capacity				
	1	Central Unit	SEER: 10.00	25.0 kBtu/hr				
	Credit Multipliers: None							
<b>WALLS</b>	#	Wall Type	Location	R-Val	Area	Units		
	1	Frame - Wood	Exterior	13.0	1769.0 ft²	1		
	2	Frame - Wood	Adjacent	13.0	176.0 ft²	1		
<b>HEATING</b>	#	System Type	Efficiency	Capacity				
	1	Electric Heat Pump	COP: 7.20	25.0 kBtu/hr				
	Credit Multipliers: None							
<b>DUCTS</b>	#	Supply Location	Return Location	Air Handler Location	Supply R-Val	Supply Length		
	1	Cond.	Cond.	Interior	6.0	200.0 ft		
	Credit Multipliers: None							
<b>WATER</b>	#	System Type	EF	Cap.	Conservation Type	Con. EF		
	1	Electric Resistance	0.89	40.0	None	0.00		
<b>REFR.</b>	#	Use Default?	Annual Operating Cost	Electric Rate				
	1	Yes	N/A	N/A				
<b>WINDOWS</b>	#	Panes	Tint	Ornt	Area	OH Length	OH Hght	Units
	1	Double	Clear	N	12.0 ft²	0.0 ft	0.0 ft	2
	2	Double	Clear	S	9.0 ft²	2.0 ft	4.0 ft	1
	3	Double	Clear	W	10.0 ft²	6.8 ft	8.0 ft	2
	4	Double	Clear	S	6.0 ft²	11.0 ft	3.0 ft	1
	5	Double	Clear	W	6.0 ft²	1.5 ft	3.0 ft	1
	6	Double	Clear	N	10.5 ft²	1.5 ft	4.0 ft	3
	7	Double	Clear	E	10.5 ft²	0.0 ft	0.0 ft	1
	8	Double	Clear	S	12.0 ft²	1.5 ft	4.0 ft	1
	9	Double	Clear	S	5.0 ft²	1.5 ft	4.0 ft	1
	10	Double	Clear	S	10.5 ft²	1.5 ft	4.0 ft	1
11	Double	Clear	W	10.5 ft²	0.0 ft	0.0 ft	1	
<b>MISC</b>	<b>Rater Name:</b> (blank)		<b>Class #:</b> 3		<b>Pool Size:</b> 0			
	<b>Rater Certification #:</b> (blank)		<b>Duct Leakage Type:</b> N/A		<b>Pump Size:</b> 0.00 hp			
	<b>Area Under Fluorescent:</b> 0.0		<b>Visible Duct Disconnects:</b> N/A		<b>Dryer Type:</b> Electric			
	<b>Area Under Incandescent:</b> 1306.0		<b>Leak Free Duct System Proposed:</b> No		<b>Stove Type:</b> Electric			
	<b>NOTE: Not all Rating info shown</b>		<b>HRV/ERV System Present?:</b>		<b>Avg Ceil Hgt:</b> 8			

# Columbia County Building Department Culvert Permit

Culvert Permit No.  
**000001021**

DATE 03/17/2006 PARCEL ID # 07-4S-17-08106-231

APPLICANT WOLF SCHROM PHONE 386 364-4793

ADDRESS P.O. BOX 656 LIVE OAK FL 32064

OWNER BAUHUS, INC PHONE 386 364-4793

ADDRESS P.O. BOX 656 LIVE OAK FL 32064

CONTRACTOR BAUHUS/WOLF SCHROM PHONE 386 364-4793

LOCATION OF PROPERTY 47S, TR ON MARVIN BURNETT, TL ON DEANNA ROAD, 12TH ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT HOLLY BROOK I B

SIGNATURE

## INSTALLATION REQUIREMENTS



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
- b) the driveway to be served will be paved or formed with concrete.

Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other \_\_\_\_\_

ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED  
DURING THE INSTALLATION OF THE CULVERT.

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00





**LIMITATION:** This design is valid for one building, at specified location.

MARK DISOSWAY  
P.E. 53915

## SEAI

BAUHS INC.

ADDRESS:  
LOT #1, HOLLYBROOK S/D  
LAKE CITY, FL 32025

**Mark Disosway P.E.**  
P.O. Box 868  
Lake City, Florida 32026  
Phone: (386) 754 - 5419  
Fax: (386) 269 - 4871  
[windloadengineer@bellsouth.net](mailto:windloadengineer@bellsouth.net)

**PRINTED DATE:**

March 14, 2006

**DRAWN BY:**  
**EVAN BEAMSLEY**

**CHECKED BY:**

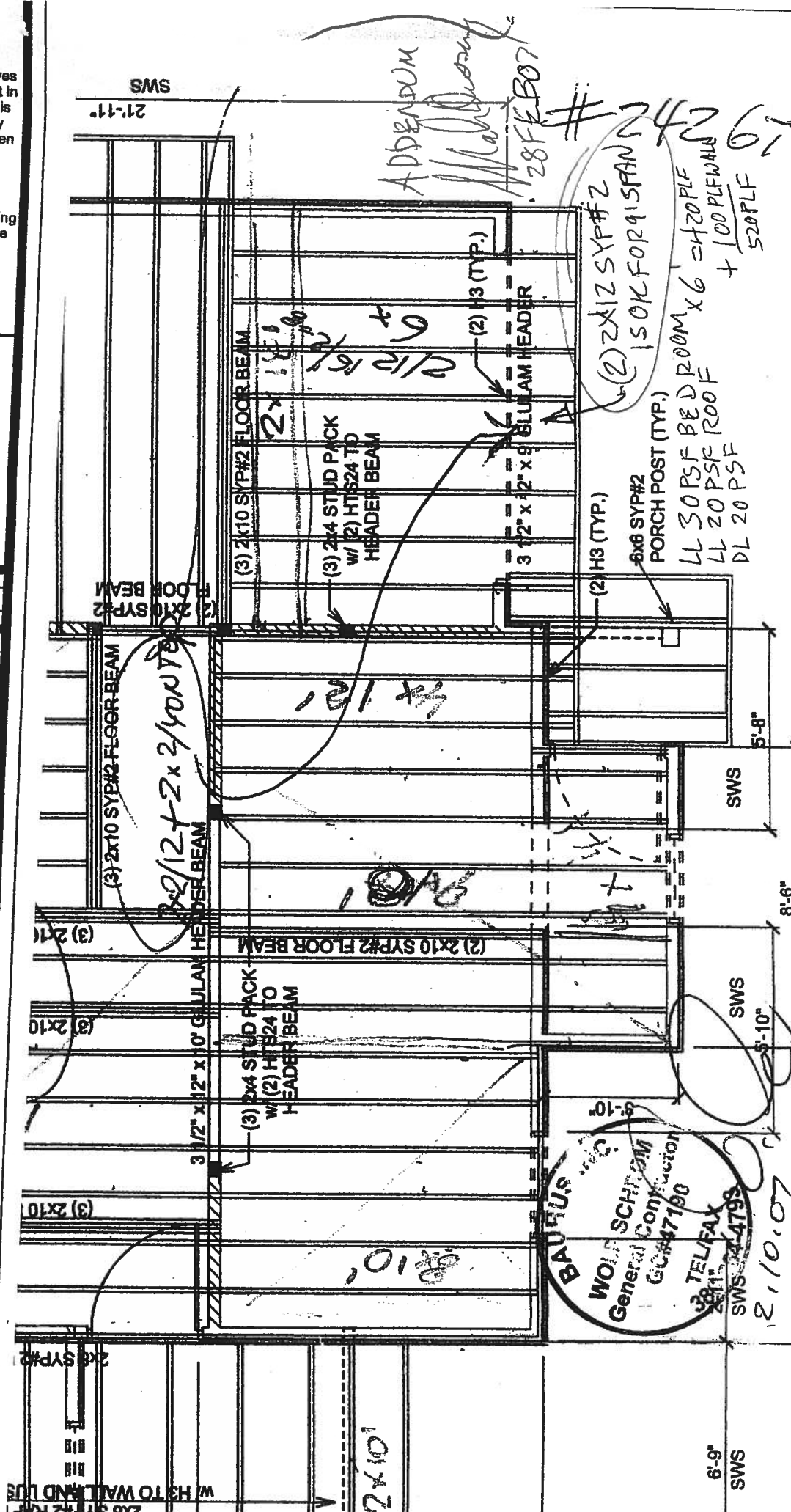
FINALS DATE:  
MAR 14, 2006

**JOB NUMBER:**  
**507254**

**DRAWING NUMBER**

S2

OF 2 SHEETS



**LIMITATION:** This design is valid for one building, at specified location.

MARK DISOSWAY  
P.E. 53915

SEAL

**BAUHUS INC.**

ADDRESS:  
LOT #1, HOLLYBROOK S/D  
LAKE CITY, FL 32025

**Mark Disosway P.E.**  
P.O. Box 868  
Lake City, Florida 32026  
Phone: (386) 754 - 5419  
Fax: (386) 269 - 4871  
[windloadengineer@bellsouth.net](mailto:windloadengineer@bellsouth.net)

PRINTED DATE:  
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**DRAWN BY:**  
**EVAN BEAMSLEY**

**CHECKED BY:**

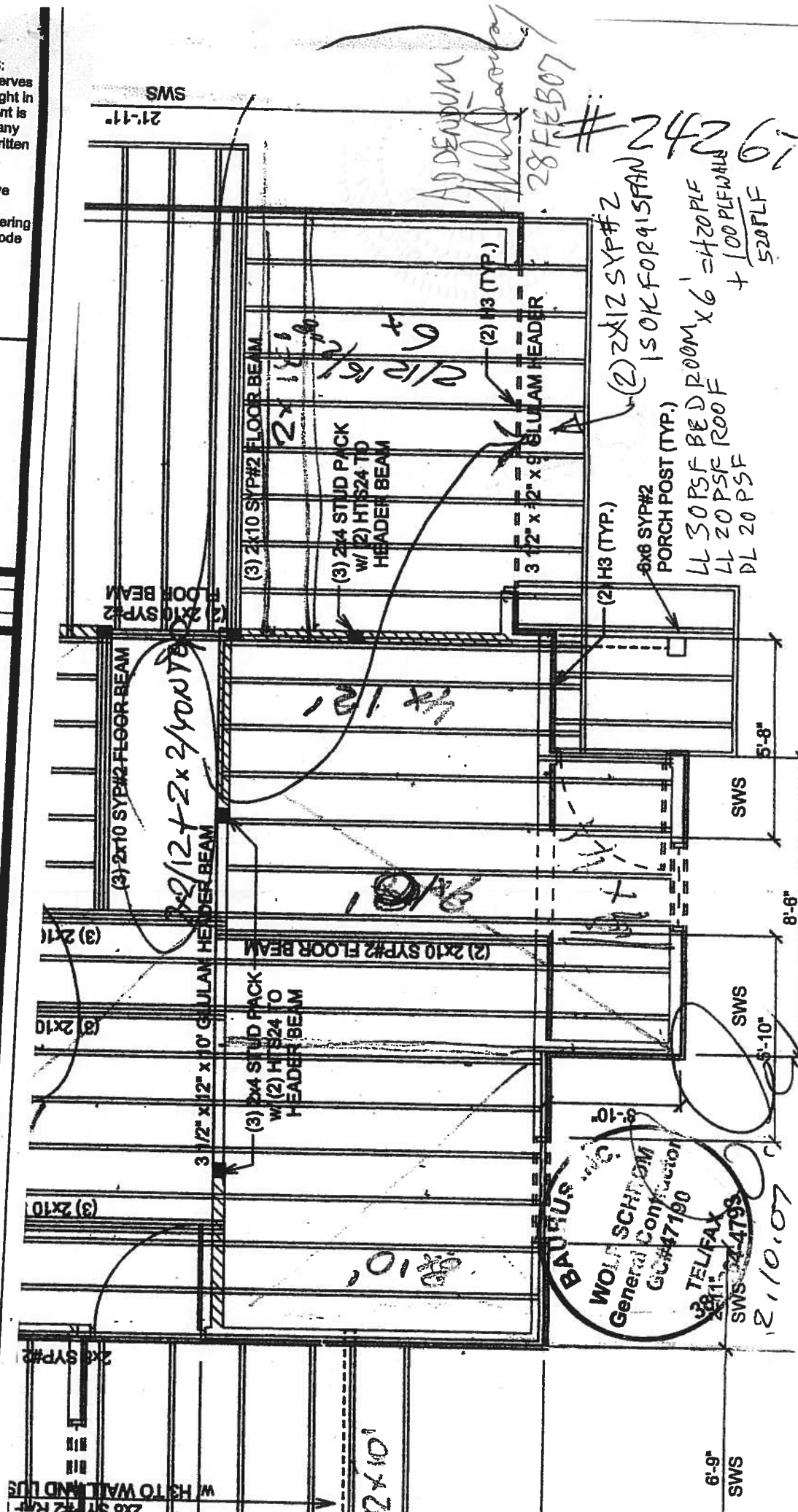
**FINALS DATE:**  
**MAR 14, 2006**

**JOB NUMBER:**  
507254

**DRAWING NUMBER**

S2

OF 2 SHEETS



# Residential System Sizing Calculation

## Summary

Bauhus  
Lake City, FL

Project Title:  
507254BauhusInc

Class 3 Rating  
Registration No. 0  
Climate: North

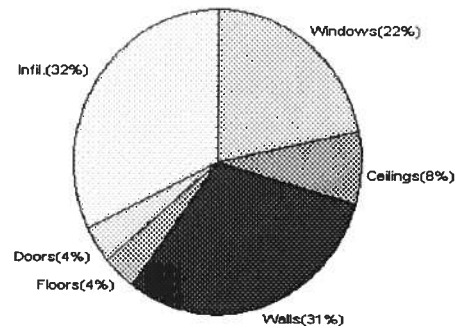
9/15/2005

Location for weather data: Gainesville - Defaults: Latitude(29) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)			
Winter design temperature	31 F	Summer design temperature	93 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	39 F	Summer temperature difference	18 F
<b>Total heating load calculation</b>	<b>18769 Btuh</b>	<b>Total cooling load calculation</b>	<b>21314 Btuh</b>
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	133.2 25000	Sensible (SHR = 0.5)	79.6 12500
Heat Pump + Auxiliary(0.0kW)	133.2 25000	Latent	222.6 12500
		Total (Electric Heat Pump)	117.3 25000

## WINTER CALCULATIONS

Winter Heating Load (for 1306 sqft)

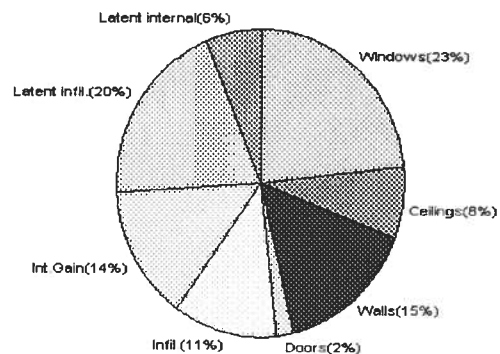
Load component	Load
Window total 145 sqft	4104 Btuh
Wall total 1945 sqft	5766 Btuh
Door total 40 sqft	733 Btuh
Ceiling total 780 sqft	1482 Btuh
Floor total See detail report	697 Btuh
Infiltration 140 cfm	5988 Btuh
<b>Subtotal</b>	<b>18769 Btuh</b>
Duct loss	0 Btuh
<b>TOTAL HEAT LOSS</b>	<b>18769 Btuh</b>



## SUMMER CALCULATIONS

Summer Cooling Load (for 1306 sqft)

Load component	Load
Window total 145 sqft	4991 Btuh
Wall total 1945 sqft	3261 Btuh
Door total 40 sqft	406 Btuh
Ceiling total 780 sqft	1622 Btuh
Floor total	0 Btuh
Infiltration 122 cfm	2418 Btuh
Internal gain	3000 Btuh
<b>Subtotal(sensible)</b>	<b>15698 Btuh</b>
Duct gain	0 Btuh
<b>Total sensible gain</b>	<b>15698 Btuh</b>
Latent gain(infiltration)	4236 Btuh
Latent gain(internal)	1380 Btuh
<b>Total latent gain</b>	<b>5616 Btuh</b>
<b>TOTAL HEAT GAIN</b>	<b>21314 Btuh</b>



EnergyGauge® System Sizing based on ACCA Manual J.

PREPARED BY: *430h [signature]*

DATE: *9-15-05*

# System Sizing Calculations - Winter

## Residential Load - Component Details

Bauhus

Lake City, FL

Project Title:  
507254BauhusInc

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 39.0 F

9/15/2005

Window	Panes/SHGC/Frame/U	Orientation	Area X	HTM=	Load
1	2, Clear, Metal, DEF	N	24.0	28.3	679 Btuh
2	2, Clear, Metal, DEF	S	9.0	28.3	255 Btuh
3	2, Clear, Metal, DEF	W	20.0	28.3	566 Btuh
4	2, Clear, Metal, DEF	S	6.0	28.3	170 Btuh
5	2, Clear, Metal, DEF	W	6.0	28.3	170 Btuh
6	2, Clear, Metal, DEF	N	31.5	28.3	891 Btuh
7	2, Clear, Metal, DEF	E	10.5	28.3	297 Btuh
8	2, Clear, Metal, DEF	S	12.0	28.3	340 Btuh
9	2, Clear, Metal, DEF	S	5.0	28.3	142 Btuh
10	2, Clear, Metal, DEF	S	10.5	28.3	297 Btuh
11	2, Clear, Metal, DEF	W	10.5	28.3	297 Btuh
Window Total			145		4104 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Exterior	13.0	1769	3.1	5484 Btuh
2	Frame - Adjacent	13.0	176	1.6	282 Btuh
Wall Total			1945		5766 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exter		20	18.3	367 Btuh
2	Insulated - Exter		20	18.3	367 Btuh
Door Total			40		733Btuh
Ceilings	Type	R-Value	Area X	HTM=	Load
1	Single Assembly	19.0	780	1.9	1482 Btuh
Ceiling Total			780		1482Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Raised Wood/Enclosed	19	509.0 sqft	0.9	458 Btuh
2	Raised Wood/Enclosed	19	265.0 sqft	0.9	239 Btuh
Floor Total			774		697 Btuh
Infiltration	Type	ACH X	Building Volume	CFM=	Load
	Natural	0.80	10448(sqft)	140	5988 Btuh
	Mechanical			0	0 Btuh
Infiltration Total				140	5988 Btuh

Totals for Heating	Subtotal	18769 Btuh
	Duct Loss(using duct multiplier of 0.00)	0 Btuh
	Total Btuh Loss	18769 Btuh

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Bauhus

Project Title:  
507254BauhusInc

Class 3 Rating  
Registration No. 0  
Climate: North

Lake City, FL

9/15/2005

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(Frame types - metal, wood or insulated metal)

(U - Window U-Factor or 'DEF' for default)

(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )

# System Sizing Calculations - Summer

## Residential Load - Component Details

Bauhus

Project Title:  
507254BauhusInc

Class 3 Rating  
Registration No. 0  
Climate: North

Lake City, FL

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 18.0 F

9/15/2005

Window	Type	Overhang		Window Area(sqft)			HTM		Load		
	Panes/SHGC/U/InSh/ExSh Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded			
1	2, Clear, DEF, N, N	N	0	0	24.0	0.0	24.0	22	22	528	Btuh
2	2, Clear, DEF, N, N	S	2	4	9.0	9.0	0.0	22	37	198	Btuh
3	2, Clear, DEF, N, N	W	6.75	8	20.0	9.3	10.7	22	72	976	Btuh
4	2, Clear, DEF, N, N	S	11	3	6.0	6.0	0.0	22	37	132	Btuh
5	2, Clear, DEF, N, N	W	1.5	3	6.0	1.7	4.3	22	72	347	Btuh
6	2, Clear, DEF, N, N	N	1.5	4	31.5	0.0	31.5	22	22	693	Btuh
7	2, Clear, DEF, N, N	E	0	0	10.5	0.0	10.5	22	72	756	Btuh
8	2, Clear, DEF, N, N	S	1.5	4	12.0	12.0	0.0	22	37	264	Btuh
9	2, Clear, DEF, N, N	S	1.5	4	5.0	5.0	0.0	22	37	110	Btuh
10	2, Clear, DEF, N, N	S	1.5	4	10.5	10.5	0.0	22	37	231	Btuh
11	2, Clear, DEF, N, N	W	0	0	10.5	0.0	10.5	22	72	756	Btuh
Window Total					145					4991	Btuh
Walls	Type	R-Value			Area		HTM		Load		
1	Frame - Exterior	13.0			1769.0		1.7		3078 Btuh		
2	Frame - Adjacent	13.0			176.0		1.0		183 Btuh		
Wall Total					1945.0				3261 Btuh		
Doors	Type	R-Value			Area		HTM		Load		
1	Insulated - Exter				20.0		10.1		203 Btuh		
2	Insulated - Exter				20.0		10.1		203 Btuh		
Door Total					40.0				406 Btuh		
Ceilings	Type/Color	R-Value			Area		HTM		Load		
1	Single Assembly/Dark	19.0			780.0		2.1		1622 Btuh		
Ceiling Total					780.0				1622 Btuh		
Floors	Type	R-Value			Size		HTM		Load		
1	Raised Wood	19.0			509.0 sqft		0.0		0 Btuh		
2	Raised Wood	19.0			265.0 sqft		0.0		0 Btuh		
Floor Total					774.0				0 Btuh		
Infiltration	Type	ACH			Volume		CFM=		Load		
	Natural	0.70			10448		122.1		2418 Btuh		
	Mechanical						0		0 Btuh		
Infiltration Total							122		2418 Btuh		

Internal gain	Occupants	Btuh/occupant	Appliance	Load
	6	X 300 +	1200	3000 Btuh

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Bauhus  
Lake City, FL

Project Title:  
507254BauhusInc

Class 3 Rating  
Registration No. 0  
Climate: North

9/15/2005

<b>Totals for Cooling</b>	<b>Subtotal</b>	<b>15698 Btuh</b>
	<b>Duct gain(using duct multiplier of 0.00)</b>	<b>0 Btuh</b>
	<b>Total sensible gain</b>	<b>15698 Btuh</b>
	<b>Latent infiltration gain (for 51 gr. humidity difference)</b>	<b>4236 Btuh</b>
	<b>Latent occupant gain (6 people @ 230 Btuh per person)</b>	<b>1380 Btuh</b>
	<b>Latent other gain</b>	<b>0 Btuh</b>
	<b>TOTAL GAIN</b>	<b>21314 Btuh</b>

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
(U - Window U-Factor or 'DEF' for default)  
(InSh - Interior shading device: none(N), Blinds/Daperies(B) or Roller Shades(R))  
(ExSh - Exterior shading device: none(N) or numerical value)  
(Ornt - compass orientation)



# COLUMBIA COUNTY BUILDING DEPARTMENT

## RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001 ONE (1) AND TWO (2) FAMILY DWELLINGS ALL REQUIREMENTS ARE SUBJECT TO CHANGE EFFECTIVE MARCH 1, 2002

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1606 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

### APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

#### GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant

Plans Examiner

All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.

Designers name and signature on document (FBC 104.2.1). If licensed architect or engineer, official seal shall be affixed.

#### Site Plan including:

- a) Dimensions of lot
- b) Dimensions of building set backs
- c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
- d) Provide a full legal description of property.

#### Wind-load Engineering Summary, calculations and any details required

- a) Plans or specifications must state compliance with FBC Section 1606
- b) The following information must be shown as per section 1606.1.7 FBC
  - a. Basic wind speed (MPH)
  - b. Wind importance factor (I) and building category
  - c. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
  - d. The applicable internal pressure coefficient
  - e. Components and Cladding. The design wind pressure in terms of psf (kN/m<sup>2</sup>), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional

#### Elevations including:

- a) All sides
- b) Roof pitch 4/12
- c) Overhang dimensions and detail with attic ventilation
- d) Location, size and height above roof of chimneys
- e) Location and size of skylights
- f) Building height 25'
- g) Number of stories 2

**Floor Plan including:**

- a) Rooms labeled and dimensioned
- b) Shear walls *See Sheet S-2*
- c) Windows and doors (including garage doors) showing size, mfg., approval listing and attachment specs. (FBC 1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- d) Fireplaces (gas appliance) (vented or non-vented) or wood burning with hearth
- e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- f) Must show and identify accessibility requirements (accessible bathroom) *NO BR. 1<sup>ST</sup> FLOOR*

**Foundation Plan including:**

- a) Location of all load-bearing wall with required footings indicated as standard Or monolithic and dimensions and reinforcing
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling
- d) Location of any vertical steel

**Roof System:**

- a) Truss package including:
  - 1. Truss layout and truss details signed and sealed by FI. Pro. Eng.
  - 2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- b) Conventional Framing Layout including:
  - 1. Rafter size, species and spacing
  - 2. Attachment to wall and uplift
  - 3. Ridge beam sized and valley framing and support details
  - 4. Roof assembly (FBC 104.2.1 Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

**Wall Sections including:**

- a) Masonry wall
  - 1. All materials making up wall
  - 2. Block size and mortar type with size and spacing of reinforcement
  - 3. Lintel, tie-beam sizes and reinforcement
  - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
  - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
  - 6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
  - 7. Fire resistant construction (if required)
  - 8. Fireproofing requirements
  - 9. Shoe type of termite treatment (termicide or alternative method)
  - 10. Slab on grade
    - a. Vapor retardant (6mil. Polyethylene with joints lapped 6 inches and sealed)
    - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
  - 11. Indicate where pressure treated wood will be placed
  - 12. Provide insulation R value for the following:
    - a. Attic space
    - b. Exterior wall cavity
    - c. Crawl space (if applicable)

**b) Wood frame wall**

1. All materials making up wall  
2. Size and species of studs  
3. Sheathing size, type and nailing schedule  
4. Headers sized  
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail  
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)  
7. Roof assembly shown here or on roof system detail (FBC104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)  
8. Fire resistant construction (if applicable)  
9. Fireproofing requirements  
10. Show type of termite treatment (termicide or alternative method)  
11. Slab on grade  
a. Vapor retardant (6Mil. Polyethylene with joints lapped 6 inches and sealed  
b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports  
12. Indicate where pressure treated wood will be placed  
13. Provide insulation R value for the following:  
a. Attic space  
b. Exterior wall cavity  
c. Crawl space (if applicable)

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

**Floor Framing System:**

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer  
b) Floor joist size and spacing  
c) Girder size and spacing  
d) Attachment of joist to girder  
e) Wind load requirements where applicable

**Plumbing Fixture layout**

**Electrical layout including:**

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified  
b) Ceiling fans  
c) Smoke detectors  
d) Service panel and sub-panel size and location(s)  
e) Meter location with type of service entrance (overhead or underground)  
f) Appliances and HVAC equipment  
g) Arc Fault Circuits (AFCI) in bedrooms

**HVAC information**

- a) Manual J sizing equipment or equivalent computation  
b) Exhaust fans in bathroom

**Energy Calculations** (dimensions shall match plans)

**Gas System** Type (LP or Natural) Location and BTU demand of equipment

**Disclosure Statement for Owner Builders**

**\*\*\*Notice Of Commencement Required Before Any Inspections Will Be Done**

**Private Potable Water**

- a) Size of pump motor  
b) Size of pressure tank  
c) Cycle stop valve if used

## **THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued.  
(386) 758-1058 ( **Toilet facilities shall be provided for construction workers** )
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**  
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

**ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK**

# **NOTICE:**

## **ADDRESSES BY APPOINTMENT ONLY!**

**TO OBTAIN A 9-1-1 ADDRESS THE REQUESTER MUST CONTACT THE COLUMBIA COUNTY 9-1-1 ADDRESSING DEPARTMENT AT (386) 752-8787 FOR AN APPOINTMENT TIME AND DATE:**

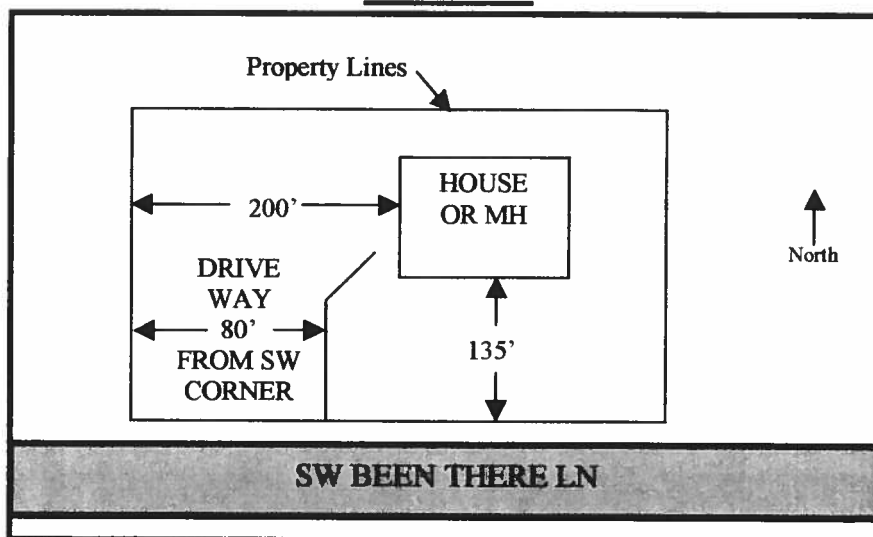
## **YOU CAN NOT OBTAIN A NEW ADDRESS OVER THE TELEPHONE. MUST MAKE AN APPOINTMENT!**

**THE ADDRESSING DEPARTMENT IS LOCATED AT 263 NW LAKE CITY AVENUE (OFF OF WEST U.S. HIGHWAY 90 WEST OF INTERSTATE 75 AT THE COLUMBIA COUNTY EMERGENCY OPERATIONS CENTER).**

### **THE REQUESTER WILL NEED THE FOLLOWING:**

1. THE PARCEL OR TAX ID NUMBER (SAMPLE: "25-4S-17-12345-123" OR "R12345-123) FOR THE PROPERTY.
2. A PLAT, PLAN, SITE PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
  - a. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
  - b. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
  - c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

### **SAMPLE:**



**NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.**

**NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA**

**\*\*\*THIS DOCUMENT MUST BE RECORDED AT THE COUNTY  
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.\*\*\***

THE UNDERSIGNED hereby gives notice that improvement will  
with Chapter 713, Florida Statutes, the following information is

Inst: 2006007578 Date: 03/28/2006 Time: 14:13

Tax Parcel ID Number 07-45-17-08106-231

DC, P. DeWitt Cason, Columbia County B: 1078 P: 200

**PERMIT # 24267**

1. Description of property: (legal description of the property and street address or 911 address)

412 SW DEANNA TERR, LAKE CITY  
Lot # 1

2. General description of improvement: RESIDENTIAL HOUSE

3. Owner Name & Address BAUHUS INC, PO BOX 656, LIVE OAK, FL 32064  
Interest in Property WARR. DEED

4. Name & Address of Fee Simple Owner (if other than owner):

N/A

5. Contractor Name WOLF SCHROM Phone Number 386-364-4793  
Address PO BOX 656, LIVE OAK, FL 32064 CELL 813-786-0730

6. Surety Holders Name N/A Phone Number \_\_\_\_\_  
Address \_\_\_\_\_  
Amount of Bond \_\_\_\_\_

7. Lender Name N/A Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name WOLF SCHROM Phone Number 386-364-4793  
Address PO BOX 656, LIVE OAK, FL 32064

9. In addition to himself/herself the owner designates N/A of  
\_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -  
(a) 7. Phone Number of the designee \_\_\_\_\_

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,  
(Unless a different date is specified) \_\_\_\_\_

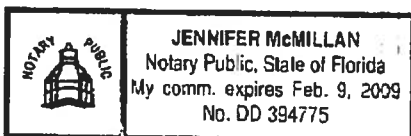
**NOTICE AS PER CHAPTER 713, Florida Statutes:**

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Signature of Owner

Sworn to (or affirmed) and subscribed before  
day of Dec 27, 20 05

NOTARY STAMP/SEAL



Jennifer McMillan  
Signature of Notary



**CERTIFICATE OF OCCUPANCY**

# OCCUPANCY

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 07-4S-17-08106-231

Building permit No. 000024267

Use Classification SFD, UTILITY

Fire: 11.16

Permit Holder BAUHUSWOLF SCHROM

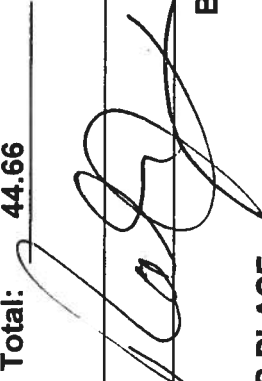
Waste: 33.50

Owner of Building BAUHUS, INC

Total: 44.66

Location: 412 SW DEANNA TERR, LAKE CITY FL

Date: 08/13/2007



Building Inspector

**POST IN A CONSPICUOUS PLACE  
(Business Places Only)**



## Notice of Treatment

Applicator: **Florida Pest Control & Chemical Co. (www.flapest.com)**

Address: \_\_\_\_\_

City \_\_\_\_\_ Phone \_\_\_\_\_

Site Location: Subdivision \_\_\_\_\_

Lot # \_\_\_\_\_ Block# \_\_\_\_\_ Permit # \_\_\_\_\_

Address \_\_\_\_\_

**Product used**

**Active Ingredient**

**% Concentration**

☐ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ Bora Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☐ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line \_\_\_\_\_.

\_\_\_\_\_  
Date Time Print Technician's Name

Remarks: \_\_\_\_\_

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05



**CORPORATE HEADQUARTERS:**

P.O. BOX 5369  
116 N.W. 16TH AVENUE  
GAINESVILLE, FL 32602-5369

(352) 376-2661  
FAX (352) 376-2791

FOUNDED 1949

SCIENTIFIC PEST CONTROL DIRECTED BY GRADUATE ENTOMOLOGISTS

*Complete Pest Control Service*  
*Member Florida & National Pest Control Associations*

12187

Reply to: 536 SE Baya Dr  
Lake City, FL 32025  
Phone (386) 752-1703 Fax (386) 752-0171

*Lot # 1*

# TERMITE TREATMENT CERTIFICATION

Owner:	Permit Number:
Bauhus Inc.	24267
Lot:	Block:
Subdivision:	Street Address:
	412 S.W. Deanna Ter.
City:	County:
Lake City	Columbia
General Contractor:	Area Treated:
Bauhus Inc	1737 sf
Date:	Time:
11-21-06	11:20
Name of applicator	Applicator ID Number:
James Parker	JE 55238
Product Used: Active Ingredient: % Concentration	Number of gallons used:
Bora-Care: Disodium Octaborate Tetrahydrate: 23.0%	3
Method of termite prevention treatment: Wood Treatment	

The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.  
This form is proof of complete treatment for Certificate of Occupancy or Closing.

**THIS IS PROOF OF WARRANTY**

Warranty and Treatment Certifications Have Been Issued.

Authorized Signature:	Date:
<i>Kim Coleman</i>	8-30-07

**BRANCHES:**

• Crystal River • Daytona Beach • Ft. Walton Beach • Jacksonville South • Jacksonville West • Lake City • Milton • Ocala • Orlando • Palatka • Panama City • Pensacola • Starke • St. Augustine • Tallahassee • Winter Haven • Leesburg • Kissimmee •