

DATE02/06/2006

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT000024117

APPLICANTBO ROYALS

PHONE754-6737

ADDRESS3882W US HWY 90

LAKE CITYFL32055

OWNERKEVIN & SARA MATTHEWS

PHONE496-0613

ADDRESS455SW HAMMOCK HILL CIRCLE

LAKE CITYFL32024

CONTRACTORDALE HOUSTON

PHONE752-7814

LOCATION OF PROPERTY

441 S, R SW HAMMOCK HILL CIRCLE, LEFT AT STOP SIGN

4TH BOARD FENCE ON LEFT

TYPE DEVELOPMENTMH,UTILITY

ESTIMATED COST OF CONSTRUCTION0.00

HEATED FLOOR AREA

TOTAL AREA

HEIGHT

STORIES

FOUNDATION

WALLS

ROOF PITCH

FLOOR

LAND USE & ZONINGA-3

MAX. HEIGHT35

Minimum Set Back Requirments:

STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.0

FLOOD ZONEA

DEVELOPMENT PERMIT NO.

PARCEL ID21-6S-17-09709-000

SUBDIVISION

LOT

BLOCK

PHASE

UNIT

TOTAL ACRES4.00

IH0000040



Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING

05-1252-N

BK

JH

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: LETTER RECIEVED FROM ENGINEER MH MUST BE AT LEAST

131" MINUMIM FLOOR ELEVATION, SEE DEEDS FOR ACESS (SON)

Check # or Cash

24195

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

Pool

date/app. by

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$0.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$200.00

ZONING CERT. FEE \$50.00

FIRE FEE \$47.36

WASTE FEE \$98.00

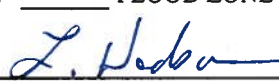
FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$25.00

CULVERT FEE \$

TOTAL FEE420.36

INSPECTORS OFFICE



CLERKS OFFICE



NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**For Office Use Only**

(Revised 6-23-05)

Zoning Official

BLK 06.02.06

Building Official

AP# 0512-49

Date Received 12-20-05

By LH

Permit # 24117

Flood Zone X A

Development Permit

MA

Zoning A-3

Land Use Plan Map Category A-3

Comments

Need Setup MANUAL Rec'd 12-21-05

Does not appear to have legal access ✓ on it.

05-1252A

FEMA Map#

Elevation

Finished Floor

River

In Floodway

☒ Site Plan with Setbacks Shown
 ☒ EH Signed Site Plan
 ☐ EH Release
 ☒ Well letter
 ☐ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner
 ☐ Letter of Authorization from installer

(with installation sheets.)

Property ID # 21-65-17 - 09709-000 Must have a copy of the property deed

 New Mobile Home ☒ Used Mobile Home _____ Year 2006

Applicant William E. Roysls Phone # (386) 754-6737

Address 3882 W. U.S. Hwy 90 Lake City, FL 32055

Name of Property Owner Kevin or Sara G. Matthews Phone # (386) 496-0613

911 Address 455 SW Hammock Hwy/Circle LC FL 32024

 Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home Kevin or Sara Matthews (son) Phone # 496-0613

Address 11747 S.W. 36th Way, Lake Butler, FL 32054

 Relationship to Property Owner Son

Current Number of Dwellings on Property _____

 Lot Size _____ Total Acreage 4 acres

 Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)

Is this Mobile Home Replacing an Existing Mobile Home _____

Driving Directions to the Property I-75 to Hwy 41 turn Rt. go approx 2 1/2 miles to S.W. Hammock Hill circle turn Rt. Go to stop sign. Turn left. Go to 4 Board fence on left.

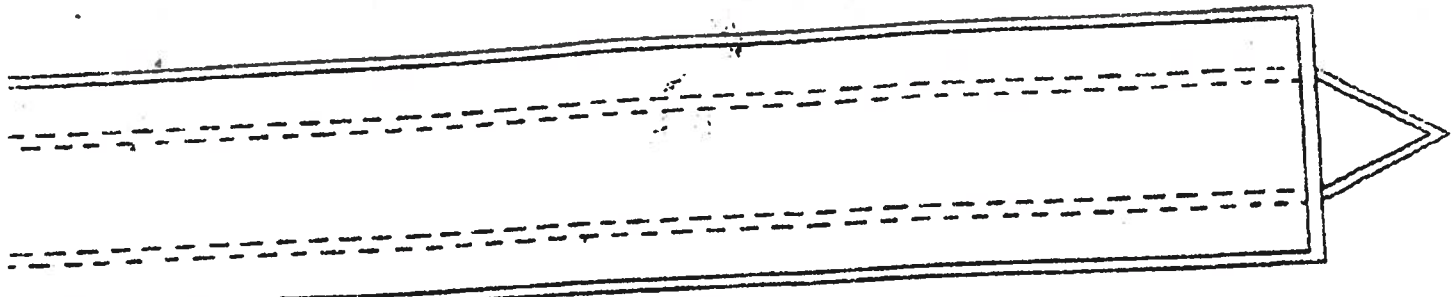
Name of Licensed Dealer/Installer Dale Houston Phone # 752-7814

Installers Address 136 S.W. Barrs Glen Lake City, FL 32024

License Number I H 0000040 Installation Decal # 252707

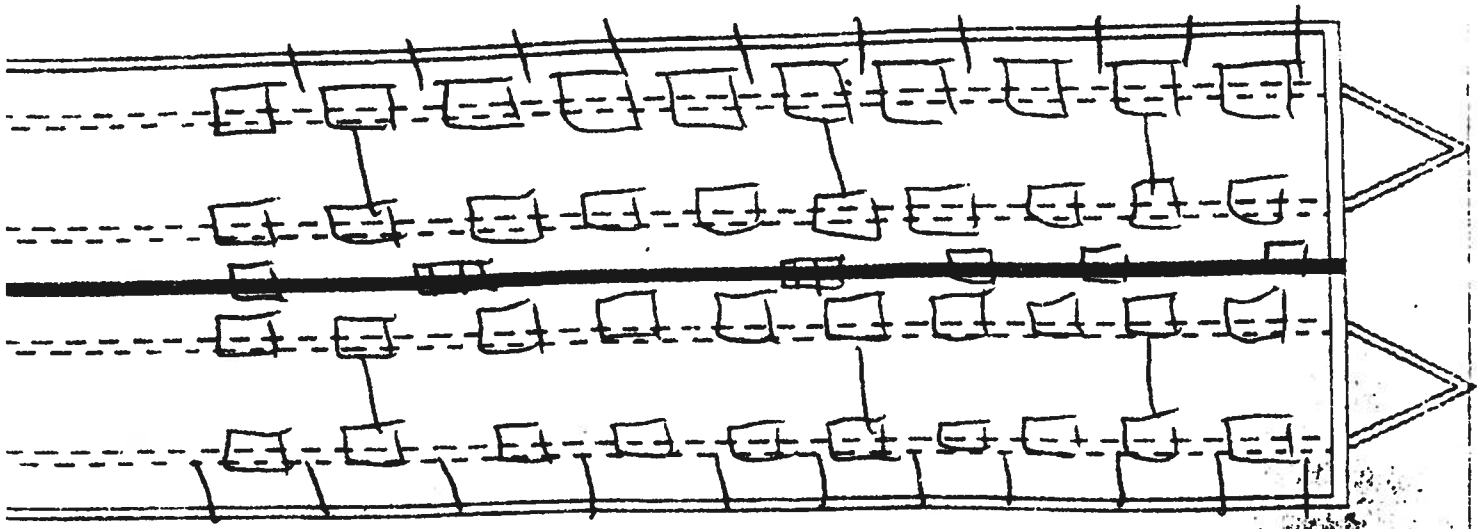
Applicant shall provide layout from the manufacturer is not available.

SINGLE WIDE MOBILE HOME



32x52- 1000 steel - 23x31
plus 10 per side - 6'00c
anchors - 11 per side - 5'40c

6-Longitudinal Syst



DOUBLE WIDE MOBILE HOME

-  ANCHOR
-  PIER
-  PIER FOOTING

Show all pier (with size of piers & pads) and anchor location, with maximum spacing and distance from end s. as required in the manufacturer's specifications. Any special pier footing required (over 16 x 16 inches) shall be d separately with required dimensions per the manufacturer's specifications. To determine footing size and ing, a soil bearing capacity test shall be used. Pier footings to be poured-in-place, whether required by ufacturer's specifications or by preference, must be inspected by the Building Department prior to pouring.

PERMIT WORKSHEET

INSTALLER: Dale Hush License # 1H0000043

Address of home being installed

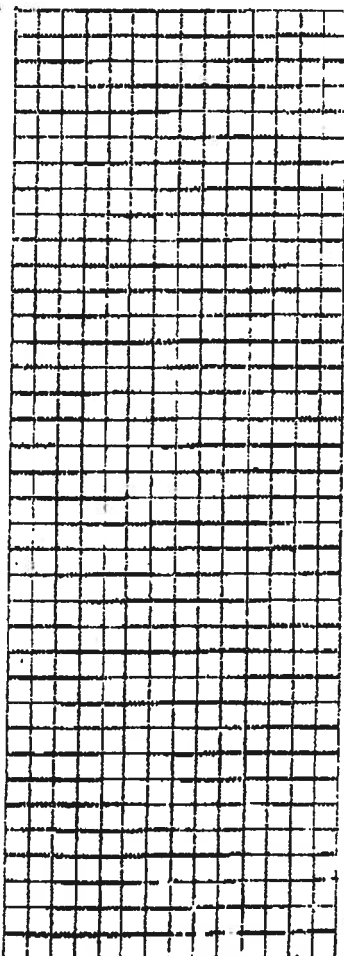
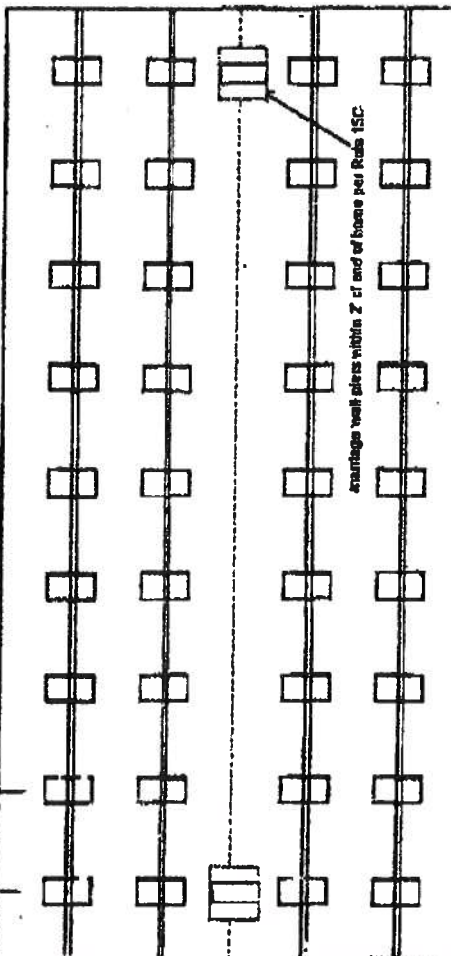
Manufacturer Forto

Length x width 56 x 32

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home.

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials DTH



New Home ☒ Used Home ☐
 Home installed to the Manufacturer's Installation Manual ☒
 Home is installed in accordance with Rule 15-C ☐
 Single wide ☐ Wind Zone II ☐ Wind Zone III ☐
 Double wide ☒ Installation Decal # 252707
 Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	Footer size (sq ft)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	9'
1500 psf	4'	5'	6'	7'	8'	9'	10'
2000 psf	5'	6'	7'	8'	9'	10'	11'
2500 psf	6'	7'	8'	9'	10'	11'	12'
3000 psf	7'	8'	9'	10'	11'	12'	13'
3500 psf	8'	9'	10'	11'	12'	13'	14'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 23x31

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of manilage wall openings 4 foot or greater. Use this symbol to show the piers.

Use all manilage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 6' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer _____

OTHER TIES

Number

Sidewall

Longitudinal

Manilage wall

Shearwall

Oliver Technology

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to or check here to declare 1000 lb. soil without testing psf

X X

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X X X

TORQUE PROBE TEST

The results of the torque probe test is inch pounds or check here if you are declaring 5' anchors without testing A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

 installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name DATE Houston

Date Tested 12/15/08

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 57

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 40

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 40

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pwd Other

Fascinating multi wide units

Floor: Type Fastener: LAGS Length: Spacing: 12x24"
Wall: Type Fastener: stap Length: Spacing: 12"
Roof: Type Fastener: LAGS Length: Spacing: 12x24"
For used homes a min. 30 gauge, 6" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv roofing nails at 2" on center on both sides of the centerline.

Gasket (see the spacing requirements)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials DH

Type gasket BPM
Pg. 32

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. 13
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rufe 15C-1 & 2

Installer Signature Dale Houston

Date 12/15/08



Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056-1625
6919 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456
Tel. (904) 262-4046 • Fax (904) 262-4047

December 21, 2005

Kevin Mathews
455 S. W. Hammock Hill Circle
Lake City, Florida 32024

Reference: Proposed Residence
597 S. W. Hammock Hill Circle
Columbia County, Florida
Cal-Tech Project No. 05-658

Dear Mr. Mathews,

Cal-Tech Testing, Inc. has completed an investigation and evaluation of the site for a residence to be constructed at the referenced address in Columbia County, Florida. The purposes of our work were to evaluate the potential for flooding of the proposed residence and to provide recommendations for selecting the finished floor elevation.

Based upon the U.S.G.S. quadrangle map of the area, the centerline of S. W. Hammock Hill Circle adjacent the site has an elevation of approximately 136.0 feet. Based upon this elevation, the ground surface at the perimeter of the residence has a maximum elevation of approximately 129.5 feet. The finished floor is to be about 1.5 feet above this maximum elevation or at an elevation of about 131.0. Thus the finished floor is to be about 5.0 feet below the centerline of the adjacent roadway.

Columbia County regulations require the finished floor elevation of a new residence to be at least 12 inches above the elevation of the adjacent roadway unless it can be shown that such an elevation is not required to substantially reduce the likelihood of flooding.

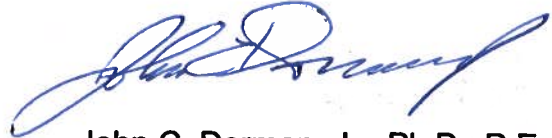
Based upon the FEMA flood map of the area, a flood zone is located immediately west of the proposed home site. The flood elevation for this area has not been determined by FEMA; however, based upon the flood area delineated by the flood map, the flood elevation adjacent the home site is estimated to be 117.0 feet. Thus the finished floor of the residence is to be about 14 feet above the local flood elevation. Based upon this elevation difference, it is our opinion elevating the finished floor of the residence to 12 inches above the adjacent roadway will not be required to substantially reduce the likelihood of flooding.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,
Cal-Tech Testing, Inc.



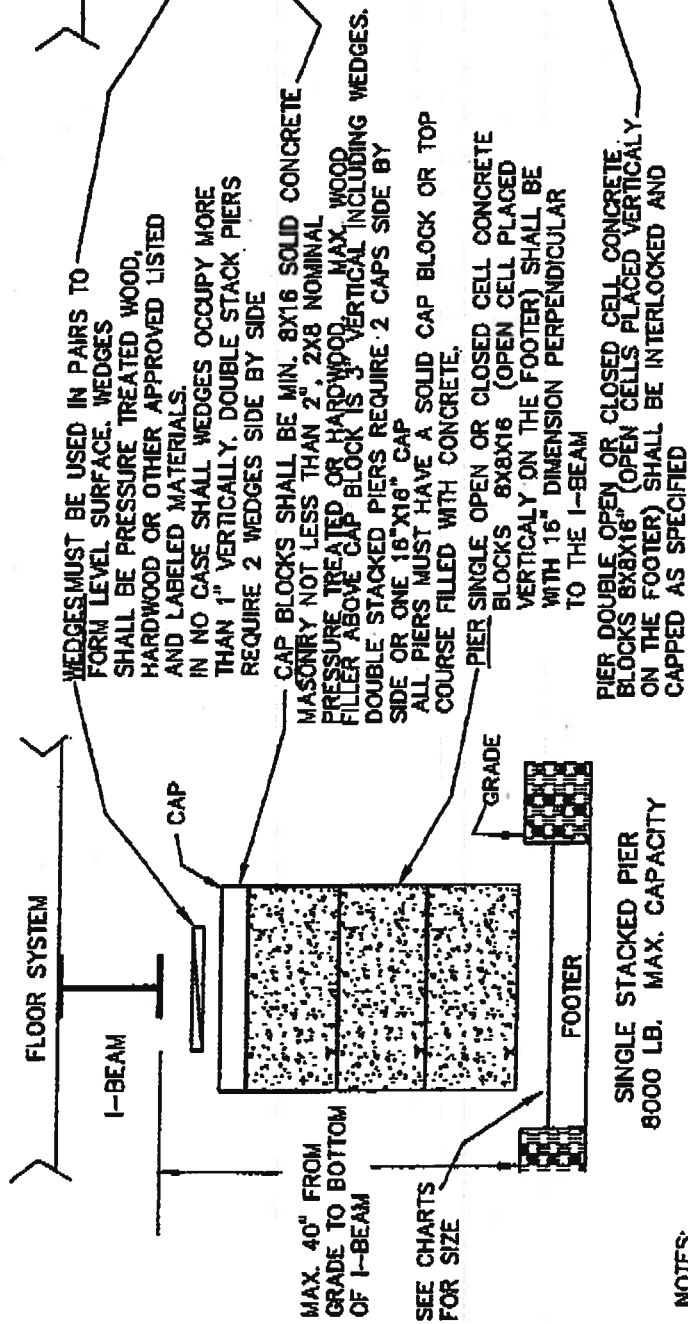
Linda Creamer
President / CEO



John C. Dorman, Jr., Ph.D., P.E.
Geotechnical Engineer 12/21/05

52612

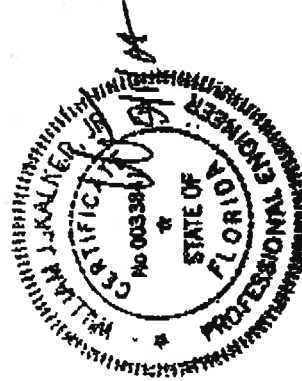
SINGLE AND DOUBLE STACKED MAIN I-BEAM SUPPORT PIERS (NO MORTAR OR GROUT REQUIRED)



NOTES:

- 1 IN AREAS WHERE THE GROUND IS SUBJECT TO FREEZING, THE FOOTINGS MUST EXTEND BELOW THE FROST LINE ESTABLISHED BY LOCAL JURISDICTION
- 2 FOOTINGS TO BE PLACED ON FIRM UNDISTURBED, STABLE SOIL WITH ALL ORGANIC MATERIAL REMOVED
- 3 FOUNDATIONS INSTALLED ON SOILS WITH BEARING CAPACITIES LESS THAN 1000 PSF MUST BE DESIGNED BY A PROFESSIONAL ENGINEER FAMILIAR WITH THE SITE CONDITIONS
- 4 FOOTING MATERIALS TO BE CONCRETE WITH A MINIMUM COMPRESSION STRENGTH AT 28 DAYS EQUAL TO 2500 PSI FOR POURED IN PLACE CONCRETE OR 4000 PSI FOR PRECAST CONCRETE (MINIMUM)
- 5 MINIMUM PIER FOOTING SIZE 16"x18" (256 SQ. INCHES)
- 6 THE THICKNESS AND DEPTH OF THE FOOTING MUST BE IN COMPLIANCE WITH LOCAL CODE REQUIREMENTS. THE FOOTING MUST, HOWEVER, HAVE A MINIMUM THICKNESS EQUAL TO THE PROJECTION OF THE FOOTING BEYOND THE PIER. (WITH UNREINFORCED CONCRETE FOOTING) ALSO A 4" MIN. THICKNESS IS REQUIRED FOR PRECAST CONCRETE, AND 6" MIN. THICKNESS IS REQUIRED FOR POURED CONCRETE FOOTINGS
- 7 ALTERNATIVE FOOTING MATERIALS ACCEPTABLE TO THE LOCAL JURISDICTION MAYBE USED IN LIEU OF FOOTINGS LISTED ABOVE (INSTALLED AS PER PRODUCT INSTRUCTIONS)
- 8 PIER HEIGHTS SHALL BE SUCH THAT A MINIMUM CLEARANCE OF 18" IS MAINTAINED BETWEEN GRADE AND BOTTOM OF FLOOR JOIST
- 9 ALL CORNER PIERS OVER (3) BLOCKS HIGH SHALL BE DOUBLED TIERED
- 10 THERE MUST ALWAYS BE AT LEAST ONE PIECE OF WOOD BETWEEN CONCRETE PIERS AND BOTTOM OF FLOOR SYSTEM

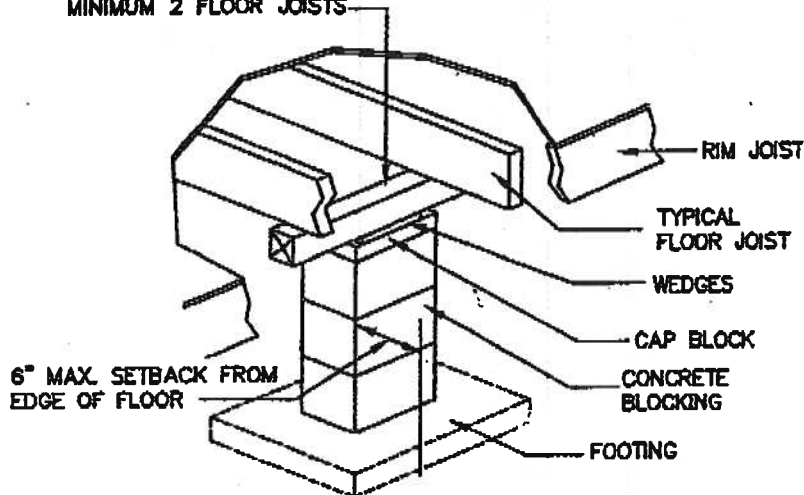
DOUBLE STACKED PIER
16,000 LB. MAX. CAPACITY



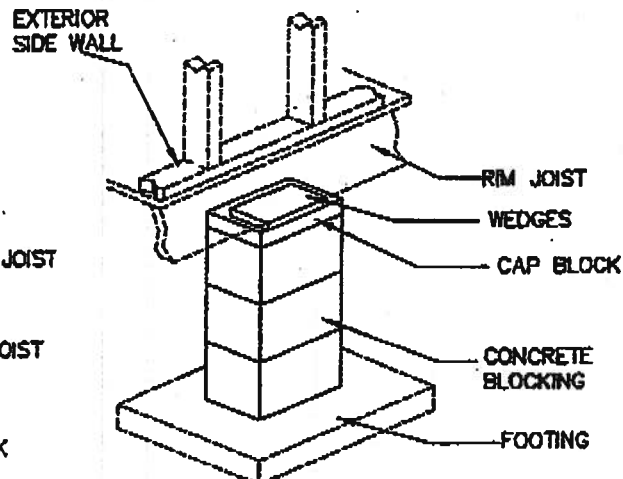
HARTON

PIER APPLICATIONS

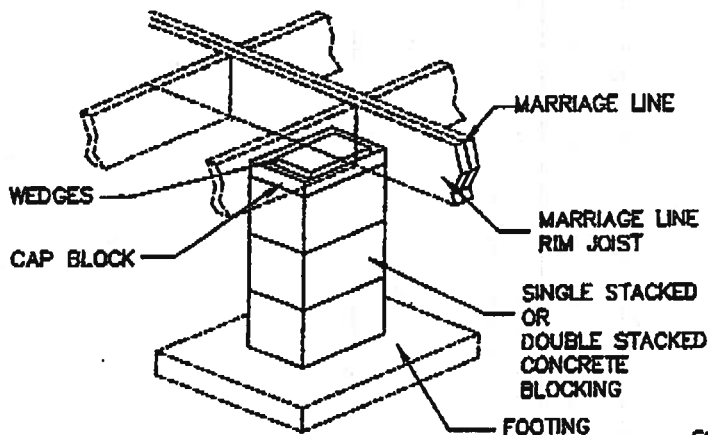
(1) 4X4 OR (2)-2X4'S ON EDGE
(NAILED TOGETHER) SPANNING
MINIMUM 2 FLOOR JOISTS



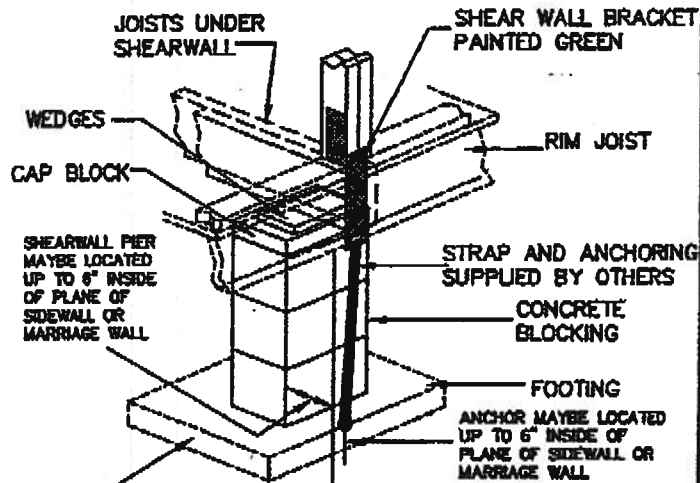
SIDEWALL APPLICATION
BLOCKS PARALLEL AND RECESSED
BACK FROM EDGE OF FLOOR



SIDEWALL APPLICATION
BLOCKS PARALLEL WITH
EDGE OF FLOOR



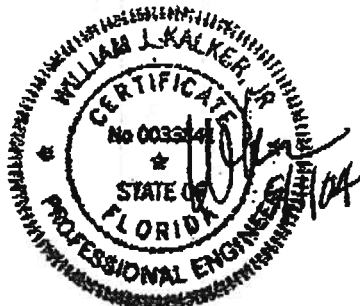
MARRIAGE WALL APPLICATION



FOOTING CAPACITY USE
4000 LBS OR 3000 LBS
FOR SHEARWALL, 300 PLF
OR LESS.

WHEN OUTRIGGER IS
LOCATED AT SHEARWALL
LOCATION, INSTALL
SUPPORT PIER WITHIN
6 INCHES OF OUTRIGGER
LOCATION.

SHEARWALL PIER



TYPICAL FOUNDATION PLAN

FOUNDATION DIMENSIONS			
WIDE	WIDE	WIDE	WIDE
24	27	28	32
11'-0"	13'-0"	14'-0"	16'-0"
33'-1/2"	35'-0"	36'-0"	40'-0"
95'-1/2"	95'-1/2"	95'-1/2"	95'-1/2"

NOTES:

- THIS FOUNDATION DIAGRAM IS FOR 95' L-BEAM SPACING ONLY.
- ADDITIONAL PIERS ARE REQUIRED AT EXTERIOR WALL OPENINGS GREATER THAN 48" IN WIDTH. (IE: GLASS SLIDING DOORS AND MULLED WINDOWS) OR BELOW LARGE CONCENTRATED LOADS (I.E., WATER BEDS).
- ADDITIONAL PIERS ARE REQUIRED AT ENDS OF ALL SHEARWALLS IN ACCORDANCE WITH THE SETUP MANUAL. SHEARWALLS ARE MARKED ON HOUSE WITH GREEN TIE DOWN BRACKETS. REFER TO SETUP MANUAL FOR ADDITIONAL INFORMATION.
- MARRIAGE WALL PERS (BUILT UNIT HOMES ONLY) ARE REQUIRED AT MARRIAGE WALL OPENINGS GREATER THAN 48" IN WIDTH. MARRIAGE WALL PIER LOCATIONS SHOWN ON PLAN ARE OFFSET 12" MAX. (CENTERLINE OF PIER TO CENTERLINE OF STRAP) TO ALLOW FOR VERTICAL ANCHORS (STRAPS).
- MAXIMUM PIER SPACING IS 8'-0". ACTUAL REQUIRED PIER SPACING WILL VARY ACCORDING TO FOOTING SIZE AND SOIL CAPACITY. REFER TO MANUAL FOR ADDITIONAL INFORMATION.
- PIER SPACING MAY VARY TO ALLOW FOR LONGITUDINAL TIEDOWNS.
- REFER TO MANUAL FOR ADDITIONAL SETUP INFORMATION.

NOTE: SEE OTHER DRAWINGS FOR ADDITIONAL SPECIFICATIONS

PLAN KEY

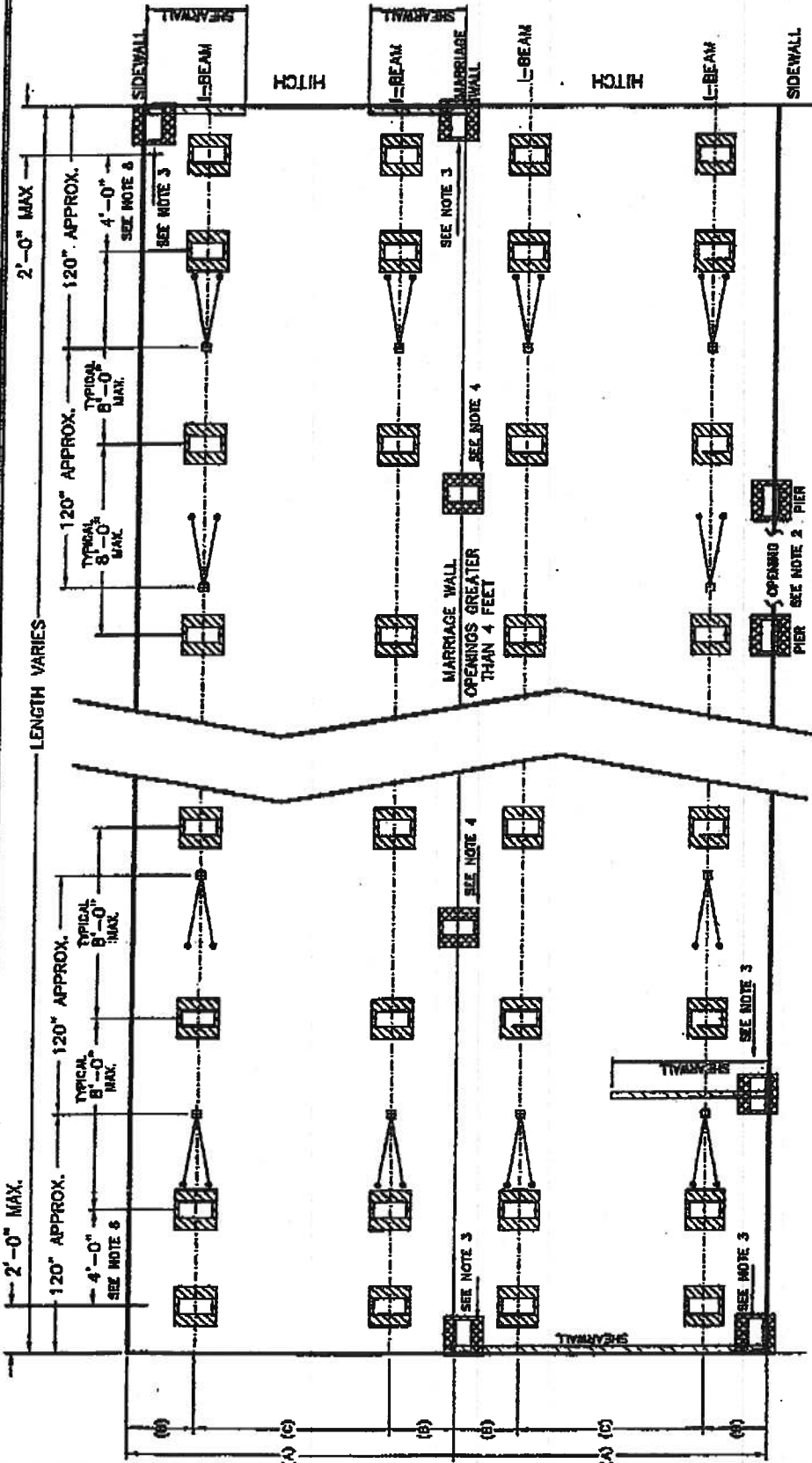
- INDICATES TYPICAL FRAME PIER (UNDERNEATH L-BEAMS) - REFER TO SETUP MANUAL FOR INFORMATION.
- INDICATES TYPICAL MARRIAGE WALL, SHEARWALL, AND EXTERIOR WALL PIER--REFER TO SETUP MANUAL FOR INFORMATION.
- INDICATES TYPICAL LONGITUDINAL TIEDOWN LOCATION (UNDERNEATH L-BEAMS) - REFER TO SETUP MANUAL FOR INFORMATION WHEN REQUIRED.



HORTON HOMES, INC.
DYNASTY HOMES, INC.

TYPICAL FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

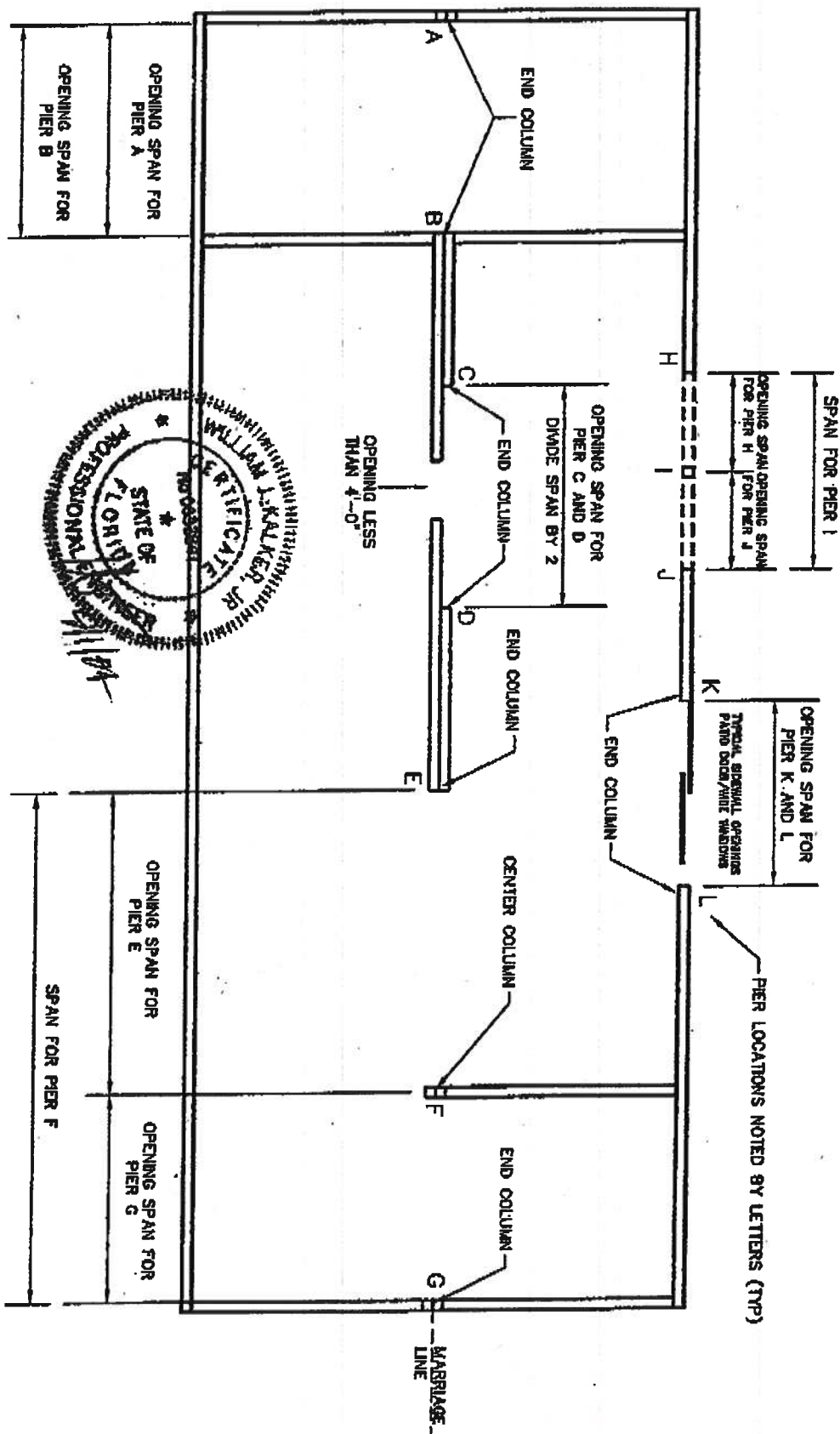




DYNASTY HOMES, INC.

SIDEWALL AND MARRIAGE WALL OPENING PROCEDURE FOR OPENINGS GREATER THAN 4'-0" IN WIDTH

INSTALL PIERS ON EACH SIDE OF OPENINGS GREATER THAN 48" IN WIDTH



INSTALL PIERS BELOW END COLUMNS AND CENTER COLUMNS AS NOTED ON THIS DRAWING

MULTIPLE SECTION PIER LOADS

24 DOUBLE WIDE
UNITS
20 PSF ROOF

12' WIDE WITH MAX. 12 INCH OVERHANG
(144" FLOOR WITH MAX. 12 INCH OVERHANG)

MAX. PIER SPACING	PIER LOADS IN POUNDS	MIN. FOOTING AREA (SQ. INCHES) ** 256 SQ. INCHES MIN. ** FOR SOIL BEARING CAPACITY SPECIFIED				
		SOIL BEARING CAPACITY	1000 PSF	1500 PSF	2000 PSF	2500 PSF
4'-0" O.C.	2216		458	267	258 **	256 **
5'-0" O.C.	2770		572	333	256 **	258 **
6'-0" O.C.	3324		685	400	283	258 **
7'-0" O.C.	3878		799	467	330	258 **
8'-0" O.C.	4432		913	533	376	281

- PIERS TO BE INSTALLED NOT MORE THAN 2'-0" FROM EACH END OF FLOOR AND AT A MAXIMUM PIER SPACING AS SPECIFIED IN CHART SHOWN ABOVE
- INDIVIDUAL PIER SPACING MAYBE EXCEEDED BY UP TO 10% SO LONG AS THE AVERAGE SPACING DOES NOT EXCEED TABULATED SPACING VALUES SHOWN ABOVE

SIDEWALL OPENINGS FOOTING AREAS

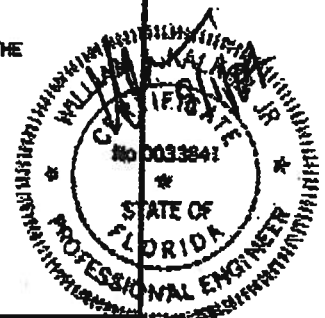
MAXIMUM OPENING	PIER LOADS IN POUNDS	MIN. FOOTING AREA (SQ. INCHES) ** 256 SQ. INCHES MIN. ** FOR SOIL BEARING CAPACITY SPECIFIED				
		SOIL BEARING CAPACITY	1000 PSF	1500 PSF	2000 PSF	2500 PSF
4'-0"	490		256 **	256 **	256 **	256 **
6'-0"	735		256 **	256 **	256 **	256 **
8'-0"	980		256 **	256 **	256 **	256 **
10'-0"	1225		256 **	256 **	256 **	256 **
12'-0"	1471		284	256 **	256 **	256 **
14'-0"	1718		323	256 **	256 **	256 **
16'-0"	1961		363	256 **	256 **	256 **
18'-0"	2206		402	258	256 **	256 **
20'-0"	2451		441	283	256 **	256 **

MARRIAGE WALL OPENINGS FOOTING AREAS

MAXIMUM OPENING	PIER LOADS IN POUNDS	MIN. FOOTING AREA (SQ. INCHES) ** 256 SQ. INCHES MIN. ** FOR SOIL BEARING CAPACITY SPECIFIED				
		SOIL BEARING CAPACITY	1000 PSF	1500 PSF	2000 PSF	2500 PSF
4'-0"	840		256 **	256 **	256 **	256 **
6'-0"	1250		256 **	256 **	256 **	256 **
8'-0"	1680		317	256 **	256 **	256 **
10'-0"	2100		365	256 **	256 **	256 **
12'-0"	2520		412	291	256 **	256 **
14'-0"	2940		519	334	256 **	256 **
16'-0"	3380		586	377	278	256 **
18'-0"	3780		654	420	310	256 **
20'-0"	4200		720	463	342	270
22'-0"	4620		787	506	373	295
24'-0"	5040		855	550	405	321
26'-0"	5480		922	593	437	348
28'-0"	5880		989	636	469	371
30'-0"	6300		1056	680	501	398
32'-0"	6720		1124	723	532	421
34'-0"	7140		1191	766	565	447
36'-0"	7580		1258	809	598	472
38'-0"	7980		1325	852	628	497
40'-0"	8400		1393	895	659	522

- THE SIDEWALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLUMNS (CLEAR SPAN ON ONE SIDE OF COLUMNS ONLY). FOR PIERS SUPPORTING CENTER STUD COLUMNS ADD THE CLEAR SPANS ON EACH SIDE OF CENTER COLUMNS TOGETHER BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA.
 - THE MARRIAGE WALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLUMNS (CLEAR SPAN ON ONE SIDE OF COLUMNS ONLY). FOR PIERS SUPPORTING CENTER STUD COLUMNS ADD THE CLEAR SPANS ON EACH SIDE OF CENTER COLUMNS TOGETHER BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA.
- THE MARRIAGE WALL CHART ABOVE ASSUMES A COLUMN IS LOCATED IN BOTH HALFS OF THE DOUBLE WIDE HOME (LOAD IN THE TABLE IS LOAD FROM EACH HALF COMBINED). FOR COLUMNS LOCATED IN ONLY ONE HALF OF THE DOUBLE WIDE DIVIDE THE CLEAR SPAN OR SUM OF CLEAR SPANS BY 2 BEFORE USING THE TABLE ABOVE.
- SHEARWALL PIERS MUST BE DESIGNED TO SUPPORT A PIER LOAD OF 4000 POUNDS. FOR PLF LOADS THAT DO NOT EXCEED 300PLF, PIER LOADS MAYBE REDUCED TO 3000 POUNDS.

HARTON



MULTIPLE SECTION PIER LOADS

EXAMPLE
27 DOUBLE WIDE
UNITS
20 PSF ROOF

14' WIDE WITH MAX. 14 INCH OVERHANG
(168" FLOOR WITH MAX. 14 INCH OVERHANG)

MAX. PIER SPACING	PIER LOADS IN POUNDS	MIN. FOOTING AREA (SQ. INCHES) ** 256 SQ. INCHES MIN. ** FOR SOIL BEARING CAPACITY SPECIFIED	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
		SOIL BEARING CAPACITY					
4'-0" O.C.	2588		463	267	297	256 **	256 **
5'-0" O.C.	3236		364	269	256 **	256 **	256 **
6'-0" O.C.	3883		669	431	317	256 **	256 **
7'-0" O.C.	4530		773	498	347	290	256 **
8'-0" O.C.	5177		877	564	415	329	273

- PIERS TO BE INSTALLED NOT MORE THAN 2'-0" FROM EACH END OF FLOOR AND AT A MAXIMUM PIER SPACING AS SPECIFIED IN CHART SHOWN ABOVE
- INDIVIDUAL PIER SPACING MAYBE EXCEEDED BY UP TO 10% SO LONG AS THE AVERAGE SPACING DOES NOT EXCEED TABULATED SPACING VALUES SHOWN ABOVE

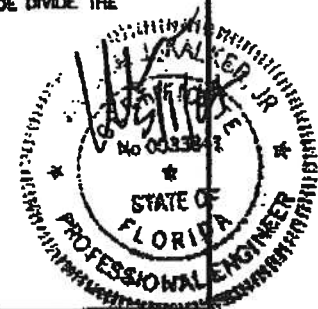
SIDEWALL OPENINGS FOOTING AREAS

MAXIMUM OPENING	PIER LOADS IN POUNDS	MIN. FOOTING AREA (SQ. INCHES) ** 256 SQ. INCHES MIN. ** FOR SOIL BEARING CAPACITY SPECIFIED	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
		SOIL BEARING CAPACITY					
4'-0"	440		256 **	256 **	256 **	256 **	256 **
5'-0"	680		256 **	256 **	256 **	256 **	256 **
6'-0"	880		256 **	256 **	256 **	256 **	256 **
10'-0"	1099		256 **	256 **	256 **	256 **	256 **
12'-0"	1319		256 **	256 **	256 **	256 **	256 **
14'-0"	1539		256 **	256 **	256 **	256 **	256 **
16'-0"	1759		256 **	256 **	256 **	256 **	256 **
18'-0"	1979		256 **	256 **	256 **	256 **	256 **
20'-0"	2199		400	258	256 **	256 **	256 **

MARRIAGE WALL OPENINGS FOOTING AREAS

MAXIMUM OPENING	PIER LOADS IN POUNDS	MIN. FOOTING AREA (SQ. INCHES) ** 256 SQ. INCHES MIN. ** FOR SOIL BEARING CAPACITY SPECIFIED	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
		SOIL BEARING CAPACITY					
4'-0"	720		256 **	256 **	256 **	256 **	256 **
6'-0"	1080		256 **	256 **	256 **	256 **	256 **
8'-0"	1440		366	256 **	256 **	256 **	256 **
10'-0"	1800		432	322	256 **	256 **	256 **
12'-0"	2160		500	284	256 **	256 **	256 **
14'-0"	2520		568	365	268	256 **	256 **
16'-0"	2880		634	408	302	256 **	256 **
18'-0"	3240		702	484	334	264	256 **
20'-0"	3600		770	434	368	288	256 **
22'-0"	3960		836	536	396	314	260
24'-0"	4320		904	582	428	338	280
26'-0"	4680		970	544	402	366	302
28'-0"	5040		1038	658	492	390	324
30'-0"	5400		1106	710	524	416	344
32'-0"	5760		1172	754	556	440	366
34'-0"	6120		1238	798	588	466	386
36'-0"	6480		1306	840	620	490	408
38'-0"	6840		1374	884	652	516	428
40'-0"	7200		1440	926	684	540	448

- THE SIDEWALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLUMNS (CLEAR SPAN ON ONE SIDE OF COLUMNS ONLY). FOR PIERS SUPPORTING CENTER STUD COLUMNS ADD THE CLEAR SPANS ON EACH SIDE OF CENTER COLUMNS TOGETHER BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA.
- THE MARRIAGE WALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLUMNS (CLEAR SPAN ON ONE SIDE OF COLUMNS ONLY). FOR PIERS SUPPORTING CENTER STUD COLUMNS ADD THE CLEAR SPANS ON EACH SIDE OF CENTER COLUMNS TOGETHER BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA.
- THE MARRIAGE WALL CHART ABOVE ASSUMES A COLUMN IS LOCATED IN BOTH HALFS OF THE DOUBLE WIDE HOME (LOAD IN THE TABLE IS LOAD FROM EACH HALF COMBINED). FOR COLUMNS LOCATED IN ONLY ONE HALF OF THE DOUBLE WIDE DIVIDE THE CLEAR SPAN OR SUM OF CLEAR SPANS BY 2 BEFORE USING THE TABLE ABOVE.
- SHEARWALL PIERS MUST BE DESIGNED TO SUPPORT A PIER LOAD OF 4000 POUNDS. FOR PLF LOADS THAT DO NOT EXCEED 300PLF, PIER LOADS MAYBE REDUCED TO 3000 POUNDS.



Horton



Horton

1. THE SIDEWALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLUMNS (CLEAR SPAN ON ONE SIDE OF COLUMNS ONLY). BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA, FOR PIERS SUPPORTING CENTER STUD COLUMNS ADD THE CLEAR SPANS ON EACH SIDE OF CENTER COLUMNS TOGETHER.
2. THE MARRIAGE WALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLUMNS (CLEAR SPAN ON ONE SIDE OF COLUMNS ONLY). BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA, FOR PIERS SUPPORTING CENTER STUD COLUMNS ADD THE CLEAR SPANS ON EACH SIDE OF CENTER COLUMNS TOGETHER.
3. SHEARWALL PIERS MUST BE DESIGNED TO SUPPORT A PIER LOAD OF 4000 POUNDS. FOR PIER LOADS THAT DO NOT EXCEED 3000 PSF, PIER LOADS MAYBE REDUCED TO 3000 POUNDS.

MAXIMUM OPENING	PIER LOADS IN POUNDS	SOL BEARING CAPACITY	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
4'-0"	900	256 **	256 **	256 **	256 **	256 **	256 **
6'-0"	1350	256 **	256 **	256 **	256 **	256 **	256 **
8'-0"	1800	256 **	256 **	256 **	256 **	256 **	256 **
10'-0"	2250	256 **	256 **	256 **	256 **	256 **	256 **
12'-0"	2700	256 **	256 **	256 **	256 **	256 **	256 **
14'-0"	3150	256 **	256 **	256 **	256 **	256 **	256 **
16'-0"	3600	256 **	256 **	256 **	256 **	256 **	256 **
18'-0"	4050	256 **	256 **	256 **	256 **	256 **	256 **
20'-0"	4500	256 **	256 **	256 **	256 **	256 **	256 **
22'-0"	4950	256 **	256 **	256 **	256 **	256 **	256 **
24'-0"	5400	256 **	256 **	256 **	256 **	256 **	256 **
26'-0"	5850	256 **	256 **	256 **	256 **	256 **	256 **
28'-0"	6300	256 **	256 **	256 **	256 **	256 **	256 **
30'-0"	6750	256 **	256 **	256 **	256 **	256 **	256 **
32'-0"	7200	256 **	256 **	256 **	256 **	256 **	256 **
34'-0"	7650	256 **	256 **	256 **	256 **	256 **	256 **
36'-0"	8100	256 **	256 **	256 **	256 **	256 **	256 **
38'-0"	8550	256 **	256 **	256 **	256 **	256 **	256 **
40'-0"	9000	256 **	256 **	256 **	256 **	256 **	256 **

MAXIMUM OPENING	PIER LOADS IN POUNDS	SOL BEARING CAPACITY	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
4'-0"	920	256 **	256 **	256 **	256 **	256 **	256 **
6'-0"	1360	256 **	256 **	256 **	256 **	256 **	256 **
8'-0"	1840	256 **	256 **	256 **	256 **	256 **	256 **
10'-0"	2320	256 **	256 **	256 **	256 **	256 **	256 **
12'-0"	2800	256 **	256 **	256 **	256 **	256 **	256 **
14'-0"	3280	256 **	256 **	256 **	256 **	256 **	256 **
16'-0"	3760	256 **	256 **	256 **	256 **	256 **	256 **
18'-0"	4240	256 **	256 **	256 **	256 **	256 **	256 **
20'-0"	4720	256 **	256 **	256 **	256 **	256 **	256 **
22'-0"	5200	256 **	256 **	256 **	256 **	256 **	256 **
24'-0"	5680	256 **	256 **	256 **	256 **	256 **	256 **
26'-0"	6160	256 **	256 **	256 **	256 **	256 **	256 **
28'-0"	6640	256 **	256 **	256 **	256 **	256 **	256 **
30'-0"	7120	256 **	256 **	256 **	256 **	256 **	256 **
32'-0"	7600	256 **	256 **	256 **	256 **	256 **	256 **
34'-0"	8080	256 **	256 **	256 **	256 **	256 **	256 **
36'-0"	8560	256 **	256 **	256 **	256 **	256 **	256 **
38'-0"	9040	256 **	256 **	256 **	256 **	256 **	256 **
40'-0"	9520	256 **	256 **	256 **	256 **	256 **	256 **

MAXIMUM PIER SPACING	PIER LOADS IN POUNDS	SOL BEARING CAPACITY	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
4'-0" O.C.	2748	488	514	256 **	256 **	256 **	256 **
5'-0" O.C.	3436	598	385	256 **	256 **	256 **	256 **
6'-0" O.C.	4123	708	456	256 **	256 **	256 **	256 **
7'-0" O.C.	4810	818	527	368	307	256 **	256 **
8'-0" O.C.	5497	928	598	439	348	256 **	256 **

EXAMPLE
32 DOUBLE WIDE
UNITS
20 PSF ROOF
15' WIDE WITH MAX. 14" INCH OVERHANG
(180" FLOOR WITH MAX. 14" INCH OVERHANG)

MULTIPLE SECTION PIER LOADS

HORTON

FIELD INSTALLED

[illegible]

REF CALC NO 123 MARCH 17 1999

O.H. = MAX SIDEWALL ROOF OVERHANG

ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO AGGREGATELY SUPPORT A 3100# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725#) MIN. WHEN LOADED AT A 45° ANGLE FROM THE ANCHOR SHAFT AND A 4000# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 6200#) MIN. WHEN LOADED PARALLEL TO THE ANCHOR SHAFT.

* HEIGHT FROM GRADE TO TOP OF STEEL BEAM.

NOTE: DURING ALL TIEDOWN INSTALLATIONS, PROTECTION MUST BE PROVIDED TO ALL TIEDOWN STRAPS AT ALL SHARP CORNERS.

NOTE: SPECIFICATIONS ON THIS DRAWING SUPERSEDE ALL OTHER SPECIFICATIONS SHOWN ON OTHER DRAWINGS AND/OR IN THE SET-UP MANUAL.

GA-II-301

Horton Homes, Inc.
Dynasty Homes, Inc.

WILLIAM KALKER & ASSOC.

SH-63 (FIELD)

TYPE	ANCHORAGE SYSTEM
1	ANCHOR
2	ANCHOR
3	ANCHOR
4	ANCHOR
5	ANCHOR
6	ANCHOR
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98	ANCHOR
99	ANCHOR
100	ANCHOR

DATE	TIME	BY	REMARKS
10/10/10	10:00	1000	1000

DATE	1 -
INVS AMOUNT	

2723698 N.T.S

89

No. 6861 P. 10

SS06LG770

Dec. 21. 2005 12:35PM

MAXIMUM TIEDOWN SPACINGS

HORTON
FIELD INSTALLED

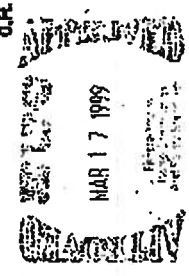
UNIT TYPE	WIND ZONE	MAXIMUM SIDEWALL HEIGHT	MAXIMUM SIDEWALL VERTICAL/FRAME TIEDOWN SPACING AND LOCATION	MAXIMUM DISTANCE BETWEEN MARRIAGE WALL FRAME TIEDOWN STRAPS	MINIMUM * STEEL BEAM HEIGHT	MAXIMUM * STEEL BEAM HEIGHT	GROUND ANCHOR BACKANGLE
16" FLOOR w/ 4" OH SINKLEWIDE	2	90"	8' 0" OC NEAR BM 8' 0" OC FAR BM	N/A	24"	40"	0
16" FLOOR w/ 4" OH SINKLEWIDE	3	90"	6' 12" OC NEAR BM 6' 0" OC FAR BM	N/A	24"	40"	0
18" FLOOR w/ 4" OH SINKLEWIDE	2	90"	8' 12" OC NEAR BM 8' 0" OC FAR BM	N/A	24"	40"	0
18" FLOOR w/ 4" OH SINKLEWIDE	3	90"	7' 0" OC NEAR BM 7' 0" OC FAR BM	N/A	24"	40"	0

06

WIND ZONE II (100 MPH)
WIND ZONE III (110 MPH)

REF CALC NO 143 MARCH 17 1998

O.H. = MAX SIDEWALL ROOF OVERHANG



QA-M-300

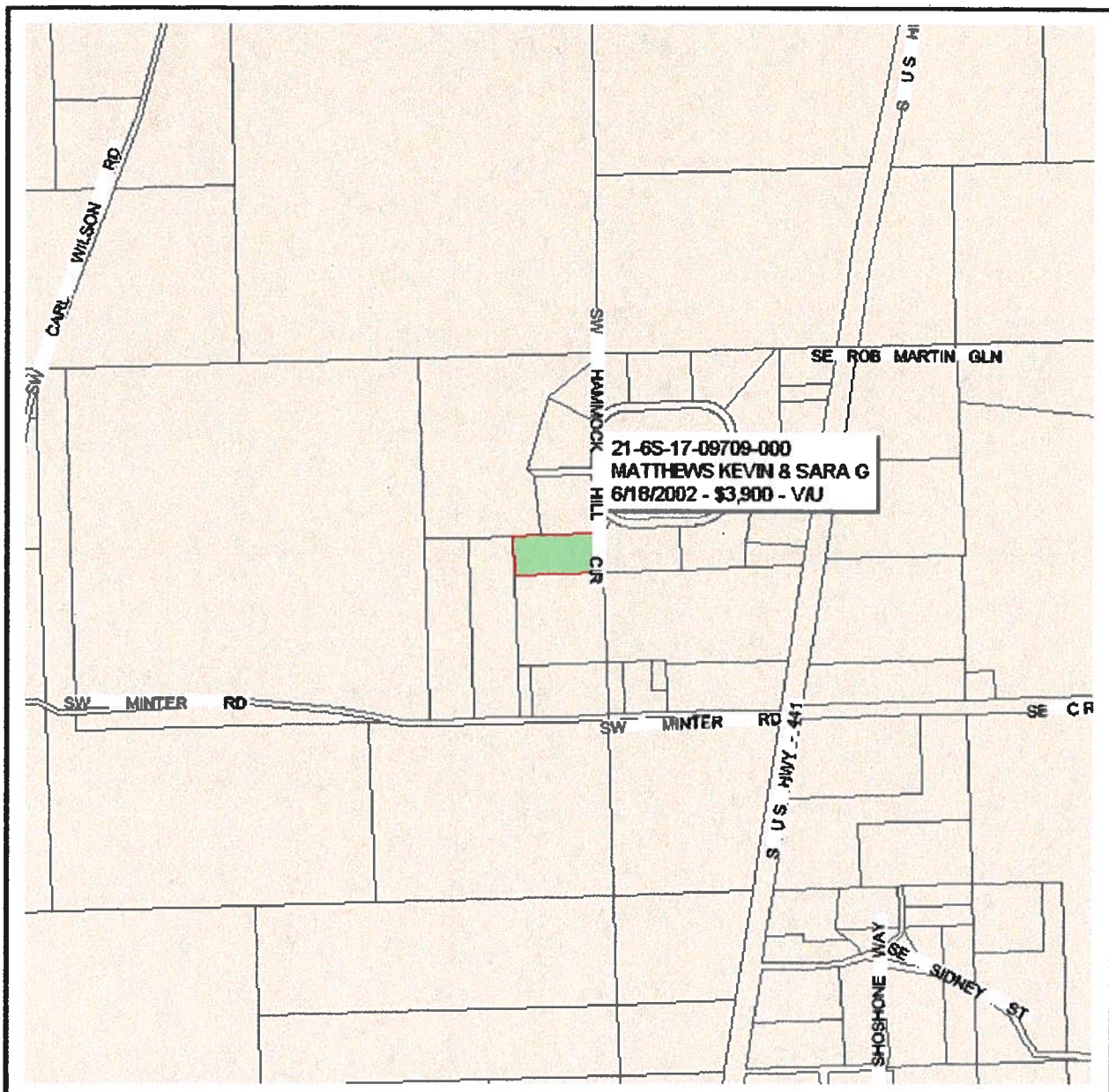
Horton Homes, Inc. Dynasty Homes, Inc.	
DRAWING NO.	WILLIAM KALKER & ASSOC.
TYPE	SW-G-3 (FIELD)
ANCHOR SYSTEM	ANCHORAGE SYSTEM
DATE	12/2/98
DRAWN BY	N.T.S.

ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725#) MIN. WHEN LOADED AT A 45° ANGLE FROM THE ANCHOR SHAFT AND A 1000# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4000#) MIN. WHEN LOADED PARALLEL TO THE ANCHOR SHAFT.

* HEIGHT FROM GRADE TO TOP OF STEEL BEAM.

NOTE: DURING ALL TIEDOWN INSTALLATIONS, PROTECTION MUST BE PROVIDED TO ALL TIEDOWN STRAPS AT ALL SHARP CORNERS.

NOTE: SPECIFICATIONS ON THIS DRAWING SUPERSEDE ALL OTHER SPECIFICATIONS SHOWN ON OTHER DRAWINGS AND/OR IN THE SET-UP MANUAL



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 21-6S-17-09709-000 - NO AG ACRE (009900)

E1/2 OF SE1/4 OF NE1/4 EX 1033 FT OFF S SIDE.DESC AS: BEG AT NE COR E1/2 OF SE1/4 OF NE1/4 W

Name: MATTHEWS KEVIN & SARA G

Site:

455 SW HAMMOCK HILL CIR
LAKE CITY, FL 32024

Sales 6/7/2004 \$100.00 V / U

Info 6/18/2002 \$3,900.00 V / U

LandVal \$16,480.00

BldgVal \$0.00

ApprVal \$16,480.00

JustVal \$16,480.00

Assd \$12,480.00

Exmpt \$0.00

Taxable \$12,480.00

0 0.09 0.18 0.27 mi



This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



APPROXIMATE SCALE IN FEET
2000 0 2000

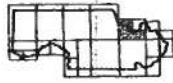
NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 250 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0250 B

EFFECTIVE DATE:

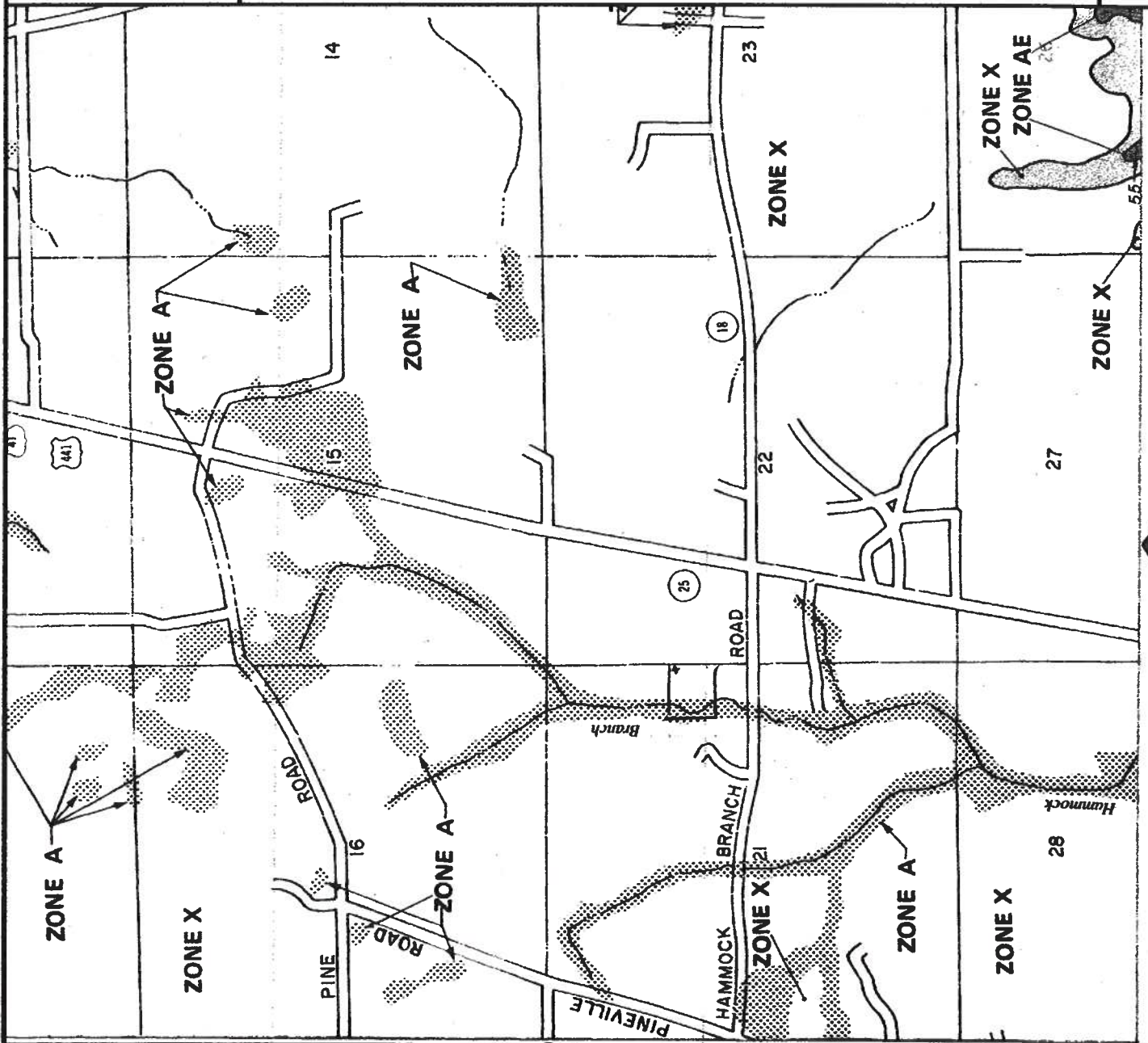
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/mifbnd

Print Date: 12/20/2005 (printed at scale and type A)



E1/2 OF SE1/4 OF NE1/4 EX 1033
FT OFF S SIDE.DESC AS: BEG AT
NE COR E1/2 OF SE1/4 OF NE1/W
RUN S 285 FT, W 660 FT, N 285

21-6S-17-09709-000

Columbia Cou

LAKE CITY

FL 32024

PRINTED 12/08/2005 11:39
APPR 7/15/2005 DF

[illegible]

TOTAL

-EXTRA FEATURES-

FIELD CK:

FIELD CK:										UNITS UT				PRICE				ADJ UT PR				SPCD %							
AE BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	FIELD CK:				UNITS UT				PRICE				ADJ UT PR				SPCD %			
AE	CODE	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:				UNITS UT				PRICE				ADJ UT PR				SPCD %				
AE	CODE	DESC	TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS				UNITS UT				PRICE				ADJ UT PR				SPCD %				
Y	009900	AC NON-AG	A-1	0002					1.00	1.00	1.00		.50		4.000	AC		8240.000					4120.0						
L001 - ADJ 4 POOR ACCESS																													
2006																													

Inst:2004013195 Date:06/07/2004 Time:16:05
Doc Stamp-Deed : 0.70
MDK DC, P. DeWitt Cason, Columbia County B:1017 P:1995

LF298-04
R298-04

QUITCLAIM DEED

~~THIS QUITCLAIM DEED~~, executed this 7th day of JUNE, 2004,
by first party, Grantor, Charles A. Matthews Jr and DIANNE E. Matthews
whose post office address is 455 S.W. Hammock Hill Circle Lake City FLA 32024
to second party, Grantee, Kevin J. Matthews and SARA G. Matthews (Husband + wife)
whose post office address is 455 S.W. Hammock Hill Circle Lake City FLA. 32024

WITNESSETH, That the said first party, for good consideration and for the sum of
TEN Dollars Dollars (\$ 10.00)
paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release
and quitclaim unto the said second party forever, all the right, title, interest and claim which the said first
party has in and to the following described parcel of land, and improvements and appurtenances thereto in
the County of Columbia, State of Florida, to wit:

SEE EXHIBIT "A" ATTACHED.

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written. Signed, sealed and delivered in presence of:

Willie G. Simmons
Signature of Witness

Willie G. Simmons
Print name of Witness

MARIA BONASIO
Signature of Witness

MARIA BONASIO
Print name of Witness

X Charles A. Matthews Jr
Signature of First Party

X Charles A. Matthews Jr
Print name of First Party

X Dianne E. Matthews
Signature of First Party

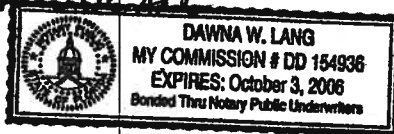
X Dianne E. Matthews
Print name of First Party

State of Florida
County of Columbia }

On June 7, 2004 before me, DAWNA W. LANG, NOTARY PUBLIC,
appeared Charles Albert Matthews, Jr.

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

Dawna W. Lang
Signature of Notary DAWNA W. LANG



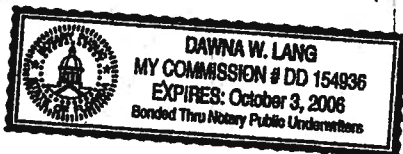
Affiant Known X Produced ID
Type of ID FDL# M320-141-60-43-0
Exp. 11-13-11 (Seal)

State of Florida
County of Columbia }

On June 7, 2004 before me, DAWNA W. LANG, NOTARY PUBLIC,
appeared DIANNE ELIZABETH MATTHEWS

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

Dawna W. Lang
Signature of Notary DAWNA W. LANG



Affiant Known X Produced ID
Type of ID FDL# M320-165-62-748-0
Exp. 07-08-09 (Seal)

Signature of Preparer

Print Name of Preparer

Address of Preparer

EXHIBIT "A"

Commence at the Northeast corner of East one-half of the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 21, T6S, R17E, as the Point of Beginning; run thence South along the Eastern section line of Section 21 a distance of 285 feet more or less the North land line of W. B. Stewart; thence run West along said North land line 660 feet more or less to the West boundary of the East one-half of the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 21; thence run North along said line 285 feet more or less to the quarter-quarter section line; thence run East 660 feet more or less to the Point of Beginning.

Prepared 5-10-04
Ca-matthewslegal

FROM :

FAX NO. :

Dec. 14 2005 12:46PM P1

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

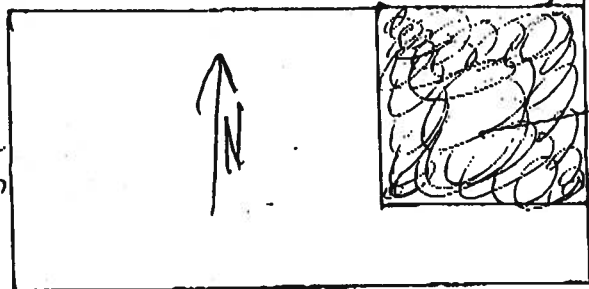
Permit Application Number _____

PART II - SITEPLAN

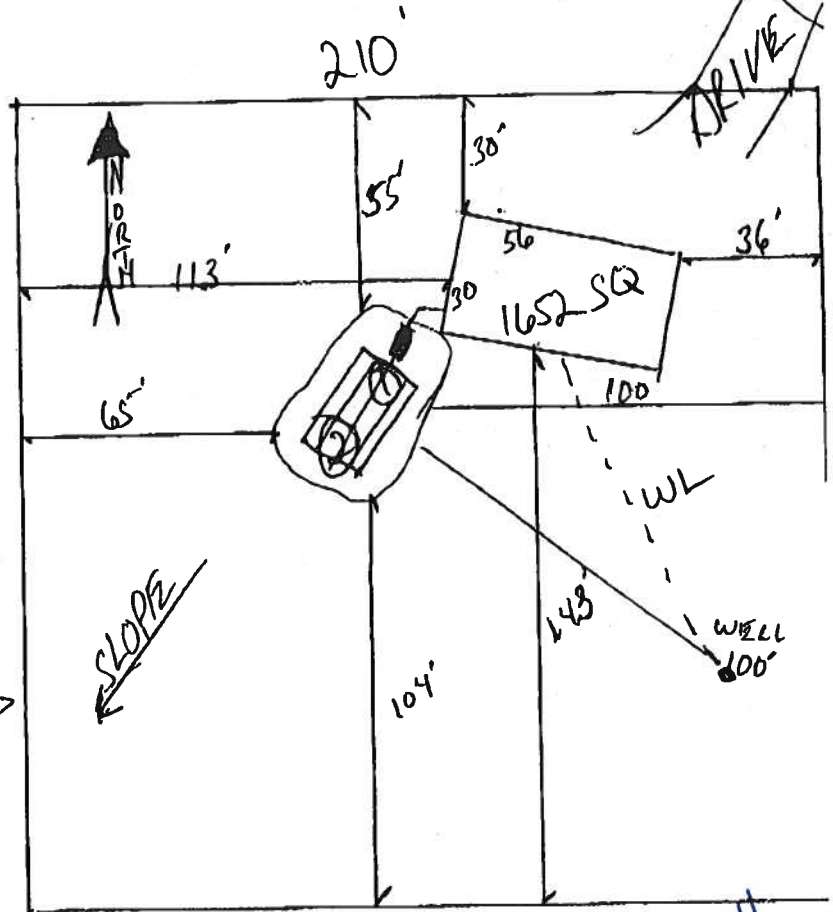
Scale: 1 inch = 50 feet.

MATTHEW

HAMMOCK
HILL
CIRCLE



210'



House on a hill

Notes:

1 of 4 Acres

Site Plan submitted by:

Rocky D. D.

Plan Approved _____

Not Approved _____

By _____

MASTER CONTRACTOR

Date _____

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

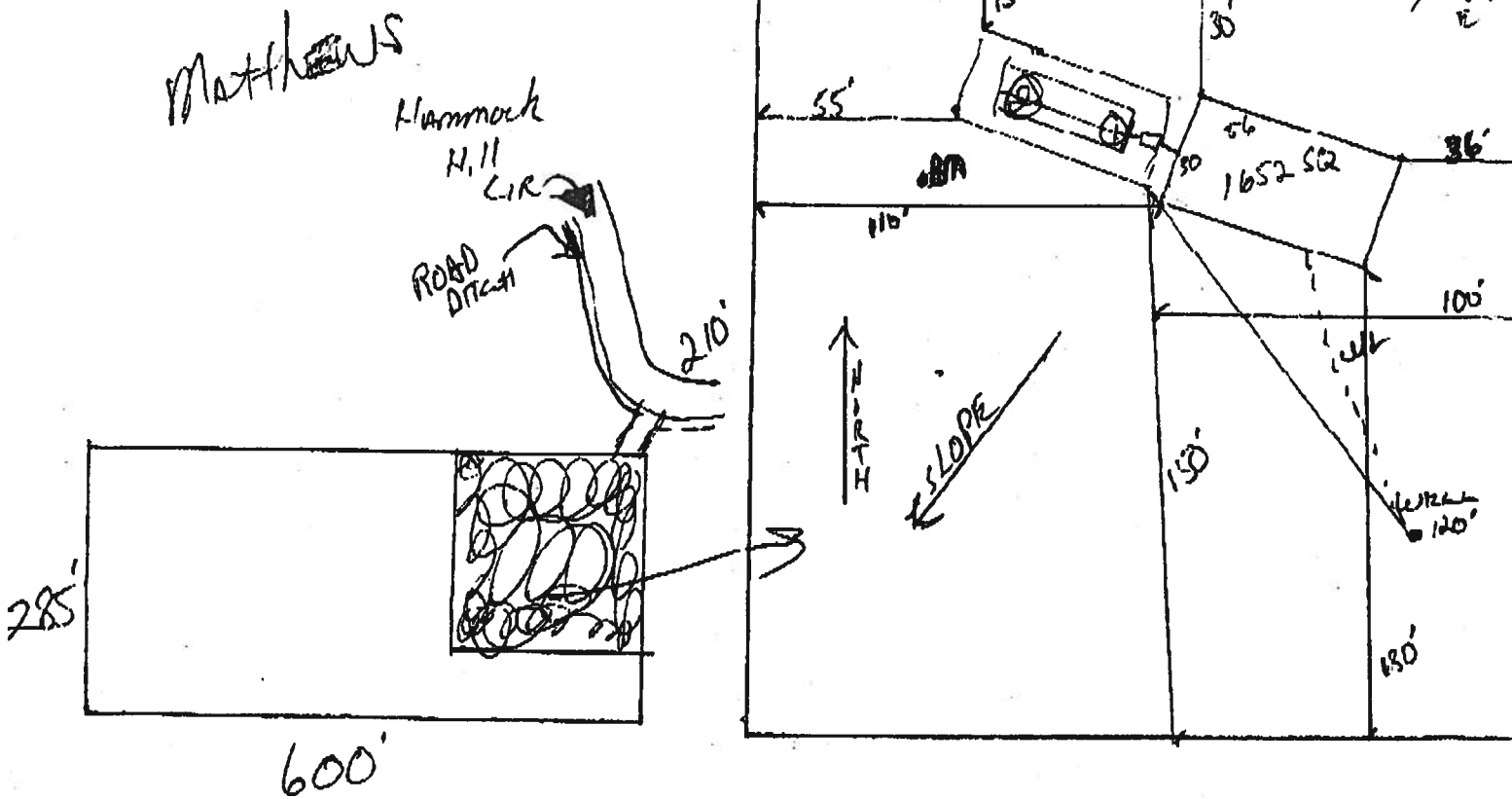
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 05-1252-N

REVISED

PART II - SITEPLAN

Scale: 1 inch = 50 feet.



REVISED
1-4-06

Notes:

1 of 4 Acres

REVISED

Site Plan submitted by:

Rock D 7-0

Plan Approved X

Not Approved

By

Salhi Maddy

ESI

COLUMBIA

MASTER CONTRACTOR

Date 1-4-06

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

RECEIVED
1-3-06

Inst:2005017623 Date:07/25/2005 Time:16:58
Doc Stamp-Deed : 0.70
YH DC, P. DeWitt Cason, Columbia County B:1052 P:2453

LF298-04
R298-04

Easement Right of way.

THIS QUITCLAIM DEED, executed this 25th day of July, 2005,
by first party, Grantor, Charles A. Matthews Jr. and His wife DIANNE E. Matthews ✓
whose post office address is 455 S.W. Hammock Hill CR. Lake City FL 32024
to second party, Grantee, Kevin J. Matthews and His wife SANDY G. Matthews
whose post office address is 455 S.W. Hammock Hill CR. Lake City FL 32024

WITNESSETH, That the said first party, for good consideration and for the sum of
Ten Dollars Dollars (\$ 10.00)
paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release
and quitclaim unto the said second party forever, all the right, title, interest and claim which the said first
party has in and to the following described parcel of land, and improvements and appurtenances thereto in
the County of Columbia, State of Florida, to wit:

An Easement for ingress and egress being
30 feet wide lying northwest of a Surveyed
line described as follows: Begin at Southeast
Corner of lot 4, Pine Oak Hammock A
Subdivision according to plat thereof recorded
in Plat book 6, page 28-280 of public
Records of Columbia County, Florida Run
N32°19'55" E a distance of 110.70 Feet to
Point of Termination.

Matthews
05-1252 N
McCormack
06-0019 N

Matthews

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written. Signed, sealed and delivered in presence of:

Maria Bonasio

Signature of Witness

Maria Bonasio

Print name of Witness

Kristine Prevatt

Signature of Witness

Print name of Witness

Charles A Matthews Jr

Signature of First Party

Charles A Matthews Jr

Print name of First Party

Dianne E. Matthews

Signature of First Party

Dianne E. Matthews

Print name of First Party

State of Florida
County of Columbia }

On

appeared 7/25/05

before me,

Sol S. Rodriguez
Charles Albert Matthews Jr.

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Sol S. Rodriguez

Signature of Notary

Affiant Known Produced ID

Type of ID FLDR CC

(Seal)

State of Florida
County of Columbia }

On

appeared 7/25/05

before me,

Sol S. Rodriguez

Dianne Elizabeth Matthews

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

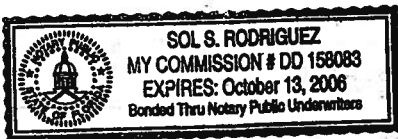
Sol S. Rodriguez

Signature of Notary

Affiant Known Produced ID

Type of ID FLDR

(Seal)



Charles A Matthews Jr

Signature of Preparer

Charles A Matthews Jr

Print Name of Preparer

455 S.W. Hammock Cr

Address of Preparer

"Servicing what we sell"

Phone (386) 454-2200, Fax (386) 454-0605

001927

[illegible]

PLEASE PAY INVOICE. NO STATEMENT WILL BE SENT.

Residential Water System Certification

Building Permit # _____ Owners Name Kevin Matthews
Well Depth 1120 Ft. Casing Depth 144 Ft. Pumping Water Level 105 Ft.
Casing Size 4" PVC ☒ Steel _____
Pump Installation ☒ Submersible ☐ Deep Well Jet # _____ ☐ Shallow Well
Pump Make Sta Rite Pump Model # 2014F02H-03 Hp 1 1/2
System Pressure (PSI) 50 On 40 Off 60 Average Pressure 50 (PSI)
Pumping System GPM at average pressure and pumping level ~~32~~ 20 (GPM)
Tank Installation ☐ Precharged (Bladder Type) ☒ Atmospheric (Galvanized Type)
Make Quick Tank Model G120Y Size 120
Tank Draw-Down Per Cycle at system pressure 32 Gallons

I HEREBY CERTIFY THAT THIS WATER SYSTEM HAS BEEN INSTALLED AS PER ABOVE INFORMATION.

SIGNATURE Chester R. Sheffield PRINT NAME Chester R. Sheffield
LICENSE # 2665 DATE 12-26-05

This form shall be on the job site along with the manufacturers spec sheet for the pump, tank and other devices for final inspection.



STATE OF FLORIDA PERMIT APPLICATION TO CONSTRUCT, REPAIR, MODIFY, OR ABANDON A WELL

- ☐ Southwest
☐ Northwest
☐ St. Johns River
☐ South Florida
☒ Suwannee River

THIS FORM **MUST** BE FILLED OUT COMPLETELY.

The water well contractor is responsible for completing this form and forwarding the permit to the appropriate designated county where applicable.

CHECK BOX FOR APPROPRIATE DISTRICT ADDRESS ON BACK OF PERMIT FORM.

Permit No. 90957
Florida Unique I.D.
Permit Stipulations Required (See attached)

68-524 well ☐
CUPWUP Application No.

1. Kevin Matthews 455 SW Hammock Hill Cir, Lake City, FL 32024 352-745-1905
Owner, Legal Name of Entity if Corporation Address City Zip Telephone Number

2. 455 SW Hammock Hill Cir, Lake City, FL 32024
Well Location - Address, Road Name or Number, City

3. Chester R. Sheffield 2665 (352) 219-9355
Well Drilling Contractor License No. (386) 454-2700 FAX (386) 454-0605

50 North Main Street
Address

High Springs FL 32643
City State Zip

6. Columbia Private
County Subdivision Name

4. SE 1/4 of NE 1/4 of Section 21
(Indicate Well on Chart)

8. Township 16S Range 17E

7. Number of proposed wells 1 Check the use of wells (see back of permit for additional details)
Irrigation (type) Public Water Supply (type) Domestic Monitor (type) Other

Distance from septic system 100 ft. Description of facility Home

8. Application for: ☒ New Construction ☐ Repair/Modify ☐ Abandonment

Estimated start of construction date 12-19-05

9. Estimated: Well Depth 180' Casing Depth 150'
Casing Material: Blk-Steel / Gal (PVC) Casing Diameter 4"

(Reason for Abandonment)

Screen Interval from to
Seal Material Bentonite

10. If applicable: Proposed From 150' to 3' Seal Material Bentonite
Grouting Interval From 3' to 0' Seal Material Portland

11. Telescope Casing or Liner (check one) Diameter
Blk-Steel / Galvanized / PVC Other (specify):

12. Method of Construction: ☒ Rotary ☐ Cable Tool ☐ Combination
Auger Other (specify):

13. Indicate total No. of wells on site 0 List number of unused wells on site 0

14. Is this well or any other well or water withdrawal on the owner's contiguous property covered under a Consumptive Water Use Permit (CUPWUP) or CUPWUP Application? ☒ No ☐ Yes
(If yes, complete the following) CUPWUP No.

District well I.D. No.

Latitude Longitude

Data obtained from GPS or map or survey (map datum NAD 83 NAD 83)

15. I hereby certify that I will comply with the applicable rules of Title 62, Florida Administrative Code, and that a water well permit or additional recharge permit, if needed, has been or will be obtained prior to commencement of well construction. I further certify that all information provided on this application is accurate and that I will obtain necessary approval from other federal, state, or local governments, if applicable. I agree to provide a well completion report to the District office 30 days after drilling or the permit expiration, whichever occurs first.

I certify that I am the owner of the property and the information provided is accurate, and that I will comply with all applicable rules and regulations. I agree to provide a well completion report to the District office 30 days after drilling or the permit expiration, whichever occurs first. I have obtained the owner's consent to the well site as stated above. Owner consents to possession of the WMD or a representative access to the well site.

Chester R. Sheffield 2665
Signature of Contractor License No.

Owner's or Agent's Signature Date

Approval Granted By: Alvin Hancock

Owner Number: 1 Issue Date: 12-16-05 Hydrologist Approval Initials
Fee Received: \$ 40 Receipt No. 1098083 Check No.

THIS PERMIT NOT VALID UNTIL PROPERLY SIGNED BY AN AUTHORIZED OFFICER OR REPRESENTATIVE OF THE WMD. IT SHALL BE AVAILABLE AT THE WELL SITE DURING ALL DRILLING OPERATIONS. This permit is valid for 90 days from date of issue.

COLUMBIA COUNTY
OFFICE
OF
PLANNING AND ZONING

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 21-6S-17-09709-000

Building permit No. 000024117

Permit Holder DALE HOUSTON

Owner of Building KEVIN & SARA MATTHEWS

Location: 597 SW HAMMOCK HILL CIRCLE, LAKE CITY, FL



Date: 03/09/2006

Stacy Dicker

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)