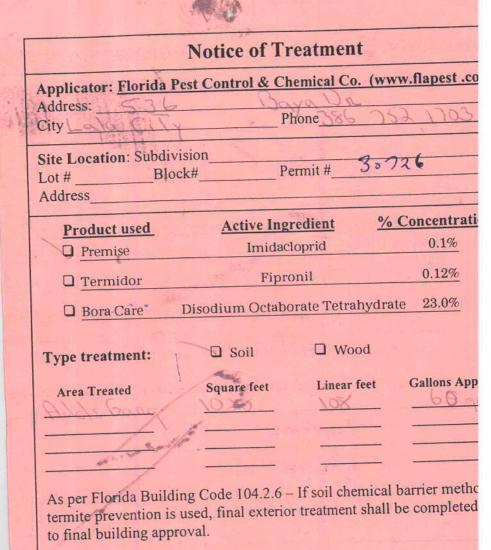
PERMIT Columbia County Building Permit 01/17/2013 DATE This Permit Must Be Prominently Posted on Premises During Construction 000030726 **PHONE** 386.209.0564 APPLICANT **OLENA DUNLAP** SW BRIARBROOK PLACE LAKE CITY 32025 ADDRESS 237 386.209.0564 PHONE **OWNER** BARRY & OLENA DUNLAP FL 32025 **ADDRESS** 237 NW BRIARBROOK PLACE LAKE CITY **PHONE** 386.209.0564 BARRY & OLENA DUNLAP CONTRACTOR 47-S TO C-242,TR TO WHIPPOORWILL,TL, TO END OF RD TO LOCATION OF PROPERTY BRIARBROOK, TL AND IT'S 3RD ON L. 9958.00 ESTIMATED COST OF CONSTRUCTION TYPE DEVELOPMENT STEEL BUILDING 720.00 HEIGHT 11.00 STORIES HEATED FLOOR AREA ROOF PITCH 3'12 **FLOOR** CONC FOUNDATION CONC WALLS METAL MAX. HEIGHT 35 RSF-2 LAND USE & ZONING SIDE 10.00 Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 NO. EX.D.U. FLOOD ZONE DEVELOPMENT PERMIT NO. PARCEL ID 25-48-16-03121-065 SUBDIVISION PICCADILLY PARK SOUTH UNIT LOT 13 BLOCK **PHASE** D **OWNER** Culvert Waiver Contractor's License Number Applicant/Owner/Contractor Culvert Permit No. TC EXISTING N/A BLK New Resident Septic Tank Number LU & Zoning checked by Approved for Issuance Driveway Connection NOC ON FILE.. ACCESSORY USE. 2627 Check # or Cash FOR BUILDING & ZONING DEPARTMENT ONLY (footer/Slab) Temporary Power Monolithic date/app. by date/app. by date/app. by Sheathing/Nailing Under slab rough-in plumbing Slab date/app. by date/app. by Framing Insulation date/app. by date/app. by Electrical rough-in Rough-in plumbing above slab and below wood floor date/app. by date/app. by Heat & Air Duct Peri. beam (Lintel) Pool date/app. by date/app, by date/app. by Permanent power C.O. Final Culvert date/app. by date/app. by Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing date/app. by date/app. by date/app. by Reconnection date/app. by date/app. by date/app. by 50.00 **CERTIFICATION FEE \$** 3.60 **SURCHARGE FEE \$ BUILDING PERMIT FEE \$** 0.00 50.00 FIRE FEE \$ WASTE FEE \$ MISC. FEES \$ **CULVERT FEE \$** FLOOD DEVELOPMENT PEE \$ TOTAL FEE INSPECTORS OFFICE **CLERKS OFFICE**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.



If this notice is for the final exterior treatment, initial this line

Date

Remarks:

Print Technician's Na

DI DISCLOSURE STATEM

Columbia County Building Permit Application	
For Office Use Only Application # 1301-16 Date Received 1/10 By Dermit # 30726	
Zoning Official BLK Date 55 Jul. 2013 Flood Zone X Land Use RES La Del Zoning RSF-2	
FEMA Map #	
Comments Accessory Structure	
NOC EH Deed or PA & Site Plan State Road Info Well letter 911 Sheet Parent Parcel #	
□ Dev Permit # □ Im Floodway □ Letter of Auth. from Contractor □ F W Comp. letter	
IMPACT FEES: EMS Fire Corr Sub VF Form	
Road/CodeSchool = TOTAL (Suspended) Ellisville Water PApp Fee Paid	
Septic Permit No N/A	
Name Authorized Person Signing Permit Barry OLENA SUNLAP Phone Phone 0564	Chery
Address 237 SNI BLIABROOK PL, LC, LC, JE 32025	
Owners Name Barrey/ OLENA DUNCO Phone 36.209-0564.	Cou
911 Address 237 Sky BRIATENDOK PL, L. C. JE 32025	
Contractors Name DUNEY BUILDA. Phone	
Address 386-362-3746 home	
Fee Simple Owner Name & Address	
Bonding Co. Name & Address	
Architect/Engineer Name & Address A+A Engineering 5911 Renaissance PLSuite B 4362 Mortgage Lenders Name & Address CASH	L3
Circle the correct power company – FL Power & Light – Clay Elec. – Suwannee Valley Elec. – Progress End	ergy
Property ID Number 25-45-16-03121-065 Estimated Cost of Construction 9958	
Subdivision Name Piccadilly Park South Lot 13 Block D Unit Phase	
Driving Directions Hwy 47 South to CR 242, Turn right on 242 go 3/4 mile	
to SW Whippoorwill Way turn left to end of rd, Turn left on B	riarbro
Number of Existing Dwellings on Property	
Construction of Steel Building Total Acreage 6 Lot Size 156	X/70
Do you need a - <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u> <u>Total Building Height</u>	
Actual Distance of Structure from Property Lines - Front 126 Side 99 Side 31 Rear 20	
Number of Stories Heated Floor Area Total Floor Area 720 Roof Pitch 3/17	_
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standard of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code. Page 1 of 2 (Both Pages must be submitted together.) Revised 3-15-12 The spoke for all New "Spoke for a permit and that all work be performed to meet the standard for all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Revised 3-15-12 The spoke for all New "Spoke for a permit and that all work be performed to meet the standard for all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Revised 3-15-12	ds
752-6	367

Pu spore 24 doll 1.16.13

752-6367

Columbia County Building Permit Application

<u>TIME LIMITATIONS OF APPLICATION:</u> An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

<u>TIME LIMITATIONS OF PERMITS:</u> Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

<u>NOTICE TO OWNER:</u> There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Owners Signature **OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.

OWNER BUILDING PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT

<u>CONTRACTORS AFFIDAVIT:</u> By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

		Contractor's License Number	
Contractor's Signature	(Permitee)	Columbia County	
		Competency Card Number	
Affirmed under penalty	of perjury to by the Contractor ar	nd subscribed before me thisday of	20
Personally known	or Produced Identification		
		SEAL:	e.
State of Florida Notary	Signature (For the Contractor)		

(Owners Must Sign All Applications Before Permit Issuance.)

SUBCONTRACTOR VERIFICATION FORM

· · · · · · · · · · · · · · · · · · ·	ounty one p	permit will cov	rer all trades doing wo	ork at the permitten	site. It is REO	UIRED that we ha	eve.
lecolds of the	subcontrac	tors who actu	lelly did the trade spe	cific work under the	e permit. Per P	Invide Statute de	0 and
rytainance 89	b. a contra	ctor shall requi	ire all subcontractors	to provide evidence	e of workers' d	ompensation or	
			nd a valid Certificate				
stout of that s	ige besmitt	100 CORTFACTOF No hanimules a	is responsible for the ny work. Violations :	corracted form be	ing submitted	to this office price	or to the
			ny mora. Protocopias i	WILL DESUIT IN SEMPLE	urk vivers and	yor paes.	
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	Deense #:			Ph	opne #:		
MECHANICAL	Print Nurin	4		Signature			
A/¢	License #:			Ph	one it:		
PLUMBING/	Print Name		1	Signature			
GAS	License #:		16	Ph	one #:		
ROOFINS	Print Name		X	Signature		The state of the s	
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SHEET METAL	Print Name		manufacture of the same of the	Signature			
	License #:				one #:		
FIRE SYSTEM!	Print Name		·····	Septure			
SPRINKLER	Ucenself:				one #:		-
SCILAR	Print Name			Signature			
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ERAMIC TILE							
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			Dallas				

F. S. 440.103 stuffding permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

METAL BLOG ERECTOR

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

24-45-16-03/21-065

Clark's Office Stamp

pat:201312000439 Date:1/11/2013 Time:8:49 AM DC,P.DeWitt Cason,Columbia County Page 1 of 1 8:1247 P:1768

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.
1. Description of property (legal description): 407 13 BLK - PICCA DILLY TAKE STILL
a) Street (job) Address: 237 SW PRIARMON PLILAGE CTG, See 31015 2. General description of improvements: NEAL BULLDING
3. Owner Information a) Name and address: OLENA FUNLAT
b) Name and address of fee simple titleholder (if other than owner) —
4. Contractor information a) Name and address: OLENA DUNIAP
b) Telephone No.: 384, 109. 0564. Fax No. (Opt.)
5. Surety Information a) Name and address:
b) Amount of Bond: c) Telephone No.: Fax No. (Opt.)
6. Lender
a) Name and address: b) Phone No.
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served: a) Name and address:
b) Telephone No.; Fax No. (Opt.)
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(I)(b), Florida Statutes:
a) Name and address: b) Telephone No.: Fax No. (Oot.)
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNIEY BEFORE COMMENCING WORK OR RECORDING
STATE OF FLORIDA COUNTY OF COLUMBIA 10. Denn Wurley
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Printed Name
The foregoing instrument was acknowledged before me , a Florida Notary, this 10 day of JANUARY 20 13 by:
OLENA DUNCAD as OWNER (type of authority, e.g. officer, trustee, attorney
fact) for OLENA DUNLAS (name of party on behalf of whom instrument was executed).
Personally Known OR Produced Identification V Type LAURIE HODGON
Notary Signature And Occasion Notary Stamp or Seal: MY COMMISSION # EE 214728 EXPIRES: July 14, 2016 Bonded Thru Notary Public Underwriters
11. Verification pursuant to Section 97 575. Florida Statutes. Linder panelling of porture Linder panelling of por
11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief. Signature of Natural Person Signing (in line #10 above.)

Inst. Number: 201212017874 Book: 1245 Page: 1912 Date: 12/4/2012 Time: 10:22:12 AM Page 1 of 1 Doc Deed: 1155.00 P.DeWitt Cason Clerk of Courts, Columbia County, Florida

Prepared by: Elaine R. Davis American Title Services of Lake City, Inc. 321 SW Main Boulevard, Suite 105 Lake City, Florida 32025

File Number: 12-400

212017874 Date:12/4/2012 Time:10:22 AM Imp-Deed:1155:00 DC,P:DeWitt Cason, Columbia County Page 1 of 1 B:1245 P:1912

Warranty Deed

30 1 . 2012 A.D. Made this

By COLETTE J. CUMMINS, f/k/a Colette J. Douglas, whose address is: 237 SW Briarbrook Place, Lake City, Florida 32025, hereinafter called the grantor.

to BARRY W. DUNLAP and OLENA J. DUNLAP, husband and wife, whose post office address is: 237 SW Briarbrook Place, Lake City, Florida 32025, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grans, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOT 13, BLOCK D of PICCADILLY PARK SOUTH, a subdivision according to the plat thereof as recorded in Plat Book 4 Page 73 of the Public Records of COLUMBIA COUNTY, FLORIDA.

Note: Not the homestead of the grantor who resides at 2587 Moody Ave Grange Park P1 32073 Parcel ID Number: 03121-065

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2011.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence: (Seal) COLETTE J. CUMMIN, f/k/a Colette J. Douglas Address: 237 SW Briarbrook Place, Lake City, Florida 32025 (Seal) Address State of FLORIDA County of COLUMBIA The foregoing instrument was acknowledged before me this 304/day of November, 2012, by COLETTE J. CUMMINS, f/k/a Colette J. Douglas, who is/are personally known to me or who has produced Drivers License as identification.

Notary Public

ELAINE R. DAVIS
COMMITTEE TO STATE
EXPIRES OCLUBER 14, 2015
Bonded They Trey Feer Insurance 200-266 7



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21 Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased with in 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address http://www.myflorida.com/dbpr/pro/cilb/index.html for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

237 SW BEINEBENK PL

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual of firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

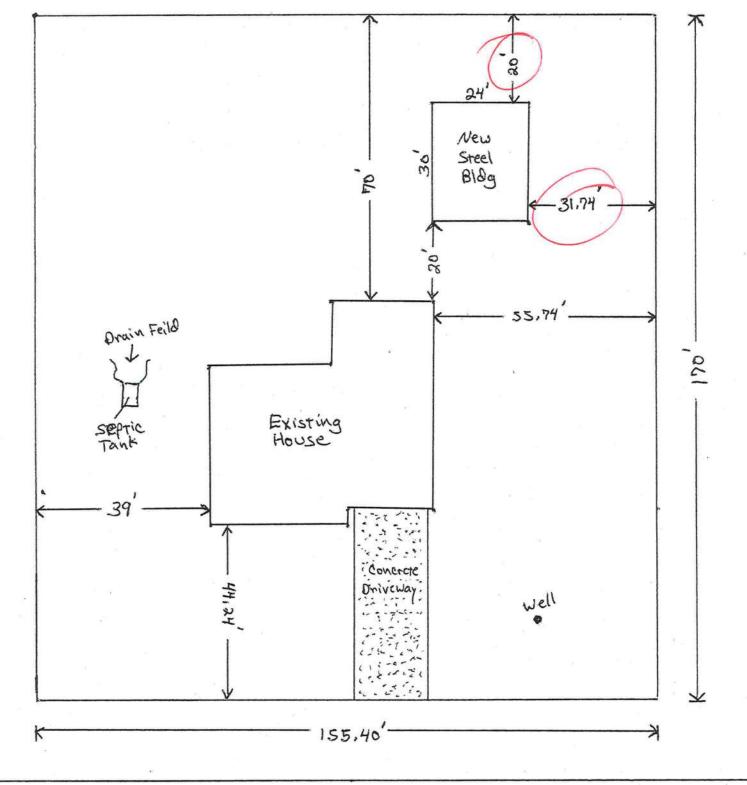
I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

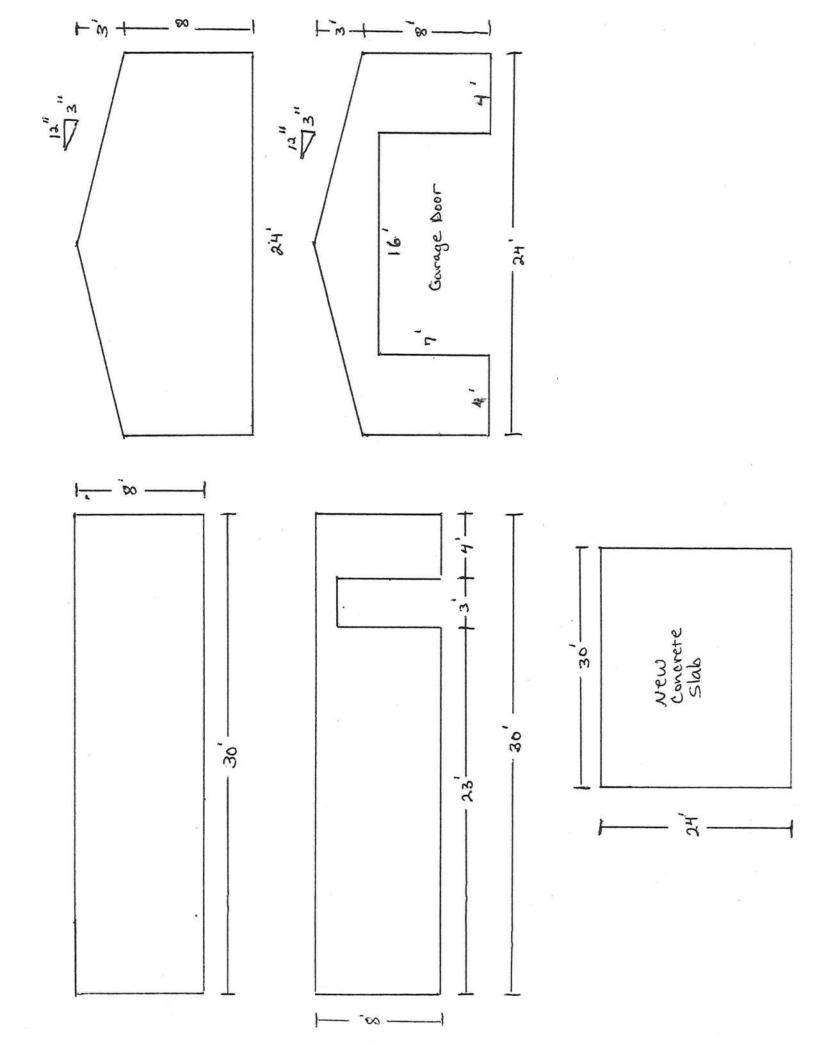
TYPE OF CONSTRUCTION

() Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction Construction of
(4) Other METAL BUILDINE
1 OLENA Dun lap , have been advised of the above disclosure
statement for exemption from contractor licensing as an owner/builder. I agree to comply with
all requirements provided for in Florida Statutes allowing this exception for the construction
permitted by Columbia County Building Permit. 1-10.13
Owner Builder Signature Date
NOTARY OF OWNER BUILDER SIGNATURE The above signer is personally known to me or produced identification DL.
Notary Signature La: Abdo Date 1.10.13 (Seal)
FOR BUILDING DEPARTMENT USE ONLY LAURIE HODSON MY COMMISSION # EE 214728 EXPIRES: July 14, 2016 Bonded Thru Notary Public Underwriters
I hereby certify that the above listed owner builder has been given notice of the restriction
I hereby certify that the above listed owner builder has been given notice of the restriction stated above. Building Official/Representative

Revised: 7-23-09 DISCLOSURE STATEMENT 09 Documents: B&Z Forms



Brianbrook Place



REGULAR / A-FRAME - VERTICAL / HORIZ. I 2' thru 30' CARPORTS (STATE OF FLORIDA) AS PER DESIGN CRITERIA

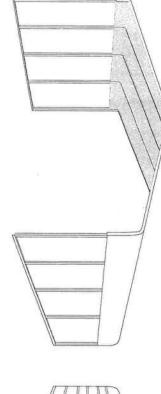


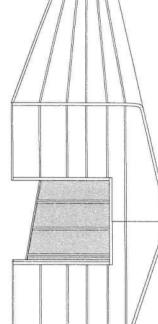
5911 Renaissance Pl., Suite B Tel: (419) 292-1983 Toledo, Ohio 43623 Fax: (419) 292-0955

A & A ENGINEERING

CIVIL • STRUCTURAL
SINCE 1990

Metal Buildings Inc. 170 Holly Springs Rd. Mr. Airy, NC 27030





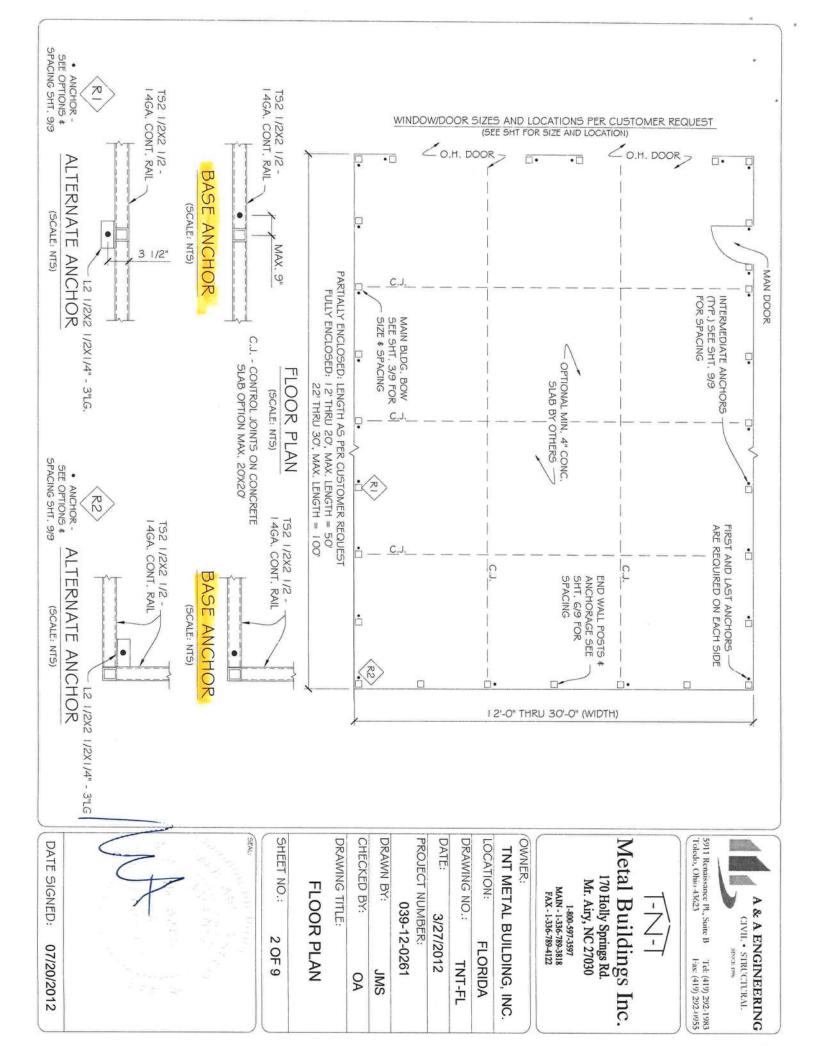
EITHER ONE CAN BE USED IN LIEU OF THE OTHER	8. STUCTURAL TUBE TS2 1/2"X2 1/2" - 14GA. IS EQUIVALANT TO TS2 1/4"X2 1/4" - 12GA AND	 ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL. 	GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4"		4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.		3. ALL MATERIALS IDENTIFIED BY MANUFACTURER	2. BASE CONNECTIONS SHALL BE PROVIDED AS	ACCORDANCE WITH FBC 2010, OSHA, AISC, ASCE-10, AWSD 1.1 CODES AND ALL APPLICABLE	. ALL CONSTRUCTION SHALL BE PROVIDED IN	DESIGN NOTES
OTHER LOAD COMBINATIONS: DL+UL, O.6DL+WL DL+O.75LL+O.75WL	. 15 SEISMIC DESIGN CATEGORY: A	D WIND 0.87 SEISMIC 1.0	1/4" IMPORTANCE FACTOR = SNOW 0.8	GROUND SNOW LOAD: 0 TO 30 PSF (SEE SCHEDULE)	MAX. 20 PSF	AL EQUAL ROOF DEAD LOAD: 2.0 PSF ROOF LIVE LOAD: AS PER GROUND SNOW	RER EXPOSURE CATEGORY: C	AS BASIC WIND VELOCITY: 90 TO 150 MPH (SEE SCHEDULE)	UCABLE USE GROUP: U (CARPORTS, BARNS)	PREVAILING CODE: FBC 2010 / IBC 2012	DESIGN CRITERIA
THE INFORMATION CONTAINED IN THESE DRAWINGS ARE THE SOLE PROPERTY OF A & A ENGINEERING, ANY REPRODUCTION IN PART OF WHOLE WITHOUT THE WRITTEN PERMISSION OF WHOLE WITHOUT THE WRITTEN PERMISSION OF A & A ENGINEERING IS PROHIBITED.	9ANCHORAGE	8LEAN-TO OPTION	7OPENING DETAILS	6END WALL DETAILS	5SECTION DETAILS	4SIDE ELEVATIONS	3ASCHEDULES	3REGULAR / AFRAME BLDG. SECTIONS	2	COVER SHEET	DRAWING INDEX

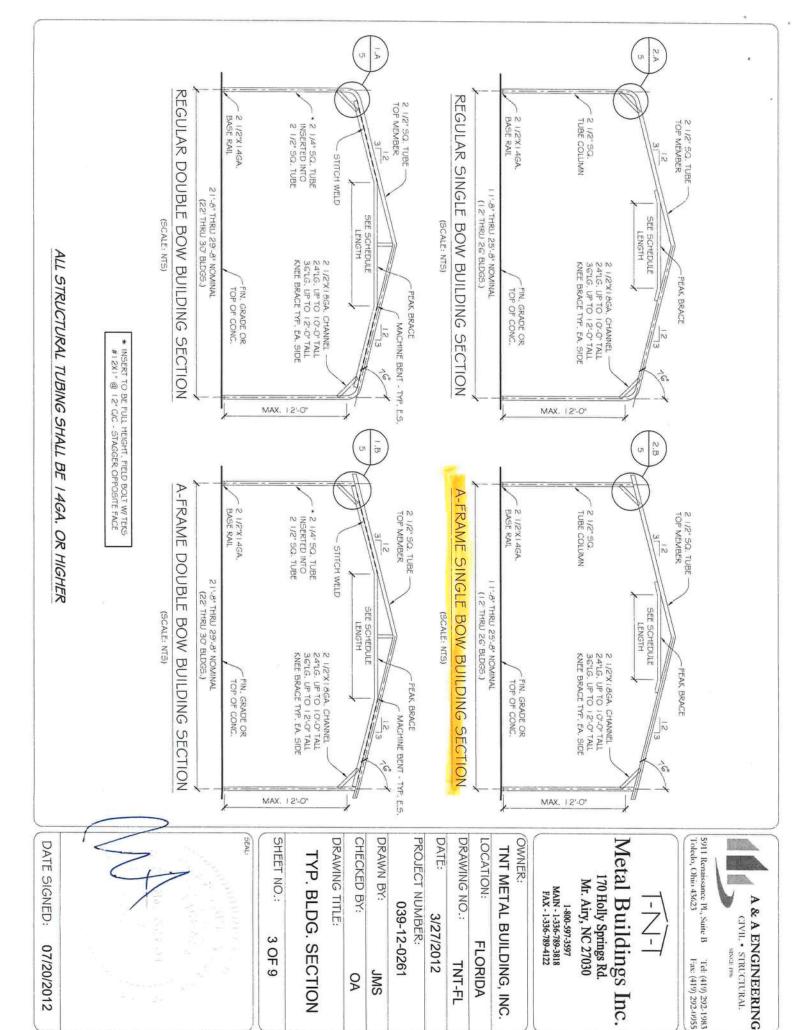
LICENSE EXPIRES: 2/28/2013

DATE SIGNED:

07/20/2012

LOOK PLAN STILLT NO.: 1 OF 9	 COVER SHEET	DRAWING TITLE:	CHECKED BY: OA		PROJECT NUMBER: 039-12-0261	DATE: 3/27/2012	DRAWING NO.: TNT-	LOCATION: FLORIDA	OWNER: TNT METAL BUILDING, INC.	MAIN - 1-336-789-3818 FAX - 1-336-789-4122
)F 9	IEET		OA	SML	261)12	TNT-FL	ORIDA	DING, INC.	818





SML 9

BOW SCHEDULE (TOP & COLUMN MEMBERS GAUGE AND SPACING)

GS/LL	POST HT.	n In	12-16 (SINGLE BOW)	BUILDING WIDTH 17-22 23-26 (SINGLE BOW) (SINGLE BOW)	80 TO 100 (MPH) BUILDING WIDTH 17-22 23-26 (SINGLE BOW) (SINGLE BOW)	26-30 (DOUBLE BOW)	12-16 15ingle Box	5	BUILDIN 17-22	20 (MPH) WIDTH 23-26 26-30 12-16 17-22 23-26 (20uble bow) (shight bow) (shight bow) (shight bow) (shight bow)	20 (MPH 3 WIDTH 23-26	20 (MPH 3 WIDTH 23-26	20 (MPH 3 WIDTH 23-26	101 TO 120 (MPH) 121 TO 150 (MPH) BUILDING WIDTH BUILDING WIDTH BUILDING WIDTH 17-22 23-26 26-30 12-16 17-22 23-26 12-16 17-22 17-
5	5'-0" TO 8'-0"	ור ס	F 60" P 54" (60")	60 60	စ္ စ္	စီ စီ	ရေ ရ		54"	54	54	54	54	54
00100		_ 	0°	54"	54	54" (60")	54" (60") 48" (54")		42	42" 48"	1	48	48" 48" (54")	48" 48" (54") 40"
	75 10 175	٦	54	54"	54	54	42"		42	42" 48"		48	48" 42" 36" 36"	48" 42" 36"
	E O TO SE O	П	60"	60"	54	0°	6O ^{II}		60 ₁₁	60" 54"		54" 54"	54" 54"	54"
20/00	2000	T	60 ₁₁	54	54	60ª	60ª	_ 1	54	54" 54"		54	54" 54"	54" 54" 48"
	5 C 1 C 1 S C	П	F 54" (60")	54"	48"	54" (60") 48" (54")	48" (54"	5	5 42"		42	42" 48"	42" 48" 48" (54")	42" 48" 48" (54") 40"
	7-0 10 12-0 P 54"	٥	54"	54"	48"	54"	42	-	42			48" 42"	48" 42" 36" 36"	48 ₌

USED FOR VERTICAL SHEATHING ONLY HIGHER VALUES WITHIN PARENTESES CAN BE

P = PARTIALLY ENCLOSED (OPEN) F = FULLY ENCLOSED (CLOSED)

G.S. = GROUND SNOW L.L. = LIVE LOAD

	20	S			WID	:
0)-22	0-22	4	2	חו	Í
)	2		N	N		
1000	1/2"X 1 4GA.	1/2"X 8GA.	1/2"X1	1/2"X1	80	
			12"X 8GA.	12"X 8GA.	80-120 MPH	
2	SQ.	공동	CH/	CHY	APH	
	. TUBE	CHANNEL CHANNEL	CHANNEL	ANNEL		SIZE
)	N	ONO	N	N		ZE.
	1/2"X14GA.	1/2"X14GA.	1/2"X14GA.	1/2"X14GA, CH	121-150 MPH	
- 1	. SQ.	있으므	H	СН	MPH	
-). TUBE	-	CHANNEL	ANNEL		
)	10'-0"	2 0 0 0	4'-0"	2'-0"	LENGIH	1





5911 Remaissance Pl., Suite B Tel: (419) 292-1983 Toledo, Ohio 43623 Fax: (419) 292-1955

Metal Buildings Inc. 170 Holly Springs Rd. Mr. Airy, NC 27030

1-800-597-3597 MAIN - 1-336-789-3818 FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

DRAWING NO .: LOCATION: FLORIDA TNT-FL

PEAK BRACE SCHEDULE

DATE: PROJECT NUMBER: 3/27/2012

DRAWN BY: 039-12-0261

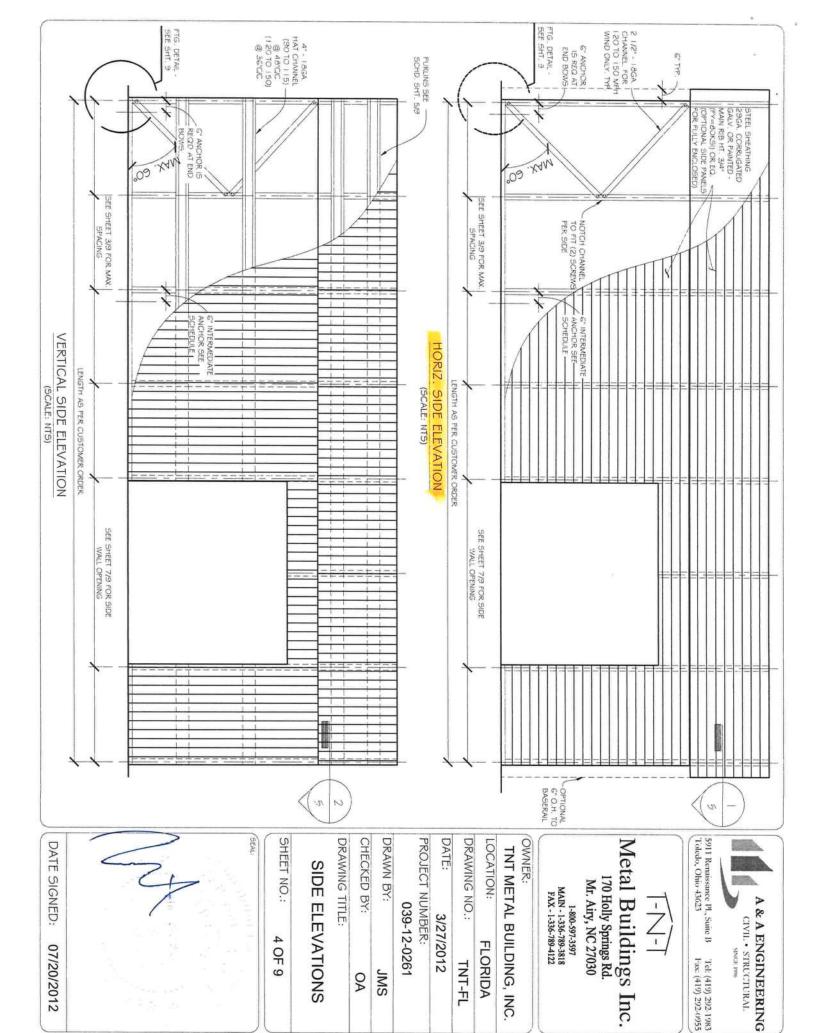
CHECKED BY: **JMS** 9

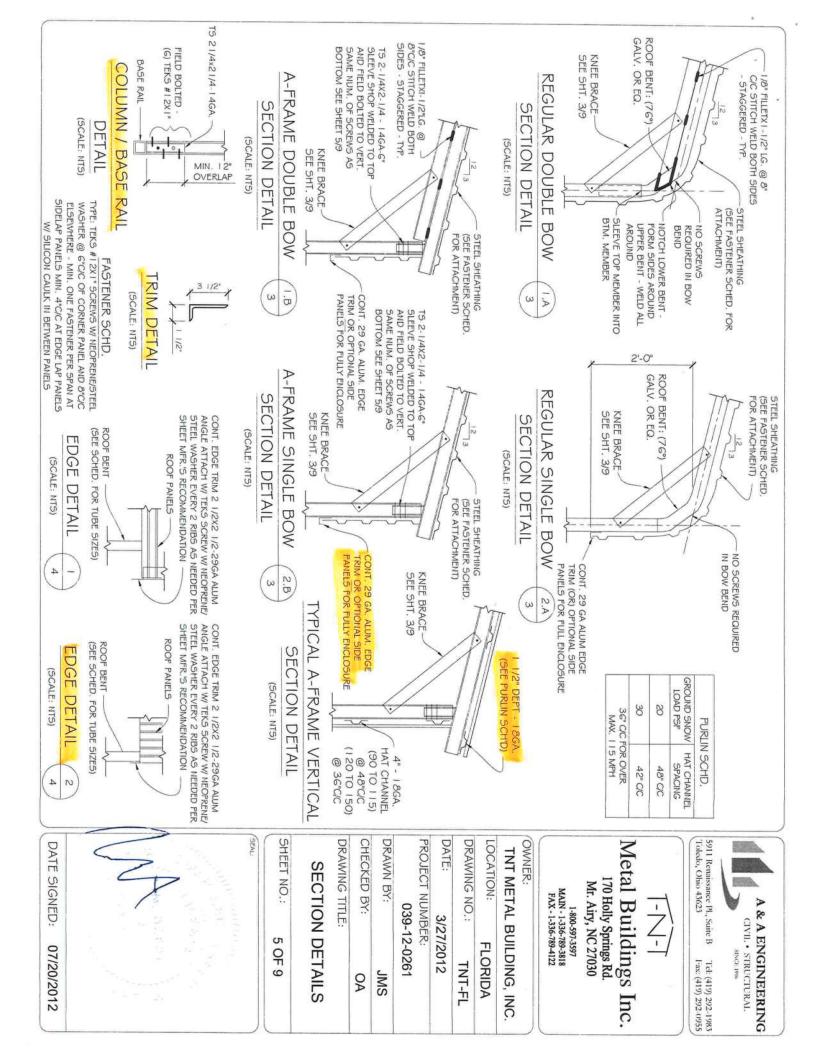
SCHEDULES

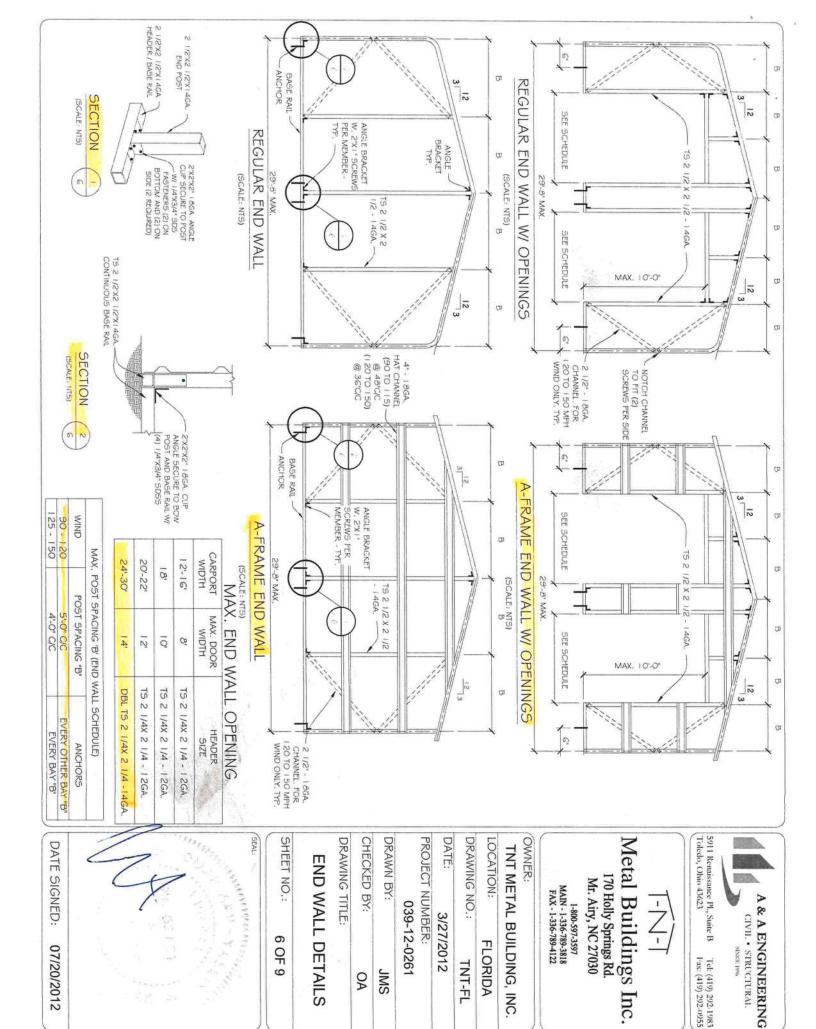
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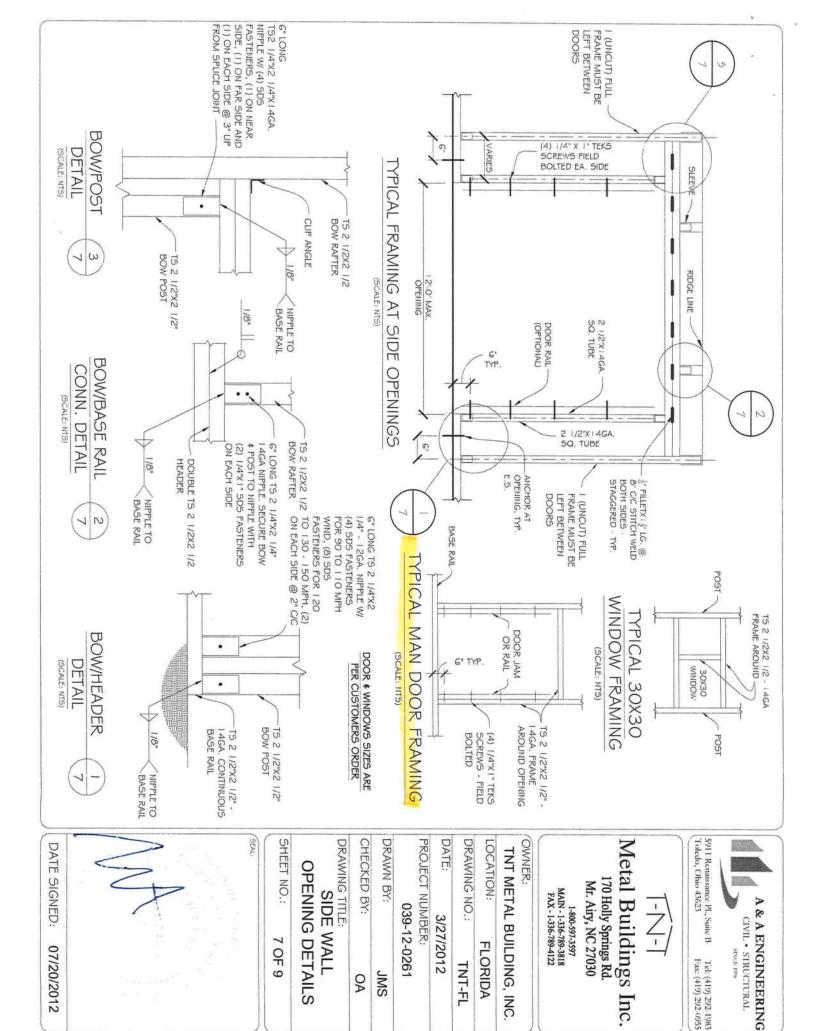
SHEET NO .: 3A OF 9

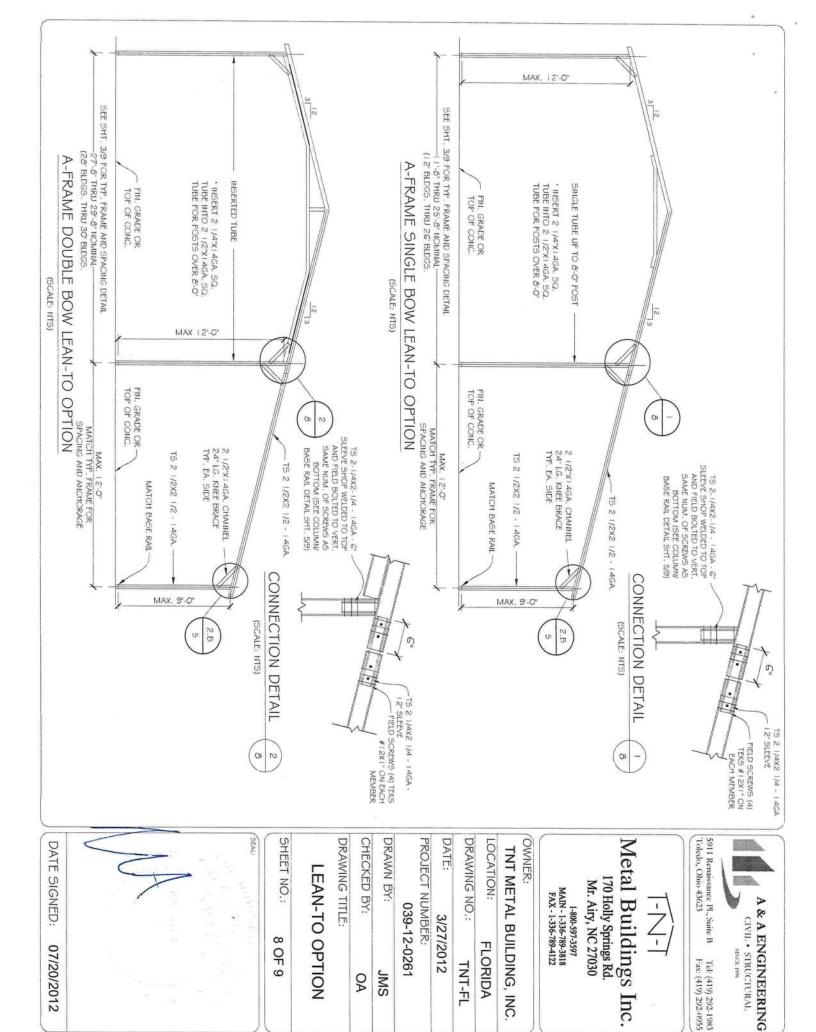
DATE SIGNED: 07/20/2012

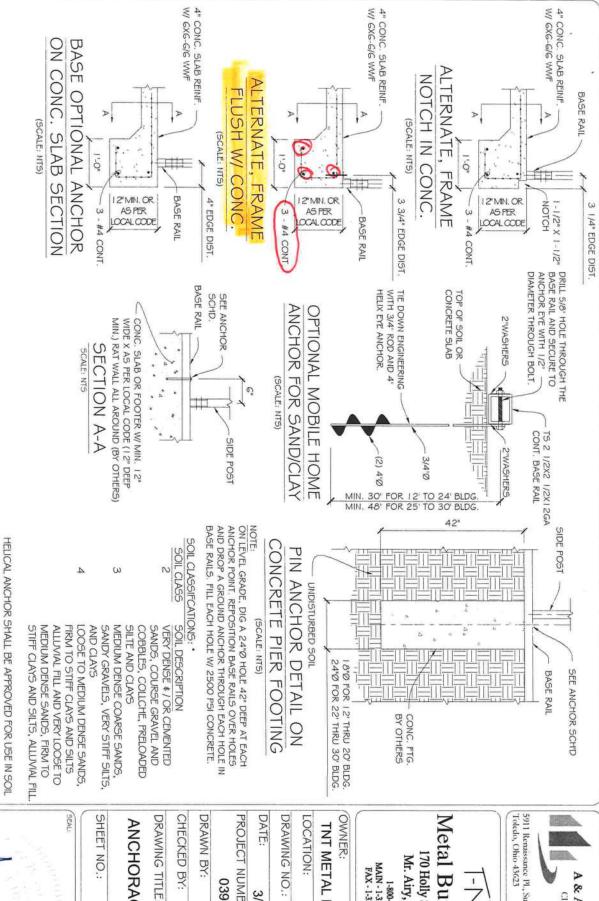












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Mr. Airy, NC 27030

MAIN - 1-336-789-3818 FAX - 1-336-789-4122

TNT METAL BUILDING, INC

LOCATION: **FLORIDA**

DRAWING NO .: TNT-FL

PROJECT NUMBER: 3/27/2012

039-12-0261

DRAWN BY: **JMS**

CHECKED BY: 9

ANCHORAGE OPTIONS

SHEET NO .: 9 OF 9

I: SEE SHT. 2 AND 6 FOR ANCHOR

CLASSIFICATIONS 2,3, AND 4.

TAKEN FROM HUD "STANDARD FOR INSTALLATION OF

MOBILE HOMES

DATE SIGNED:

23' THRU 30'

3/40

Y

ű

WEDGE ANCHORS IN CONC INSERT W/ EPOXY IN CONC. THRD. ROD EMBED IN CONC

S

2500PSI AT 28 DAYS

ASSUMED SOIL BEARING CAPAC CONCRETE STRENGTH TO BE

REQUIREMENTS

IS 1500 PSF

CARPORT

WIDTH

WIND (MPH) ANCHOR

ANCHOR BASE

ALTERNATE ANCHOR

TYPE

ANCHOR LENGTH

ANCHOR SIZE OPTION SCHEDULE

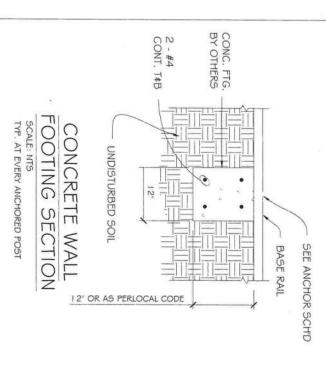
90-115 1/20 5/80

20-150

20

20

07/20/2012





NOTES:

ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF

CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

ANCHOR SIZE OPTION SCHEDULE

23' THRU 30'	12' THRU 22'		WIDTH	
5/8%	1/2"Ø	90-115	WIND	ANC
3/4"Ø	5/8'0	90-115 120-150	WIND (MPH)	ANCHOR
	7		BASE ANCHOR	
	ũ		ALTERNATE ANCHOR	ANCHOR LENGTH
WEDGE ANCHORS IN CONC.	EXPANSION BOLTS	INSERT W/ EPOXY IN CONC.	TYPE	



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CONC. WALL FOOTER

OWNER:

TNT METAL BUILDING, INC.

DRAWING NO .: LOCATION: **FLORIDA** TNT-FL

DATE: 3/27/2012

PROJECT NUMBER: 039-12-0261

CHECKED BY: 9 SMF

DRAWN BY:

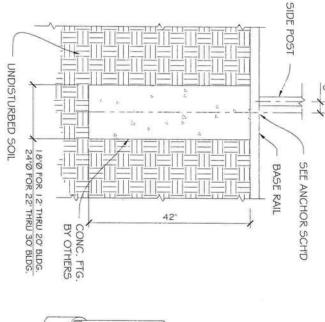
DRAWING TITLE:
ANCHORAGE OPTION ON CONC. WALL

SHEET NO .: 9 OF 9



DATE SIGNED:

07/20/2012



FOUNDATION ELEVATION 3/4"ØX30" ROD (SCALE: NTS)

CONCRETE PIER FOOTING PIN ANCHOR DETAIL ON

TYP, AT EVERY ANCHORED POST

NOTES:

SPACING IN ANY DIRECTION CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERYOTHER POST BUT SHALL NOT EXCEED 10-0°C/C

- in SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST ALL OTHER POSTS WITH NO CONCRETE PIER ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"X30"LG. ROD. RODS PROVE PRIMER PAINT.
- W ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. I 500 PSF
- 4 CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

ANCHOR SIZE OPTION SCHEDULE

23' THRU 30'	12' THRU 22'		WIDTH	
5/8'0	1/2'0	90-115	WIND	ANCHOR SIZE
3/4%	5/8%	90-115 120-150	WIND (MPH)	HOR ZE
7		20"	BASE	
Ų		20"	ALTERNATE ANCHOR	ANCHOR LENGTH
WEDGE ANCHORS IN CONC.	INSERT W/ EPOXY IN CONC.	THRD. ROD EMBED IN CONC	TYPE	-



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CONC. PIER FOOTER

OWNER:

LOCATION: TNT METAL BUILDING, INC

DRAWING NO .: **FLORIDA**

DATE: TNT-FL

PROJECT NUMBER: 3/27/2012

039-12-0261

DRAWN BY:

SWL

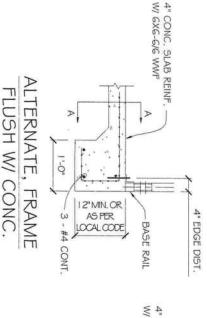
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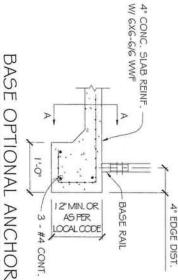
DRAWING TITLE:

ANCHORAGE OPTION ON CONC. PIERS

SHEET NO .: 9 OF 9

DATE SIGNED: 07/20/2012





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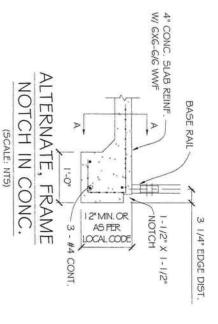
170 Holly Springs Rd Mr. Airy, NC 27030

1-800-597-3597 MAIN - 1-336-789-3818 FAX - 1-336-789-4122

ON CONC. SLAB SECTION

(SCALE: NTS)

BASE RAIL SEE ANCHOR SCHD. FLUSH W/ CONC. (SCALE: NTS) SIDE POST 12" SLEEVE 1/4"X I " TEKS SCREWS -SEE SHT. 5



MIN.) RAT WALL ALL AROUND (BY OTHERS) SECTION A-A SCALE: NTS

WIDE X AS PER LOCAL CODE (12" DEEP CONC. SLAB OR FOOTER W/ MIN. 12"

ANCHOR SIZE OPTION SCHEDULE

SHEET NO .:

9 OF 9

23' THRU 30'	12' THRU 22'		WIDTH	
5/8'0	1/2%	90-115	WIND	ANC
3/4"Ø	5/8%	90-115 120-150	WIND (MPH)	ANCHOR
	7		BASE	
	ຫຼ		ALTERNATE ANCHOR	ANCHOR LENGTH
WEDGE ANCHORS IN CONC.	EXPANSION BOLTS	INSERT W/ EPOXY IN CONC.	TYPE	

- PROVIDE A MIN. OF (1) ANCHOR AT ±6" FROM CENTER OF EACH POST
- ALL ANCHORS SHALL BE A307 OR BETTER

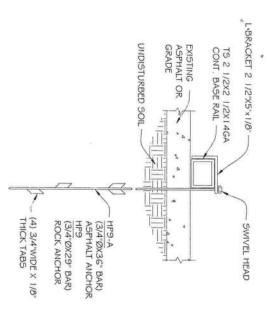
-. vi w 4

- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. I 500 PSF CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

DATE SIGNED:

07/20/2012

DATE: DRAWING TITLE: CHECKED BY: DRAWN BY: PROJECT NUMBER: DRAWING NO .: OWNER: LOCATION: ANCHORAGE OPTION TNT METAL BUILDING, INC ON CONC. SLAB 039-12-0261 3/27/2012 FLORIDA TNT-FL SML 9

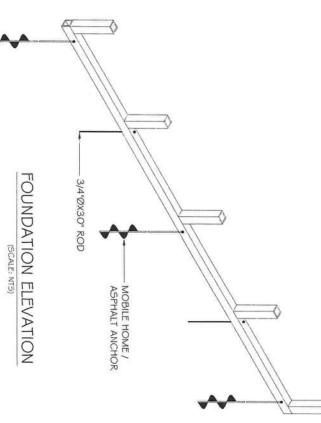


OPTIONAL ASPHALT/ ROCK ANCHOR DETAIL (SCALE: NTS)

CONCRETE SLAB TOP OF SOIL OR TIE DOWN ENGINEERING MIN. 30" LONG WITH 3/4" ROD AND 4" HELIX EYE DRILL 5/8" HOLE THROUGH THE BASE RAIL AND SECURE TO ANCHOR EYE WITH 1/2" DIAMETER THROUGH BOLT. 2"WASHERS ANCHOR FOR SAND/CLAY OPTIONAL MOBILE HOME CONT. BASE RAIL TS 2 1/2X2 1/2X12GA 2 WASHERS 3/40 40 MIN. 30" FOR 12' TO 24' BLDG MIN. 48" FOR 25' TO 30' BLDG

OF THE FOLLOWING SOIL CLASSIFCATIONS INTO GROUND IS LESS THAN 150 FT-LBS OR DON'T MEET ONE HELICAL ANCHORS ARE NOT TO BE USED IF DRIVING TORQUE

(SCALE: NTS)



NOTES:

10-0"C/C SPACING IN ANY DIRECTION. POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED MOBILE HOME ANCHORS SHALL BE REQUIRED AT ALL CORNER

ALL OTHER POSTS WITH NO MOBILE HOME ANCHOR SHALL BE SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST ANCHORED TO THE GROUND WITH 3/4"X30"LG. ROD. RODS PROVE PRIMER PAINT.

w A CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF

SOIL CLASSIFCATIONS: * SOIL CLASS

W SANDS, COURSE GRAVEL AND COBBLES, COLLCHE, PRELOADED SOIL DESCRIPTION MEDIUM DENSE COARSE SANDS, SILTE AND CLAYS VERY DENSE \$ / OR CEMENTED

MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL ALLUVIAL FILL AND VERY LOOSE TO FIRM TO STIFF CLAYS AND SILTS LOOSE TO MEDIUM DENSE SANDS AND CLAYS

4

SANDY GRAVELS, VERY STIFF SILTS

CLASSIFICATIONS 2,3, AND 4. HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL

TAKEN FROM HUD "STANDARD FOR INSTALLATION OF



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Mr. Airy, NC 27030

OWNER:

TNT METAL BUILDING, INC.

DRAWING NO .: **FLORIDA**

LOCATION:

DATE: TNT-FL

3/27/2012

PROJECT NUMBER: 039-12-0261

DRAWN BY: SML

DRAWING TITLE:

CHECKED BY: 9

ANCHORAGE OPTION ON GROUND

SHEET NO .:

9 OF 9



DATE SIGNED: 07/20/2012