

DATE 04/24/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027769

APPLICANT RODNEY KNOWLES PHONE 288-2684  
ADDRESS 442 NW BELL LAKE COURT LAKE CITY FL 32055  
OWNER STAGE FUNDING ASSISTANT CORP PHONE  
ADDRESS 150 SE DOCKERY LANE LAKE CITY FL 32024  
CONTRACTOR CHESTER KNOWLES PHONE 755-6441  
LOCATION OF PROPERTY 47S, TR KING RD, INTO MAULDING, TL ON DOCKERY LANE,  
1ST DRIVE ON RIGHT  
TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE A DEVELOPMENT PERMIT NO.

PARCEL ID 03-5S-16-03457-014 SUBDIVISION PLANTATION PARK  
LOT 14 BLOCK PHASE UNIT TOTAL ACRES 1.94

IH0000509  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 09-231 CS WR Y  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 2.31 LEGAL NO-CONFORMING LOT, 1ST FLOOR TO BE ONE FOOT ABOVE  
PAVED OR 2 FOOT ABOVE GRADED ROAD

Check # or Cash 591

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 38.52 WASTE FEE \$ 100.50  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 514.02  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-10-08) Zoning Official afs 4/17/09 Building Official (WR) 4/17/09

AP# 0904-25 Date Received 4/16 By JW Permit # 27769

Flood Zone A Development Permit no Zoning A-3 Land Use Plan Map Category A-3

Comments 2.31. legal non-conf. lot  
1<sup>st</sup> floor to be 1' above paved hd or 2' above graded hd.

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks Shown ☒ EH # \_\_\_\_\_ ☐ EH Release ☒ Well letter ☐ Existing well

☒ Recorded Deed or Affidavit from land owner ☐ Letter of Auth. from installer ☐ State Road Access  
ON FILE

☐ Parent Parcel # \_\_\_\_\_ ☐ STUP-MH \_\_\_\_\_ ☐ F W Comp. letter

IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_

School \_\_\_\_\_ = TOTAL \_\_\_\_\_

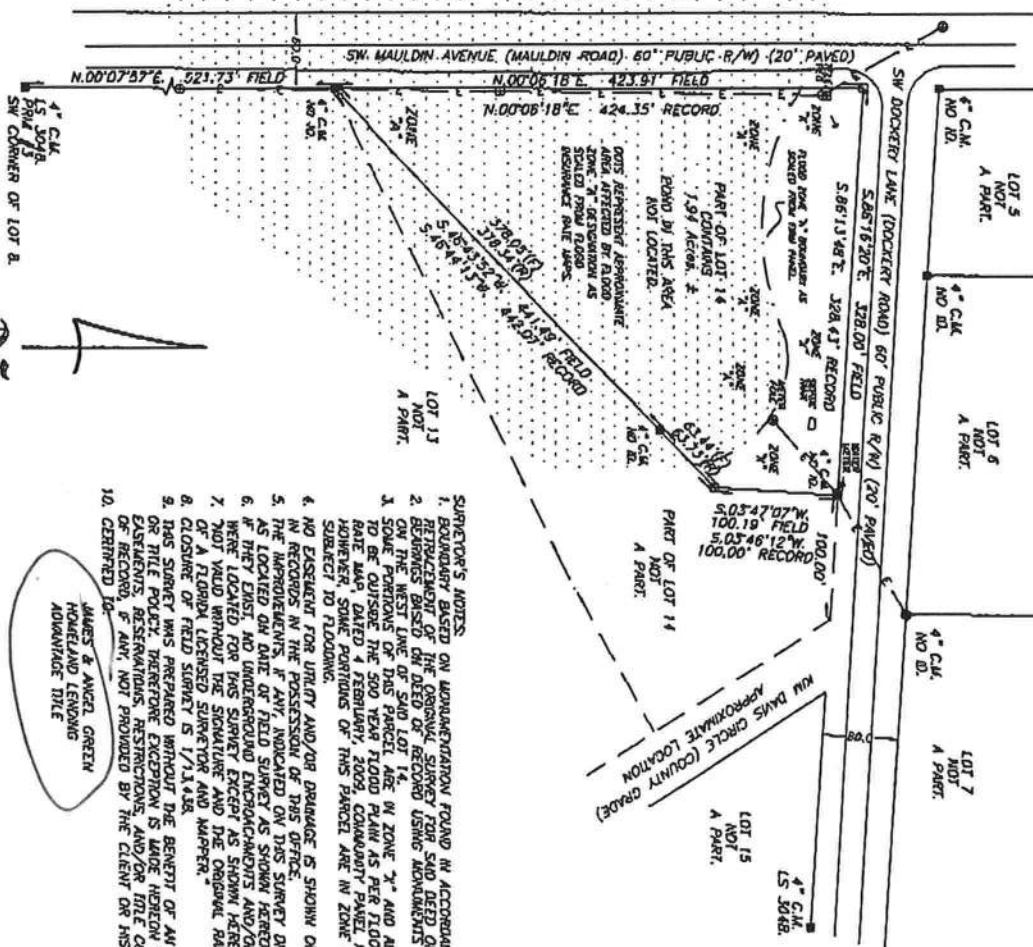
Part of Lot 44  
Plantation Park S/D

Property ID # 03-58-16-03452-014 Subdivision Plantation Park S/D

- New Mobile Home ✓ Used Mobile Home \_\_\_\_\_ MH Size 28x4 Year 2009  
 ■ Applicant Rodney Knowles Phone # 386-288-2684  
 ■ Address 442 NW BELL LAKE CT LAKE CITY FL 32055  
 ■ Name of Property Owner STAGE FUNDING ASSISTANT CORP. Phone # \_\_\_\_\_  
 ■ 911 Address 150 DOCKERY LANE LAKE CITY FL 32024  
 ■ Circle the correct power company - FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy  
 ■ Name of Owner of Mobile Home JAMES WADE GREEN Phone # 386 344 1907  
 Address 158 SW LYNNWOOD AVE LC 32024  
 ■ Relationship to Property Owner \_\_\_\_\_  
 ■ Current Number of Dwellings on Property 1  
 ■ Lot Size Irregular Total Acreage 1.94  
 ■ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)  
 ■ Is this Mobile Home Replacing an Existing Mobile Home NO (Owes)  
 ■ Driving Directions to the Property SR 47 South TAKE A right on King Rd  
King turns into Mauldin. Go down AND MAKE A LEFT ON  
DOCKERY LANE. First Drive on Right  
 ■ Name of Licensed Dealer/Installer JL CHESTER KNOWLES Phone # 386-755-6441  
 ■ Installers Address 5801 SW SR 47 LAKE CITY FL 32024  
 ■ License Number LH0000509 Installation Decal # 300526

Spoke to Rodney,

MARK D. DUREN, LS 4708



1. SURVEYOR'S NOTES.
2. REFERENCE TO THE ORIGINAL SURVEY FOR AND DEED OF RECORD.
3. A DESCRIPTION OF THE PROPERTY BEING CONVEYED USING METEORNICUS FOUND ON THE WEST LINE OF SAID LOT 14.
4. SOME PORTIONS OF THIS PARCEL ARE IN ZONE "A" AND ARE DETERMINED TO BE COULSED THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009, COMMANITY PAVEL NO. 1702X-0783C. HOWEVER, SOME PORTIONS OF THIS PARCEL ARE IN ZONE "A" AND ARE SUBJECT TO FLOODING.
5. NO EASEMENT FOR UTILITY AND/OR DRAINAGE IS SHOWN ON THIS LOT IN RECORDS IN THE POSSESSION OF THIS OFFICE.
6. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS SHOWN AND NOT GUARANTEED BY THE SURVEYOR.
7. ALL EASEMENTS OR UNRECORDED ENCUMBRANCES AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
8. THIS YIELD WITHOUT THE SIGNATURE AND THE ORIGINAL PASTED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
9. CLOSURE OF FIELD SURVEY IS 1/13/14SE.
10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE POLICY. THEREFORE EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RESTRICTIONS, AND/OR TIME CONTACTS OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS.
11. CERTIFIED BY \_\_\_\_\_

MAJES & ANGEL GREEN  
HOMELAND LENDING  
ADVANTAGE TILE

EXTRA ABBREVIATION:  
(7) FIELD, AS IN "FIELD MEASUREMENT",  
(D) DEED, AS IN "DEED DIMENSION",  
(P) PLAT, AS IN "PLAT DIMENSION",  
(R) RECORD, AS IN "RECORD DIMENSION".

SYMBOL (LEGEND)

O.A.I. OFFICIAL RECORD INSTRUMENT

1 CONCRETE MONUMENT FOUND

2 CONCRETE MONUMENT SET, 13 4700

3 CONCRETE MONUMENT SET, 15 4700

4 5/8" ROD ROD SET, 15 4700

5 WRT. FENCE

6 ELECTRIC UTILITY LINE (UNRECORDED)

7 UNRECORDED ELECTRIC SERVICE

8-10-11-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-10

DESCRIPTORS AS PER ORB 1164, PAGE 23125)  
SECTION 2 TOWNSHIP 5 SOUTH, RANGE 16 EAST  
PLAT OF LOT 14, PLANNED PARK SUBDIVISION AS RECORDED IN  
PLAT BOOK 4, PAGE 121, COLLIER COUNTY, FLORIDA, MORE  
PARTICULARLY DESCRIBED AS FOLLOWS: FOR PART OF BEGINNING,  
BEING AT THE SW CORNER OF SAID LOT 14, ON THE EAST  
RIGHT-OF-WAY LINE OF MILDRED ROAD, AND THENCE N 0°  
08'18" E ALONG THE EAST RIGHT-OF-WAY OF MILDRED ROAD TO THE  
POINT OF INTERSECTION OF SAID EAST RIGHT-OF-WAY LINE WITH THE  
SOUTH RIGHT-OF-WAY LINE OF DOCKERTY ROAD, SAID POINT BEING  
THE NW CORNER OF LOT 14, AND BEING A DISTANCE OF 424.15  
FEET; THENCE RUN S 66°13'48" E ALONG THE SOUTH RIGHT-OF-WAY  
LINE OF DOCKERTY ROAD A DISTANCE OF 328.43 FEET TO A  
CORNER WALKWAY; THENCE RUN S 03°46'12" W A DISTANCE OF  
100 FEET; THENCE RUN SOUTH 45°44'13" W 61.72 FEET TO A  
CONCRETE WALKWAY AT THE EDGE OF A POND; THENCE CONTINUE  
S 46°44'13" W 378.34 FEET TO THE SW CORNER OF SAID LOT 14  
AND THE POINT OF BEGINNING.

BOUNDARY SURVEY  
IN SECTION 3,  
TOWNSHIP 5 SOUTH,  
RANGE 16 EAST.  
COLUMBIA COUNTY, FL.

**MARK D. DUREN AND  
ASSOCIATES, INC.**

120 NW BURK AVE. STE. 103  
LAKE CITY, FLA. 32055  
(386) 758-9831 OFFICE  
(386) 758-8010 FAX

FIELD SURVEY DATE APRIL 7 2009  
DATE DRAWN APRIL 17 2009  
FOR JAMES & KATHY GIBLIN  
FIELD BOOK 181 PLOT 28  
DRAWN BY W. DORRILL DIAL  
WO# 09-104





# Columbia County Property Appraiser

DB Last Updated: 3/5/2009

## 2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 03-5S-16-03457-014

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	ELWELL JOSEPH H & CAROL S		
<b>Site Address</b>	PLANTATION PARK		
<b>Mailing Address</b>	P O BOX 792 WELLBORN, FL 32096		
<b>Use Desc. (code)</b>	VACANT (000000)		
<b>Neighborhood</b>	3516.04	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA01	<b>Market Area</b>	01
<b>Total Land Area</b>	0.000 ACRES		
<b>Description</b>	A PART OF LOT 14 PLANTATION PARK S/D DESC AS: BEG SW COR SAID LOT 14 ON E R/W MAULDIN RD, RUN N 424.35 FT TO S R/W DOCKERY RD, E ALONG DOCKERY RD 328.43 FT, S 100 FT, S 46 DEG W 63.73 FT TO EDGE OF A POND, CONT S 46 DEG W 378.35 FT TO POB. ORB 659-540 THRU 543, 681-285, 742-1136, 884-2069, 924-2281, WD 1082- 807, DIV 1153-2766, QC 1164- 2314, WD 1164-2315		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (2)	\$16,500.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$16,500.00

<b>Just Value</b>	\$16,500.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$16,500.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$16,500.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
12/22/2008	1164/2315	WD	I	U	11	\$100.00
7/11/2008	1164/2314	QC	I	U	11	\$100.00
4/28/2006	1082/807	WD	I	Q		\$22,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value

**LIMITED POWER OF ATTORNEY**

I, Jessie "Chester" Knowles, license # 1H0000500 hereby authorize Rodney Kumler to be my representative and act on my behalf in all aspects of applying for a mobile home permit to be placed on the following described property located in Columbia County, Florida.

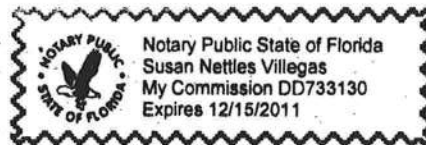
Property Owner: James/Angel Green  
911 Address: 150 DORCHESTER LANE LAKE CITY, AL 36024  
Parcel ID #: 03457-014  
Sect: 03 Twp: 5S Rge: 11E

Jessie L. "Chester" Knowles  
Mobile Home Installer Signature

2-13-09  
Date

Sworn to and subscribed before me this 13<sup>th</sup> day of Feb, 2009.

Susan Nettles Villegas  
Notary Public



My Commission expires: 12/15/2011  
Commission Number: DD733130  
Personally known: ✓  
Produced ID (type): \_\_\_\_\_

150 Dockery

Local Listings

Homes Listings

Commercial Listings

Lots &amp; Acreage Listings

Home Valuation Request

Home Page

Our Listings

Subdivision

Community Information

School Info

Our Agents

Payment Calculator

Interest Only Calculator

About Us

Contact Us Custom Page

## ACCESS REALTY OF N. FL, INC

Ph:386-758-0000

E-mail

## &lt; Search results

&lt; Previous 4 of 8 Next &gt;

\$ 16,500

Ms#:69464



Click photo to enlarge

## Residential Lot

Subdv: Plantation Park

Area: 2

City: Lake City

Zoning: res.

Acreage: 2 +/-

Lot Dim: FR +/-

Deed Restrict: no

Taxes:

Deed Restriction: No

Allotments: No

Spcl/Assessmnt: No

Homestead Yr: No

Association: No

Agricultural Exp: No

Lot Faces: North, West

Water: Community/Available

Lot Location: Corner, Rural, Other-See  
Remarks

Sewer: Septic System

Road: Paved, Government Maintained

Utilities: Electric

Land Type: Residential Lot

Present Use: Wooded

Closing: Possession At Closing

Character: Developing, Wooded, Rural,  
GoodUsage: Residential, Manufactured Homes  
Allowed

Financing: Cash/Finance

Thats right 2 PLUS ACRES WITH GRAND DADDY OAKS. Includes public water source, septic tank and power pole. With some clearing and trash removal you can have a nice home site. Old mobile home removed 10/2008, improvements worked at that time. Located on the corner of Maldin and Dockery. There is pond in the center of the lot per property appraisers office. Come check it out for this price you cant go wrong.



▲ Hide Photos



In 100 year Flood Zone

757 W DUVAL STREET LAKE CITY FL 32055 voice 386-758-0000 fax 386-758-7730 info@accessrealtyinc.com

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# LIMITED POWER OF ATTORNEY

I, ANGEL GREEN DO HEREBY AUTHORIZE Rodney Knowles  
TO PULL MY PERMITS AND ACT ON MY BEHALF IN ALL ASPECTS OF APPLYING  
FOR A MOBILE HOME PERMIT.

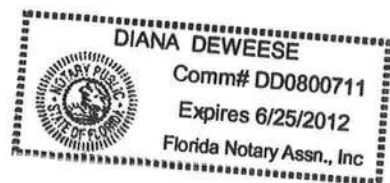
Angel Green  
SIGNATURE

4-13-09  
DATE

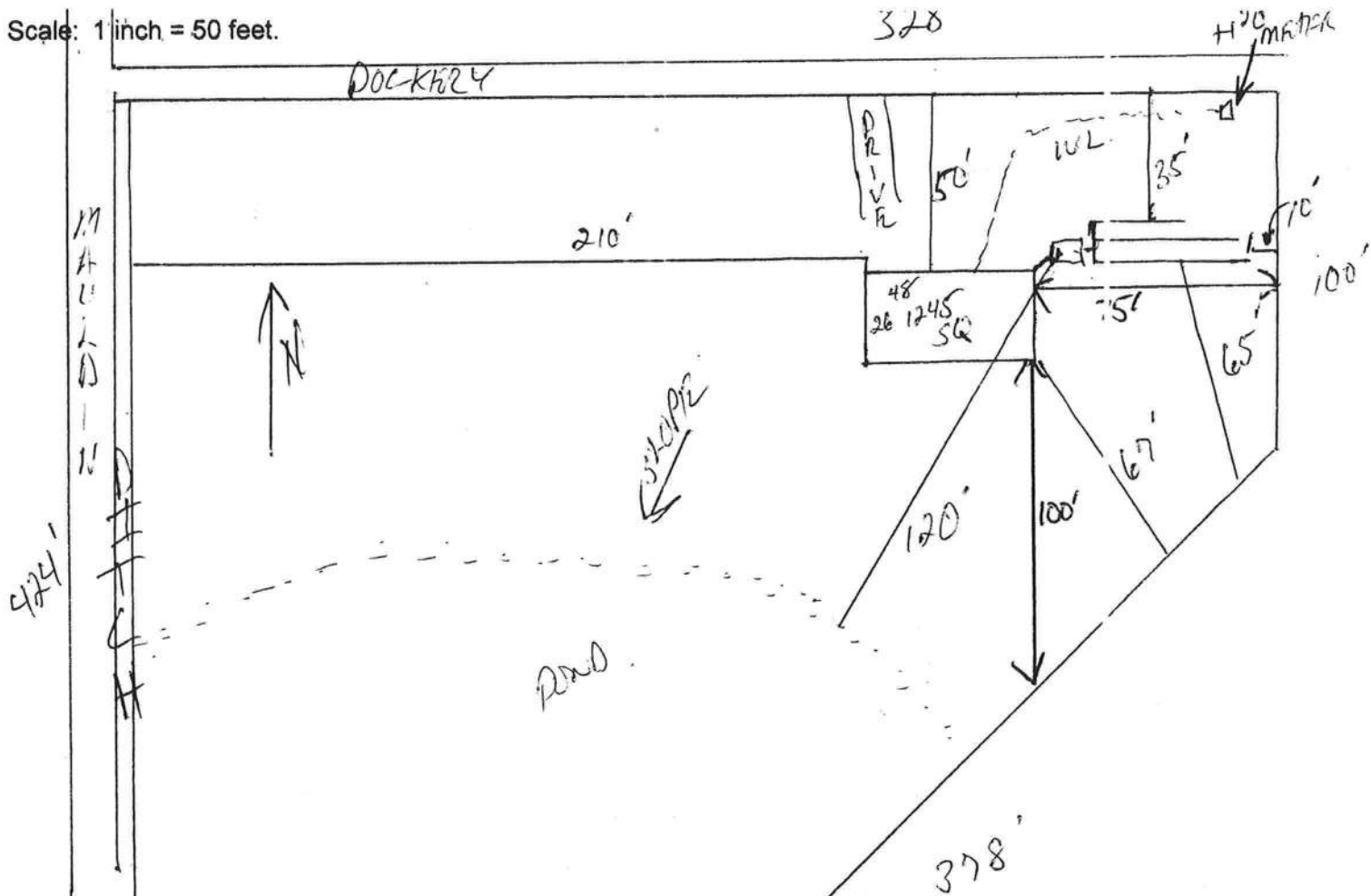
SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 13 DAY OF April 2009

Diana Deweese  
NOTARY PUBLIC

MY COMMISSION EXPIRES: 6-25-2012  
COMMISSION NO. DD 0800711  
PERSONALLY KNOWN: \_\_\_\_\_  
PRODUCED ID (TYPE): Drivers Lic



Scale: 1 inch = 50 feet.



**Notes:**

Site Plan submitted by:

Plan Approved

Not Approved.

MASTER CONTRACTOR

Date \_\_\_\_\_

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**



DATE OF BIRTH

BUYER:

CO-BUYER:

## FAMILY HOME CENTER

136 SW DEPUTY J. DAVIS DR.

LAKE CITY, FL 32024

(386) 719-5560 \* Fax: (386) 719-9603

DRIVER'S LICENSE

BUYER:

CO-BUYER:

BUYER(S) <u>James &amp; Angel Green</u>		PHONE <u>(386) 344-1907</u>		DATE <u>2/3/09</u>	
ADDRESS _____ Salesperson: <u>Jared M.</u>					
DELIVERY ADDRESS <u>150 Dockery Lane Lake City, FL 32024</u>					
MAKE & MODEL <u>Southern Oak - 5-2483A</u>		YEAR <u>2009</u>	BEDROOMS <u>3/2</u>	FLOOR SIZE <u>48' x 28'</u>	HITCH SIZE <u>52" x 28"</u>
SERIAL NUMBER _____		<input checked="" type="radio"/> New <input type="radio"/> Used COLOR _____			
LOCATION	R-VALUE	THICKNESS	TYPE OF INSULATION	BASE PRICE OF UNIT \$ <u>57000</u>	
CEILING				OPTIONAL EQUIPMENT	
EXTERIOR				0	
FLOORS				SUB-TOTAL \$	
THIS INSULATION INFORMATION WAS FURNISHED BY THE MANUFACTURER AND IS DISCLOSED IN COMPLIANCE WITH THE FEDERAL TRADE COMMISSION RULE 16 CFR, SECTION 460.16.				SALES TAX 6% \$ <u>3420</u>	
OPTIONAL EQUIPMENT, LABOR, AND ACCESSORIES				County Tax \$ <u>50</u>	
				TAG AND TITLE \$ <u>200</u>	
Delivered and Set Up: \$ _____				<u>improvements</u> <u>9350</u> <u>Land</u> <u>16,500</u>	
Tied Down: _____				1. CASH PURCHASE PRICE \$ <u>86,520.00</u>	
If the mobile home is furnished, the furniture is sold wholesale as is, and has no warranty. \$ _____				TRADE-IN ALLOWANCE	
Furnished _____ Unfurnished _____				LESS BAL. DUE ON ABOVE	
Customer responsible for any wrecker fees incurred on lot.				NET ALLOWANCE	
Wheels & axles deleted from sale price of home. We'll lend for a local move.				CASH DOWN PAYMENT <u>3000</u>	
Customer responsible for any gas or electrical hookups (Not Licensed.)				CASH AS AGREED See remarks	
Customer responsible for releveling of home after initial setup. Can not be responsible for settling of land. We will do again, but there will be a change.				2. LESS TOTAL CREDITS \$ _____	
CASH				SUB-TOTAL \$ _____	
On All Cash Purchases Homes will be Paid In Full before Delivery				SALES TAX (If Not Included Above) _____	
Options include extra: (LIST)				3. Unpaid Balance of Cash Sale Price \$ <u>83,520.00</u>	
BALANCE CARRIED TO OPTIONAL EQUIPMENT				REMARKS:	
NOTE: WARRANTY, EXCLUSIONS AND LIMITATIONS OF DAMAGES ON THE REVERSE SIDE				NO VERBAL AGREEMENTS WILL BE HONORED.	
DESCRIPTION OF TRADE-IN YEAR BEDROOMS SIZE				Initial: _____	
MAKE MODEL					
TITLE NO. SERIAL COLOR					
LIEN HOLDER PHONE NO AMOUNT				Liquidated Damages are agreed to be \$ _____ OR 10% of the cash price, whichever is greater.	
TRADE PAYOFF IS TO BE PAID BY				REFER TO PARAGRAPH #6 ON THE REVERSE SIDE OF THIS CONTRACT	
THIS AGREEMENT CONTAINS THE ENTIRE UNDERSTANDING BETWEEN DEALER AND BUYER AND NO OTHER REPRESENTATION OR INDUCEMENT, VERBAL OR WRITTEN HAS BEEN MADE WHICH IS NOT CONTAINED IN THIS CONTRACT.					
Dealer and Buyer certify that the additional terms and conditions printed on Page 2 of this contract are agreed to as part of the contract are agreed to as part of this agreement, the same as if printed above the signatures. Buyer is purchasing the above described trailer, manufactured home, or vehicle the optional equipment and accessories, the insurance as described has been voluntary, that Buyer's trade-in is free of all claims whatsoever except as noted.					
BUYER ACKNOWLEDGES RECEIPT OF A COPY OF THIS ORDER AND THAT BUYER HAS READ AND UNDERSTANDS PAGE 2 OF THIS AGREEMENT					
FAMILY HOME CENTER DEALER		SIGNED X <u>Angel Green</u>		BUYER	
Not Valid Unless Signed and Accepted by an Officer of the Company or an Authorized Agent.		SOCIAL SECURITY NO. <u>305-82-6283</u>			
BY <u>James Green</u>		SIGNED X <u>James Green</u>		BUYER	
Agent		SOCIAL SECURITY NO. <u>590-30-4077</u>			

## MOBILE HOME INSTALLERS AFFIDAVIT

Florida Statute Section 320.8249 Requires Mobile Home Installers to be Licensed:

Any person who engages in mobile home installation shall obtain a mobile home installers license from the Bureau of Mobile Home and Recreational Vehicle construction of the Department of Highway Safety and Motor Vehicles Pursuant to this section.

I, Jessie L. "Chester" Knowles, License No., IH 0000509  
Please Type or Print

do hereby state that the installation of the manufactured home at:

150 DOCKERY LANE LAKE CITY FL 32024  
911 Address of the Job site

Will be done under my supervision.

Jessie L. "Chester" Knowles  
Signature

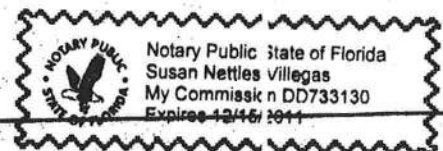
Sworn to and subscribed before me this 13<sup>th</sup> day of February, 2009.

Notary public: Susan Villegas, My commission Expires: 12/15/2011  
Signature Date

Personally Known: ☒

Produce Valid Identification: \_\_\_\_\_

Stamp or seal



PERMIT NUMBER

Installer T.L. Christie Knowles License # TH 0000 509

Address of home being installed \_\_\_\_\_

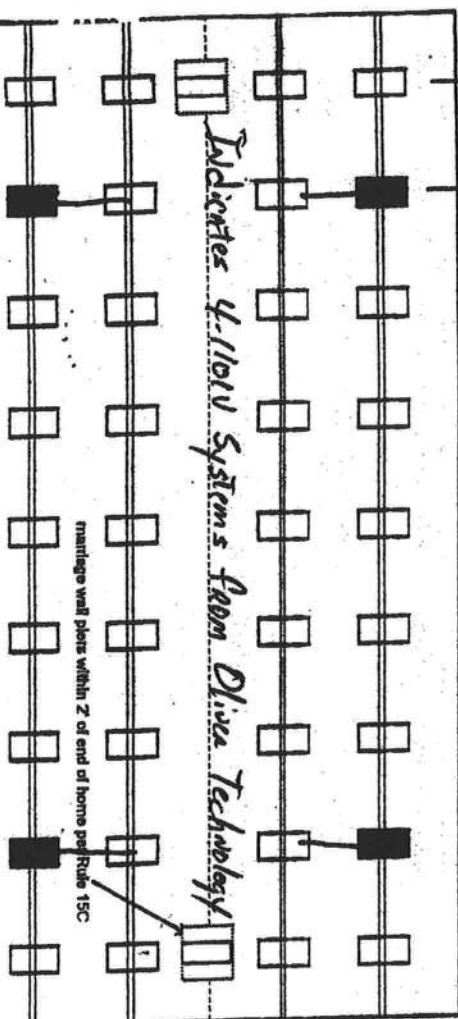
Manufacturer Live Oak Homes Length x width 28 x 48

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home.

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's Initials

*[Signature]*



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 300526

Triple/Quad ☐ Serial # Ordieed

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq. ft.)	16' x 16' (256)	18 1/2' x 18 1/2' (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	9'	10'
2000 psf	6'	8'	9'	10'	11'	12'
2500 psf	7' 6"	9'	10'	11'	12'	13'
3000 psf	8'	10'	11'	12'	13'	14'
3500 psf	8'	10'	11'	12'	13'	14'

\* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17 1/2 x 25 1/2

Perimeter pier pad size

N/A

Other pier pad sizes (required by the mfg.)

16 x 16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

15'

Pier pad size

23 1/4 x 31 1/4

ANCHORS

4 ft ☒ 5 ft ☐

FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Clivia Technology

OTHER TIES

Number

Sidewall

Longitudinal Marriage wall

2



# PERMIT NUMBER

## PERMIT WORKSHEET

### POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to        psi or check here to declare 1000 lb. soil ☒ without testing.

1.0 1.0 1.0

### POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

1.0 1.0 1.0

### TORQUE PROBE TEST

The results of the torque probe test is N/A US 19 11/11/11 system here if you are declaring 5 anchors without testing       . A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline the points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

JLK Installer's initials

### ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Jessie L. "Chester" Knowles

Date Tested 2-13-09

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15C-1

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15C-1

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15C-1

### Site Preparation

Debris and organic material removed ☒ Water drainage: Natural ☒ Swale ☐ Pad ☐ Other ☐

### Fastening multi wide units

Floor: Type Fastener: lag Length: 6" Spacing: 20"  
Walls: Type Fastener: anchors Length: 16" Spacing: 48"  
Roof: For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galy. roofing nails at 2' on center on both sides of the centerline.

### Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials JLK

Type gasket Roll Form

Pg. 15C-1 Installed: Between Floors Yes ☒  
Between Walls Yes ☒  
Bottom of ridgebeam Yes ☒

### Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 15C-1  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☐

### Miscellaneous

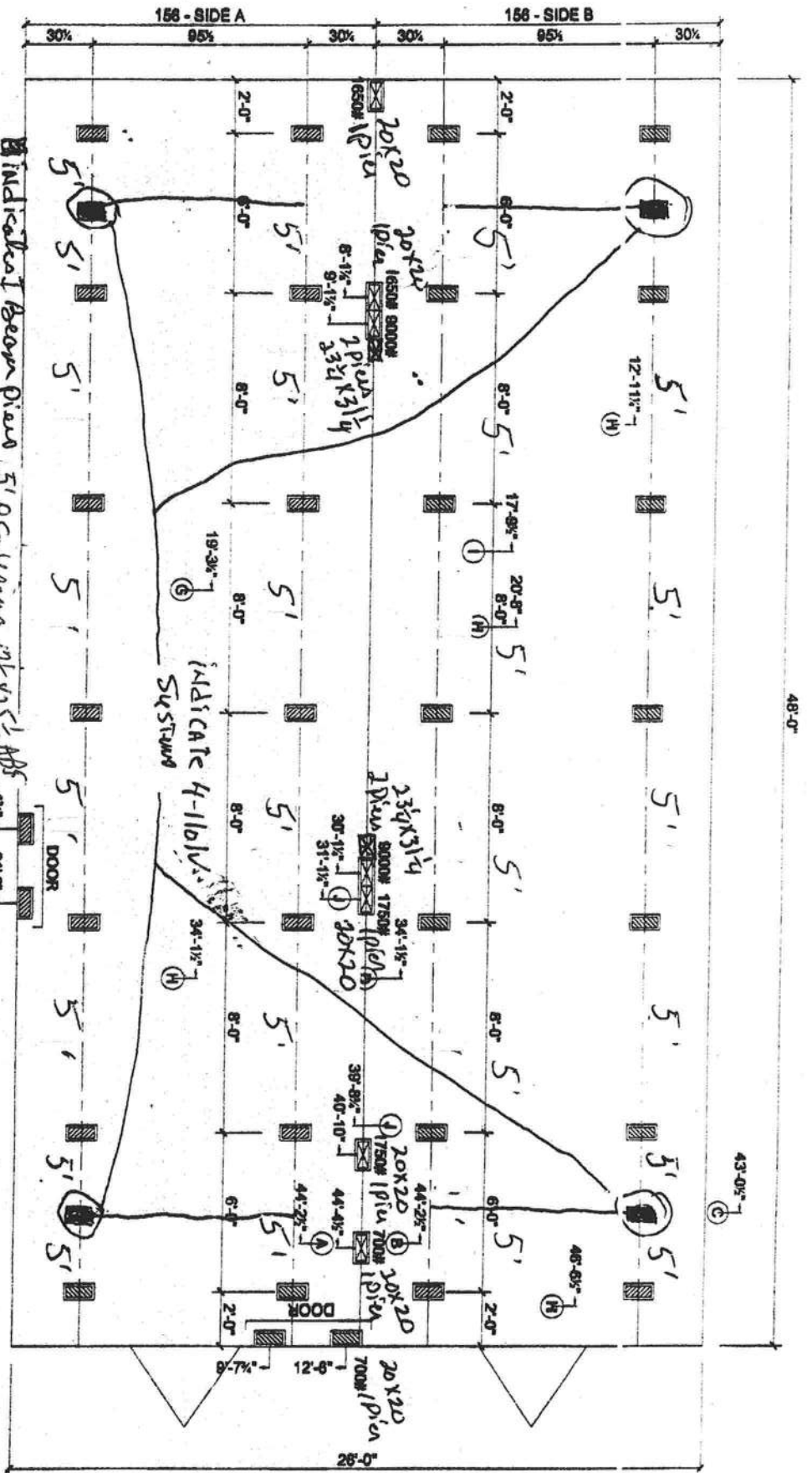
Skirting to be installed. Yes ☒ No ☐  
Dryer vent installed outside of skirting. Yes ☐ N/A ☒  
Range downflow vent installed outside of skirting. Yes ☐ N/A ☒  
Drain lines supported at 4 foot intervals. Yes ☐  
Electrical crossovers protected. Yes ☐  
Other: 15C-1 may or may not have page 1

### in Setup manual

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Jessie L. "Chester" Knowles Date: 2-13-09



2/29/08

**FOUNDATION NOTES:**

- THIS DRAWING IS DESIGNED FOR THE STANDARD WIND ZONE AND IS TO BE USED IN CONJUNCTION WITH THE INSTALLATION MANUAL AND ITS SUPPLEMENTS.
- FOOTINGS ARE SHOWN FOR EXAMPLE ONLY QUANTITY AND SPACING MAY VARY BASED ON PAD TYPE, SOIL CONDITION, ETC.
- FOOTINGS ARE REQUIRED AT SUPPORT POSTS, SEE INSTALLATION MANUAL FOR REQUIREMENTS.

INDICATED BEAR PIER 5' O.C. USING 12X15 1/2\"/>

MARRIAGE LINE OPENING SUPPORT PIER/TYP.

SUPPORT PIER/TYP

**Live Oak Homes**  
**MODEL: S-2483A - 28 X 48**  
**3-BEDROOM / 2-BATH**

- (A) MAIN ELECTRICAL
- (B) ELECTRICAL CROSSOVER
- (C) WATER INLET
- (D) WATER CROSSOVER (IF ANY)
- (E) GAS INLET (IF ANY)
- (F) GAS CROSSOVER (IF ANY)
- (G) DUCT CROSSOVER
- (H) SEWER DROPS
- (I) RETURN AIR (W/OPT. HEAT PUMP ON DUCT)
- (J) SUPPLY AIR (W/OPT. HEAT PUMP ON DUCT)

[illegible]

**28 x 52 - Approx. 1245 Sq. Ft.**

\* All room dimensions include closets and square footage figures are approximate.

# THE OAK ROOMS



# 2008 FOR PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# P03000072137

Entity Name: STAGE FUNDING ASSISTANCE CORPORATION

FILED  
Apr 08, 2008  
Secretary of State

**Current Principal Place of Business:**

105 S. WHEELER  
SUITE 205  
PLANT CITY, FL 33563

**New Principal Place of Business:**

**Current Mailing Address:**

105 S. WHEELER  
SUITE 205  
PLANT CITY, FL 33563

**New Mailing Address:**

FEI Number: 54-2122034

FEI Number Applied For ( )

FEI Number Not Applicable ( )

Certificate of Status Desired ( )

**Name and Address of Current Registered Agent:**

JORDAN, MARK  
5415 SHAESPEARE DRIVE  
DOVER, FL 33527 US

**Name and Address of New Registered Agent:**

JORDAN, MARK  
105 S. WHEELER  
SUITE 205  
PLANT CITY, FL 33563 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: MARK JORDAN

04/08/2008

Electronic Signature of Registered Agent

Date

Election Campaign Financing Trust Fund Contribution ( ).

**OFFICERS AND DIRECTORS:**

Title: D ( ) Delete  
Name: OSBORNE, JOHNNIE  
Address: 105 S WHEELER  
City-St-Zip: PLANT CITY, FL 33563

Title: D ( ) Delete  
Name: BENSON, JERI  
Address: 105 S WHEELER  
City-St-Zip: PLANT CITY, FL 33563

**ADDITIONS/CHANGES TO OFFICERS AND DIRECTORS:**

Title: ( ) Change ( ) Addition  
Name:  
Address:  
City-St-Zip:

Title: ( ) Change ( ) Addition  
Name:  
Address:  
City-St-Zip:

I hereby certify that the information supplied with this filing does not qualify for the exemption stated in Chapter 119, Florida Statutes. I further certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with an address, with all other like empowered.

SIGNATURE: JERI BENSON

DIR

04/08/2008

Electronic Signature of Signing Officer or Director

Date

## CONSENT

This is to certify that I, (We), State Funding Assistance Corporation as owner(s) of the below described property:

Sec. \_\_\_\_\_ Twp. \_\_\_\_\_ Rge. \_\_\_\_\_

Tax Parcel No. R03452-014

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

give permission for JAMES AND ANGEL GREEN to place a  
mobile Home on my property in Columbia County.  
(Mobile Home/Travel Trailer/SFD)

I (We) understand that this could result in an assessment for solid waste and fire protection services levied on this property.

Dated this 21<sup>st</sup> day of April, 20 09.

Danielle Goff  
Witness

[Signature]  
~~Owner~~ Officer

\_\_\_\_\_  
Witness

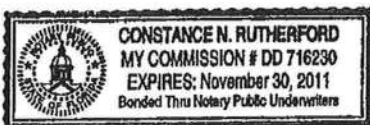
\_\_\_\_\_  
Owner

Sworn to and subscribed before me this 21 day of April,  
20 09, by Jeri Benson, Officer  
Property owner(s) name(s)

CONSTANCE N. RUTHERFORD

\_\_\_\_\_  
Notary's name printed/typed

Constance N. Rutherford  
Notary Public, State of Florida  
Commission No. \_\_\_\_\_  
Personally known ✓  
Produced ID (type) \_\_\_\_\_



Prepared by and return to:

Cari Feder

ADVANTAGE TITLE SERVICES, INC.

401 S. Florida Avenue

Lakeland, Florida 33801

File Number: 09-0100STAGE GREEN

Inst:200912005987 Date:4/14/2009 Time:10:08 AM

Doc Stamp-Deed:112.00

Doc: P. DeWitt Cason, Columbia County Page 1 of 1 B:1171 P:88

(Space Above This Line For Recording Data)

## Warranty Deed

**This Warranty Deed** made this April 08, 2009 between **JOSEPH H. ELWELL and CAROL S. ELWELL, husband and wife**, whose post office address is 289 NW Casey Lake City FL 32055, grantor, and **STAGE FUNDING ASSISTANCE CORPORATION, a Florida Corporation** whose post office address is 105 S. Wheeler Street, Plant City, Florida 33563, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in **Columbia County, Florida** to-wit:

Section 3: Part of Lot 14, PLANTATION PARK Subdivision as recorded in Plat Book 4, Page 120, Columbia County, Florida more particularly described as follows: For Point of Beginning, begin at the Southwest corner of said Lot 14 on the East Right-of-Way line of Mauldin Road and run thence N00°06'18"E along the East Right-of-Way of Mauldin Road to the point of intersection of said East Right-of-Way line with the South Right-of-Way line of Dockery Road, said point being the Northwest corner of Lot 14, and being a distance of 424.35 feet; thence run S86°13'48"E along the South Right-of-Way line of Dockery Road a distance of 328.43 feet to a concrete monument; thence run S03°46'12"W a distance of 100.00 feet; thence run S46°44'13"W 63.73 feet to a concrete monument at the edge of a pond; thence continue S46°44'13"W 378.34 feet to the Southwest corner of said Lot 14 and the Point of Beginning.

**Parcel Identification Number: R03457-014**

**More Commonly known as: 150 SE Dockery Lane, Lake City, Florida 32024**

**SUBJECT TO easements and restrictions of record, if any, and taxes for the year 2009 and subsequent years.**

**Together** with all the rights, easements, tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining and all improvements, structures, fixtures and replacements, all of which shall be deemed to be a part of the property.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except as stated herein.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Sign: Jane Ambrosio  
Print Witness Name: Jane Ambrosio

Witness Sign: Jack Ambrosio  
Print Witness Name: Jack Ambrosio

State of Florida  
County of Columbia

The foregoing instrument was acknowledged before me this April 08, 2009 by JOSEPH H. ELWELL and CAROL S. ELWELL, husband and wife, who are personally known or have produced driver's license(s) as identification.

(Notary Seal)

Notary Public

Printed Name: W. D. Bays

My Commission Expires: May 13, 2009



## CONSENT

This is to certify that I, (We), State Funding Assistance Corporation as owner(s) of the below described property:

Sec. \_\_\_\_\_ Twp. \_\_\_\_\_ Rge. \_\_\_\_\_

Tax Parcel No. R03452-014

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

give permission for JAMES AND ANGEL GREEN to place a  
mobile Home on my property in Columbia County.  
(Mobile Home/Travel Trailer/SFD)

I (We) understand that this could result in an assessment for solid waste and fire protection services levied on this property.

Dated this 21<sup>st</sup> day of April, 20 09.

Danielle Goff  
Witness

[Signature]  
Owner

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Owner

Sworn to and subscribed before me this 21 day of April,  
20 09, by Jeri Benson Officer  
Property owner(s) name(s)

CONSTANCE N. RUTHERFORD

\_\_\_\_\_  
Notary's name printed/typed

Constance N. Rutherford  
Notary Public, State of Florida  
Commission No. \_\_\_\_\_  
Personally known ✓  
Produced ID (type) \_\_\_\_\_



# 2008 FOR PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# P03000072137

FILED  
Apr 08, 2008  
Secretary of State

Entity Name: STAGE FUNDING ASSISTANCE CORPORATION

**Current Principal Place of Business:**

105 S. WHEELER  
SUITE 205  
PLANT CITY, FL 33563

**New Principal Place of Business:**

**Current Mailing Address:**

105 S. WHEELER  
SUITE 205  
PLANT CITY, FL 33563

**New Mailing Address:**

FEI Number: 54-2122034

FEI Number Applied For ( )

FEI Number Not Applicable ( )

Certificate of Status Desired ( )

**Name and Address of Current Registered Agent:**

JORDAN, MARK  
5415 SHAESPEARE DRIVE  
DOVER, FL 33527 US

**Name and Address of New Registered Agent:**

JORDAN, MARK  
105 S. WHEELER  
SUITE 205  
PLANT CITY, FL 33563 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: MARK JORDAN

04/08/2008

Electronic Signature of Registered Agent

Date

Election Campaign Financing Trust Fund Contribution ( ).

**OFFICERS AND DIRECTORS:**

Title: D ( ) Delete  
Name: OSBORNE, JOHNIE  
Address: 105 S WHEELER  
City-St-Zip: PLANT CITY, FL 33563

Title: D ( ) Delete  
Name: BENSON, JERI  
Address: 105 S WHEELER  
City-St-Zip: PLANT CITY, FL 33563

**ADDITIONS/CHANGES TO OFFICERS AND DIRECTORS:**

Title: ( ) Change ( ) Addition  
Name:  
Address:  
City-St-Zip:

Title: ( ) Change ( ) Addition  
Name:  
Address:  
City-St-Zip:

I hereby certify that the information supplied with this filing does not qualify for the exemption stated in Chapter 119, Florida Statutes. I further certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with an address, with all other like empowered.

SIGNATURE: JERI BENSON

DIR

04/08/2008

Electronic Signature of Signing Officer or Director

Date



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 419327  
DATE PAID: 7/16/09  
FEE PAID: 125.00  
RECEIPT #: 111075

APPLICATION FOR  
☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Joseph Elwell

AGENT: ROCKY FORD, A & B CONSTRUCTION / Knowles TELEPHONE: 386-497-2311

MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 14 BLOCK: na SUB: Plantation Park PLATTED: 78

PROPERTY ID #: 03-5S-16-03457-014 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y / ☐ N

PROPERTY SIZE: 1.98 ACRES WATER SUPPLY: \_\_\_\_\_ PRIVATE PUBLIC ☒ <=2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: 150 Dockery Road, Lake City

DIRECTIONS TO PROPERTY: 47 South, TR on King Road, TL on Mauldin, TL on

Dockery Road, 1<sup>st</sup> drive on right

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	DW Mobile Home	3	1245	
2				
3				

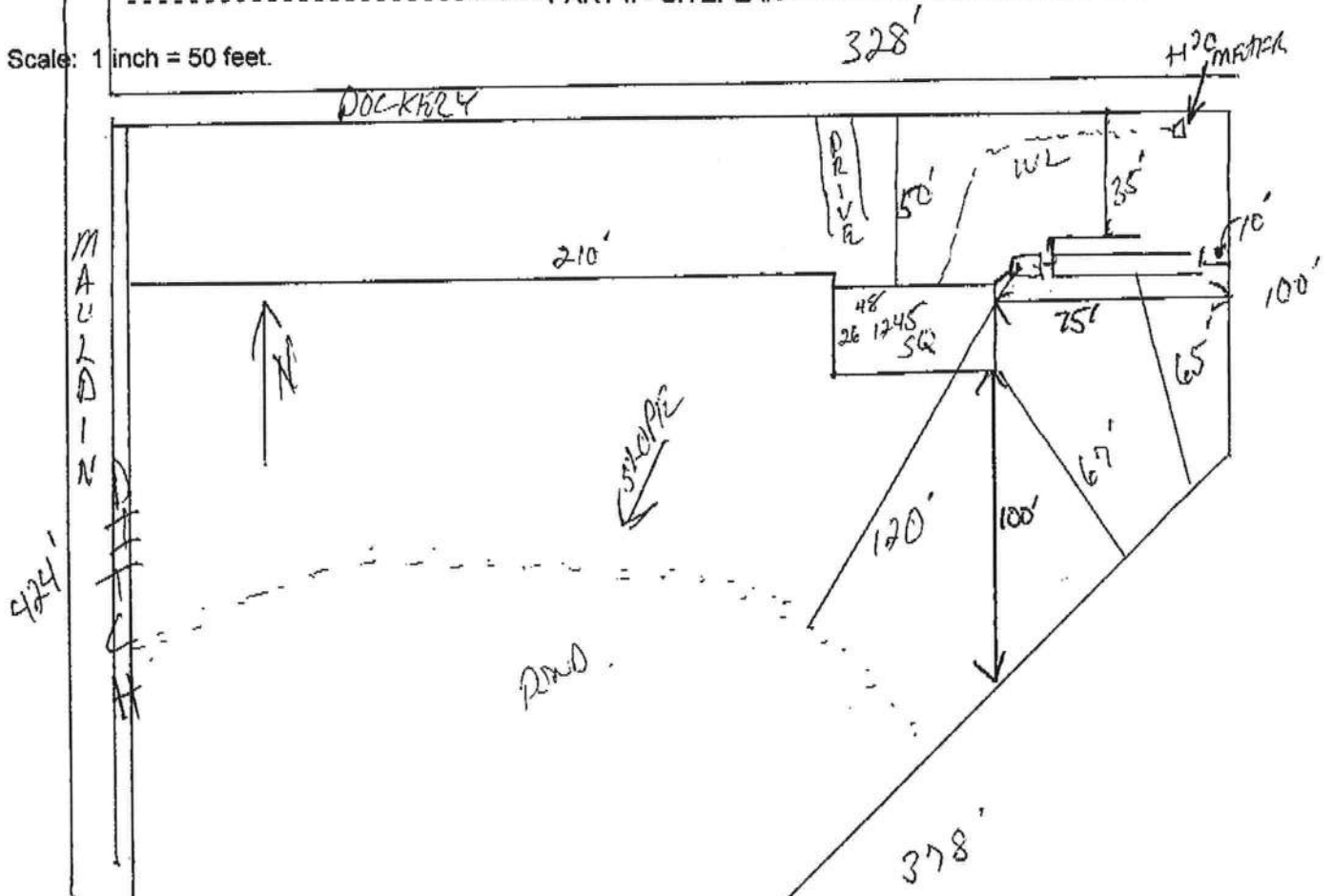
☒ Floor/Equipment Drains ☒ Other (Specify) \_\_\_\_\_

SIGNATURE: Rocky Ford DATE: 4/14/2009



Permit Application Number 09-0231E

Scale: 1 inch = 50 feet.



**Notes:**

Site Plan submitted by:

Plan Approved 11/15/2015 Not Approved

By

MASTER CONTRACTOR

Date 4/20/9

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

DH 4015, 10/96 (Replaces HRS-H Form 4016 which may be used)  
(Stock Number: 5744-002-4015-6)

Page 2 of 4

**COLUMBIA COUNTY**  
**OFFICE**  
**OF**  
**PLANNING AND ZONING**

# M/H OCCUPANCY

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 03-5S-16-03457-014

Building permit No. 000027769

Permit Holder CHESTER KNOWLES

Owner of Building STAGE FUNDING ASSISTANT CORP

Location: 150 SE DOCKERY LANE, LAKE CITY, FL

Date: 04/30/2009



*Wayne H. Ruiz*  
Building Inspector

**POST IN A CONSPICUOUS PLACE**  
**(Business Places Only)**