



Columbia County

BUILDING DEPARTMENT

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE, FLORIDA PLUMBING CODE, FLORIDA MECHANICAL
CODE, FLORIDA FUEL AND GAS CODE 2007, NATIONAL ELECTRICAL 2005**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE
CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWING SHALL
PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND
SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED
IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES,
APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.**

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FBC FIGURE 1609 STATE OF FLORIDA WIND SPEED MAP

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75
ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
1	All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void.	✓		
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided for in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute.	YES ✓	NO	N/A
3	The design professional signature shall be affixed to the plans	YES ✓	NO	N/A
4	Two (2) complete sets of plans with the architecture or engineer signature and the date the affix embossed official seal was placed on the plans	YES ✓	NO	N/A

Building Site Plan Requirements										Items to Include- Each Box shall be Circled as Applicable		
4	Parking, including provision FBC chapter 11 for the required accessible parking site	Yes	✓	No		N/A						
5	Fire access, showing all drive way which will be accessible for emergency vehicles	Yes	✓	No		N/A						
6	Driving/turning radius of parking lots	Yes	✓	No		N/A						
7	Vehicle loading include truck dock loading or rail site loading	Yes	✓	No		N/A						
8	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)	Yes	✓	No		N/A						
9	Set back of all existing or proposed structures from each structure and property boundaries, Show all separation including assumed property lines	Yes	✓	No		N/A						
10	Location of specific tanks(above or under grown ,water lines and sewer lines and septic tank and drain fields	Yes		No		✓	N/A					
11	All structures exterior views include finished floor elevation	Yes		No		✓	N/A					
12	Total height of structure(s) form established grade	Yes		No		✓	N/A					
	Occupancy group use circle all uses:	Group A	Group B	Group E	Group F	Group H	Group I	Group M	Group R	Group S	Group U	D
13	Special occupancy requirements.	Yes		No						✓	N/A	
14	Incidental use areas (total square footage for each room of use area)	Yes		No						✓	N/A	
15	Mixed occupancies	Yes		No						✓	N/A	
16	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 302.3.2											
Minimum type of permitted construction by code for occupancy use circle the construction type FBC 602												
17	Type I	Type II	Type III	Type IV	Type V							
Fire-resistant construction requirements shall be shown, include the following components												
18	Fire-resistant separations	Yes		No		✓	N/A					
19	Fire-resistant protection for type of construction	Yes		No		✓	N/A					
20	Protection of openings and penetrations of rated walls	Yes		No		✓	N/A					
21	Protection of openings and penetrations of rated walls	Yes		No		✓	N/A					
22	Fire blocking and draftstopping and calculated fire resistance	Yes		No		✓	N/A					
Fire suppression systems shall be shown include:												
23	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes	Yes		No		✓	N/A					
24	Standpipes	Yes		No		✓	N/A					
25	Pre-engineered systems	Yes		No		✓	N/A					
26	Riser diagram	Yes		No		✓	N/A					
Life safety systems shall be shown include the following requirements:												
27	Occupant load and egress capacities	Yes		No		✓	N/A					
28	Early warning	Yes		No		✓	N/A					
29	Smoke control	Yes		No		✓	N/A					
30	Stair pressurization	Yes		No		✓	N/A					
31	Systems schematic	Yes		No		✓	N/A					
Occupancy load/egress requirements shall be shown include:												
32	Occupancy load	Yes		No		✓	N/A					
33	Gross occupancy load	Yes		No		✓	N/A					
34	Net occupancy load	Yes		No		✓	N/A					
35	Means of egress	Yes		No		✓	N/A					
36	Exit access	Yes		No		✓	N/A					
37	Exit discharge	Yes		No		✓	N/A					
38	Stairs construction/geometry and protection	Yes		No		✓	N/A					
39	Doors	Yes		No		✓	N/A					
40	Emergency lighting and exit signs	Yes		No		✓	N/A					
41	Specific occupancy requirements	Yes		No		✓	N/A					
42	Construction requirements	Yes		No		✓	N/A					
43	Horizontal exits/exit passageways	Yes		No		✓	N/A					

Items to Include-
Each Box shall
be Circled as
Applicable

Structural requirements shall be shown include:				
		Yes	No	N/A
44	Soil conditions/analysis	Yes	No	N/A
45	Termite protection	Yes	No	N/A
46	Design loads	Yes✓	No	N/A
47	Wind requirements	Yes	No	N/A
48	Building envelope	Yes	No	N/A
49	Structural calculations (if required)	Yes	No	N/A
50	Foundation	Yes	No	N/A
51	Wall systems	Yes	No	N/A
52	Floor systems	Yes	No	N/A
53	Roof systems	Yes	No	N/A
54	Threshold inspection plan	Yes	No	N/A
55	Stair systems	Yes	No	N/A
Materials shall be shown include the following				
		Yes	No	N/A
56	Wood	Yes✓	No	N/A
57	Steel	Yes	No	N/A
58	Aluminum	Yes✓	No	N/A
59	Concrete	Yes	No	N/A
60	Plastic	Yes	No	N/A
61	Glass	Yes	No	N/A
62	Masonry	Yes	No	N/A
63	Gypsum board and plaster	Yes	No	N/A
64	Insulating (mechanical)	Yes✓	No	N/A
65	Roofing	Yes✓	No	N/A
66	Insulation	Yes	No	N/A
Accessibility requirements shall be shown include the following				
		Yes✓	No	N/A
67	Site requirements	Yes	No	N/A
68	Accessible route	Yes	No	N/A
69	Vertical accessibility	Yes	No	N/A
70	Toilet and bathing facilities	Yes	No	N/A
71	Drinking fountains	Yes	No	N/A
72	Equipment	Yes	No✓	N/A
73	Special occupancy requirements	Yes	No	N/A
74	Fair housing requirements	Yes	No	N/A
Interior requirements shall include the following				
		Yes	No	N/A
75	Interior finishes (flame spread/smoke development)	Yes	No	N/A
76	Light and ventilation	Yes	No	N/A
77	Sanitation	Yes	No	N/A
Special systems				
		Yes	No	N/A
78	Elevators	Yes	No	N/A
79	Escalators	Yes	No	N/A
80	Lifts	Yes	No	N/A
Swimming pools				
		Yes	No	N/A
81	Barrier requirements	Yes	No	N/A
82	Spas	Yes	No	N/A
83	Wading pools	Yes	No	N/A

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Items to Include-Each Box shall be Circled as Applicable				
Electrical				
		Yes	No	N/A
84	Wiring	Yes	No	N/A
85	Services	Yes	No	N/A
86	Feeders and branch circuits	Yes	No	N/A
87	Overcurrent protection	Yes	No	N/A
88	Grounding	Yes	No	N/A
89	Wiring methods and materials	Yes	No	N/A
90	GFCIs	Yes	No	N/A
91	Equipment	Yes	No	N/A
92	Special occupancies	Yes	No	N/A
93	Emergency systems	Yes	No	N/A
94	Communication systems	Yes	No	N/A
95	Low voltage	Yes	No	N/A
96	Load calculations	Yes	No	N/A
Plumbing				
		Yes	No	N/A
97	Minimum plumbing facilities	Yes	No	N/A
98	Fixture requirements	Yes	No	N/A
99	Water supply piping	Yes	No	N/A
100	Sanitary drainage	Yes	No	N/A
101	Water heaters	Yes	No	N/A
102	Vents	Yes	No	N/A
103	Roof drainage	Yes	No	N/A
104	Back flow prevention	Yes	No	N/A
105	Irrigation	Yes	No	N/A
106	Location of water supply line	Yes	No	N/A
107	Grease traps	Yes	No	N/A
108	Environmental requirements	Yes	No	N/A
109	Plumbing riser	Yes	No	N/A
Mechanical				
		Yes	No	N/A
110	Energy calculations	Yes	No	N/A
111	Exhaust systems	Yes	No	N/A
112	Clothes dryer exhaust	Yes	No	N/A
113	Kitchen equipment exhaust	Yes	No	N/A
114	Specialty exhaust systems	Yes	No	N/A
Equipment location				
		Yes	No	N/A
115	Make-up air	Yes	No	N/A
116	Roof-mounted equipment	Yes	No	N/A
117	Duct systems	Yes	No	N/A
118	Ventilation	Yes	No	N/A
119	Laboratory	Yes	No	N/A
120	Combustion air	Yes	No	N/A
121	Chimneys, fireplaces and vents	Yes	No	N/A
122	Appliances	Yes	No	N/A
123	Boilers	Yes	No	N/A
124	Refrigeration	Yes	No	N/A
125	Bathroom ventilation	Yes	No	N/A

Items to Include-Each Box shall be Circled as Applicable

Gas		Yes	No	N/A
126	Gas piping	Yes	No	N/A
127	Venting	Yes	No	N/A
128	Combustion air	Yes	No	N/A
129	Chimneys and vents	Yes	No	N/A
130	Appliances	Yes	No	N/A
131	Type of gas	Yes	No	N/A
132	Fireplaces	Yes	No	N/A
133	LP tank location	Yes	No	N/A
134	Riser diagram/shutoffs	Yes	No	N/A
Notice of Commencement				
135	A recorded (in the Columbia County Clerk Office) notice of commencement is required to be on file with the building department . <i>Before Any Inspections Will Be Done</i>	Yes	No	N/A
Disclosure Statement for Owner Builders		Yes	No	N/A

Private Potable Water				
136	Horse power of pump motor	Yes	No	N/A
137	Capacity of pressure tank	Yes	No	N/A
138	Cycle stop valve if used	Yes	No	N/A

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

139	Building Permit Application	A current Building Permit Application form is to be completed and submitted for all construction projects.	Yes	No	N/A
140	Parcel Number	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also requested. (386) 758-1084	Yes	No	N/A
141	Environmental Health Permit or Sewer Tap Approval	A copy of an approved Environmental Health (386) 758-1058 waste water disposal permit or an approved City of Lake City (386) 752-2031 sewer tap is required before a building permit can be issued.	Yes	No	N/A
142	Driveway Connection	Toilet facilities shall be provided for construction workers If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$25.00). Culvert installation for commercial, industrial and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Use or joint use of driveways will comply with Florida Department of Transportation specifications. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	Yes	No	N/A
143	Suwannee River Water Management District Approval	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.	Yes	No	N/A

144	Flood Management	Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of section 8.5.2 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) has not been established shall meet the requirements of section 8.5.3 of Columbia County Land Development Regulations. A development permit will also be required. The development permit cost is \$50.00	Yes	No	N/A ✓
145	Flood Management	A CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.	Yes	No	N/A ✓
146	911 Address	If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	Yes	No ✓	N/A

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

Section 105 of the Florida Building Code defines the:

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

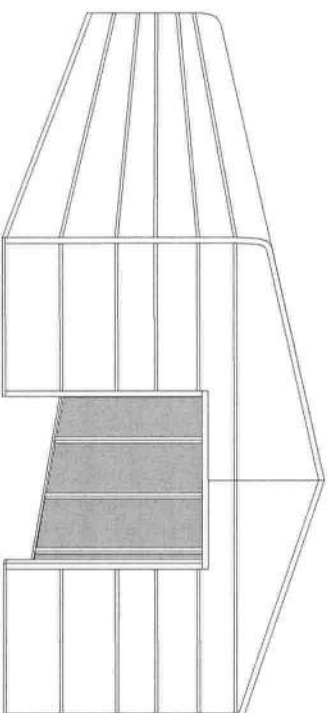
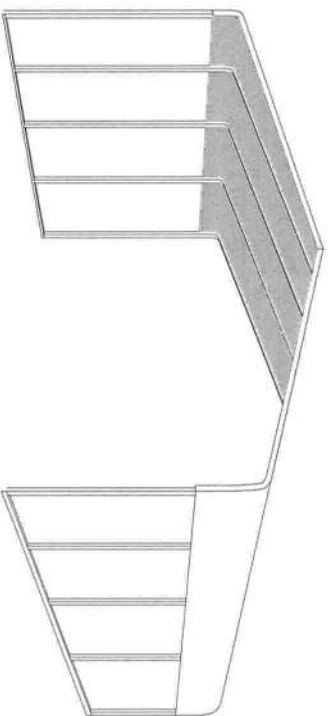
Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department.



PREPARED BY:



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CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623

Tel: (419) 292-1983
Fax: (419) 292-0955

**80'X100'X16' BOXED MODEL
(STATE OF FLORIDA)
AS PER DESIGN CRITERIA**

LAKE CITY, FL

FOR:



Metal Buildings Inc.
1050 Worth St.
Mount Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2006, OSHA, AISC, ASCE7-05, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. SHELTER BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 8 AND SHALL BE FIELD ADJUSTED ON THE BASIS OF MFR.'S REQUIREMENTS FOR ACTUAL SOIL TYPE.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE TEKS #3 (1/4"X1").
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.

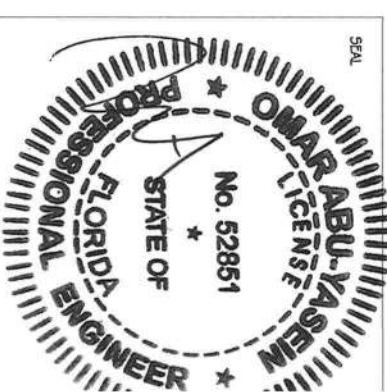
DESIGN CRITERIA

PREVAILING CODE: FBC 2007 AND 2009 AMENDMENTS
USE GROUP: U (BARN)
BASIC WIND VELOCITY: 130 MPH
ROOF DEAD LOAD: 2.0 PSF
ROOF LIVE LOAD: 20 PSF
GROUND SNOW LOAD: 0 PSF
IMPORTANCE FACTOR = SNOW 0.8
WIND 0.87
SEISMIC DESIGN CATEGORY: A
LOAD COMBINATIONS:
DL+LL, 0.6DL+WL
DL+0.75LL+0.75WL

DRAWING INDEX

- 1.....COVER SHEET
- 2.....FLOOR PLAN
- 3.....BUILDING SECTIONS
- 4.....ELEVATIONS
- 5.....FULLY ENCLOSED - W/ OPENINGS
- 6.....ROOF STRAP PLAN
- 7.....DETAILS1
- 8.....DETAILS2
- 9.....ANCHORAGE OPTIONS

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LICENSE EXPIRES:

DATE SIGNED:

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Metal Buildings I
1050 North St.
Mount Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILD

LOCATION:

FLORIDA

DRAWING NO.:

TNT-80FL

DATE:

02/15/2010

PROJECT NUMBER:

039-10-0107

DRAWN BY:

CQ

CHECKED BY:

OA

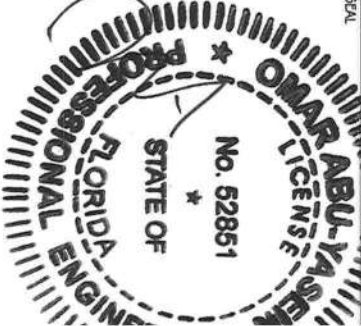
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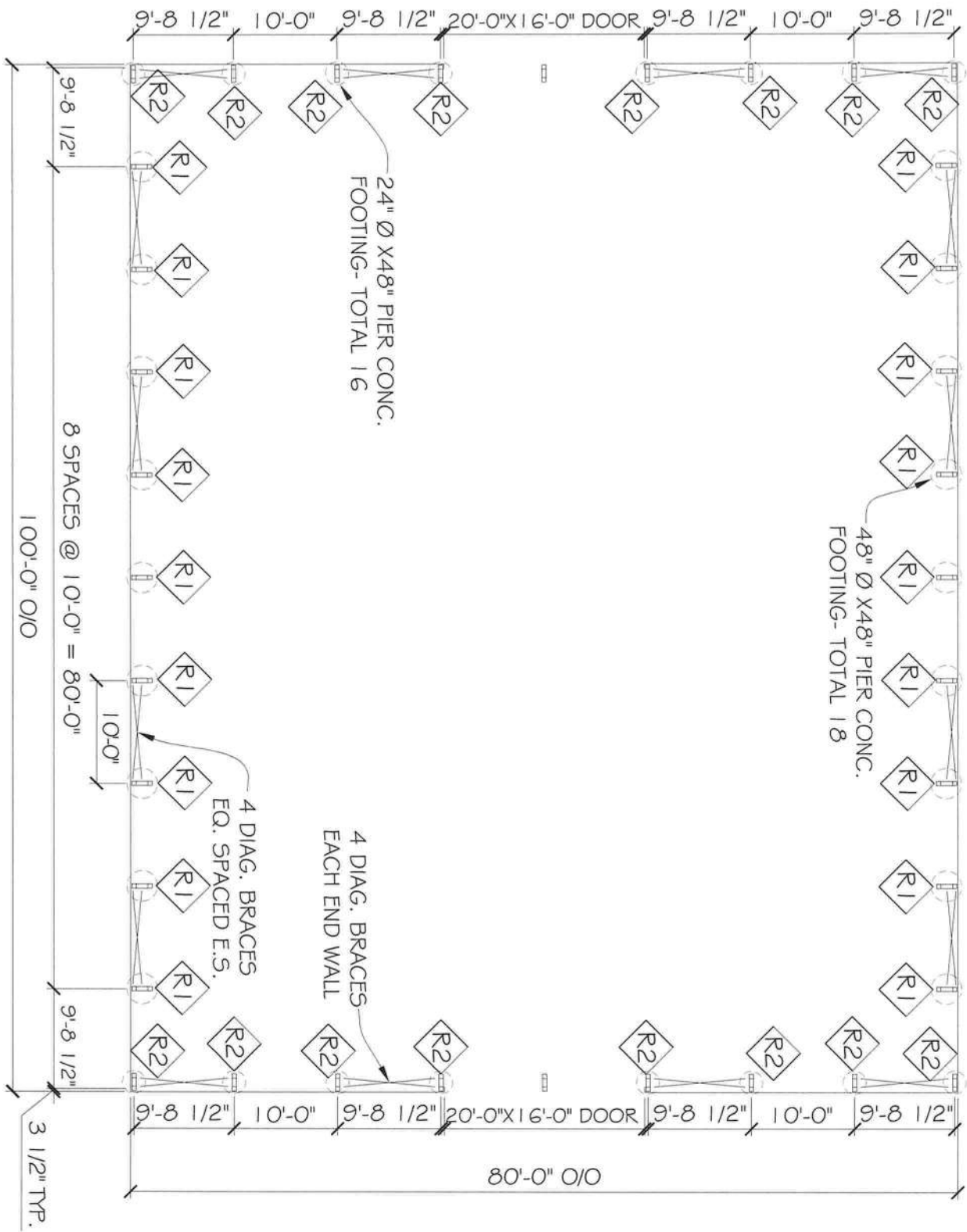
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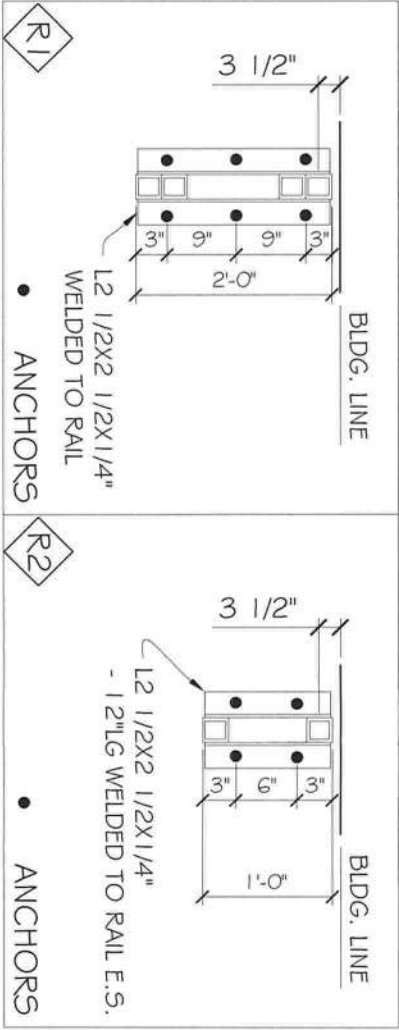
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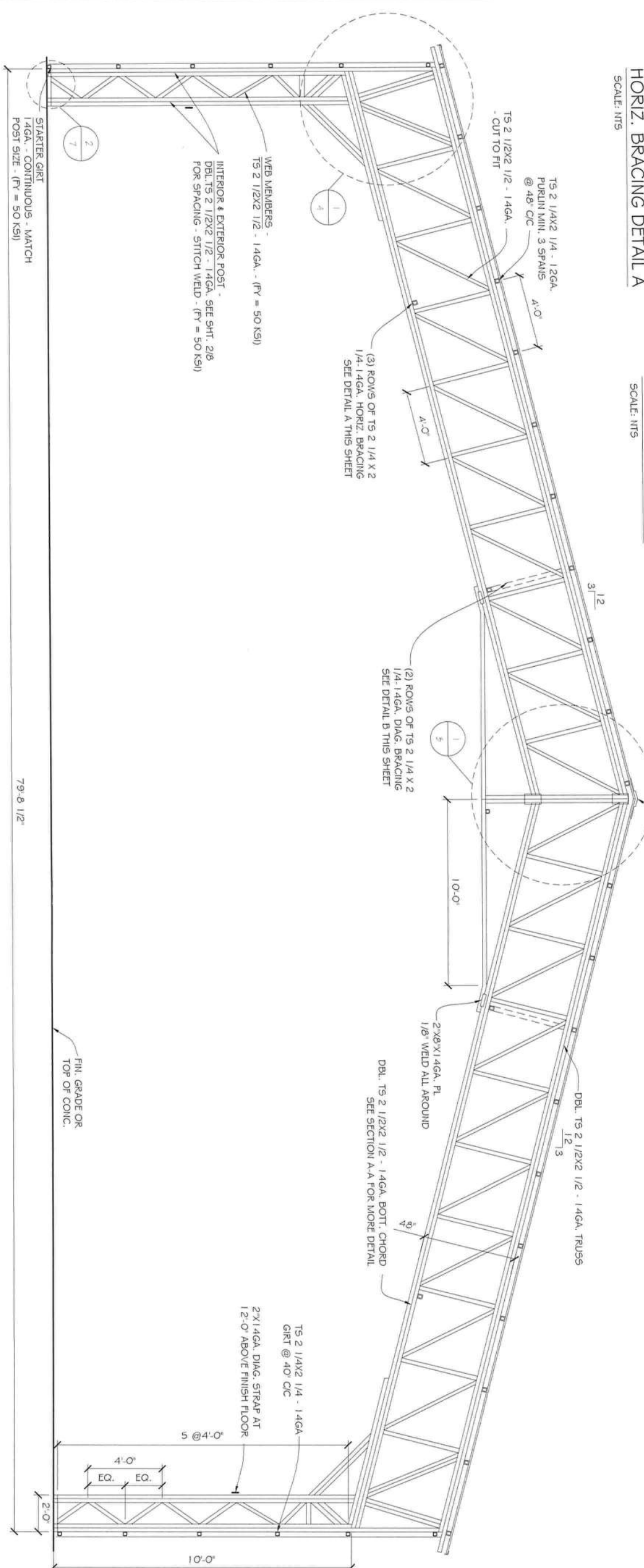
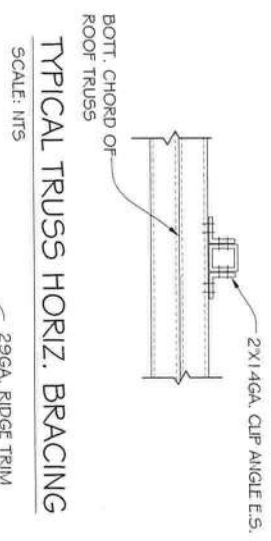
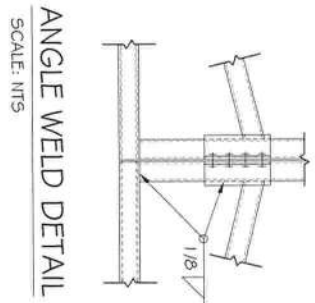
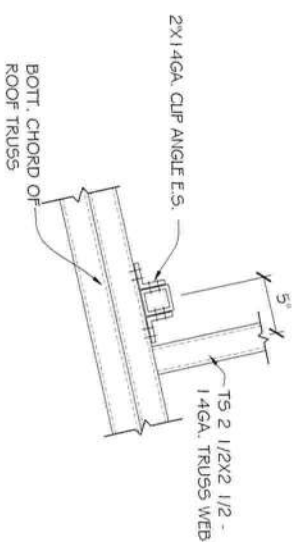
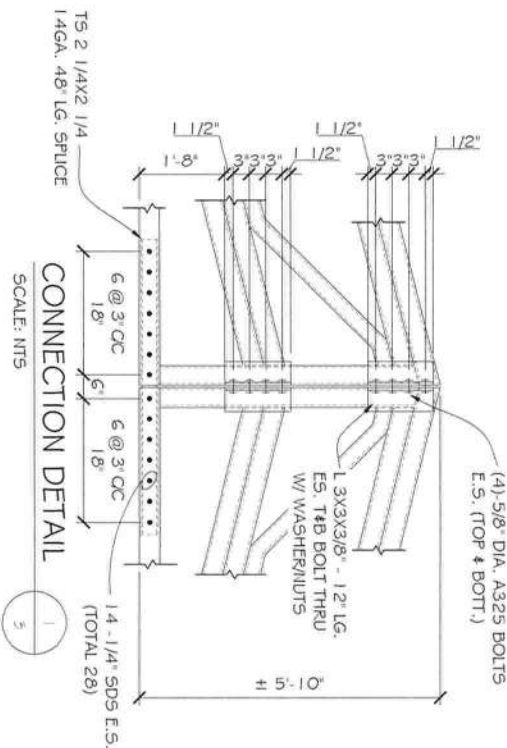
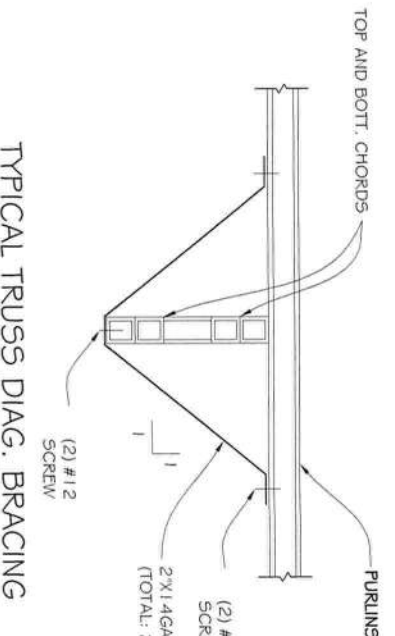
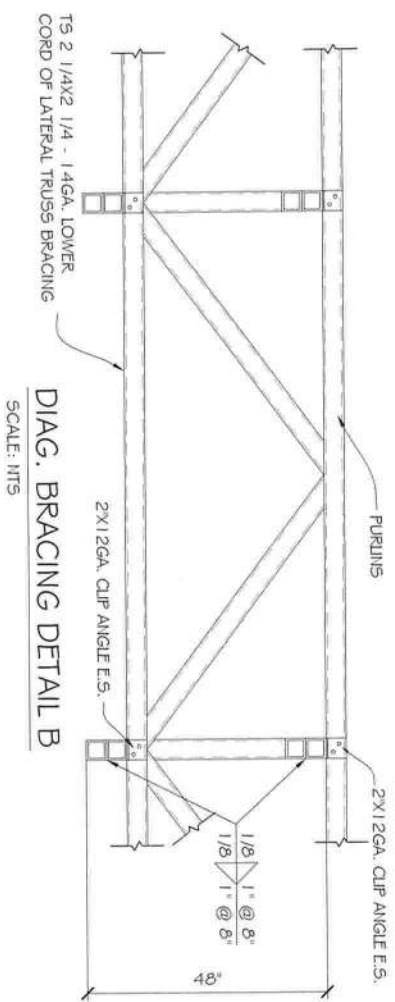
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FLOOR PLAN

SCALE: NTS



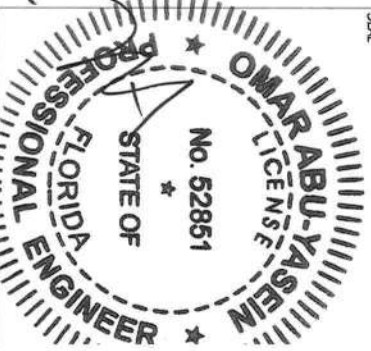


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OWNER:	TNT METAL BUILDII
LOCATION:	FLORIDA
DRAWING NO.:	TNT-80FL
DATE:	02/15/2010
PROJECT NUMBER:	039-10-0107
DRAWN BY:	CQ
CHECKED BY:	OA
DRAWING TITLE:	TYP. BLDG. SECTIC
SHEET NO.:	3 OF 9
SEAL	



DATE SIGNED: 02/15/2010



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OWNER: **TNT METAL BUILDING**

LOCATION: **FLORIDA**

DRAWING NO.: **TNT-80FL**

DATE: **02/15/2010**

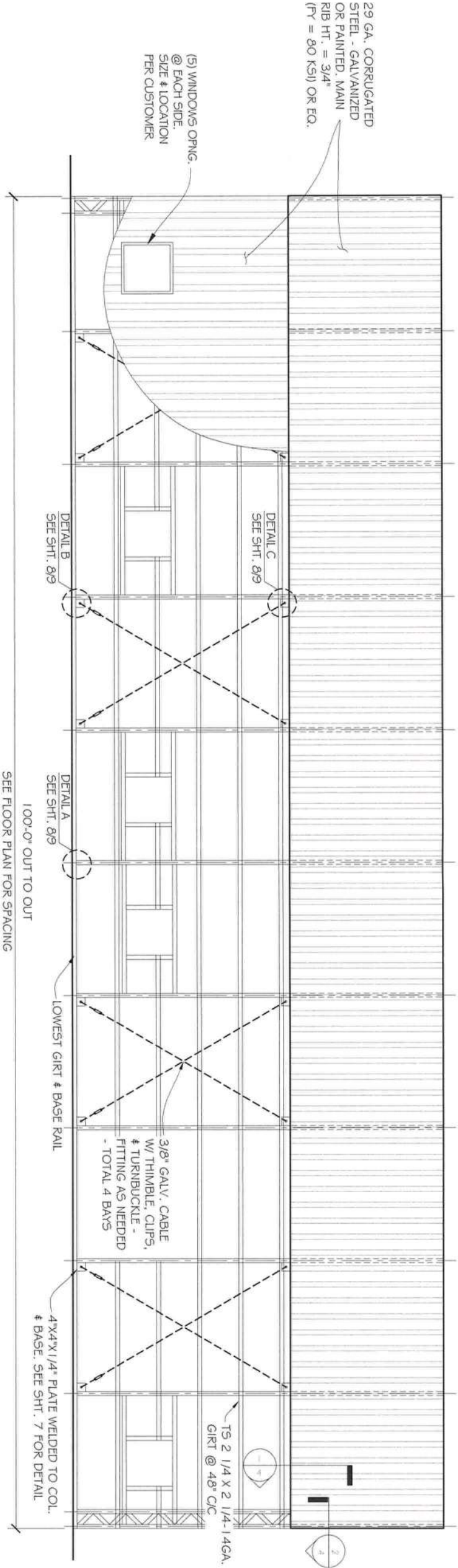
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DRAWN BY: **CQ**

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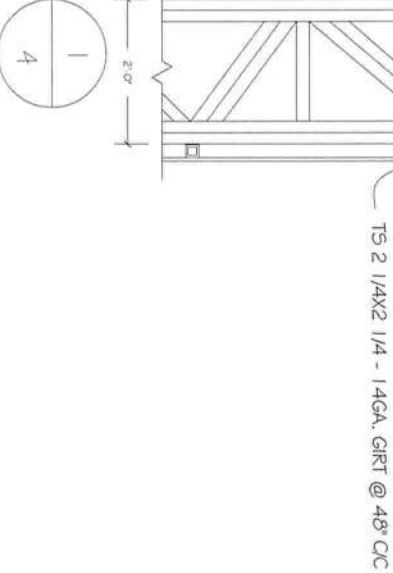
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SHEET NO.: **1**



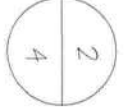
BENT DETAIL

SCALE: NTS



EDGE DETAIL

SCALE: NTS



FASTENER SCHD.

TYPE: TEK'S #12X1" SCREWS W/ NEOPRENE/STEEL WASHER @ 6" C/C OF EDGE PANEL AND 8" C/C ELSEWHERE - MIN. ONE FAST PER SPAN AT SIDELAP PANELS AND MAX. 4" C/C SPACING AT PANELS OVERLAP W/ SILICON CAULKING



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Metal Buildings I

1050 Worth St.
Mount Airy, NC 27030
1-800-597-3397
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING

LOCATION:

FLORIDA

DRAWING NO.:

TNT-80FL

DATE:

02/15/2010

PROJECT NUMBER:

039-10-0107

DRAWN BY:

CQ

CHECKED BY:

OA

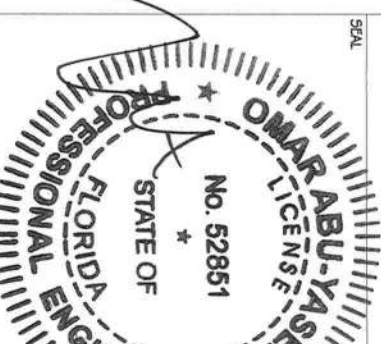
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END WALL W/ OPENING

SHEET NO.:

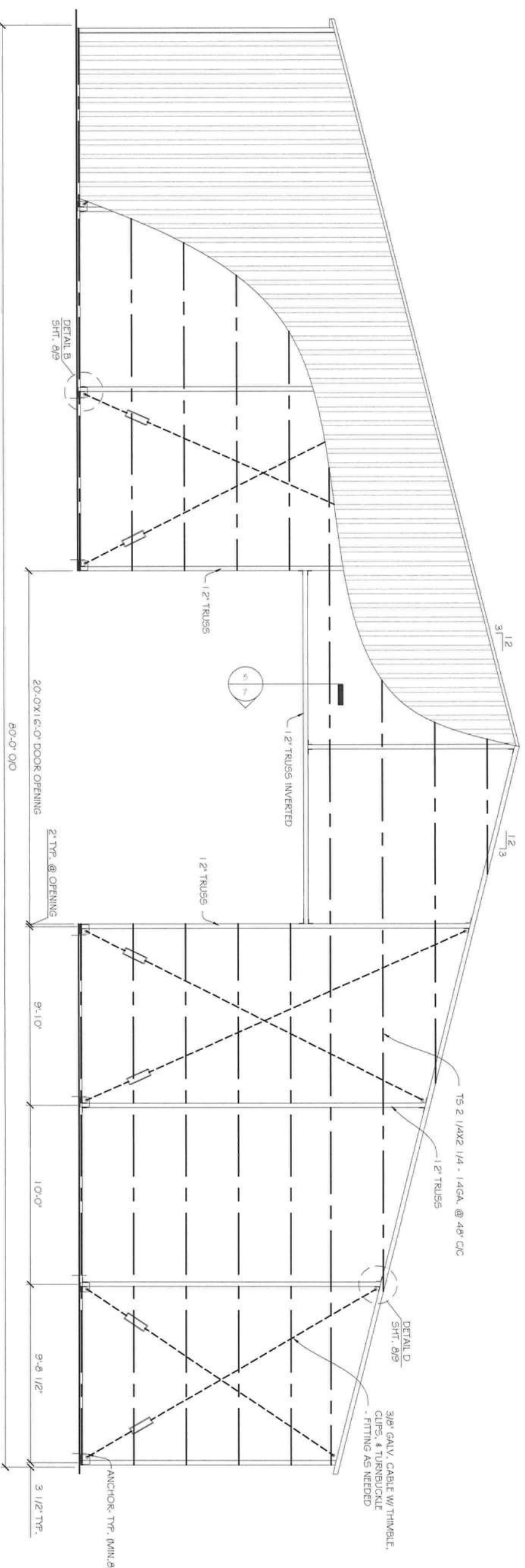
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SEAL



DATE SIGNED:

02/15/2010



FULLY ENCLOSED MODELS - END WALLS

SCALE: NTS

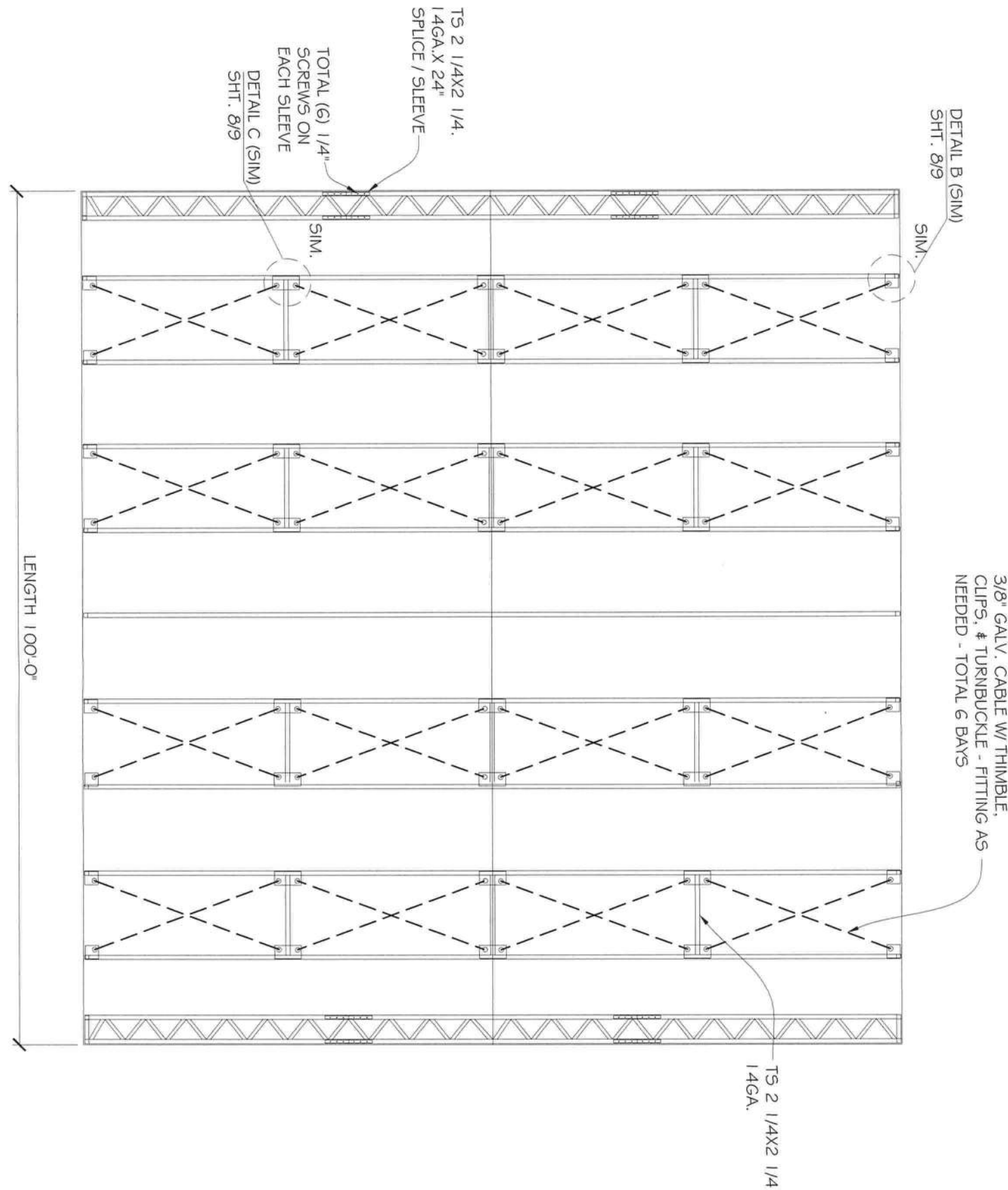


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Toledo, Ohio 43623
Tel: (419) 292-1983
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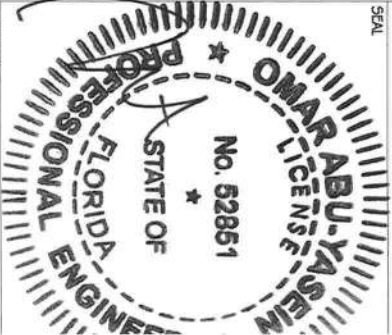


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1050 Worth St.
Mount Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122



ROOF PLAN W/ STRAPS

SCALE: NTS



DATE SIGNED: 02/15/2010



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Toledo, Ohio 43623
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Metal Buildings I
1050 Worth St.
Mount Airy, NC 27030

1-800-597-3397
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:
TNT METAL BUILDINGS

LOCATION:
FLORIDA

DRAWING NO.:
TNT-80FL

DATE:
02/15/2010

PROJECT NUMBER:
039-10-0107

DRAWN BY:
CQ

CHECKED BY:
OA

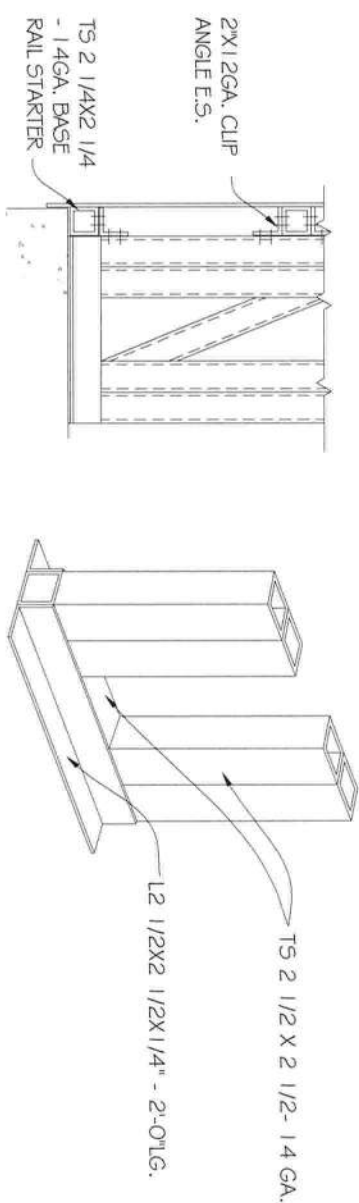
DRAWING TITLE:
DETAILS1

SHEET NO.:
7 OF 9

SCALE



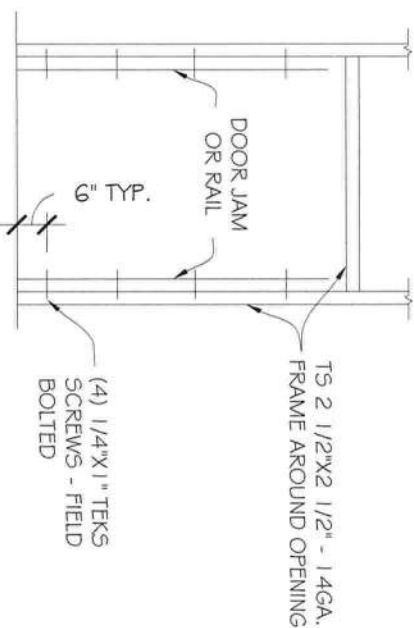
DATE SIGNED:
02/15/2010



COLUMN/ BASE CONNECTION

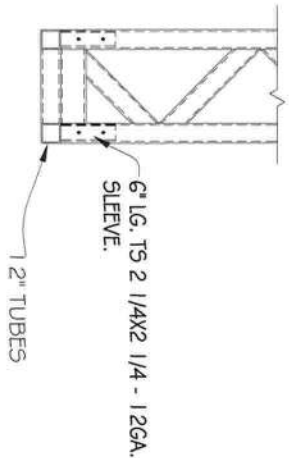
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2
3



TYP. END DOOR FRAMING

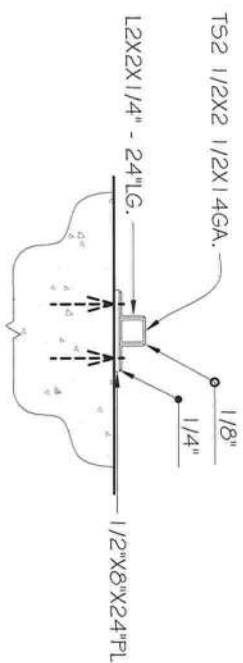
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HEADER CONNECTION

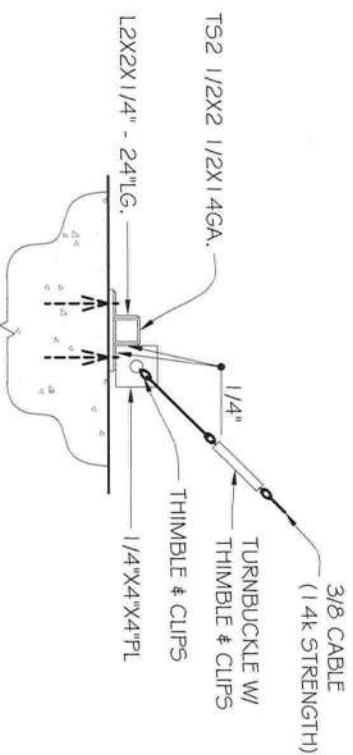
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3
5



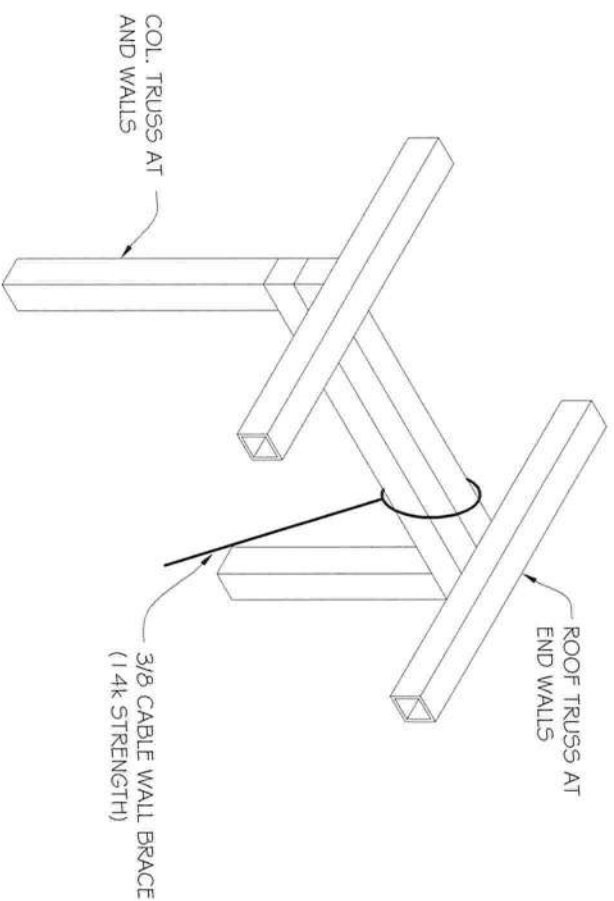
DETAIL A

SCALE: NTS



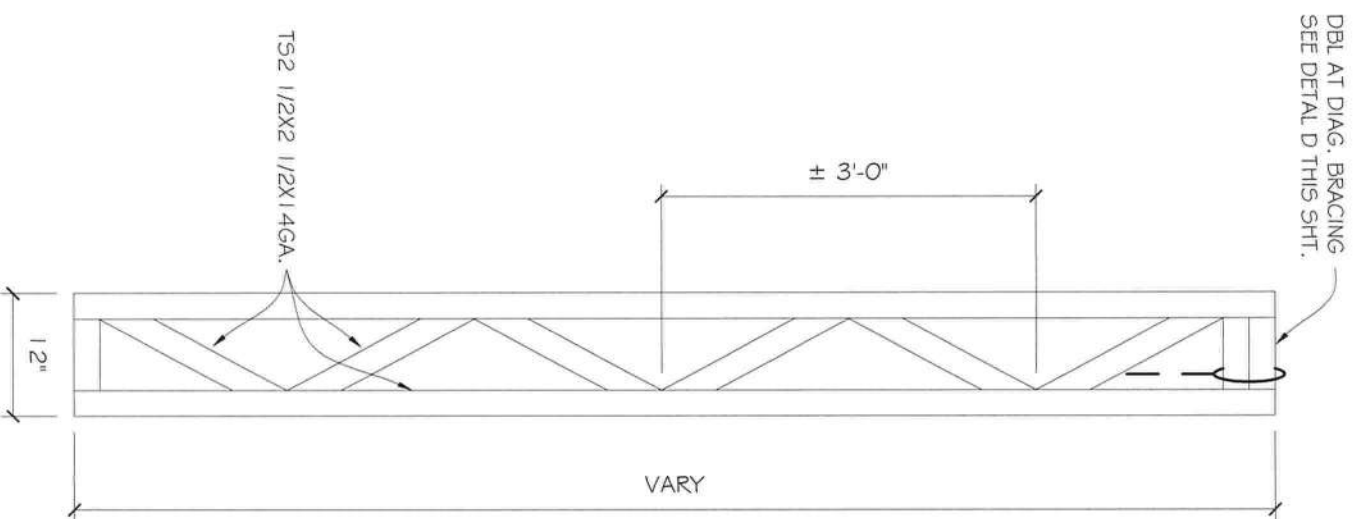
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SCALE: NTS



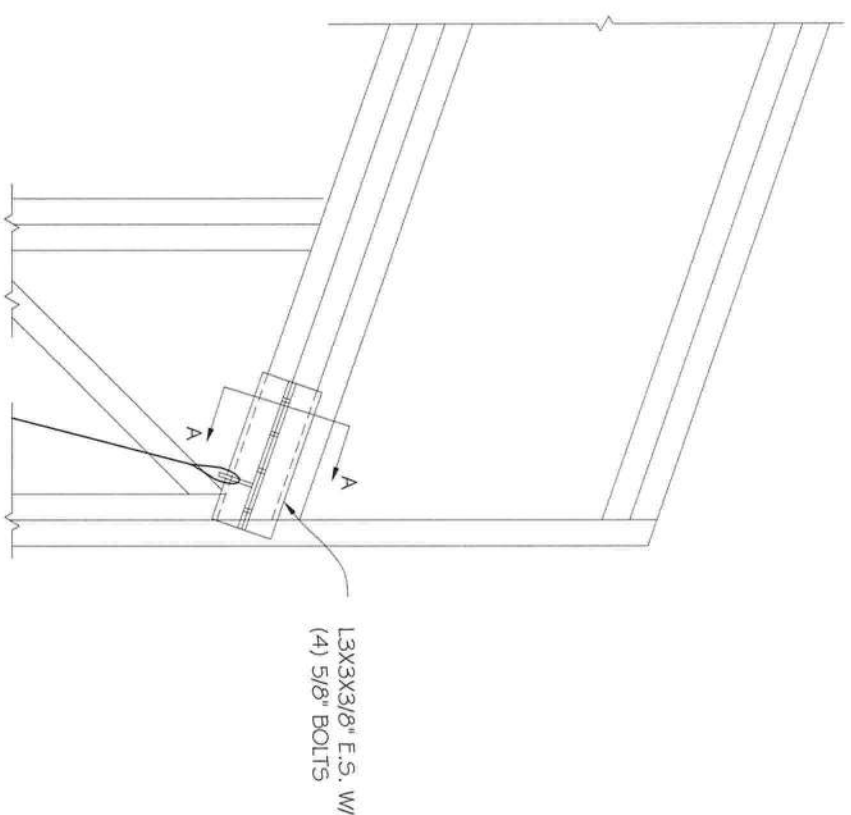
DETAIL D

SCALE: NTS



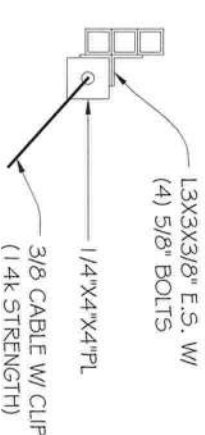
TYP. END WALL TRUSSES

SCALE: NTS



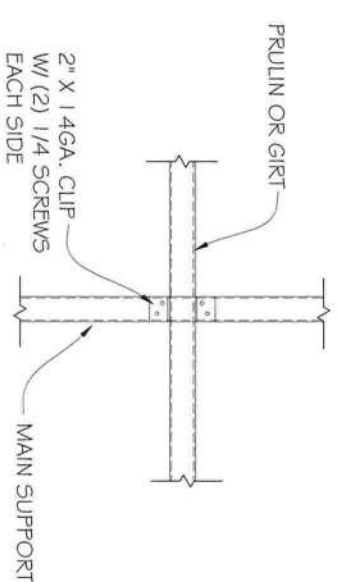
DETAIL C

SCALE: NTS



SECTION A-A

SCALE: NTS



TYP. PURLIN/GIRT CONNECTION

SCALE: NTS



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1-800-597-3597
MAIN - 1-336-789-3818
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OWNER: TNT METAL BUILDI

LOCATION: FLORIDA

DRAWING NO.: TNT-80FL

DATE: 02/15/2010

PROJECT NUMBER: 039-10-0107

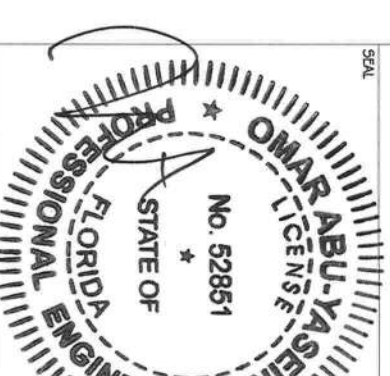
DRAWN BY: CQ

CHECKED BY: OA

DRAWING TITLE: DETAILS2

SHEET NO.: 8 OF 9

SCALE



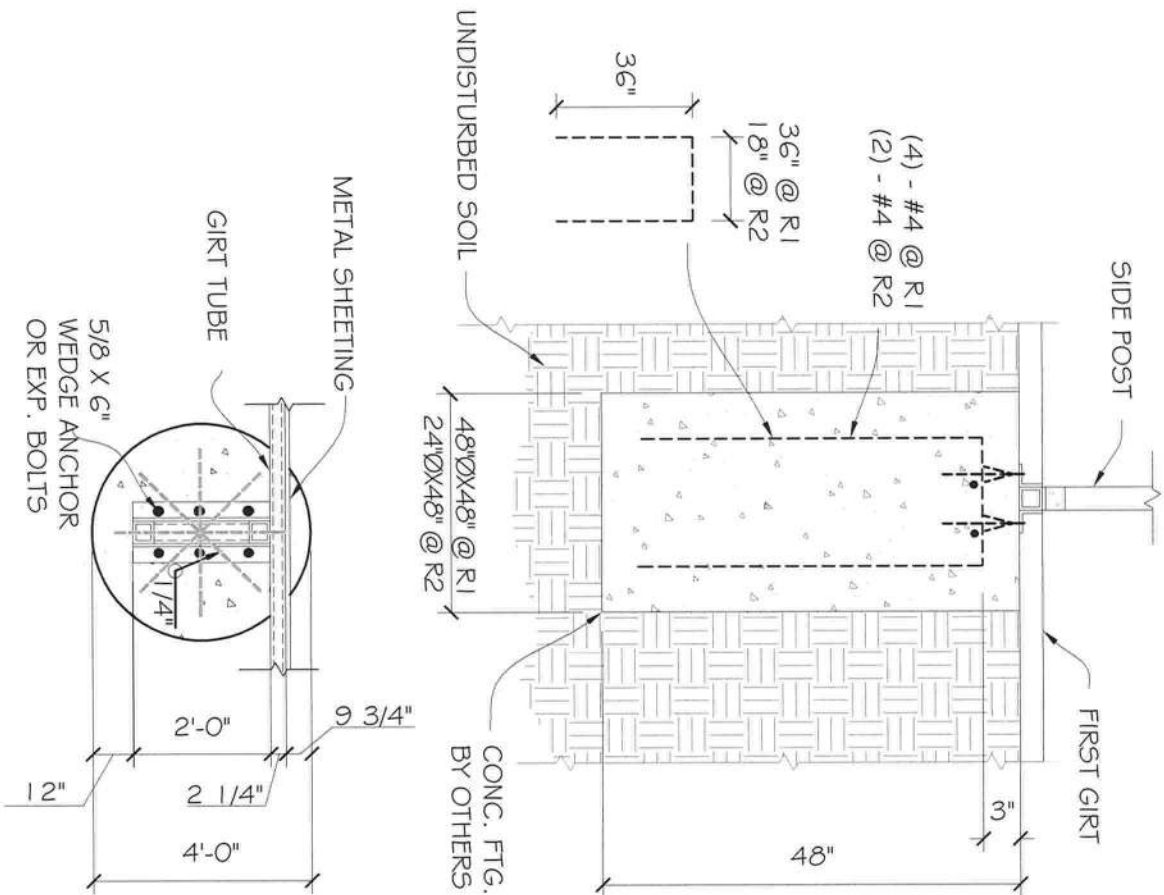
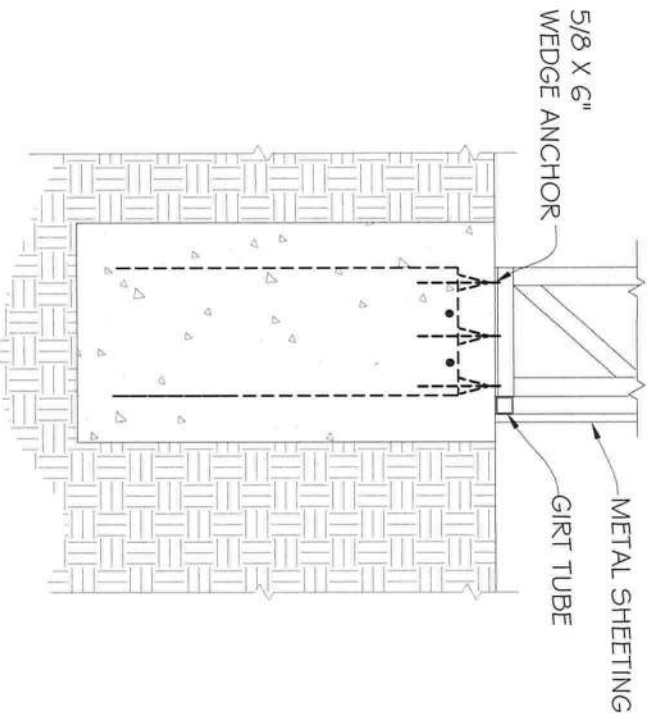
DATE SIGNED: 02/15/2010



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TNT
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Mount Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:	TNT METAL BUILDINGS
LOCATION:	FLORIDA
DRAWING NO.:	TNT-80FL
DATE:	02/15/2010
PROJECT NUMBER:	039-10-0107
DRAWN BY:	CQ
CHECKED BY:	OA
DRAWING TITLE:	ANCHORAGE OPTIO
SHEET NO.:	9 OF 9



OPTIONAL PIN ANCHOR DETAIL
ON CONCRETE PIER FOOTING

SCALE: NTS
TYP. AT EVERY ANCHORED POST

NOTE:
ASSUMED SOIL BEARING CAPACITY IS 2000 PSF
CONCRETE STRENGTH TO BE 3000 PSI AT 28 DAYS

ANCHOR OPTIONS SCHEDULE

	ANCHOR SIZES	REMARKS
1	3/4"ØX6"	INSERT W/ EPOXY IN CONC.
2	3/4"ØX6"	WEDGE ANCHORS IN CONC.
3	3/4"ØX6"	EXP. BOLTS IN CONC.

ALL ANCHOR BOLTS SHALL BE A307 GALV. OR BETTER

REPORT OF GEOTECHNICAL EXPLORATION

**Proposed 80'x100'x16' Boxed Metal Building
484 NW Turner Avenue
Lake City, Columbia County, Florida
CTI Project No. 10-00249-01**



- Prepared For -
T-N-T Metal Buildings, Inc.
484 NW Turner Avenue
Lake City, Florida 32055

- Prepared by -
Cal-Tech Testing, Inc.
P.O. Box 1625
Lake City, Florida 32056-1625

June 28, 2010



June 28, 2010

Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056

4784 Rosselle Street • Jacksonville, FL 32254

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Tel: (904) 381-8901 • Fax: (904) 381-8902

T-N-T Metal Buildings, Inc.

484 NW Turner Avenue
Lake City, Florida 32055

Attention: Mr. Rick Frizzell

Subject: Report of Geotechnical Exploration
Proposed 80'x100'x16' Boxed Metal Building
Lake City, Columbia County, Florida
CTI Project No. 10-00249-01

Dear Mr. Frizzell:

Cal-Tech Testing, Inc. (CTI) has completed the geotechnical exploration for the proposed boxed metal building at the subject site. This exploration was performed in general accordance with our proposal dated June 23, 2009. Authorization to this work and acceptance of the proposal was provided by you on June 23, 2010.

The following report presents the results of our field exploration and testing, an evaluation of the subsurface conditions with respect to available project characteristics, and recommendations to aid in the design and construction of the proposed building.

We have enjoyed assisting you on this project and look forward to serving as your geotechnical and construction materials testing consultant for the remainder of this and future projects. Should you have any questions concerning this report, please contact our office at 386-755-3633.

Sincerely,
CAL-TECH TESTING, INC.

David B. Brown
Executive Vice President

Nabil O. Hmeidi, P.E.
Senior Geotechnical Engineer
Licensed, Florida No. 57842

Distribution: File (1 copy)
Addressee (2 bound copies)

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Attachments

Exhibit 1	Vicinity Map (1 page)
Exhibit 2	Soil Boring Logs (4 pages)
Exhibit 3	Unified Soil Classification System Chart (1 page)
Exhibit 4	Key To Test Data (1 page)

1.0 PROJECT INFORMATION & SCOPE

The purpose of this exploration was to develop information concerning the site and subsurface conditions in order to evaluate site preparation requirements and foundation support recommendations for the proposed boxed metal building. The subject site is located at 484 NW Turner Avenue in Lake City, Columbia County, Florida. This report briefly describes our field activities and presents our findings. Based on our telephone conversation with Mr. Rick Frizzell of T-N-T Metal Buildings, Inc. on June 28, 2010, it is our understanding the proposed building will be 100' by 80', one-story boxed metal building for use as a warehouse space and the interior flooring will be asphalt paved subject to delivery/pick-up traffic of construction materials.

We anticipate soil-supported ground floor loads (dead load plus live load) in the proposed building will not exceed 150 psf. We have not been provided finished floor elevation for the proposed structures; however, we assume that less than three feet of earthwork fill will be required to achieve desired grade.

2.0 FIELD EXPLORATION

The subsurface conditions at the subject site were explored by drilling 4 Standard Penetration Test (SPT) borings each extending 15 feet below the existing ground surface. The borings were performed near the corners of the proposed building at the approximate coordinates listed below.

Boring No.	Latitude	Longitude
B-1	30° 11' 22.73''	82° 42' 34.19''
B-2	30° 11' 23.50''	82° 42' 34.11''
B-3	30° 11' 22.83''	82° 42' 35.52''
B-4	30° 11' 23.59''	82° 42' 35.44''

These coordinates were acquired using a hand-held Global Positioning System (GPS) device manufactured by Magellan (model eXplorist 100). The sampling and penetration procedures of the SPT borings were accomplished in general accordance with ASTM D-1586, "*Penetration Test and Split-Barrel Sampling of Soils*", using a power rotary drill rig (BK-51 with a manual hammer). The standard penetration tests were performed by driving a standard 1-3/8" I.D. and 2" O.D. split spoon sampler with a 140 pound hammer falling 30 inches. The number of hammer blows required to drive the sampler a total of 18 inches, in 6 inch increments, were recorded. The penetration resistance or "N" value is the summation of the last two 6 inch increments and is illustrated on the attached boring logs adjacent to their corresponding sample depths. The penetration resistance is used as an index to derive soil parameters from various empirical correlations.

The attached record of boring logs presents the descriptions of the subsurface conditions encountered at the time of our field program, groundwater levels, and provide the penetration resistances recorded during the drilling and sampling process. The stratification lines and depth designations on the boring record represent the approximate boundaries between the various soils encountered, as determined in the field by our personnel. In some cases, the transition between the various soils may be gradual.

3.0 SITE AND SUBSURFACE CONDITIONS

3.1 Site Conditions

The existing site conditions were observed by our personnel during our field program. At the time of our visit, the ground surface within the proposed building area is relatively level, grass covered and clear of trees. There was no ponded water observed during our site visit.

3.2 Area Geology/Sinkhole Potential

Published information regarding the geology in this area of Columbia County, Florida indicates the site is situated near the contact of the Undifferentiated Quaternary Sediments (**Qu**) of the Pleistocene and Holocene epochs; and the Statenville Formation (**Ths**) of the Miocene epoch. Typically, the Undifferentiated Quaternary sediments consist of siliciclastics, organics and freshwater carbonates. The siliciclastics are light gray, tan, brown to dark, unconsolidated to poorly consolidated, clean to clayey, silty, fossiliferous, variably organic-bearing sands to blue green to olive green, poorly to moderately consolidated, sandy, silty, clays. Freshwater carbonates "*marls*" are buff colored to tan, unconsolidated to poorly consolidated, fossiliferous (mollusks) carbonate muds containing organics.

Mainly, the Statenville Formation consists of interbedded sands, clays and dolostones with common to very abundant phosphate grains. The sands are predominate and are light gray to olive gray, poorly indurated, phosphatic, fine to coarse grained with scattered gravel and with minor occurrences of fossils. Clays are yellowish gray to olive gray, poorly consolidated, variably sandy and phosphatic, and variably dolomitic. The dolostones are yellowish gray to light orange, poorly to well indurated, sandy, clayey and phosphatic with scattered mollusk molds and casts.

The limestone in this area consists of carbonate rock and its weathered residuum. In this area of Columbia County, Florida, the limestone is marked by solution features (sinkholes) associated with *karst* terrains. Areas underlain by karst terrains are prone to sinkhole activities due to weathering which is typified by a chemical dissolution process that progresses along joints, fractures and bedding planes in the limestone formation. Sinkholes are primarily caused by an advanced state of internal soil erosion or raveling action, which under certain circumstances can lead to ground subsidences. This internal soil erosion is a very slow process by which soil particle usually migrate under the influence of a hydraulic gradient to underlying karsted and/or fractured limestone formation. This process often results in a highly irregular geological profile that contains deep weathered slots "*chimneys*" filled with soft soils. Voids or caves may also be

present within limestone formation. Surface depressions or sinkholes are formed when the soil overburden subsides into these subsurface caverns. There are several indicators generally associated with an advanced state of long term internal soil erosion such as noticeable surface depressions and very loose to soft soil zones just above the bedrock (or weathered bedrock) formation.

Our knowledge of the surrounding areas indicate the presence of active sinkholes within the site vicinity. However, our observation of the subject site and results of the test borings did not reveal presence of active sinkholes within the explored profile. Therefore, it is our opinion the proposed development on this site will have no greater risk of damage due to sinkhole activity than the development of structures in other areas within the immediate vicinity of the subject site. It must be understood that this exploration was not intended to predict or preclude future sinkholes from occurring within the limits of the subject site.

3.3 Subsurface Conditions

Initially, the soil profile as disclosed by SPT borings B-1 through B-4 consisted of about 6 inches of grayish brown fine sand with silt and organic (TOPSOIL). This surface cover is underlain by alternating layers of light and reddish brown mottled clayey sand (SC), light gray with reddish brown mottles sandy clay (CL), grayish brown clayey sand with silt (SC-SM), gray fine sand (SP). Generally, the standard penetration resistance indicates the relative density of the sandy soils vary from loose to very dense with "N" values ranging from 10 to exceeding 60 Blow Per Foot (BPF). The clayey soils have a consistency ranging from very stiff to hard with "N" values ranging from 22 to 29 BPF.

The discovery of any site or subsurface condition during any future exploration or any change in project information which deviates from the data and information presented in this evaluation should be reported to us for further evaluation.

3.4 Groundwater

At the time of completion of drilling, the groundwater was encountered in the all borings at depths ranging from 3 to 9 feet below the existing ground surface. We note that due to the relatively short time frame of the field exploration and the clayey nature of some of the site soils, the groundwater may not have had sufficient time to stabilize. For a true groundwater level reading, piezometers may be required. In any event, fluctuation in groundwater levels should be expected due to seasonal climatic changes, construction activity, rainfall variations, surface water runoff, and other site-specific factors.

4.0 RECOMMENDATIONS FOR FOUNDATION DESIGN & SITE PREPARATION

The recommendations presented in this report are based upon available project information, anticipated loading conditions, and data obtained during our field program. If the structural information is incorrect or the location of the structure changes, please contact this office so our recommendations may be reviewed and/or revised. Discovery of any site or subsurface condition during construction, which deviates from the data collected during this exploration, should be reported to us for evaluation.

4.1 General

Based on our evaluation of the encountered subsoils, anticipated loading conditions and our past experience with similar projects, it is our professional opinion the subject site can be made suitable for the support of the proposed development.

4.2 Foundation Support

Provided the foundation and site soils are prepared in accordance with the guidelines presented in this report, it is our opinion the proposed structure may be supported on a conventional shallow foundation system. The shallow foundation may be designed for an allowable bearing pressure of 2,500 pounds per square foot (psf) or less supported on newly placed structural fill.

In using net pressures, the weight of the footing and backfill over the footing need not be considered. Hence, only loads applied at or above final grade need to be used for dimensioning footings. However, wall bearing footings should be designed with a minimum width of 18 inches, while the individual column footings should have minimum dimensions of 2 feet by 2 feet.

Min Footer on Plan 24'x48'

4.3 Uplift Resistance

Under wind loading conditions, the foundations will likely be subjected to uplift forces. To resist these forces, it may be necessary to increase the footing size (thus increasing the dead weight) or lower the footing to mobilize additional soil weight above the footing. Uplift resistance from the soil may be evaluated as the weight of the soil directly above the footing, plus the shearing resistance along the vertical face of the soil prism. Alternately, the available soil uplift resistance may be calculated as the weight of the soil prism defined by the diagonal line drawn from the top of the footing to the ground surface at an angle of 30 degrees with the vertical. We recommend that a total unit weight of 100 pcf (compacted to 95% of the modified Proctor maximum dry density) be used for well-compacted, suitable fill. Should the bottom of any structure be below the groundwater level, these structures must be properly designed to resist the resulting uplift forces due to hydrostatic pressures.

4.4 Lateral Resistance

Lateral loads created by wind loads may be resisted by the passive pressure of the soil acting against the side of the individual footings and/or the friction developed between the base of the foundation system and the underlying soils. For compacted backfill and/or in-situ material, the passive pressure may be taken as an equivalent to the pressure exerted by a fluid weighing 300 pcf for above the ground-water table and 113 pcf below the water level. A coefficient of friction equal to 0.4 may be used for calculating the frictional resistance at the base of the shallow footings. The resistance values discussed herein are based on the assumption that the foundations can withstand horizontal movements on the order of $\frac{1}{4}$ inch. Lateral resistance determined in accordance with the recommendations provided herein should be considered the total available resistance. Consequently, the design should include a minimum safety factor of 1.5.

4.5 Lateral Earth Pressures

In general, retaining walls (if any on this site) will be subject to "at-rest" or "active" pressures. Retaining walls that are restrained at the top will be subject to "at-rest" pressures due to their restricted movement. These "at-rest" pressures may be calculated as the equivalent pressure exerted by a fluid density of 50 pcf. Where walls are not restrained at the top and thus allowed sufficient movement to mobilize "active" pressures, an equivalent fluid density of 33 pcf should be used in the design.

These values may be used only for walls above the groundwater table. Therefore, the presence of any groundwater due to surface water intrusion should be handled with the use of a drainage layer behind the walls with a collection pipe discharging accumulated water away from the walls. If this is not practical, then the hydrostatic pressure due to water should be included in the design of the walls.

4.6 Drainage Considerations

Adequate drainage should be provided at the site to minimize increase in moisture content of the foundation soils. Excessive moisture can significantly reduce the soils bearing capacity and contribute to foundation settlement. For the protection of the foundation soils, we recommend the ground water surface be sloped away from all proposed structures.

4.7 Floor Slab

Exposed subgrade should be properly prepared, recompacted and proofrolled with a fully-loaded, tandem-axle dump-truck or similar pneumatic-tired equipment. Provided the recompaction and proofrolling operations do not indicate significant deflecting or pumping of the existing subgrade, the floor slab may be designed as a slab-on-grade. Any soft or loose soils found during the proofrolling procedure should be undercut and replaced with suitable, well-compacted, engineered fill.

At the time of our field exploration, the ground surface within the building area is covered with asphaltic concrete that will be subjected to delivery/pick-up traffic of construction materials. Due to the presence of clayey soils within the upper soils, cracking and periodic maintenance of the paved floor surface should be expected.

4.8 Exposed Subgrade

All vegetation, topsoil, and other organic matters should be removed from the building and pavement areas. Following this operation, the exposed soils in the building and pavement areas should be compacted with overlapping passes of a relatively heavy weight drum roller having a total operating static weight (weight of fuel and water included) of at least 10 tons and a drum diameter of 5 feet. All exposed surfaces should be compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D-1557) to a depth of at least 12 inches below the compacted surface.

4.9 Structural Fill/Backfill

Structural fill should be placed in thin loose lifts not exceeding 12 inches in thickness and compacted with a heavy roller as described above. For walk-behind equipment, a maximum loose lift thickness of 6 inches is recommended. Each lift should be thoroughly compacted with the drum roller to provide densities equivalent to at least 95 percent of the modified Proctor maximum dry density (ASTM D-1557). Structural fill should consist of an inorganic, non-plastic, granular soil containing less than 10 percent material passing the No. 200 mesh sieve (relatively clean sand with a Unified Soil Classification of SP or SP-SM).

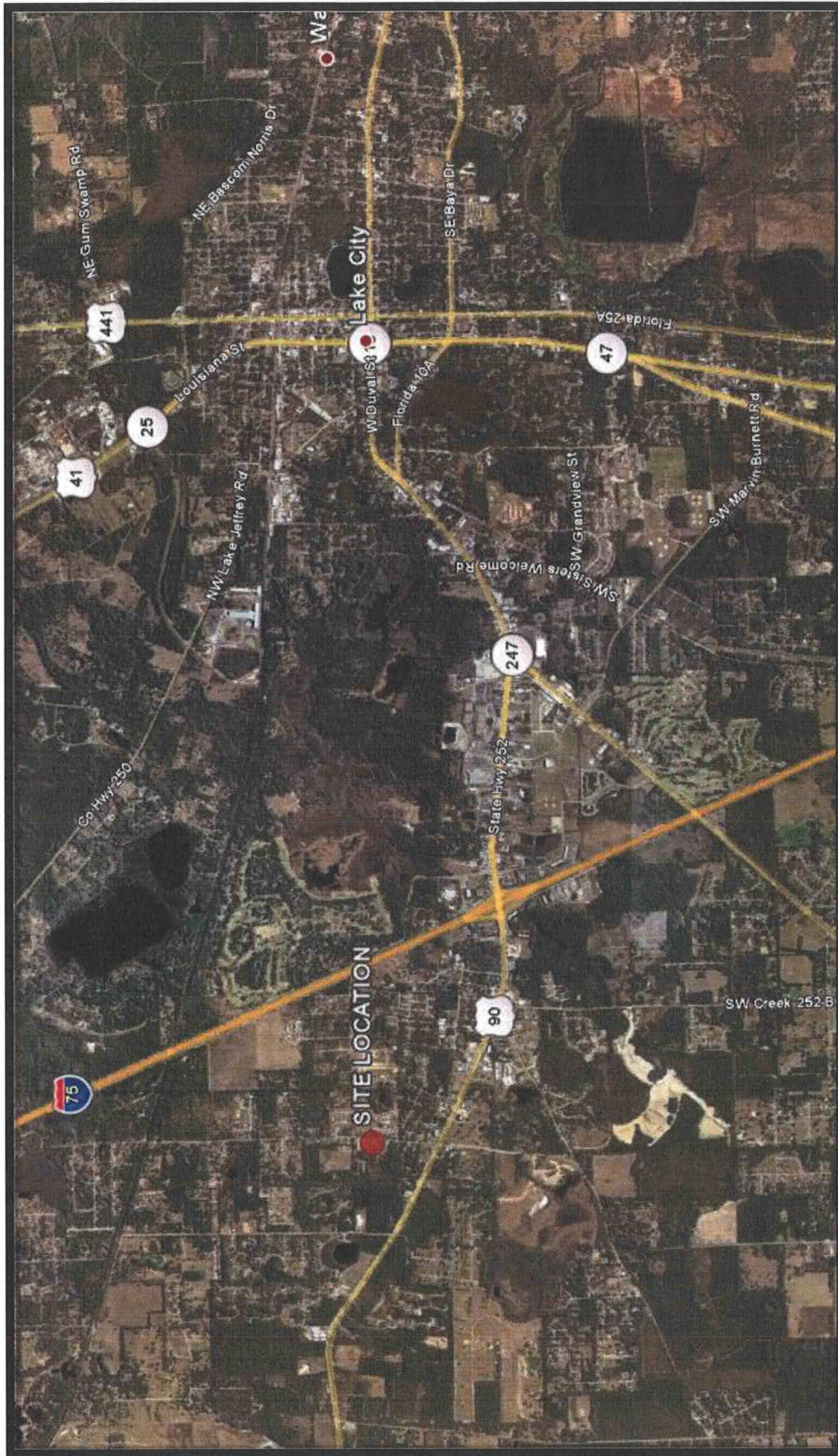
4.10 Pavement Subgrade Consideration

Pavement subgrades should be compacted to a minimum depth of 12 inches to at least 98 percent of the modified Proctor maximum dry density (ASTM D-1557). Any fill utilized to elevate the pavement areas to final subgrade elevation should consist of relatively clean fine sands (inorganic, non-expansive/non-plastic sands containing less than 10 percent, by weight, of fines). Pavement subgrade should be uniformly compacted to a minimum density of 95 percent of the soil's modified Proctor maximum dry density (ASTM D1557).

5.0 REPORT LIMITATIONS

This report has been prepared for the exclusive use of the T-N-T Metal Buildings, Inc. of Lake City, Florida. for the specific application to the project discussed herein. Our conclusions and recommendations have been rendered using generally accepted standards of geotechnical engineering practice in the State of Florida. No other warranty is expressed or implied. CTI is not responsible for the interpretations, conclusions, opinions, or recommendations of others based on the data contained herein. Field observations, monitoring, and quality assurance testing during earthwork and foundation installation are an extension of the geotechnical design. We recommend that the owner retain these services and that CTI be allowed to continue our involvement in the project through these phases of construction.

ATTACHMENTS



CAL-TECH TESTING, INC.
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Lake City, Florida 32056-1625
Phone: (386) 755-3633
Fax: (386) 752-5456

VICINITY MAP
Geotechnical Exploration
Proposed Boxed Metal – 484 NW Turner Avenue
Lake City, Columbia County, Florida
Cal-Tech Testing Project No. 10-00249-01

Figure 1



Cal-Tech Testing, Inc.
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Lake City, Florida 32056-1625
Telephone: 386-755-3633
Fax: 386-752-5456

BORING NUMBER B-1

PAGE 1 OF 1

CLIENT T-N-T Metal Building, Inc. PROJECT NAME Metal Boxed Building
PROJECT NUMBER 10-00249-01 PROJECT LOCATION 484 NW Turner Avenue, Lake City, Florida
DATE STARTED 06/24/10 COMPLETED 06/24/10 GROUND ELEVATION _____ HOLE SIZE 4"
DRILLING CONTRACTOR Cal-Tech Testing, Inc. GROUND WATER LEVELS:
DRILLING METHOD Continuous Flight Auger AT TIME OF DRILLING ---
LOGGED BY N.H. CHECKED BY _____ AT END OF DRILLING 7.50 ft
NOTES BK-51 (manual hammer) AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
0		Grayish brown, fine sand with silt and organic (TOPSOIL)						PL	MC	LL	
		LOOSE, light and reddish brown, mottled, clayey sand (SC)	SPT 1		3-4-6 (10)			20	40	60	80
		HARD, light gray with reddish brown mottles, sandy clay (CL)	SPT 2		7-14-17 (31)						
5		LOOSE to DENSE, grayish tan, clayey sand with silt (SC-SM)	SPT 3		18-19-20 (39)						
			SPT 4		7-9-10 (19)						
			SPT 5		6-5-5 (10)						
			SPT 6		5-5-5 (10)						
10											
		DENSE, gray, fine sand (SP)	SPT 7		10-17-21 (38)						
15											

Bottom of borehole at 15.0 feet.



Cal-Tech Testing, Inc.
P.O. Box 1625
Lake City, Florida 32056-1625
Telephone: 386-755-3633
Fax: 386-752-5456

BORING NUMBER B-2

PAGE 1 OF 1

CLIENT	T-N-T Metal Building, Inc.	PROJECT NAME	Metal Boxed Building
PROJECT NUMBER	10-00249-01	PROJECT LOCATION	484 NW Turner Avenue, Lake City, Florida
DATE STARTED	06/24/10	COMPLETED	06/24/10
DRILLING CONTRACTOR	Cal-Tech Testing, Inc.	GROUND ELEVATION	
DRILLING METHOD	Continuous Flight Auger	HOLE SIZE	4"
LOGGED BY	N.H.	CHECKED BY	
NOTES	BK-51 (manual hammer)	GROUND WATER LEVELS:	
		AT TIME OF DRILLING	---
		AT END OF DRILLING	7.75 ft
		AFTER DRILLING	---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲				FINES CONTENT (%)
								20	40	60	80	
0		Grayish brown, fine sand with silt and organic (TOPSOIL)										
		MEDIUM DENSE to VERY DENSE, light and reddish brown, mottled, clayey sand (SC)	SPT 1		4-4-10 (14)							
			SPT 2		24-32-31 (63)							
5			SPT 3		33-30-25 (55)							
		DENSE, light gray, fine sand with silt (SP-SM)	SPT 4		4-8-10 (18)							
			SPT 5		10-15-16 (31)							
			SPT 6		12-18-20 (38)							
10												
		DENSE, gray, fine sand (SP)	SPT 7		8-19-15 (34)							
15												

Bottom of borehole at 15.0 feet.



Cal-Tech Testing, Inc.
P.O. Box 1625
Lake City, Florida 32056-1625
Telephone: 386-755-3633
Fax: 386-752-5456

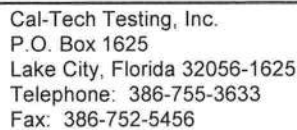
BORING NUMBER B-3

PAGE 1 OF 1

CLIENT T-N-T Metal Building, Inc. PROJECT NAME Metal Boxed Building
PROJECT NUMBER 10-00249-01 PROJECT LOCATION 484 NW Turner Avenue, Lake City, Florida
DATE STARTED 06/24/10 COMPLETED 06/24/10 GROUND ELEVATION _____ HOLE SIZE 4"
DRILLING CONTRACTOR Cal-Tech Testing, Inc. GROUND WATER LEVELS:
DRILLING METHOD Continuous Flight Auger AT TIME OF DRILLING ---
LOGGED BY N.H. CHECKED BY _____ AT END OF DRILLING 7.75 ft
NOTES BK-51 (manual hammer) AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
0								PL	MC	LL	
								20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80
0		Grayish brown, fine sand with silt and organic (TOPSOIL)									
		VERY STIFF, light gray with reddish brown mottles, sandy clay (CL)	SPT 1		5-9-14 (23)						
		DENSE, light and reddish brown, mottled, clayey sand (SC)	SPT 2		15-21-20 (41)						
5		MEDIUM DENSE to DENSE, grayish tan, clayey sand with silt (SC-SM)	SPT 3		15-18-20 (38)						
			SPT 4		8-12-12 (24)						
		MEDIUM DENSE, light and reddish brown, mottled, clayey sand (SC)	SPT 5		9-10-11 (21)						
			SPT 6		9-9-10 (19)						
10		VERY DENSE, gray, fine sand (SP)									
			SPT 7		10-20-31 (51)						
15											

Bottom of borehole at 15.0 feet.



PAGE 1 OF 1

CLIENT	T-N-T Metal Building, Inc.	PROJECT NAME	Metal Boxed Building
PROJECT NUMBER	10-00249-01	PROJECT LOCATION	484 NW Turner Avenue, Lake City, Florida
DATE STARTED	06/24/10	COMPLETED	06/24/10
DRILLING CONTRACTOR	Cal-Tech Testing, Inc.	GROUND ELEVATION	
DRILLING METHOD	Continuous Flight Auger	HOLE SIZE	4"
LOGGED BY	N.H.	CHECKED BY	
NOTES	BK-51 (manual hammer)	GROUND WATER LEVELS:	
		AT TIME OF DRILLING	---
		▼ AT END OF DRILLING	7.75 ft
		AFTER DRILLING	---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
								□ FINES CONTENT (%) □			
0								20	40	60	80
		Grayish brown, fine sand with silt and organic (TOPSOIL) VERY STIFF to HARD, light gray with reddish brown mottles, sandy clay (CL)									
			SPT 1		5-9-13 (22)						
			SPT 2		15-20-19 (39)						
5			SPT 3		26-28-30 (58)						
		MEDIUM DENSE to DENSE, grayish tan, clayey sand with silt (SC-SM)	SPT 4		8-15-21 (36)						
			SPT 5		15-16-14 (30)						
		DENSE, light gray, fine sand with silt (SP-SM)	SPT 6		18-15-18 (33)						
10											
		DENSE, gray, fine sand (SP)									
			SPT 7		8-15-17 (32)						

Bottom of borehole at 15.0 feet.

UNIFIED SOIL CLASSIFICATION SYSTEM

ASTM DESIGNATION D-2487

MAJOR DIVISIONS			GROUP SYMBOL	TYPICAL NAMES	LABORATORY CLASSIFICATION CRITERIA						
COARSE GRAINED SOILS (More than half of the material is larger than No. 200 sieve)	Gravels (more than half of the coarse fraction is larger than No. 4 sieve)	Clean gravels	GW	Well-graded gravels, gravel-sand mixtures, little or no fines.	Determine percentage of sand and gravel from grain size curve Depending on percentage of fines (fraction smaller than No. 200 Sieve size), coarse grained soils are classified as follows: Less than 5% GW, GP, SW, SP More than 12% ... GM, GC, SM, SC 5 to 12% Borderline cases requiring dual symbols	$C_u = \frac{D_{60}}{D_{10}} > 4 \quad ; \quad 1 < C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} < 3$					
			GP	Poorly graded gravels, gravel-sand mixture, little or no fines.		Not meeting all gradation requirements of GW					
		Gravel with fines	GM	Silty gravels, gravel-sand-silt mixtures.		Atterberg Limits below A-Line or PI less than 4	Above A-Line with PI between 4 and 7 are borderline cases requiring the use of dual symbols.				
			GC	Clayey gravels, gravel-sand-clay mixtures.		Atterberg Limits above A-Line or PI greater than 7					
	Sands (more than half of the coarse fraction is smaller than No. 4 sieve)	Clean sands	SW	Well-graded sands, gravelly sands, little or no fines.		$C_u = \frac{D_{60}}{D_{10}} > 6 \quad ; \quad 1 < C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} < 3$					
			SP	Poorly graded sands, gravelly sands, little or no fines.		Not meeting all gradation requirements of SW					
		Sands with fine	SM	Silty sands, sand-silt mixtures.		Atterberg Limits below A-Line or PI less than 4	Limits plotting in hatched zone with PI between 4 and 7 are borderline cases requiring the use of dual symbols.				
			SC	Clayey sands, sand-clay mixtures.		Atterberg Limits above A-Line or PI greater than 7					
		FINE GRAINED SOILS (More than half of the material is finer than No. 200 sieve)	Silts and Clays (LL less than 50)	ML		Inorganic silts, very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity.	<div>PLASTICITY CHART</div> <div>1. Plot intersection of PI as determined by the Atterberg Limits tests. 2. Points plotted above the A-Line indicate clay soils. 3. Points plotted below the A-Line indicate silt.</div> <div>LL=-43.5 PI=-46.5</div>				
				CL		Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clay.					
OL	Organic silts and organic silty clays of low plasticity.										
Silts and Clays (LL greater than 50)	MH		Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.								
	CH		Inorganic clays of high plasticity, fat clay.								
	OH		Organic clays of medium to high plasticity, organic silts.								
Highly Organic Soils	Pt		Peat and other highly organic soils.								
CAL-TECH TESTING, INC. P.O. Box 1625 Lake City, Florida 32056-1625 Phone: 386-755-3633 Fax: 386-752-5456					5% Max. Passing the U.S. No. 200 Sieve SP 5% - 12% Passing the U.S. No. 200 Sieve SP-SM 12% - 50% Passing the U.S. No. 200 Sieve SM/SC						

KEY TO TEST DATA

STANDARD PENETRATION TEST:

Soil sampling and penetration testing is performed in accordance with ASTM D-1586. The standard penetration resistance ("N") is the number of blows of a 140-pound hammer falling 30 inches to drive a 2-inch O.D., 1.4-inch I.D. split spoon sampler one foot.

ROCK CORE DRILLING:

Rock sampling and core drilling is performed in accordance with ASTM D-2113. The rock quality designation percentage (RQD) is determined by summing only pieces of core that are at least 4 inches long, and dividing by the "run" length.

Relation of RQD and In-situ Rock Quality	
RQD (%)	Rock Quality
90 - 100	Excellent
75 - 90	Good
50 - 75	Fair
25 - 50	Poor
0 - 25	Very Poor

RELATIVE DENSITY (SANDS):

Very loose - less than 4 blows/ft.

Loose - 5 to 10 blows/ft.

Medium - 11 to 30 blows/ft.

Dense - 31 to 50 blows/ft.

Very dense - over 50 blows/ft.

CONSISTENCY (SILTS & CLAYS):

Very soft - less than 2 blows/ft.

Soft - 3 to 4 blows/ft.

Medium stiff - 5 to 8 blows/ft.

Stiff - 9 to 15 blows/ft.

Very stiff - 16 to 30 blows/ft.

Hard - 31 to 50 blows/ft.

Very hard - over 50 blows/ft.

HARDNESS (ROCKS):

Soft - Rock core crumbles when handled.

Medium - Can break core with hands.

Moderately hard - Thin edges of rock core can be broken with fingers.

Hard - Thin edges of core can not be broken with fingers.

Very hard - Can not be scratched with knife.

GROUNDWATER:

Water levels shown on boring logs are taken immediately upon completion of boring, and are intended for general information. The apparent level may have been altered by the drilling process. Groundwater levels, if desired, can be monitored over a long time interval.

CAL-TECH TESTING, INC.

P.O. Box 1625

Lake City, Florida 32056-1625

Phone: 386-755-3633 Fax: 386-752-5456

5% Max. Passing the U.S. No. 200 Sieve SP

5% - 12% Passing the U.S. No. 200 Sieve SP-SM

12% - 50% Passing the U.S. No. 200 Sieve SM/SC

DATE08/04/2010

Columbia County Building Permit

PERMIT000028772

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANTRAY POTEET

PHONE623-4285

ADDRESS484TURNER AVE

LAKE CITYFL32055

OWNERTORRES REAL ESTATE, LLC

PHONE336-754-2177

ADDRESS484NW TURNER RD

LAKE CITYFL32055

CONTRACTORTOMMY BOWMAN

PHONE800-597-3597

LOCATION OF PROPERTY90 W, R TURNER RD, ON LEFT BESIDE THE DAYCARE CENTER

(.4 TENTHS OF A MILE)

TYPE DEVELOPMENTCOMM. SHELTER

ESTIMATED COST OF CONSTRUCTION45000.00

HEATED FLOOR AREATOTAL AREA

HEIGHT16.00STORIES1

FOUNDATIONWALLS

ROOF PITCH3/12FLOOR

LAND USE & ZONINGINDUSTRIAL

MAX. HEIGHT35

Minimum Set Back Requirments:STREET-FRONT20.00

REAR15.00SIDE15.00

NO. EX.D.U.1FLOOD ZONENA

DEVELOPMENT PERMIT NO.

PARCEL ID33-3S-16-02440-002

SUBDIVISION

LOTBLOCKPHASEUNIT

TOTAL ACRES3.51

SCC1311498

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTINGX10-189

BKTCN

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: NOC ON FILE

OPEN SHELTER

Check # or CashCASH

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

Under slab rough-in plumbing

Slab

Sheathing/Nailing

Framing

Insulation

Rough-in plumbing above slab and below wood floor

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

Pool

Permanent power

C.O. Final

Culvert

Pump pole

Utility Pole

M/H tie downs, blocking, electricity and plumbing

Reconnection

RV

Re-roof

BUILDING PERMIT FEE \$225.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$0.00

ZONING CERT. FEE \$50.00

FIRE FEE \$0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$

CULVERT FEE \$

TOTAL FEE275.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 28772

CONTRACTOR _____

PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL <u>OK</u> <u>37</u>	Print Name: <u>DONALD R Hollingsworth</u> License #: <u>13012377</u> <u>Holly Electric Inc.</u>	Signature: <u>[Signature]</u> Phone #: <u>386-55-5594</u>
MECHANICAL/ A/C	Print Name: _____ License #: <u>N/A</u>	Signature: _____ Phone #: _____
PLUMBING/ GAS	Print Name: _____ License #: <u>N/A</u>	Signature: _____ Phone #: _____
ROOFING	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
SHEET METAL	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
SOLAR	Print Name: _____ License #: _____	Signature: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
X CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

#390 ^{update} Tommy Bowman

19

Columbia County Building Permit Application

☒ APP fee paid

For Office Use Only Application # 1006-18 Date Received 6-7-10 By CH Permit # 28 772
Zoning Official BWK Date 02-08-10 Flood Zone X Land Use I Zoning I
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 8-2-10

Comments

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
School _____ = TOTAL N/A Suspended ☒ RF form

Septic Permit No. X10-189 IN FILE BOX Fax 386 754 0104

Name Authorized Person Signing Permit RAY Poter Phone 386 623 4285

Address 484 Turner Ave. LAKE CITY, FL. 32055

Owners Name Torres Real Estate LLC Phone 386 754 2177 ~~386-623-4285~~

911 Address 484...Turner Ave

Contractors Name Tommy Bowman Phone 800 597 3597 Ext. 3006

Address 170 Holly Spring Rd. Mount Airy's, N.C. 27030

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address A&A Engineering 5911 Renaissance Pl. Suite B
Toledo, Ohio 43623

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number Parcel 33-35-16-02440-002 Estimated Cost of Construction (45000.00)

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions 90 W, (R) Turner Ave, on (L) . 4 lengths of
a mile. (The Old Sewing business)

Number of Existing Dwellings on Property 1

Construction of Comm. shed (open) Total Acreage 3.509 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16'

Actual Distance of Structure from Property Lines - Front 60' Side 15' Side 220' Rear App. 295'

Number of Stories 1 Heated Floor Area N/A Total Floor Area 9600' Roof Pitch 12/3

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
Spoke to RAY 8/3/10

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

[Signature]
Owners Signature

OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature (Permitee)

Contractor's License Number SCC131149818
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 17 day of May 2010.

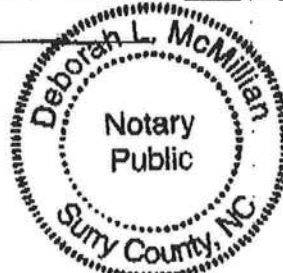
Personally known ☒ or Produced Identification _____

[Signature]

SEAL:

State of Florida Notary Signature (For the Contractor)

Commission Expires 11-3-2014



ATTN James LINK

TAX 300
362-1056

TUNNER Ave

TOTAL ACRES 3.2

Fence

100'

Fence Gate

Fence

T-N-T
METAL

Buildings

484 Turner

150'

111'

ASPHALT

DIRT

ASPHALT

ASPHALT
New Site

15'

120'

Fence

415'

Total From Front Fence

RSC
Recycling

CHILD CARE CENTER

HAPPY HEARTS

2022-1

RETENTION
POND

Columbia County Property Appraiser

DB Last Updated: 11/13/2009

2009 Tax Year

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 33-3S-16-02440-002

Owner & Property Info

Search Result: 1 of 1

Owner's Name	TORRES REAL ESTATE LLC		
Site Address	TURNER		
Mailing Address	170 HOLLY SPRINGS ROAD MOUNT AIRY, NC 27030		
Use Desc. (code)	LIGHT MANU (004100)		
Neighborhood	033316.00	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	3.509 ACRES		
Description	COMM NE COR OF SEC, RUN WEST 25 FT TO W R/W OF TURNER RD, S ALONG R/W 199.39 FT FOR POB, CONT ALONG R/W 337.65 FT, WEST 485.75 FT, N 312.31 FT, EAST 490.81 TO POB ORB 1179-1626		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$183,474.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$241,135.00
XFOB Value	cnt: (1)	\$4,000.00
Total Appraised Value		\$428,609.00

Just Value	\$428,609.00
Class Value	\$0.00
Assessed Value	\$428,609.00
Exemptions	\$0.00
Total Taxable Value	County: \$428,609.00 City: \$428,609.00 Other: \$428,609.00 School: \$428,609.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
8/25/2009	1179/1623	QC	I	U	11	\$100.00
8/25/2009	1179/1625	WD	I	Q	01	\$595,000.00
12/30/2008	1165/896	WD	I	Q	01	\$453,000.00
6/16/2006	1087/9	WD	I	Q		\$520,000.00
9/18/2000	910/2578	WD	I	U	01	\$178,200.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	PREF M B A (008700)	1973	Mod Metal (25)	20432	20780	\$241,135.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0260	PAVEMENT-A	0	\$4,000.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS[Home](#)[Contact Us](#)[E-Filing Services](#)[Document Searches](#)[Forms](#)[Help](#)[Previous on List](#)[Next on List](#)[Return To List](#)

Entity Name Search

No Events

No Name History

Detail by Entity Name

Florida Limited Liability Company

TORRES REAL ESTATE, L.L.C.

Filing Information

Document Number L01000015741

FEI/EIN Number 651143321

Date Filed 09/13/2001

State FL

Status ACTIVE

Principal Address

5742 WEST 2ND COURT
HIALEAH FL 33012

Changed 03/13/2008

Mailing Address

5742 WEST 2ND COURT
HIALEAH FL 33012

Changed 03/13/2008

Registered Agent Name & Address

TORRES, ORLANDO F
5742 WEST 2ND COURT
HIALEAH FL 33012 US

Name Changed: 03/13/2008

Address Changed: 03/13/2008

Manager/Member Detail

Name & Address

Title MGRM

TORRES, ORLANDO F
5742 WEST 2ND COURT
HIALEAH FL 33012

Annual Reports

Report Year Filed Date

2008 03/13/2008

2009 02/24/2009

2010 02/25/2010

Inst 201012009079 Date: 6/7/2010 Time: 1:39 PM
DC, P DeWitt Cason, Columbia County Page 1 of 1 B: 1195 P: 2126

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 33-3S-16-02440-002

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Comm NE Cor of Sec. R/W. 25' to W R/W of Turner Rd.
 - a) Street (Job) Address: _____
2. General description of improvements: Shed
3. Owner Information
 - a) Name and address: VENANCIO TORRES 170 Holly Spring Rd. Mt. Airy, N.C.
 - b) Name and address of fee simple titleholder (if other than owner) 170 Holly Spring Rd. Mt. Airy, N.C. 27030
 - c) Interest in property: _____
4. Contractor Information
 - a) Name and address: Tommy Bowman - TNT Metal Buildings, Inc.
 - b) Telephone No.: 800-597-3597 Fax No. (Opt.) _____
5. Surety Information
 - a) Name and address: _____
 - b) Amount of Bond: _____
 - c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
 - a) Name and address: _____
 - b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
 - a) Name and address: _____
 - b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b).
Florida Statutes:
 - a) Name and address: _____
 - b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA North Carolina
COUNTY OF COLUMBIA Surry

10. Venancio Torres
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager

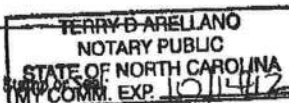
Venancio Torres
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 10th day of May, 20 10 by:
Venancio Torres as Owner (type of authority, e.g. officer, trustee, attorney
fact) for TNT Metal Buildings, Inc. (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature Terry D. Arellano

Notary



-AND-

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

NOTICED GENERAL PERMIT

PERMITTEE:

TORRES REAL ESTATE, LLC.
170 HOLLY SPRINGS ROAD
MOUNT AIRY, NC 27030

PERMIT NUMBER: ERP09-0299

DATE ISSUED: 01/04/2010

DATE EXPIRES: 01/04/2013

COUNTY: COLUMBIA

TRS: S33/T3S/R16E

PROJECT: TORRES BUILDING PROJECT-LAKE CITY

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

VENANCIO TORRES
TORRES REAL ESTATE, LLC.
170 HOLLY SPRINGS ROAD
MOUNT AIRY, NC 27030

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource noticed general permit is in effect for the permitted activity description below:

Construction and operation of a surfacewater management system serving approximately 0.2 acres of impervious surface on a total project area of 0.30 acres in a manner consistent with the application package submitted by James Durden.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A noticed general permit authorizes the construction, operation, maintenance, alteration,

abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

General Conditions for All Noticed General Permits:

1. The terms, conditions, requirements, limitations, and restrictions set forth in this section are general permit conditions and are binding upon the permittee for all noticed general permits in Part II of this chapter. These conditions are enforceable under Part IV of chapter 373, F.S.
2. The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit. A violation of the permit is a violation of Part IV of chapter 373, F.S., and may result in suspension or revocation of the permittee's right to conduct such activity under the general permit. The District may also begin legal proceedings seeking penalties or other remedies as provided by law for any violation of these conditions.
3. This general permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.
4. This general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit and Part II of this chapter.
5. This general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to human health or welfare, animal, plant or aquatic life, or property. It does not allow the permittee to cause pollution in contravention of Florida Statutes and District rules.
6. The permittee is hereby advised that s.253.77, F.S., states that a person may not commence any excavation, construction or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

7. The authorization to conduct activities pursuant to general permit may be modified, suspended or revoked in accordance with chapter 120, and s.373.429, F.S.

8. This permit shall not be transferred to a third party except pursuant to s.40B-4.1130, F.A.C. The permittee transferring the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located.

9. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to insure conformity with the plans and specifications approved by the permit.

10. The permittee shall maintain any permitted system in accordance with the plans submitted to the District and authorized by this general permit.

11. A permittee's right to conduct a specific noticed activity under this noticed general permit is authorized for the duration on the front of this permit.

12. Construction, alteration, operation, maintenance, removal and abandonment approved by this general permit shall be conducted in a manner which does not cause violations of state water quality standards, including any antidegradation provisions of s.62-4.242(1)(a) and (b), 62-4.242(2) and (3), and 62-302.300, F.A.C., and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. The permittee shall implement best management practices for erosion, turbidity and other pollution control to prevent violation of state water quality standards. Temporary erosion control measures such as sodding, mulching, and seeding shall be implemented and shall be maintained on all erodible ground areas prior to and during construction. Permanent erosion control measures such as sodding and planting of wetland species shall be completed within seven days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands or other surface waters exists due to the permitted activity. Turbidity barriers shall remain in place and shall be maintained in a functional condition at all locations until construction is completed and soils are stabilized and vegetation has been established. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

13. The permittee shall hold and save the District harmless from any and all damages, claims or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the general permit.

14. The permittee shall immediately notify the District in writing of any previously submitted

Permit No.: ERP09-0299

Project: TORRES BUILDING PROJECT-LAKE CITY

Page 4 of 7

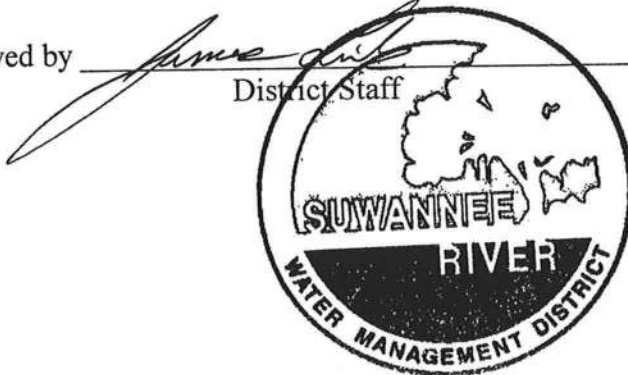
information that is later discovered to be inaccurate.

15. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.

16. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by



District Staff

Date Approved

01/04/10

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

Permit No.: ERP09-0299

Project: TORRES BUILDING PROJECT-LAKE CITY

Page 6 of 7

7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

TORRES REAL ESTATE, LLC.
170 HOLLY SPRINGS ROAD
MOUNT AIRY, NC 27030

At 4:00 p.m. this 4 day of Jan, 2010.



Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49

Permit No.: ERP09-0299

Project: TORRES BUILDING PROJECT-LAKE CITY

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Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP09-0299



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

December 16, 2009

Venancio Torres
Torres Real Estate, LLC.
170 Holly Springs Road
Mount Airy, NC 27030

Subject: Receipt of Environmental Resource Permit Application for
Torres Building Project-Lake City - ERP09-0299 - Columbia County

Dear Applicant:

The Suwannee River Water Management District (SRWMD) received your application package on December 16, 2009, for Torres Building Project-Lake City. Your proposed project has been assigned permit number ERP09-0299, and is currently under review by Resource Management staff. You will receive a response from staff within 30 days after receipt of the application package. This is pursuant to Chapter 120.60(1), Florida Statutes.

Please be advised that it is a violation of SRWMD rules to begin any work before a permit is issued, unless you have applied for a General Permit After Notice for Construction, Operation, Maintenance, Alteration, Abandonment or Removal of Minor Silvicultural Surface Water Management Systems under section 40B-400.500, Florida Administrative Code. Your submitted application package does not alleviate you from having to obtain all other clearances, permits, or authorization required by any other unit of local, state, or federal government.

Florida Statutes 373.419 states, "Within 30 days after the completion of construction or alteration of any stormwater management system, dam, impoundment, reservoir, appurtenant work, or works, the permittee shall file a written statement of completion with the governing board..." We will enclose the appropriate forms upon issuance of the permit to satisfy the requirement.

If you have any further questions, please contact James Link at 386.362.1001, or toll free at 800.226.1066. In order to better serve you, please include the permit number in all correspondence.

Sincerely,

A handwritten signature in black ink, appearing to read "Jon Dinges".

Jon Dinges
Director, Resource Management

cc: James Durden

Water for Nature, Water for People

DON QUINCEY
Chairman
Chiefland, Florida

N. DAVID FLAGG
Vice Chairman
Gainesville, Florida

GEORGIA C. JONES
Secretary/Treasurer
Lake City, Florida

CARL E. MEECE
O'Brien, Florida

JAMES L. FRALEIGH
Madison, Florida

C. LINDEN DAVIDSON
Lamont, Florida

OLIVER J. LAKE
Lake City, Florida

HEATH DAVIS
Cedar Key, Florida

DAVID A. STILL
Executive Director
Lake City, Florida



12/29 - Mailed
To James Link

**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
Live Oak, FL 32060
Telephone: 386/362-1001
FL WATS: 1-800-226-1066
Fax: 386/362-1056

FACSIMILE TRANSMITTAL LETTER

Date of Transmittal: ¹⁵ 12/8/09

Please deliver these pages immediately to:

Individual: James Leroy Marshall

Fax Telephone Number: 386-754-0104

FROM: James Marshall Tim Darden

RE: ELP application

Total number of pages including this transmittal letter: 6

Original document to be mailed: ☐ Yes ☒ No

Transmitted on a Lanier Fax 6500, Facsimile Number (386)362-1056.
IF ANY OF THE PAGES ARE NOT CLEARLY RECEIVED,
PLEASE CALL ME IMMEDIATELY AT (386) 362-1001.

Sender's Name: James Marshall #12

Comments:

JOINT APPLICATION FOR ENVIRONMENTAL RESOURCE PERMIT/AUTHORIZATION TO USE
STATE OWNED SUBMERGED LANDS/FEDERAL DREDGE AND FILL PERMIT

SECTION A

FOR AGENCY USE ONLY	
ACOE Application #	SRWMD Application #
Date Application Received	Date Application Received
Proposed Project Lat.	Fee Received \$
Proposed Project Long.	Fee Receipt #

PART 1:

Are any of the activities described in this application proposed to occur in, on, or over wetlands or other surface waters? ☐ yes ☒ no

PART 2:

- A. Type of Environmental Resource Permit Requested (check at least one).**
- ☒ Noticed General - include information requested in Section B.
 - ☐ General (Single Family Dwelling) - include information requested in Sections C and D.
 - ☐ General (all other projects) - include information requested in Sections C and E.
 - ☐ Individual (Single Family Dwelling) - include information requested in Sections C and D.
 - ☐ Individual (all other projects) - include information requested in Sections C and E.
 - ☐ Conceptual - include information requested in Sections C and E.
 - ☐ Mitigation Bank Permit (construction) - include information requested in Sections C and F. (If the proposed mitigation bank involves the construction of a surface water management system requiring another permit defined above, check the appropriate box and submit the information requested by the applicable section.)
 - ☐ Mitigation Bank (conceptual) - include information requested in Sections C and F.
- B. Type of activity for which you are applying (check at least one)**
- ☒ Construction or operation of a new surfacewater management system, including dredging or filling in, on or over wetlands and other surface waters.
 - ☐ Construction, expansion, or modification of a solid waste facility.
 - ☐ Alteration or operation of an existing surfacewater management system not previously permitted by a WMD or DEP.
 - ☐ Modification of a surfacewater management system previously permitted by a WMD or DEP. Provide applicable permit numbers, issuing agency, and date of issuance, and check the appropriate box below:

<input type="checkbox"/> Alteration and operation of a system	<input type="checkbox"/> Extension of permit duration
<input type="checkbox"/> Abandonment of a system	<input type="checkbox"/> Removal of a system
<input type="checkbox"/> Construction and operation of additional phases of a system	
- C. Are you requesting authorization to use State Owned Submerged Lands?**
☐ yes ☒ no
 (If yes, include the information requested in Section G.)
- D. For activities in, on, or over wetlands or other surface waters, check type of federal dredge and fill permit requested:**
- | | |
|-------------------------------------|---|
| <input type="checkbox"/> Individual | <input type="checkbox"/> Programmatic General |
| <input type="checkbox"/> General | <input type="checkbox"/> Nationwide |
- E. Are you claiming to qualify for an exemption?** ☐ yes ☒ no
 (If yes, provide the rule number or statutory citation, if known): _____

**JOINT APPLICATION FOR ENVIRONMENTAL RESOURCE PERMIT/AUTHORIZATION TO USE
STATE OWNED SUBMERGED LANDS/FEDERAL DREDGE AND FILL PERMIT**

PART 3:		B. ENTITY TO RECEIVE PERMIT (IF OTHER THAN OWNER)	
A. OWNER(S) OF LAND			
Name	<u>Venancio Torres</u>	Name	
Title and Company	<u>Torres Real Estate, LLC</u>	Title and Company	
Address	<u>170 Holly Springs Rd</u>	Address	
City, State, Zip	<u>Mount Airy, NC 27030</u>	City, State, Zip	
Telephone and Fax	<u>800-597-3597 336-783-3043</u>	Telephone and Fax	
C. AGENT AUTHORIZED TO SECURE PERMIT		D. CONSULTANT (IF DIFFERENT FROM AGENT)	
Name	<u>James Duerden</u>	Name	
Title and Company	<u>TRT Metal Buildings Inc</u>	Title and Company	
Address	<u>484 NW Turner Ave</u>	Address	
City, State, Zip	<u>Lake City, FL 32055</u>	City, State, Zip	
Telephone and Fax	<u>386-754-2177 386-754-0104</u>	Telephone and Fax	
PART 4:			
A. Name of Project, including phase if applicable: <u>80' x 120' Building Project</u>			
B. Is this application for part of a multi-phase project? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no			
C. Total applicant-owned area contiguous to the project? <u>3.5</u> acres			
D. Total project area for which permit is sought: <u>3</u> acres			
E. Total impervious area for which a permit is sought: <u>3.2</u> acres			
F. What is the total area (metric equivalent for federally funded projects) of work in, on, or over wetlands or other surface waters? <u>NONE</u> _____ ac. _____ ha. _____ sq. ft. _____ sq. m.			
G. If a docking facility, the number of new boat slips proposed: _____ wet slips _____ dry slips <u>N/A</u>			

JOINT APPLICATION FOR ENVIRONMENTAL RESOURCE PERMIT/AUTHORIZATION TO USE
STATE OWNED SUBMERGED LANDS/FEDERAL DREDGE AND FILL PERMIT

PART 5:

Project location (use additional sheets if needed): 484 NW Turner Ave

County(ies) Columbia

Section(s)

Township

Range

Section(s)

Township

Range

Section(s)

Township

Range

Land Grant name, if applicable:

Tax Parcel Identification Number: 33-35-16-02440-002

Street, Address, Road, or other location: 484 NW Turner Ave

City, Zip Code, if applicable: Lake City, FL 32055

PART 6: Describe in general terms the proposed project, system, or activity.

JOINT APPLICATION FOR ENVIRONMENTAL RESOURCE PERMIT/AUTHORIZATION TO USE STATE OWNED SUBMERGED LANDS/FEDERAL DREDGE AND FILL PERMIT

PART 7:

A. If there have been any pre-application meetings, including on-site meetings, with regulatory staff, please list the date(s), location(s), and names of key staff and project representatives, if known.

B. Please identify by number any MSSW/Wetland Resource/ERP/ACOE Permits pending, issued or denied for projects at the location, and any related enforcement actions, if known.

Agency	Date	No./Type of Application	Action Taken (Pending/Issued/Denied)
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

C. Note: The following information is only required for projects with work proposed to occur in, on or over wetlands or other surfacewaters that need federal dredge and fill permits and/or authorization to use State Owned Submerged Lands. Please provide the names, addresses and zip codes of property owners whose property directly adjoins the project (excluding the applicant). Please attach a plan view showing the owner's names and adjoining property lines. Attach additional sheets if necessary.

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____

JOINT APPLICATION FOR ENVIRONMENTAL RESOURCE PERMIT/AUTHORIZATION TO USE STATE OWNED SUBMERGED LANDS/FEDERAL DREDGE AND FILL PERMIT

PART 8:

A. By signing and submitting this application form, I am applying, or I am applying on behalf of the applicant, for the permit and any proprietary authorizations identified above, according to the supporting data and other incidental information filed with this application. I am familiar with the information contained in this application and represent that such information is true, complete and accurate. I understand this is an application and not a permit, and that work prior to approval is a violation. I understand that this application and any permit issued or proprietary authorization issued pursuant thereto, does not relieve me of any obligation for obtaining any other required federal, state, water management district or local permit prior to commencement of construction. I agree, or I agree on behalf of my corporation, to operate and maintain the permitted system unless the permitting agency authorizes transfer of the permit to a responsible operation entity. I understand that knowingly making any false statement or representation is a violation of Section 373.430, F.S. and 18 U.S.C. Section 1001.

Typed/Printed Name of Applicant (If no Agent is used) or Agent (If one is so authorized below)

James H. Dinsdale
Signature of Applicant/Agent

12-11-09
Date

(Corporate Title if applicable)

AN AGENT MAY SIGN ABOVE ONLY IF THE APPLICANT COMPLETES THE FOLLOWING:

B. I hereby designate and authorize the agent listed above to act on my behalf, or on behalf of my corporation, as the agent in the processing of this application for the permit and/or proprietary authorization indicated above; and to furnish, on request, supplemental information in support of the application. In addition, I authorize the above-listed agent to bind me, or my corporation, to perform any requirements which may be necessary to procure the permit or authorization indicated above. I understand that knowingly making any false statement or representation is a violation of Section 373.430, F.S. and 18 U.S.C. Section 1001.

Nenancio Torres
Typed/Printed Name of Applicant

Nenancio Torres
Signature of Applicant

12-11-09
Date

President
(Corporate Title if applicable)

Please note: The applicant's original signature (not a copy) is required above.

PERSON AUTHORIZING ACCESS TO THE PROPERTY MUST COMPLETE THE FOLLOWING:

C. I either own the property described in this application or I have legal authority to allow access to the property, and I consent, after receiving prior notification, to any site visit on the property by agents or personnel from the Department of Environmental Protection, the Water Management District and the U.S. Army Corps of Engineers necessary for the review and inspection of the proposed project specified in this application. I authorize these agents or personnel to enter the property as many times as may be necessary to make such review and inspection. Further, I agree to provide entry to the project site for such agents or personnel to monitor permitted work if a permit is granted.

Nenancio Torres
Typed/Printed Name of Applicant

Nenancio Torres
Signature of Applicant

12-11-09
Date

President
(Corporate Title if applicable)

Prepared by and return to:
Guy W. Norris, Attorney at law
Norris & Norris, P.A.
Post Office Drawer 2349
Lake City, Florida 32056-2349

GWN:dac
8/14/2009

Inst: 200912014218 Date: 8/25/2009 Time: 4:04 PM
DocStamp-Deed.0.70
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B 1179 P-1623

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, Executed this 25th day of August, 2009, by SOUTHEAST DEVELOPERS GROUP, INC, a Florida corporation, first party, to TORRES REAL ESTATE, LLC, a North Carolina limited liability company, 170 Holly Springs Road, Mount Airy, North Carolina 27030, second party.

WITNESSETH:

That the said first party, for and in consideration of the sum of TEN and No/100 (\$10.00) DOLLARS, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the lot, piece or parcel of land, situate, lying and being in the County of Columbia, State of Florida, described in Exhibit A attached hereto and made a part hereof.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, first party has caused these presents to be executed by its duly authorized officer the day and year first above written.

Signed, sealed and delivered
in the presence of:

Sign [Signature]
Print GUY W. NORRIS
Sign [Signature]
Print DIANE A. CREWS

SOUTHEAST DEVELOPERS GROUP, INC

By [Signature]
JOSHUA A. NICKELSON, President

(CORPORATE SEAL)

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 25th day of August, 2009, by JOSHUA A. NICKELSON, as President of SOUTHEAST DEVELOPERS GROUP, INC, a Florida corporation, who is personally known to me or has presented FLA. DRIVER'S LICENSE as identification.

Notary Public:
Sign [Signature]
Print DIANE A. CREWS
State of Florida at Large (Seal)
My Commission Expires:

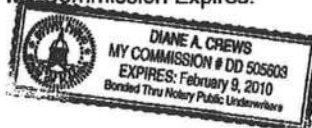


EXHIBIT A

Columbia County, Florida

TOWNSHIP 3 SOUTH, RANGE 16 EAST

SECTION 33: COMMENCE AT THE NORTHEAST CORNER OF THE SAID SECTION 33; THENCE RUN S.89°20'15" W., ALONG THE NORTH LINE OF SAID SECTION 33, A DISTANCE OF 25.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TURNER ROAD; THENCE S.06°13'30"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 199.39 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.06°18'21"W., ALONG SAID WESTERLY RIGHT-OF-WAY A DISTANCE OF 337.65 FEET; THENCE RUN N.84°26'39"W., A DISTANCE OF 485.75 FEET; THENCE RUN N.05°33'29"E., A DISTANCE OF 312.31 FEET; THENCE RUN S.87°24'01"E., A DISTANCE OF 490.81 FEET TO THE POINT OF BEGINNING.

As shown by the survey prepared by Britt Surveying & Associates, Inc. dated August 3, 2009, Work Order #L-19994.

Being the same property described in the survey prepared by William N. Kitchen, PSM dated June 7, 2006, Job Number 06256.

Parcel No. 33-3S-16-02440-002

December 30, 2009

TO: Columbia County Building Department
135 NE Hernando Avenue
Lake City, FL 32055

FROM: Tommy Bowman
T-N-T Metal Buildings
170 Holly Springs Road
Mount Airy, NC 27030

TO WHOM IT MAY CONCERN:

I Tommy Bowman, (License Holder), license holder for T-N-T Metal Buildings do certify that the person(s) listed below and whose signatures appear below is/are my employee(s), partner(s) or officer(s) and are the only authorized personnel to purchase permits and/or call for directions and sign on my behalf.

I the license holder, realize that I am responsible for all permits purchased under my license number and all work done under my license.

James H. Durden
James Durden

Ray B. Poteet
Ray Poteet

Lloyd Burtrem
Lloyd Burtrem

Tommy Bowman
Tommy Bowman, License Holder
(336) 783-3006

Jan 04-2010
Date

NOTARY INFORMATION

State of NC County of Surry
The above License Holder, whose name is Tommy Bowman
has personally appeared before me and is known by me or has produced the following
identification _____ on this 4 day of Jan, 2010

Deborah L. McMillan
Notary Signature

Commission Expires 11-3-2014

